



CITY OF DOVER

DOVER PLANNING BOARD – AGENDA

Meeting Type: Regular Meeting
Meeting Location: Council Chambers, City Hall, 288 Central Ave, Dover NH 03820
Meeting Date: **Tuesday, March 23, 2021**
Meeting Time: **7:00 pm**

Certain members of the Planning Board may be participating in this meeting remotely. In addition, the Chair of the Planning Board may, per NH RSA 91-A:2, III (b), declare an “emergency” within the meaning of that statute and waive the requirement that a quorum be physically present at the meeting. In either event, remote members will identify their location and any person present with them at that location. All votes will be by roll call.

The City of Dover has taken extra steps to ensure the physical location of this meeting conforms with all safety provisions during the pandemic, including social distancing, face coverings, and frequently sanitized facilities. Although qualified members of the public can participate in the meeting by speaking at the physical location, the public is encouraged to leave comments in advance by calling 516-MEET (6338), emailing Dover-Planning@dover.nh.gov, or mailing written comments to Planning Board, Dover City Hall, 288 Central Ave., Dover, NH 03820. Messages must be received no later than 4 p.m. the day of the meeting and should identify the name and Dover address of the person leaving the message or providing the comment

1. CITIZENS’ FORUM

2. APPROVAL OF THE PRIOR MINUTES

- March 9, 2021 Regular Meeting Minutes

3. OLD BUSINESS

4. NEW BUSINESS

- A. Consideration and acceptance of a Minor Lot Line Adjustment for Zeland Schwartz Revocable Trust, (Owners: Zeland Schwartz Revocable Trust & Zeland Schwartz), Assessor’s Map H, Lots 13 & 14D, zoned R-20, and located at 26 & 26 ½ Bellamy Road. *(P21-08)
- B. Consideration and acceptance of a Conditional Use Permit for Michael Runey, (Owner: Portsmouth Christian Academy), Assessor’s Map J, Lot 1-C, zoned R-40, located at 20 Seaborne Drive. (Proposal is to allow and replace existing drainage outfall within a wetland buffer). *(P21-12)
- C. Consideration and acceptance of an amendment to the conditions of approval/notice of decision for Index Packaging Inc., Assessor’s Map D, Lot 9A, zoned IT, and located at 150 Venture Drive. (Proposed amendment is to note the TDR credit per 170.27.2-G(3)(b)(iii))

5. STAFF COMMENT

6. MEMBER COMMENTS

7. ADJOURNMENT

*Indicates that if the application is accepted for discussion, the public hearing will be held the same evening. Note that some hearings will be continued from one meeting to another and some may be postponed. Since this is only a partial description of the proposal and may change, persons with questions or wishing to see the plans are invited to visit the Planning Office, Monday through Thursday from 8:30 am to 5:30 pm and Friday 8:30 am to 4:00 pm or email Dover-Planning@dover.nh.gov. You may also view materials at www.dover.nh.gov. Follow us on Twitter [@DoverNHPlanning](https://twitter.com/DoverNHPlanning) and find us on Facebook at <https://www.facebook.com/DoverNHPlanning>.



CITY OF DOVER

DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting, continued
Meeting Location: City Council Chamber's 288 Central Avenue
Meeting Date: **Tuesday, March 09, 2021**
Meeting Time: **7:00 pm**

Members Present: Gina Cruikshank (Chair), Dennis Ciotti (Councilor), Dave White, Mark Speidel (Alternate)

The following Board members called into the meeting: Frank Torr, Tom Clark, Jackson Kaspari, Dave Landry, Kyle Pimental, Erin Allgood (Alternate), Hayley Harmon (Vice Chair)

Members Not Present (excused): None

Members Not Present (un-excused): None

Staff Present: Christopher Parker, Assistant City Manager

Chair G. Cruikshank called the meeting to order at 7:00 p.m. She noted that certain members of the Planning Board are participating in this meeting remotely, and as the Chair of the Planning Board she has, per NH RSA 91-A:2, III (b), declared an "emergency" within the meaning of that statute and waive the requirement that a quorum be physically present at the meeting. Remote members will identify their location and any person present with them at that location. All votes will be by roll call.

The City of Dover has taken extra steps to ensure the physical location of this meeting conforms with all safety provisions during the pandemic, including social distancing, face coverings, and frequently sanitized facilities. Although qualified members of the public can participate in the meeting by speaking at the physical location, the public is encouraged to leave comments in advance by calling 516-MEET (6338), emailing Dover-Planning@dover.nh.gov, or mailing written comments to Planning Board, Dover City Hall, 288 Central Ave., Dover, NH 03820. Messages must be received no later than 4 p.m. the day of the meeting and should identify the name and Dover address of the person leaving the message or providing the comment.

The Chair noted for items 3A and 3B the public hearing was closed at the last meeting so if any public present wants to speak on those cases, they need to speak during public comment.

Item 4B, a lot line adjustment at 26 Bellamy Road will be continued to March 23, and not heard tonight, at the request of the applicant.

1. CITIZENS' FORUM

Citizens Forum Open.

Tammy Rajaniemi, 6 Walt Colby Dr commented about 54 Back River Rd. She listened to the meeting and reiterated her concerns about the traffic volume in that neighborhood. She suggested the City take care of the traffic issues in that area before any additional projects are approved.

Timothy Raymond, 3 Walt Colby Dr also commented about 54 Back River Rd. He agreed with the previous comments about traffic. The development would negatively impact the traffic on that road and would possibly bring safety concerns.

Citizens Forum Closed.

2. APPROVAL OF THE PRIOR MINUTES

February 23, 2021 Regular Meeting Minutes

Motion: D. White moved to approve the minutes as amended. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari -yes, D. White-yes, T. Clark-yes, F. Torr-yes

3. OLD BUSINESS

The Chair noted that items A and B will be heard together



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DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting, continued
Meeting Location: City Council Chamber's 288 Central Avenue
Meeting Date: **Tuesday, March 09, 2021**
Meeting Time: **7:00 pm**

- A. Consideration and acceptance of a Transfer of Development Request for 54 BRR LLC, Assessor's Map I, Lot 6, zoned R-12, located at 54 Back River Road. (Proposal is to increase development density allowed by 35 HUD-rate restricted units). *(P20-61)
- B. Consideration and acceptance of a Site Review for 54 BRR, LLC, Assessor's Map I, Lot 6, zoned R-12, located at 54 Back River Road. (Proposal is to develop an affordable housing community with 44 detached 384 s.f. one-bedroom units). *(P20-60)

Motion: D. White moved to remove the items from the table. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

C. Parker explained that since the last meeting, the applicant has adjusted the plan to add vegetation along the shared boundary with 50 and 52 Back River Road and added 13 parking spaces around the Community Center, 2 in front, and 11 behind. This impacts the 30ft buffer. Additionally, the applicant removed Saturday construction hours and updated the plans to address note updates and other plan changes, which had been conditions of approval. At the last meeting the Board approved the Conditional Use Permit and tabled the TDR and Site Plan vote. There is a waiver for lighting as part of the sight plan.

Mike Sievert, MJS Engineering, presented the changes to the plan including a walkway, a retaining wall and fence, landscape changes and the new location of the mailbox kiosk. He clarified the sidewalk location for M. Speidel.

D. Landry asked if the front entrance sidewalks will all be updated, or are they just adding the new ones. He thinks it will look better if they touch up that whole front area. The applicant will touch up the one that connects to the new sidewalk, but not the one in front of the house on the other side.

D. Landry asked what the conservation area is like in the back of the property- is it woods?

Yes, that area is wooded and will remain wooded. There is one area that will be cleared for drainage.

D. Landry suggested adding a few more cuts to the guardrail and adding more trees there.

Robby Woodburn, landscape architect noted they have been in communication with the abutters about what they would like there for a buffer. It would be up to them if they choose trees or a fence. They can't put evergreens there because of the street, and it's tough to plant there because of the slope.

K. Pimental wondered if there are any views of the water from the proposed platform. Yes, there are views of the river through the woods.

K. Pimental noted the applicant has done a great job adjusting the plan to the comments that were received.

M. Speidel agreed with K. Pimental about the applicant's work on the plan. He asked about the pathway to the platform and because of the slope, will it have a handrail?

The pathway is not fully designed. It's planned to be leveled and have wood chips underfoot. If railings are needed, they will add them.

C. Parker noted the public hearing was closed at the last meeting. Comments were received via email from Frank Crossman, 50 Back River Road, and Erin Smith, 58 Back River, and Timothy Raymond, 4 Walt Colby had all been received and forwarded to the Board.



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He addressed the traffic issue. The City cannot, under State law, use existing traffic issues as a reason to deny future projects. City staff is in discussion about solutions to the traffic issues in that area.

The Board has three votes tonight. The first is the TDR vote, the second is the site lighting waiver and the third is the site plan review application itself.

STAFF RECOMMENDATION – TDR:

Chapter 170-27.2 of the Zoning Ordinance allows for developments to buy additional units through the process of Transfer of Development Rights. This plan meets the criteria outlines, and staff recommends that the Board find the request is consistent with the Master Plan and agrees to sell the rent restricted units with the following conditions:

Condition to be Met Prior to Granting the TDR:

1. Payment of the TDR fee (which is waived for HUD rent restricted units)
2. The Conditional Use Permit (P20-61) be granted.
3. Applicant shall enter into a development agreement with the HUD rental rate and how it will be annually reviewed.
4. The plan includes the granting of a waiver for 30' cut buffer behind the community center for parking.

Motion: F. Torr moved to approve the sale of the units through the TDR program. Seconded by D. White.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

STAFF RECOMMENDATION-Waiver:

The applicant has provided a narrative expressing how they meet the criteria of Chapter 153-21 (Waivers) have been met which states:

The Planning Board may waive specific provisions of these regulations. The Planning Board may only grant a waiver if the Planning Board finds, by majority vote, that:

- (1) Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or
- (2) Specific circumstances relative to the subdivision, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations.

Staff believe criterion 2 has been met for the lighting waiver.

The Planning Department recommends that the Planning Board vote to grant the waivers with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. A note be added to the plan that the waiver from sections 153-14.E(2)(b)(Lighting) have been met and the Board found the criteria to be met.

Motion: D. White moved to approve the waiver with the staff recommended condition. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes



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STAFF RECOMMENDATION-Site Plan:

Chapter 153-4 of the Site Review Regulations of the City Code provides for site review by the Planning Board of new construction of various types. This plan is consistent with those regulations and staff recommends approval with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The CUP (P21-01) receive final approval.
2. The TDR request (P20-61) be approved.
3. The applicant shall provide the Planning Department:
 - a. A digital version of the plan
 - b. A CAD file to the satisfaction of the Asset Management Administrator.
 - c. Documentation that Postmaster is fine with mail kiosk
 - d. An agreement noting the location of the fence along the shared boundary with Red Barn Drive
 - e. Update Landscape OM plan to include the path to the wooden platform
 - f. Revise the lease to the satisfaction of the Assistant City Manager
4. The applicant shall revise the plat to:
 - a. Add the owners' signatures
 - b. Add the Licensed Land Surveyor, Professional Engineer, and Landscape Architect stamps and signatures
 - c. Address Engineering drainage and utility concerns
 - d. Update note 25 with permit numbers

Conditions to Be Met Prior to Any Construction Activity:

5. A site construction sign with the contact information for the general contractor must be located and approved by the City Engineer or Assistant City Manager.

Conditions to Be Met Prior to Issuance of a Building Permit:

6. Water and sewer investment fees shall be paid at the time of request of service.
7. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.

Conditions to Be Met Prior to Occupancy:

8. Issuance of a Certificate of Occupancy.
9. Impact fees for any new unit shall be paid per the invoice provided with the Notice of Decision.
10. The remainder of the property must be in a conservation easement or similar restriction with trail access provided

Motion: D. White moved to approve the site plan with the staff recommended conditions. Seconded by H. Harmon.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

4. NEW BUSINESS

- A. Consideration and acceptance of a Minor Subdivision for Westfield, LLC., Assessor's Map G, Lot 2, zoned CM – Commercial Manufacturing, and located at 64 Littleworth Road. (1 new lot). *(P21-07)



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C. Parker explained the applicant is seeking to subdivide lot G/2 into two lots. One would be accessed from Littleworth Road and contain 65.72 acres with 1,065.03' of frontage and the other lot would be accessed from Crosby Road and contain 20.80 acres with a frontage of 103' on Crosby Road. The lots are proposed to be serviced by municipal water and sewer. As a minor subdivision, this application did not appear before the TRC. The applicant is requesting the Board grant a waiver to Section 157-27 requiring wetland survey of the entire parent lot.

K. McEneaney, McEneaney Surveying reviewed the application and plat. No technical review is required. Both lots will be serviced by municipal sewer and water. They are asking for a waiver from having a wetlands survey done. No development is being proposed at this time. The applicant understands that if further development is sought, wetlands studies will be required.

K. Pimental asked how the frontage is calculated and C. Parker explained.

Motion: F. Torr moved to accept the application and noted that there is no regional impact by the request. Seconded by D. White.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

Public Hearing Opened

William Colbath, 129 Silver St, owner of 211 Crosby Rd is concerned with the lack of a wetlands study and commented that Crosby Rd should be upgraded- it is a paper road and is not up to standards for additional traffic.

No emails or calls were received to the office.

Public Hearing Closed

C. Parker noted there are two votes on the application, the first is the waiver, and the second is the subdivision plan. Chapter 157-51 states a waiver may be granted if the Board finds that:

- “(1) Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or
(2) Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.”

Staff believes criterion 1 has been met for this request.

STAFF RECOMMENDATION- Waiver:

The Planning Department recommends that the Planning Board accept the application for review, open the public hearing, and vote to grant the waiver with the following condition:

Conditions to Be Met Prior to Signing of Plans:

1. Add a note to the plat that the Board granted a waiver to Chapter 157-27 (wetlands survey) and that the Board found the criteria of Chapter 157-51.A have been met.
2. Add a note to the plat that any further subdivision or development will require applicable wetland survey.

Motion: D. White moved to grant the waiver with the conditions presented by staff. Seconded by D. Ciotti.



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Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

STAFF RECOMMENDATION- Minor Subdivision:

The plan is consistent with Chapter 157-15 of the City's Land Subdivision Regulations, which provides for subdivision of existing lots. The Planning Department recommends that the Planning Board vote to approve the application with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The applicant shall provide the Planning Department with a digital version of the final plat.
2. Provide a CAD file to the satisfaction of the Asset Management Administrator.
3. The applicant shall revise the plat to:
 - a. Add signature and stamp of LLS
 - b. Add owners' signatures for recording at Strafford County Registry of Deeds
 - c. Add Planning File # P21-07
 - d. Show utility locations

Motion: D. White moved to approve the subdivision with the staff recommended conditions of approval. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

- B. Consideration and acceptance of a Minor Lot Line Adjustment for Zeland Schwartz Revocable Trust, (Owners: Zeland Schwartz Revocable Trust & Zeland Schwartz), Assessor's Map H, Lots 13 & 14D, zoned R-20, and located at 26 & 26 ½ Bellamy Road. *(P21-08)

C. Parker explained the applicant has asked to be continued until March 23rd and not be heard tonight.

Motion: D. White moved to continue the application until March 23. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

The Chair noted that items C and D will be heard together.

- C. Consideration and acceptance of a Transfer of Development Request for Knox Marsh Development, LLC., Assessor's Map H, Lot 46, zoned R-40, located at 51 Bellamy Road. (Proposal is to purchase 2 additional units and to allow for a 10 ft. front setback as well as enhance existing 30 ft. buffer). *(P21-10)
- D. Consideration and acceptance of a Minor Subdivision for Knox Marsh Development, LLC., Assessor's Map H, Lot 46, zoned R-40, located at 51 Bellamy Road. (3 new lots). *(P21-09)

C. Parker explained the applicant is seeking to subdivide a lot into 4 using TDR. Per Chapter 170-27.2.G(3)(a), the applicant is requesting that the Board vote on the plan indicating the additional 3 lots can be created and one unit on each lot can be built. A condition of approval is to revise the ROW and drainage into lots but the approximate lot areas are proposed to be 0.38 acres, 0.23 acres, 0.20 acres, and 0.34 acres.



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The site is proposed to be serviced by municipal water and sewer. As a Minor Subdivision, this application did not appear before the TRC.

The applicant is requesting the Board grant a waiver to Section 157-33.J to allow a minimum road length of 298' whereas 500' is the minimum. The lots also seek relief in the 20' front setback requirement to 10' as part of the TDR allowance.

Christopher Berry, Berry Surveying and Engineering reviewed the application and plat. The proposal includes building a 20' wide private road with a hammerhead and providing frontage for the TDR units. Due to the slope, the storm water would flow to the front of the project and be captured by the proposed infiltration rain garden. The project is serviced by municipal water and sewer.

The project matches the housing density in the surrounding area. Individual parking spaces within the driveways are proposed.

F. Torr asked if the ownership documents will include information about the private road and limited city services. Yes, it's a requirement of the plan and the HOA documents. C. Berry confirmed there will be private trash pick-up on site.

The existing driveway will become the roadway and the existing house will be accessed from that roadway.

D. White commented there can't be any parking in the street/ fire lane, and he would like the electrical moved onto the project property and then run, rather than being in the City ROW.

Motion: D. White moved to accept the applications and noted that there is no regional impact by the request. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

Public Hearing Opened

No one spoke.

No emails or calls were received.

Public Hearing Closed

C. Parker noted there are three votes on the application, the first is the TDR, the second is the waiver, and the third is the subdivision plan.

STAFF RECOMMENDATION – TDR:

Chapter 170-27.2 of the Zoning Ordinance allows for developments to buy additional units through the process of Transfer of Development Rights. This plan meets the criteria outlines, and staff recommends that the Board find the request is consistent with the Master Plan and agrees to sell the units with the following conditions:

Condition to be Met Prior to Granting the TDR:

1. Payment of the TDR fee

Motion: D. White moved to approve the sale of the units through the TDR program. Seconded by D. Ciotti.



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Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

Chapter 157-51 states a waiver may be granted if the Board finds that:

“(1) Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or
(2) Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.”

Staff believes criterion 2 has been met for this request.

STAFF RECOMMENDATION- Waiver:

The Planning Department recommends that the Planning Board accept the application for review, open the public hearing, and vote to grant the waiver with the following condition:

Conditions to Be Met Prior to Signing of Plans:

1. Add a note to the plat that the Board granted a waiver to Chapter 157-33.J (minimum road length) and that the Board found the criteria of Chapter 157-51.A have been met.

Motion: D. White moved to grant the waiver with the condition presented by staff. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari-yes, D. White-yes, T. Clark-yes, F. Torr-yes

STAFF RECOMMENDATION- Minor Subdivision:

The plan is consistent with Chapter 157-15 of the City's Land Subdivision Regulations, which provides for subdivision of existing lots. The Planning Department recommends that the Planning Board vote to approve the application with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. TDR application (P21-10) be approved.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. Provide a CAD file to the satisfaction of the Asset Management Administrator.
4. The applicant shall provide homeowners association documents to be reviewed and approved by the Assistant City Manager in consultation with the City's General Legal Counsel.
Documentation shall include common space, roadway, solid waste disposal, perimeter screening, visitor parking, stormwater infrastructure maintenance/operation, private roadway and conversion process, calculation used to determine reserve amount in the treasury, prior to converting ownership and maintenance obligations, including stormwater, open space, and roadway maintenance, and deed/easement requirements per Section 170.27.2.
5. The applicant shall revise the plat to:
 - a. Add signature and stamp of LLS and PE
 - b. Add owners' signatures for recording at Strafford County Registry of Deeds
 - c. Add Planning File #'s P21-09 and P21-10
 - d. Add common note 12 (wetlands)
 - e. Change cover sheet name to "Sophie Drive"
 - f. Revise note 28 to indicate Construction Vehicles shall come from Route 108 or get approval from the Community Services Director.
 - g. Revise ROW lot and drainage lot



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- h. Revise C-10 to be 20'
- i. Indicate drainage easement
- j. Not put sewer service into manhole
- k. Add no parking/Fire lane signage along Sophie Drive
- l. Relocate the UGE to the private property and not along public right of way.

Conditions to be Met Prior to Building Permit:

6. The new dwellings shall be assessed and pay the current Water and Sewer Investment Fees in place at the time of application for service.
7. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.
8. A site construction sign with the contact information for the general contractor must be located and approved by the City Engineer or Assistant City Manager.

Conditions to Be Met Prior to Occupancy:

9. Issuance of the Certificate of Occupancy.
10. Any applicable easements shall be recorded.
11. Documentation that the HOA has been created and is in place.
12. Impact fees per unit shall be paid per the invoice attached to the Notice of Decision.
13. Prior to the last Certificate of Occupancy being issued, the Engineer of Record shall meet with the Association and review the as-builts for the project.

Motion: D. White moved to approve the subdivision with the staff recommended conditions of approval. Seconded by D. Landry.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari -yes, D. White-yes, T. Clark-yes, F. Torr-yes

5. STAFF COMMENTS

- C. Parker updated the Board on the hiring of a new Assistant City Planner.

6. MEMBER COMMENTS

- K. Pimental noted the presentations C. Parker made at the 3/3/21 Council meeting. He encouraged the board members and public to watch them if they haven't. Good information and good conversation was had.
- T. Clark asked for more clarification why regional impact needs to be addressed on every item. C. Parker explained.

7. ADJOURNMENT

Motion: D. White made a motion to adjourn at 8:27 p.m. Seconded by D. Ciotti.

Roll Call Vote: K. Pimental-yes, D. Ciotti-yes, G. Cruikshank-yes, H. Harmon-yes, D. Landry- yes, J. Kaspari - yes, D. White-yes, T. Clark-yes, F. Torr-yes



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P21-08

Application Type: Lot Line Adjustment
Applicant(s): Zeland Schwartz Revocable Trust
Owner(s): Zeland Schwartz Revocable Trust & Zeland Schwartz
Location: 26 & 26 ½ Bellamy Road (Tax Map H, Lot 13 & 14D)
Meeting Date: March 23, 2021

INTENT: To adjust the lot lines between two lots. Lot H/14D would increase from 85,200 s.f. to 161,700 s.f. and lot H/13 would decrease from 96,678 s.f. to 20,177 s.f.

LOTS/UNITS PROPOSED: N/A

AGENDA ITEM #: 4-B

ACREAGE: Existing: Proposed:
Lot H/14D: 1.96 +/- 3.71 +/-
Lot 13: 2.22 +/- 0.46 +/-

ZONING DISTRICT: R-20

EXISTING LAND USE: Residential

PROPOSED LAND USE: N/A

SURROUNDING LAND USE:
Residential, Bellamy River, School

ZBA ACTION: R-20

ATTACHMENTS: Application materials including lot line adjustment plan

APPLICATION IS COMPLETE:
Yes

NOTICES SENT: Abutter notices were sent by certified mail to all abutters for the previous meeting

PERMITS REQUIRED:
N/A

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant is requesting to complete a lot line adjustment between two lots. Parcel A, which is 76,501 s.f., will be moved from lot H/13 to lot H/14D. Both lots would have conforming frontage and lot size. This area of the Bellamy is not tidal so these lots are not in the Riverfront Residential Overlay District.

As a Lot Line Adjustment, this application did not appear before the TRC.

Consistency with Land Use Regulations

Chapter 157-18 of the Land Subdivision Regulations of the City Code provides for the adjustment of existing lot lines between two or more lots. This plan is consistent with those regulations.

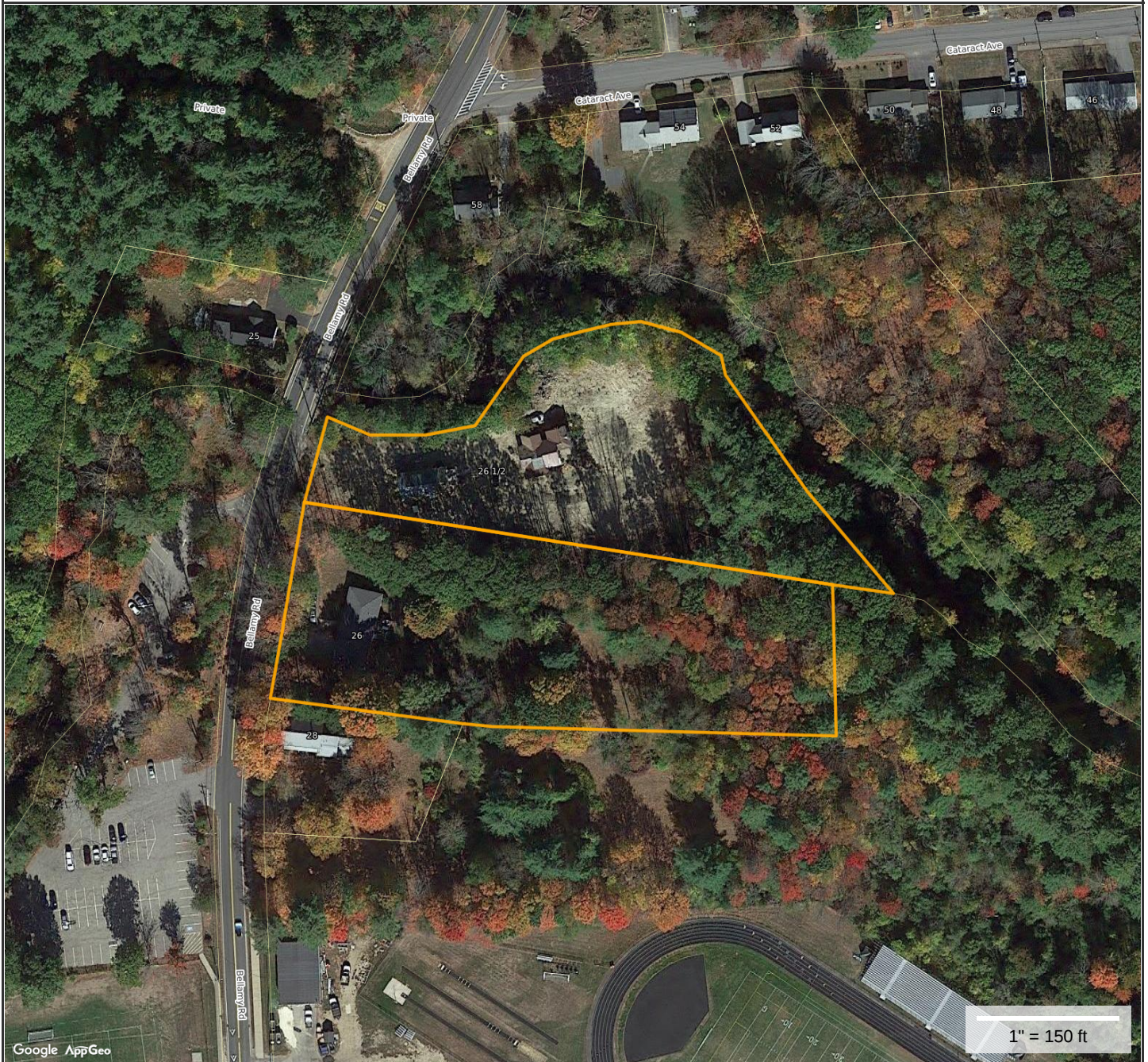
STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application for review, open the public hearing, and approve the application with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

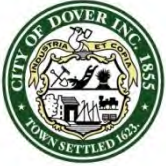
1. The applicant shall provide:
 - a. the Planning Department with a digital version of the final plat.
 - b. a CAD file to the satisfaction of the Asset Management Administrator.
2. The applicant shall revise the plat to:
 - a. Add signature and stamp of LLS
 - b. Add owner's signatures for recording at Strafford County Registry of Deeds.
 - c. Add Planning File # P21-08
3. Asphalt driveway on 26 Bellamy is cut back to within 5' of the boundary line.

26 & 26 1/2 Bellamy Road

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Dover, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 5/20/2020
Data updated Daily



City of Dover, New Hampshire
MINOR LOT LINE ADJUSTMENT APPLICATION

[Revision Date: June 4, 2019]

Office Use Only

Project #: _____

Date Received: _____

Amount Paid: _____

Time Received: _____

APPLICANT INFORMATION

Name of Applicant: Zeland Schwartz Revocable Trust Telephone # 207-752-2996

Address of Applicant: 14 Huckins Road Madbury, NH 03823

FIRST PROPERTY OWNER AND PARCEL INFORMATION

Name of 1st Property Owner (*if different from applicant*): SAME Telephone # _____

Address of 1st Property Owner: SAME

Address of Property: 26 1/2 Bellamy Road

Assessor's Map # H Lot(s) # 14D

Property Deed: Book 4742 Page: 911

Zoning District(s) R-20 Overlay District(s) Conservation District

Size of Existing Parcel (sq. ft.): 85,200 Size of Proposed Parcel (sq. ft.): 161,700

SECOND PROPERTY OWNER AND PARCEL INFORMATION

Name of 2nd Property Owner (*if different from applicant*): Zeland Schwartz Telephone # 207-752-2996

Address of 2nd Property Owner: 14 Huckins Road Madbury, NH 03823

Address of Property: 26 Bellamy Road

Assessor's Map # H Lot(s) # 13

Property Deed: Book 4865 Page: 421

Zoning District(s) R-20 Overlay District(s) NONE

Size of Existing Parcel (sq. ft.): 96,678 Size of Proposed Parcel (sq. ft.): 20,177

THIRD PROPERTY OWNER AND PARCEL INFORMATION N/A

Name of 3rd Property Owner (*if different from applicant*): _____ Telephone # _____

Address of 3rd Property Owner: _____

Address of Property: _____

Assessor's Map # _____ Lot(s) # _____

Property Deed: Book _____ Page: _____

Zoning District(s) _____ Overlay District(s) _____

Size of Existing Parcel (sq. ft.): _____ Size of Proposed Parcel (sq. ft.): _____

[Use additional application form if more than two lots are being adjusted]**SURVEYOR INFORMATION**Name of Surveyor and Company (Licensed in N.H.) Kevin M. McEneaney, LLS
McEneaney Survey AssociatesAddress 24 Chestnut Street Dover, NH 03820 Telephone #: 603-742-0911Professional License #: Kevin M. McEneaney
NH LLS #661 E-mail address: kevin@surveynh.com**CONSERVATION EASEMENT HOLDER (s) N/A**

Name of Easement Holder: _____ Telephone # _____

Address Easement Holder: _____

Name of 2nd Easement Holder: _____ Telephone # _____Address 2nd Easement Holder: _____**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

x Signature of First Property Owner: Yes Date: 2/11/21x Signature of Second Property Owner: Yes Date: 2/11/21

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

x Signature of Property Owner: Yes Date: 2/11/21



City of Dover, New Hampshire LOT LINE ADJUSTMENT SUBMISSION CHECKLIST

[Revision Date: June 4, 2019]

This review checklist is intended to assist the applicant in the planning process of preparing a Subdivision application for Planning Board action. The size of the project will determine the types of information required for review, therefore, a **pre-application conference** with the Planning Department to determine the list of items that must be completed is strongly encouraged.

Plan Review Fees are due along with three (3) full size and twelve (12) half size (11x17), folded, copies of the plan set and materials, 3 weeks prior to the Planning Board meeting. Abutter/Notice Fees will be invoiced and are due 28 hours prior to Planning Board.

The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision requirements. Please refer to the Subdivision Regulations for full details.

APPLICANT: Zeland Schwartz Revocable Trust File Number: P21-

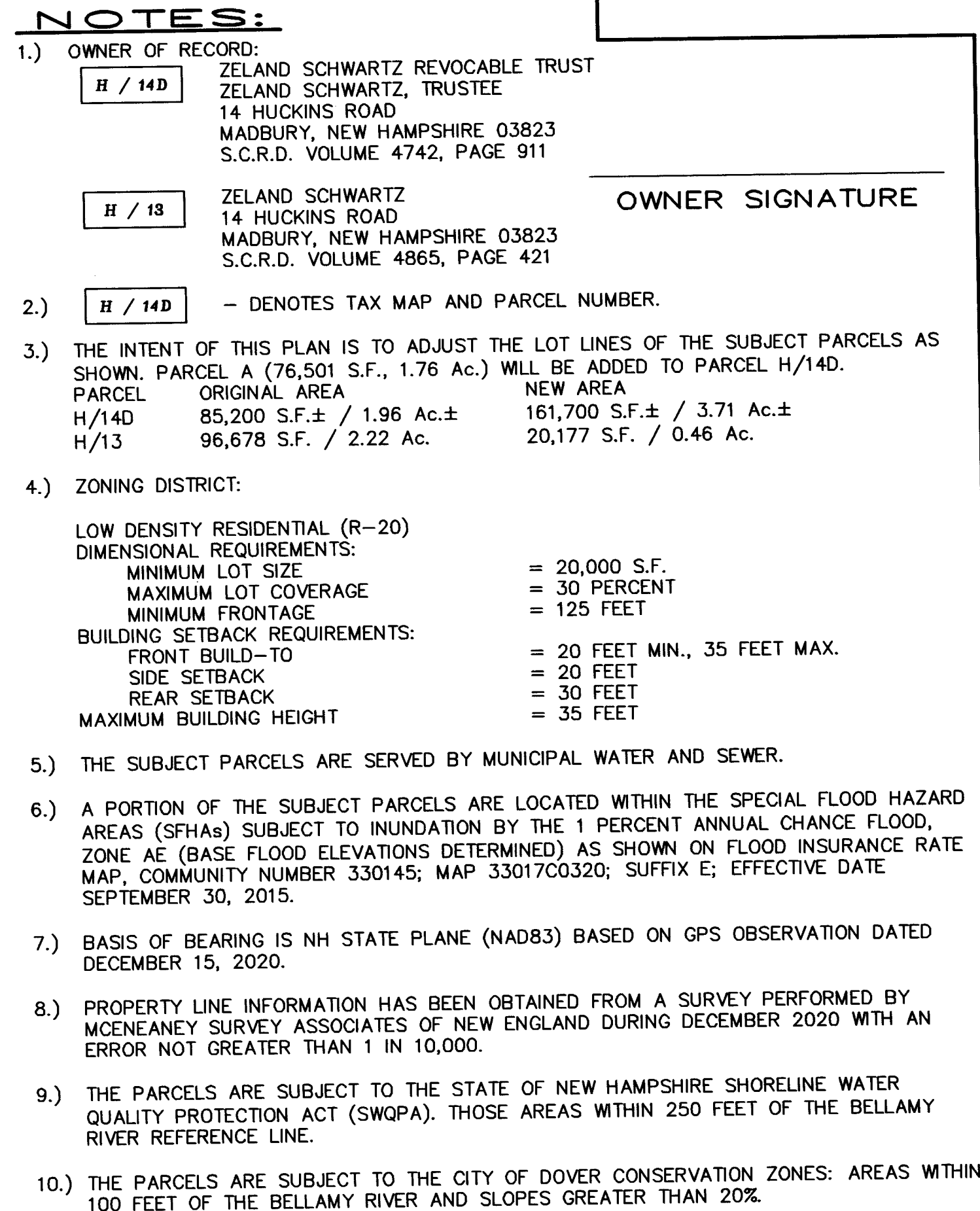
PROPERTY LOCATION: 26 1/2 & 26 Bellamy Road Tax Map: H Lot: 14D and Lot: 13

	Where/How Provided	Reviewed
1. Completed and signed Application form	X	
2. Plan Review Fees are provided	X	
3. Electronic copy of the surveyed plat layout	X	
4. Electronic copy of supplementary materials and application	X	
5. Fifteen copies of LLA plan w/scale of not less than 1"=50' or 1"=100' for larger adjustments. Plans shall contain the following items as appropriate:		
Location map at appropriate scale	X	
Planning File #	X	
Date, north arrow and scale	X	
Names of all abutting property owners	X	
Name and address of owners	X	
Signature & stamp of NH licensed land surveyor	X	
Zoning District boundaries, including any special or overlay districts	N/A	
Location of Conservation District areas	X	
Location, names and widths of existing and streets, including pavement widths, grades, curbs and crosswalks	X	
Location and widths of existing & proposed easements & right of ways	N/A	
Existing and proposed property lines with dimensions and bearings tied into Dover's Geographic Information System coordinate system	X	
Existing and proposed lot areas in square feet	X	
Existing and proposed buildings and structure locations	X	
Minimum building setbacks or build to lines on all lots	X	
Map and lot numbers for existing and proposed lots as assigned by Tax Assessor	X	
Location, material and size of existing and proposed permanent monuments	X	
All applicable Dover Common Subdivision <u>Lot Line Adjustment</u> notes	X	

REVIEWED BY: _____ DATE _____

P21-08 26 & 26 1/2 Bellamy Road

Property ID	Location	Owner 1	Owner 2	Owner Address 1	City	State	Zip
H0012-000000	25 ALUMNI DR	CITY OF DOVER		288 CENTRAL AVE	DOVER	NH	03820
H0013-A00000	28 BELLAMY RD	THUNSTROM STEPHEN LEE		28 BELLAMY RD	DOVER	NH	03820
H0014-000000	54 CATARACT AV	MCCRUM J & THURBER D & PROULX ET AL TC &	PROULX MADELINE LIFE ESTATE	54 CATARACT AVENUE	DOVER	NH	03820
H0014-A00000	58 CATARACT AV	TREFETHEN SEAMES		58 CATARACT AVE	DOVER	NH	03820
H0014-B00000	52 CATARACT AV	GAGNON MARK A		52 CATARACT AV	DOVER	NH	03820
H0016-000000	25 BELLAMY RD	HOLGATE LIMITED PARTNERSHIP LLC		130 CENTRAL AVE	DOVER	NH	03820
H0017-000000	BELLAMY RD	CITY OF DOVER		288 CENTRAL AVE	DOVER	NH	03820
H0013-000000	26 BELLAMY RD	SCHWARTZ ZELAND		14 HUCKINS ROAD	MADBURY	NH	03823
H0014-D00000	26 1/2 BELLAMY RD	SCHWARTZ ZELAND TRUSTEE	SCHWARTX ZELAND REVOCABLE TRUST	14 HUCKINS ROAD	MADBURY	NH	03823
		MCENEANEY SURVEY ASSOCIATES	KEVIN M MCENEANEY, LLS	24 CHESTNUT STREET	DOVER	NH	03820

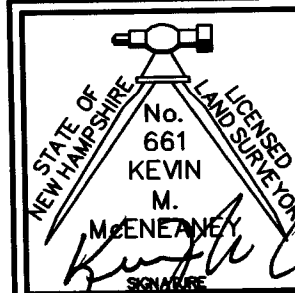


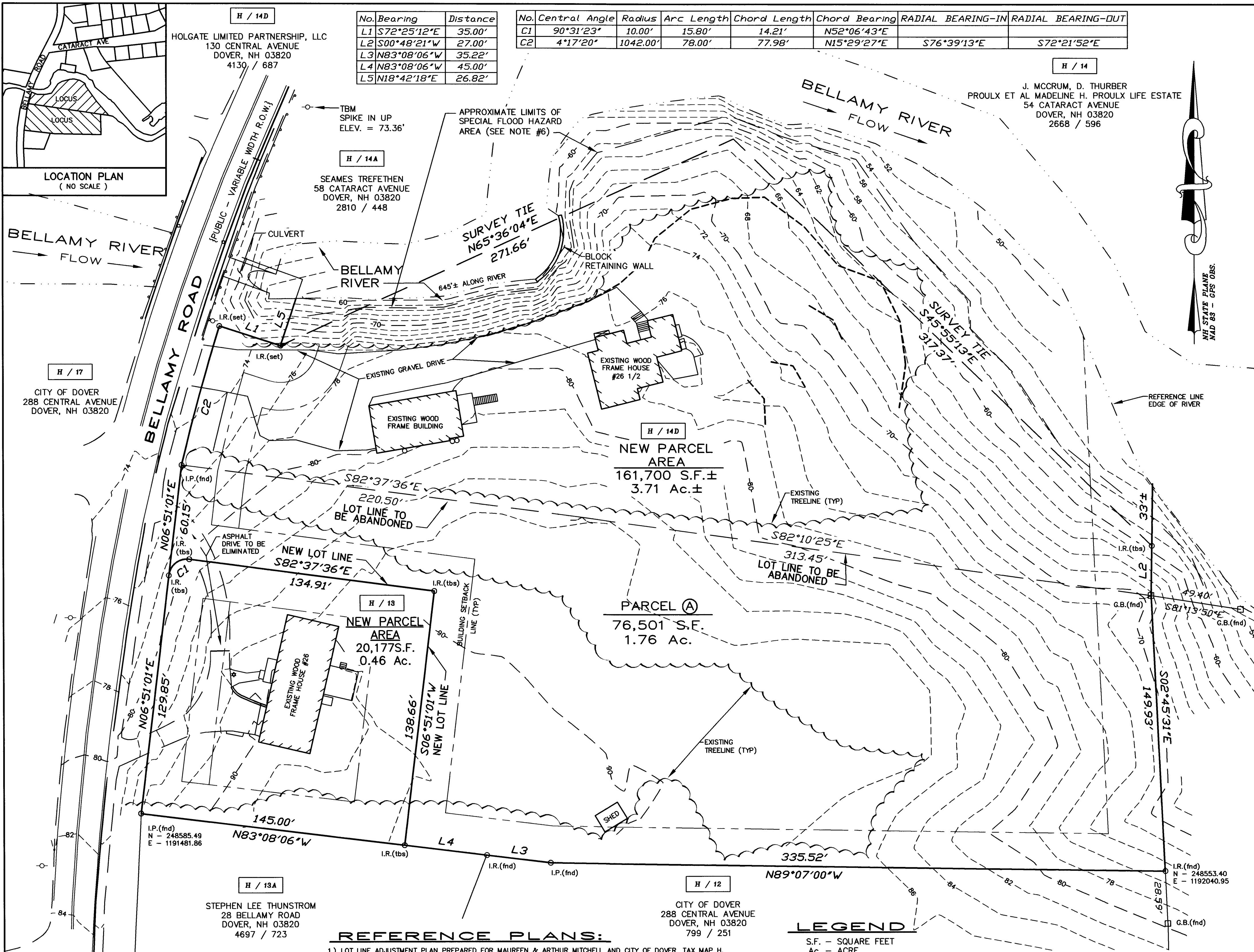
NO.	DATE	DESCRIPTION	BY	CHK	
REVISIONS					
20-2301		LLADJ	20-12	61-70	
PROJECT NO		TYPE	FIELDBOOK & PAGES		

- 1.) LOT LINE ADJUSTMENT PLAN PREPARED FOR MAUREEN & ARTHUR MITCHELL AND CITY OF DOVER, TAX MAP H, LOT No.s 12 & 13A, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE; SCALE: 1" = 30'; DATED: JULY 2007; BY: McENEANEY SURVEY ASSOCIATES, INC.; RECORDED S.C.R.D. PLAN 91-61.
- 2.) PLAN OF LAND, DOVER NEW HAMPSHIRE, AREA FOR PROPOSED LOCATION OF NEW HIGH SCHOOL AS PREPARED FOR THE DOVER SCHOOL DEPT.; SCALE: 1" = 50'; DATED: MAY 1965, REVISED THROUGH JUNE 1965; BY JOHN W. DURGIN, CIVIL ENGINEER; NOT RECORDED.
- 3.) PLAN OF LOTS FOR LEON & RUTH CHAPMAN, DOVER, NEW HAMPSHIRE; SCALE: 1" = 100'; DATED: JULY 1972; BY ROBERT W. McCORNE, R.L.S.; RECORDED S.C.R.D. PLAN 32, POCKET 1, FOLDER 1.
- 4.) PROPOSED HIGHWAY LAYOUT BELLAMY ROAD/BELLAMY RIVER; SCALE: 1" = 40'; DATED: 1-13-67; BY: PUBLIC WORKS DEPT., DOVER, N.H.; RECORDED S.C.R.D. PLAN 3, POCKET 12, FOLDER 1.
- 5.) PROPERTY SURVEY & SITE PLAN LOCATED AT: 26 BELLAMY ROAD, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE, FOR MARCO B. CARTIER, JR.; SCALE: 1" = 20'; DATED: JUNE 9, 2015; BY: STONEWALL SURVEYING; NOT RECORDED.
- 6.) PLAN OF PROPERTY LOCATED AT DOVER NEW HAMPSHIRE TO BE CONVEYED TO TEXTILE REALTY CO. BY AMERICAN INVESTMENT GROUP, INC.; RECORDED S.C.R.D. PLAN 2, POCKET 7, FOLDER 2.

S.F. - SQUARE FEET
Ac. - ACRE
(TYP.) - TYPICAL
± - MORE OR LESS
Ø - DIAMETER
S.C.R.D. - STRAFFORD COUNTY
REGISTRY OF DEEDS
⊖ - UTILITY POLE
I.R.(SET) - IRON ROD W/ I.D. CAP (SET)
I.P.(fnd) - IRON PIPE FOUND
I.R.(fnd) - IRON ROD FOUND
G.B.(fnd) - GRANITE BOUND FOUND
I.R.(tbs) - IRON ROD WITH ID CAP 661
TO BE SET

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

LOT LINE ADJUSTMENT PLAN PREPARED FOR ZELAND SCHWARTZ REVOCABLE TRUST AND ZELAND SCHWARTZ TAX MAP H, LOT Nos. 13 & 14D 26 & 26 1/2 BELLAMY ROAD CITY of DOVER COUNTY of STRAFFORD STATE of NEW HAMPSHIRE	
DRAWN BY: <u>KJF</u>	FILE: <u>MSA\2301\20-2301 LLADJ</u>
SCALE: <u>1" = 30'</u>	DATE: <u>MARCH 4, 2021</u>
	
	 McNeaney Survey Associates of NEW ENGLAND P.O. Box 681 — 24 CHESTNUT STREET DOVER, NH 03820 (603) 742-0911
SURVEYING — PLANNING — CONSULTING	



NOTES:

- 1.) OWNER OF RECORD:
- H / 14D ZELAND SCHWARTZ REVOCABLE TRUST
ZELAND SCHWARTZ, TRUSTEE
14 HUCKINS ROAD
MADBURY, NEW HAMPSHIRE 03823
S.C.R.D. VOLUME 4742, PAGE 911
- H / 13 ZELAND SCHWARTZ
14 HUCKINS ROAD
MADBURY, NEW HAMPSHIRE 03823
S.C.R.D. VOLUME 4865, PAGE 421
- OWNER SIGNATURE
- 2.) H / 14D - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) THE INTENT OF THIS PLAN IS TO ADJUST THE LOT LINES OF THE SUBJECT PARCELS AS SHOWN. PARCEL A (76,501 S.F., 1.76 Ac.) WILL BE ADDED TO PARCEL H/14D.
- PARCEL ORIGINAL AREA NEW AREA
H/14D 85,200 S.F.± / 1.96 Ac.± 161,700 S.F.± / 3.71 Ac.±
H/13 96,678 S.F. / 2.22 Ac. 20,177 S.F. / 0.46 Ac.
- 4.) ZONING DISTRICT:
- LOW DENSITY RESIDENTIAL (R-20)
- DIMENSIONAL REQUIREMENTS:
- MINIMUM LOT SIZE = 20,000 S.F.
MAXIMUM LOT COVERAGE = 30 PERCENT
MINIMUM FRONTAGE = 125 FEET
- BUILDING SETBACK REQUIREMENTS:
- FRONT BUILD-TO = 20 FEET MIN., 35 FEET MAX.
SIDE SETBACK = 20 FEET
REAR SETBACK = 30 FEET
MAXIMUM BUILDING HEIGHT = 35 FEET
- 5.) THE SUBJECT PARCELS ARE SERVED BY MUNICIPAL WATER AND SEWER.
- 6.) A PORTION OF THE SUBJECT PARCELS ARE LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD, ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 330145; MAP 33017C0320; SUFFIX E; EFFECTIVE DATE SEPTEMBER 30, 2015.
- 7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED DECEMBER 15, 2020. VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATION DATED DECEMBER 15, 2020. CONTOUR INTERVAL IS TWO FEET.
- 8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND DURING DECEMBER 2020 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.
- 9.) THE PARCELS ARE SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELINE WATER QUALITY PROTECTION ACT (SWQPA). THOSE AREAS WITHIN 250 FEET OF THE BELLAMY RIVER REFERENCE LINE.
- 10.) THE PARCELS ARE SUBJECT TO THE CITY OF DOVER CONSERVATION ZONES: AREAS WITHIN 100 FEET OF THE BELLAMY RIVER AND SLOPES GREATER THAN 20%.

TOPOGRAPHICAL LOT LINE ADJUSTMENT PLAN

PREPARED FOR

ZELAND SCHWARTZ REVOCABLE TRUST

AND

ZELAND SCHWARTZ

TAX MAP H, LOT Nos. 13 & 14D

26 & 26 1/2 BELLAMY ROAD

CITY of DOVER

COUNTY of STRAFFORD

STATE of NEW HAMPSHIRE

DRAWN BY: KJF

FILE: MSA\2301\20-2301 LLADJ

SCALE: 1" = 30'

DATE: MARCH 4, 2021

30 15 0 15 30 60 90 120

NO. DATE DESCRIPTION BY CHK

20-2301 LLADJ TOPO 20-12 61-70

PROJECT NO TYPE FIELDBOOK & PAGES

LEGEND

S.F. - SQUARE FEET

Ac. - ACRE

(TYP.) - TYPICAL

± - MORE OR LESS

Ø - DIAMETER

S.C.R.D. - STRAFFORD COUNTY

REGISTRY OF DEEDS

UTILITY POLE

I.R.(SET) - IRON ROD W/ I.D. CAP (SET)

I.P.(fnd) - IRON PIPE FOUND

I.R.(fnd) - IRON ROD FOUND

G.B.(fnd) - GRANITE BOUND FOUND

I.R.(tbs) - IRON ROD WITH ID CAP 661 TO BE SET

CONTOUR LINE (2 FOOT INTERVAL)

HATCHED AREAS REPRESENT SLOPES GREATER THAN 20%

1. LOT LINE ADJUSTMENT PLAN PREPARED FOR MAUREEN & ARTHUR MITCHELL AND CITY OF DOVER, TAX MAP H, LOT Nos. 12 & 13A, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE; SCALE: 1" = 30'; DATED: JULY 2007; BY: MCENEANEY SURVEY ASSOCIATES, INC.; RECORDED S.C.R.D. PLAN 91-61.

2. PLAN OF LAND, DOVER NEW HAMPSHIRE, AREA FOR PROPOSED LOCATION OF NEW HIGH SCHOOL AS PREPARED FOR THE DOVER SCHOOL DEPT.; SCALE: 1" = 50'; DATED: MAY 1965, REVISED THROUGH JUNE 1965; BY JOHN W. DURGIN, CIVIL ENGINEER; NOT RECORDED.

3. PLAN OF LOTS FOR LEON & RUTH CHAPMAN, DOVER, NEW HAMPSHIRE; SCALE: 1" = 100'; DATED: JULY 1972; BY ROBERT W. McCRONE, R.L.S.; RECORDED S.C.R.D. PLAN 32, POCKET 1, FOLDER 1.

4. PROPOSED HIGHWAY LAYOUT BELLAMY ROAD/BELLAMY RIVER; SCALE: 1" = 40'; DATED: 1-13-67; BY: PUBLIC WORKS DEPT., DOVER, N.H.; RECORDED S.C.R.D. PLAN 3, POCKET 12, FOLDER 1.

5. PROPERTY SURVEY & SITE PLAN LOCATED AT: 26 BELLAMY ROAD, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE, FOR MARC B. CARTIER, JR.; SCALE: 1" = 20'; DATED: JUNE 9, 2015; BY: STONEWALL SURVEYING; NOT RECORDED.

6. PLAN OF PROPERTY LOCATED AT DOVER NEW HAMPSHIRE TO BE CONVEYED TO TEXTILE REALTY CO. BY AMERICAN WOOLEN CO.; SCALE: 1" = 100'; DATED: APRIL 1932; RECORDED S.C.R.D. PLAN 2, POCKET 7, FOLDER 2.



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P21-12

Application Type: Conditional Use
Applicant(s): Michael Runey
Owner(s): Portsmouth Christian Academy
Location: 20 Seaborne (Tax Map J, Lot 1-C)
Meeting Date: March 23, 2021

INTENT: Proposal is obtain a Conditional Use Permit to remove and replace an existing drainage outfall within a 50 foot wetlands buffer, with an impact of 320 square feet to the wetlands buffer

LOTS/UNITS PROPOSED: N/A

AGENDA ITEM #: 4-B

ACREAGE: 46.90 acres

ZONING DISTRICT: R-40

EXISTING LAND USE: Portsmouth Christian Academy

PROPOSED LAND USE: Same as existing

SURROUNDING LAND USE: Residential, Fish & Game land, Assisted Living, and Bellamy River

ZBA ACTION: Z84-51 Variance approved

ATTACHMENTS: Application materials, Conservation Commission Minutes, and Site Plan

APPLICATION IS COMPLETE: Yes

NOTICES SENT: Abutter notices were sent by certified mail to all abutters for this meeting

PERMITS REQUIRED:
CUP
NHDES Shoreland Permit

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant is requesting a conditional use permit to replace an existing drainage outfall within the 50' wetlands buffer. The buffer impact would be 320 s.f.

The Conservation Commission reviewed and endorsed the CUP application at its March 8th meeting. (minutes attached)

Consistency with Land Use Regulations

The Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and wetland buffers if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards.

STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board accept the application, open the public hearing, and vote to approve the Conditional Use Permit with the following condition prior to issuance of the Conditional Use Permit:

1. Provide a copy of the NHDES Shoreland Permit to the Planning Department.

20 Seaborne Drive

**Property Information**

Property ID J0001-C00000
Location 20 SEABORNE DR
Owner PORTSMOUTH CHRISTIAN ACADEMY
Land Use 904

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Dover, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 5/20/2020
Data updated Daily



City of Dover, New Hampshire CONDITIONAL USE PERMIT APPLICATION

[Revision Date: October 19, 2020]

Office Use Only	Project #:	_____	Date Received:	_____
	Amount Paid:	_____	Time Received:	_____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Michael Runey Telephone # 603-742-3617

Address of Applicant: 20 Seaborne Drive

E-Mail Address: mruneypcaschool.org

Name of Property Owner (if different from applicant): Academy Telephone # 603-742-3617
Portsmouth Christian

Address of Property Owner: 20 Seaborne Drive

PROPERTY INFORMATION

Assessor's Map # J Lot(s) # J-1-C-0

Address of Property: 20 Seaborne Drive

Zoning District(s) R-40 Overlay District(s) District & Riverfront Residential Overlay
Conservation District, Wetland Protection

Existing Use of Property: Educational Institution

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

- | | | |
|---|---|--|
| ☐ Conservation District | ☐ RCM Use Overlay District | ☐ Gateway District |
| ☐ Groundwater Protection | ☐ Off-Street Parking and Loading | ☐ Alternative Treatment Center |
| ☒ Wetland Protection District | ☐ Central Business District | ☐ Heritage Residential District |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

Removal and replacement or existing drainage outfall within a wetland buffer.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: _____

NHDES Shoreland Permit. Application submitted to NHDES.

Name of Professional That Prepared Plans: Wade Lippert, PE

Address 231 Main St, Biddeford, ME 04005 Telephone #: 207-283-0193

Professional License #: 16331 (NH PE) E-mail address: wlippert@oakpoint.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: _____ Date: _____

Signature of Applicant (if different from owner): _____ Date: 2-17-21

Signature of Agent: Wade Lippert Date: 2/17/21

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: 2-17-21

**CITY OF DOVER CONDITIONAL USE
LIST OF ABUTTERS**

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	<u>MAILING ADDRESS</u>
J	J-1-C-0	Portsmouth Christian Academy	20 Seaborne Drive, Dover, NH 03801

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	<u>MAILING ADDRESS</u>
Michael Runey	Portsmouth Christian Academy	20 Seaborne Drive, Dover, NH 03801

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	<u>MAILING ADDRESS</u>
Wade Lippert	Oak Point Associates	231 Main St, Biddeford, ME 04005

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	<u>MAILING ADDRESS</u>



OAK POINT
ASSOCIATES

architecture
engineering
planning

Portsmouth Christian Academy
Wetland Protection District
Conditional Use Review

The proposed drainage improvements within the City of Dover wetland protection buffer were designed to avoid and minimize impacts as follows:

Demonstration of Need:

Portions of the existing roof drainage system at the Portsmouth Christian Academy Lower School building have failed resulting in water infiltration into the existing building during storm events. Past events have resulted in damage to the building. Repair of the drainage system is essential to preserve the integrity of the existing building.

Avoidance:

The proposed drainage system has been configured to avoid impact the wetland buffers to the greatest extent feasible.

On the east side of the building, adjacent to the Bellamy River, the existing roof drains discharge directly to the wetland buffer on a steep slope with no pipe outlet erosion protection. The proposed pipe outlet on the east side of the building will be relocated outside of the wetland buffer.

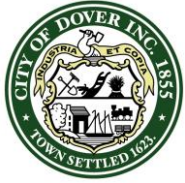
On the west side of the building the existing pipe outlet is within the wetland. The new drainage system will connect to an existing catch basin within the parking lot to avoid replacement of the drain line within the wetland buffer.

The existing drainage outlet at the southwest corner of the building cannot be located outside the wetland buffer due to required minimum pipe slopes and resulting elevation of the pipe outlet. The new pipe outlet will be located in the same location as the existing outlet to avoid additional impact as much as practicable.

Minimization:

Impact on the wetland and wetland buffer will be minimized. The area disturbed for the drainage construction will be restored to existing grade. The disturbed turf slope area between the pipe outlet and the edge of the existing pavement will be stabilized with an erosion control blanket to reduce sediment until permanent vegetation is reestablished. Stone rip rap protection will be constructed at the pipe outlet to prevent erosion of the slope. The existing pipe outlets do not have any erosion protection. No construction will occur within the wetland.

Erosion and sediment control measures will be implemented to minimize detrimental impacts to the wetlands. Refer to drawings CS101 and C-501 for erosion and sediment controls to be constructed.



CITY OF DOVER

DOVER CONSERVATION COMMISSION – MINUTES

Meeting Type: Regular Meeting
Meeting Location: Second Floor Conference Room – 288 Central Ave., Dover, NH
Meeting Date: Monday, March 8, 2021
Meeting Time: 5:30 pm

MEMBERS PRESENT: Bill Hunt (Chair)

MEMBERS REMOTE: Steve Fellows (Vice Chair), Amy Kramer-Perry, Richard Erickson, Jason Aube, Abigail Lyon, Kristen Murphy (Alternate), Bruce Batchelder (Alternate)

Absent (Excused): Robert Atwood (Secretary)

Absent (Un-excused):

STAFF PRESENT: Steve Bird

OTHERS PRESENT: Wade Lippert (remotely), others

1. CALL TO ORDER AND ROLL CALL

The meeting was convened at 5:31 PM.

Bill Hunt opened the meeting and read the following statement:

I find an ‘emergency’ exists within the meaning of RSA 91-A:2, III(b). Immediate action is imperative and the physical presence of a quorum is not reasonably practical within the period of time requiring action. The facts on which my finding of an ‘emergency’ is based are the ongoing COVID-19 pandemic, the need to accommodate social distancing and minimization of in-person contacts, and this body’s ongoing, immediate need to address the important matters on the agenda for this meeting.

Hunt conducted a roll call to determine which members were present and he asked each member to state that the reason they could not attend was the COVID-19 pandemic and to indicate if they were alone at their location.

Fellows: I am not attending due to COVID-19 and am alone in my location.

Kramer-Perry: I am not attending due to COVID-19 and am alone in my location.

Erickson: I am not attending due to COVID-19 and am alone in my location.

Aube: I am not attending due to COVID-19 and am alone in my location.

Lyon: I am not attending due to COVID-19 and am alone in my location.

Murphy: I am not attending due to COVID-19 and am alone in my location.

Batchelder: I am not attending due to COVID-19 and am alone in my location.

2. CITIZEN’S FORUM: NONE

3. APPROVAL OF THE PRIOR MEETING MINUTES – February 8, 2021

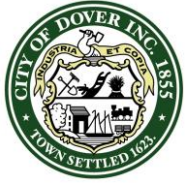
Erickson moved to approve the February 8, 2021 minutes, Lyon seconded. Roll Call Vote: Hunt Yes, Fellows Yes, Kramer-Perry abstain, Erickson Yes, Aube Yes, Lyon Yes, Batchelder Yes, Murphy Yes. Motion passes 7-0

4. OLD BUSINESS: NONE

5. NEW BUSINESS:

- A. City of Dover Conditional Use Permit for Michael Runey of Portsmouth Christian Academy, (Agent: Wade Lippert, Oak Point Associates), Assessor’s Map J, Lot 1-C, zoned R-40, located at 20 Seaborn Drive.

Wade Lippert presented the proposal to remove and replace an existing drainage outfall within a 50-foot wetlands buffer, with an impact of 320 square feet to the wetlands buffer. The lower building has a flat roof and roof drains that are not working well, causing roof leaks. The building is near the



CITY OF DOVER

DOVER CONSERVATION COMMISSION – MINUTES

Meeting Type: Regular Meeting
Meeting Location: Second Floor Conference Room – 288 Central Ave., Dover, NH
Meeting Date: Monday, March 8, 2021
Meeting Time: 5:30 pm

Bellamy River. The impacts are to a freshwater wetlands buffer. The roof drain in the southwest corner is the outlet in question. We are removing an existing roof drain on the west side of the building. The plan calls for sediment and erosion control measures. The existing outfall has no rip rap at outlet but that will be added in the buffer.

Hunt: Since we have 8 members present, Murphy will vote on this application. Batchelder can ask questions but not vote.

Bird: Are any roof drains being discontinued?

Lippert: Two roof drains will be rerouted to an existing drain to the north.

Hunt: Lippert did send out a narrative reviewing the CUP criteria that was helpful.

Murphy moved to endorse the application as presented, Kramer-Perry seconded. Roll Call Vote: Hunt Yes, Fellows Yes, Kramer-Perry Yes, Erickson Yes, Aube Yes, Lyon Yes, Murphy Yes. Motion passes 7-0

6. REPORT FROM THE CHAIR

A. Review of Correspondence Received From NH Department of Environmental Services: None

7. OTHER BUSINESS:

A. Update on Committee to Work on Amendments to Wetland Protection District Ordinance

Hunt stated that the committee is comprised of Planning Board member Dave Landry along with Hunt, Lyon, Aube and Batchelder. This sub-committee has met twice remotely on February 16th and March 2nd and Lyon is the Chair.

Lyon: The committee wants to update references to wetland rules but we have looked at more comprehensive changes including definitions and purpose and intent. We are looking at the potential of applying for a PREP grant to hire a consultant to assist in reviewing the ordinance. We have contacted Kyle at SRPC to see if they want to be involved.

Bird: I checked and the Planning Department does have some limited funding that can be used for local match in addition to in-kind volunteer hours.

B. ADJOURNMENT

Lyon moved to adjourn at 6:00 PM, Erickson seconded. Roll Call Vote: Hunt Yes, Fellows Yes, Kramer-Perry Yes, Erickson Yes, Aube Yes, Lyon Yes, Murphy Yes. Motion passes 7-0

P21-12

20 Seaborne Drive

Property ID	Location	Owner 1	Owner 2	Owner Address 1	City	State	Zip
J0001-000000	120 GARRISON RD	GASSES PAUL & ALICE CO-TRUSTEES	GASSES FARM REVOCABLE TRUST OF 2009	116 GARRISON RD	DOVER	NH	03820
J0001-B00000	122 GARRISON RD	GASSES PAUL & ALICE CO-TRUSTEES	GASSES FARM REVOCABLE TRUST OF 2009	116 GARRISON RD	DOVER	NH	03820
J0002-000000	146 GARRISON RD	STATE OF NH FISH & GAME		11 HAZEN DR	CONCORD	NH	03301
J0002-001000	150 GARRISON RD	SGI REALTY LLC		150 GARRISON RD	DOVER	NH	03820
J0002-003000	142 GARRISON RD	MONE STEPHEN C &	MONE JENNIFER D	142 GARRISON RD	DOVER	NH	03820-4589
J0002-004000	136 GARRISON RD	AVERILL DEBORAH L		136 GARRISON RD	DOVER	NH	03820
J0002-005000	130 GARRISON RD	BAIRSTOW JAMES A &	BAIRSTOW MEGAN E	130 GARRISON RD	DOVER	NH	03820
J0002-006000	3 SEABORNE DR	RUNEY MICHAEL D &	RUNEY CHRISTIANA C	3 SEABORNE DR	DOVER	NH	03820
J0002-007000	5 SEABORNE DR	BURGESS ROBERT WINFIELD &	BURGESS ANGELITA CARPIO	5 SEABORNE DR	DOVER	NH	03820
J0002-008000	7 SEABORNE DR	DRISCOLL ANN E & CICHON KAY D TRUSTEES	DRISCOLL-CICHON FAMILY REVOCABLE TRUST	4 SURREY HILL DR	KEENE	NH	03431-4932
J0002-009000	9 SEABORNE DR	BLOSSER GEOFFREY S &	BLOSSER JENNIFER R	9 SEABORNE DR	DOVER	NH	03820-4551
J0002-010000	11 SEABORNE DR	HYLAND JAMES W III & SUSAN J TRUSTEES	HYLAND FAMILY REVOCABLE TRUST	11 SEABORNE DR	DOVER	NH	03820
M0017-000000	21 SPUR RD	CURTI FAMILY TRUST OF 1993	CURTI RAYMOND W AND NORMA O TRUSTEES	21 SPUR RD	DOVER	NH	03820
M0017-A00000	39 SPUR RD	CURTI FAMILY TRUST OF 1993	CURTI RAYMOND W AND NORMA O	21 SPUR RD	DOVER	NH	03820
J0001-C00000	20 SEABORNE DR	PORTSMOUTH CHRISTIAN ACADEMY	MICHAEL RUNEY	20 SEABORNE DR	DOVER	NH	03820
		OAK POINT ASSOCIATES	WADE LIPPERT	231 MAIN STREET	BIDDEFORD	ME	04102

PORTSMOUTH CHRISTIAN ACADEMY

LOWER SCHOOL DRAINAGE AND SITE IMPROVEMENTS

20 SEABORNE DRIVE DOVER, NEW HAMPSHIRE 03820

LEGEND

	EXISTING BUILDING
	EXISTING CHAIN LINK FENCE
	EXISTING GRADE CONTOUR LINE
	EXISTING STORM DRAIN LINE (SIZE AND TYPE)
	EXISTING SANITARY SEWER LINE (SIZE AND TYPE)
	EXISTING UNDERGROUND NATURAL GAS LINE
	EXISTING OVERHEAD UTILITIES
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND COMMUNICATIONS LINE
	EXISTING UNDERGROUND CABLE TV LINE
	EXISTING UNDERGROUND MECHANICAL UTILITY LINE
	EXISTING UNDERGROUND WATER LINE
	EXISTING UTILITY POLE WITH GUY
	EXISTING LIGHT POLE
	EXISTING CATCH BASIN
	EXISTING TREE
	EXISTING SHRUB
	EXISTING SURVEY CONTROL POINT
	EXISTING SEWER MANHOLE
	EXISTING DRAIN MANHOLE
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING EDGE OF WETLAND
	EXISTING TREE LINE
	SILT FENCE
	DRAIN LINE (PIPE SIZE AS NOTED)
	UNDERDRAIN LINE (PIPE SIZE AS NOTED)
	SAWCUT PAVEMENT
	FINISH GRADE CONTOUR LINE
	FINISH GRADE SPOT ELEVATION
	CATCH BASIN
	DRAINAGE FLOW DIRECTION

PLAN REFERENCES:

- EXISTING CONDITIONS FOR PROPERTY AT 1 SEABORNE DRIVE, OWNED BY PORTSMOUTH CHRISTIAN ACADEMY, BY NORTH EASTERLY SURVEYING, DATED 9/24/04.
- HIGH SCHOOL BUILDING, PORTSMOUTH CHRISTIAN ACADEMY, BY OPECHEE CONSTRUCTION CORPORATION, OCTOBER 2004.

GENERAL CONSTRUCTION NOTES

- WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- THE FOLLOWING PERMITS WILL BE OBTAINED BY THE OWNER TO ALLOW FOR THE COMPLETION OF WORK. ALL KNOWN CONDITIONS THAT WILL AFFECT THE CONTRACT HAVE BEEN INCLUDED IN THE SCOPE OF WORK IDENTIFIED ON THE DRAWINGS AND SPECIFICATIONS. ABIDE BY ALL CONDITIONS AND REQUIREMENTS OF EACH PERMIT.
 - CITY OF DOVER SITE REVIEW.
 - NHDES LAND RESOURCES MANAGEMENT SHORELAND PERMIT.
- COORDINATE THE TIMING, SEQUENCE OF WORK, ACCESS, AND LAYDOWN AREAS WITH THE OWNER PRIOR TO COMMENCING WORK.
- MOBILIZATION, LAY DOWN, AND DUMPSTER LOCATIONS: COORDINATE LOCATION AND USE OF PROPOSED CONTRACTOR LAYDOWN AND STAGING AREAS WITH OWNER PRIOR TO MOBILIZATION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 48 HOURS PRIOR TO INTERRUPTING UTILITY SERVICES.
- ITEMS AND COMPONENTS SHOWN ON THE DRAWINGS ARE NEW AND SHALL BE PROVIDED UNLESS NOTED AS REMOVALS OR EXISTING.
- DURING THE ENTIRE CONTRACT PERIOD, MAINTAIN THE CONSTRUCTION SITE IN A SECURE, WEATHER TIGHT, NEAT, CLEAN AND SAFE MANNER.
- WORK PRACTICES, EQUIPMENT, AND PERSONNEL PROTECTION MEASURES SHALL CONFORM TO OSHA STANDARDS.
- DISPOSE OF AND/OR RECYCLE CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE OF NEW HAMPSHIRE. OBTAIN DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITES SHALL BE DISPOSED OF IN A STATE APPROVED MANNER.
- MAINTAIN BUILDING EGRESS PATHS DURING THE ENTIRE CONTRACT PERIOD. PROVIDE FENCING AT WORK AREAS TO PREVENT BUILDING OCCUPANTS AND PEDESTRIAN TRAFFIC FROM ENTERING AREAS OF WORK. COORDINATE BARRICADE LOCATIONS WITH THE OWNER.
- VERIFY EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE OWNER. PROCEED WITH THE WORK ONLY AFTER THE DISCREPANCY(IES) HAS(HAVE) BEEN RESOLVED BY THE OWNER.
- THE DEPICTED LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON RECORD DRAWINGS AND/OR FIELD SURVEY AND ARE APPROXIMATE. DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-888-344-7233 AND OBTAIN A "DIG SAFE" PERMIT PRIOR TO COMMENCING EXCAVATION OPERATIONS ON THE SITE.
- PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN AND ITEMS TO BE SALVAGED FOR REINSTALLATION. DAMAGE RESULTING FROM THE CONTRACTORS OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE A MINIMUM OF 6 INCHES OF PLANTING SOIL, SEED, AND MULCH FOR DISTURBED AREAS NOT OTHERWISE SPECIFIED.
- PROVIDE A SURFACES THAT ARE FREE OF LOW SPOTS AND PONDING AREAS.
- EXISTING CONDITIONS ARE BASED ON PLAN REFERENCES AND TOPOGRAPHIC SURVEY COMPLETED BY OAK POINT ASSOCIATES MARCH 2020.
- WETLAND DELINEATION BY RICHARD BOND, NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST.
- HORIZONTAL CONTROL IS BASED ON NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM, NAD83. VERTICAL CONTROL IS BASED ON NAVD88.
- SURPLUS SOIL MATERIAL SHALL BE STOCKPILED ON-SITE AT A LOCATION TO BE DETERMINED BY THE OWNER. SOIL STOCKPILE LOCATION SHALL NOT BE WITHIN THE 50' WETLAND BUFFER OR NHDES 250' SHORELAND ZONE. REFER TO DRAWING C-501 FOR SOIL STOCKPILE NOTES.
- THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN 50 FEET OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR ANY EARTH DISTURBING ACTIVITY OCCURS.
- SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM, SATURDAY AND SUNDAY 9 AM-4 PM. HOURS OF CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR ASSISTANT CITY MANAGER.
- COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM TO DOVER CITY CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
- A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGN ENGINEER, EARTHWORK CONTRACTOR, AND DOVER CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.

ALTERNATES

ALTERNATE 1: COURTYARD DRAINAGE IMPROVEMENTS
ALTERNATE 2: ACCESS ROAD
ALTERNATE 3: FOUNDATION PROTECTION

DRAWING LIST

1	OF	8	C-001	LEGEND, NOTES, ABBREVIATIONS, AND DRAWING LIST
2	OF	8	C-002	OVERALL SITE PLAN
3	OF	8	CX101	EXISTING CONDITIONS AND REMOVALS SITE PLAN
4	OF	8	CS101	SITE PLAN
5	OF	8	C-501	EROSION CONTROL NOTES AND DETAILS
6	OF	8	C-502	SITE DETAILS 1
7	OF	8	C-503	SITE DETAILS 2
8	OF	8	C-504	SITE DETAILS 3

ABBREVIATIONS

BMPs	BEST MANAGEMENT PRACTICES
CONC	CONCRETE
CY	CUBIC YARD
DI	DUCTILE IRON
DIA	DIAMETER
ELEV	ELEVATION
EQ	EQUAL
EW	EACH WAY
EXIST	EXISTING
FD	FOUNDATION DRAIN
FFE	FINISH FLOOR ELEVATION
GALV	GALVANIZED
HORIZ	HORIZONTAL
HDPE	HIGH DENSITY POLYETHYLENE
ID	IDENTIFICATION
INV	INVERT
L	LENGTH
LF	LINEAR FEET
MAX	MAXIMUM
MIN	MINIMUM
NHDES	NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES
NHDOT	NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION
OC	ON CENTER
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PVC	POLYVINYL CHLORIDE
R	RADIUS
REINF	REINFORCED
SF	SQUARE FOOT
SIM	SIMILAR
SY	SQUARE YARDS
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
VERT	VERTICAL
WWF	WELDED WIRE FABRIC

PARCEL INFORMATION

OWNER OF RECORD:
PORTSMOUTH CHRISTIAN ACADEMY
20 SEABORNE ROAD
DOVER NH, 03820

PARCEL SIZE: 46.90 ACRES

STRAFFORD COUNTY REGISTRY OF DEEDS, BOOK NO. 2077,
PAGE NO. 595.

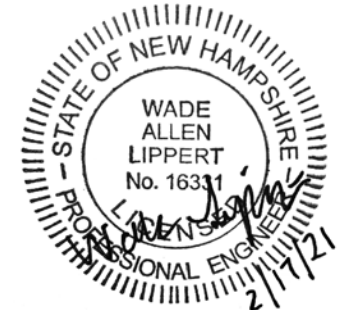
CITY OF DOVER PARCEL: J-1-C-0

ZONE: R=40

OVERLAY DISTRICTS: CONSERVATION DISTRICT, WETLAND PROTECTION DISTRICT, AND RIVERFRONT RESIDENTIAL OVERLAY.

PROPERTY BOUNDARY PER ALTA/ACSM LAND TITLE SURVEY BY EASTERLY SURVEY,
5/19/1999.

SUBJECT PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA
(COMMUNITY PANEL NUMBER 33017C034E, EFFECTIVE DATE: SEPTEMBER 30, 2015)



WAL JLG
DESIGNED BY:
DRAWN BY:
CHECKED BY:
PROJECT:
22002.01

PORTSMOUTH CHRISTIAN ACADEMY
20 Seaborne Drive
Dover, New Hampshire 03820

LOWER SCHOOL
DRAINAGE AND
SITE IMPROVEMENTS

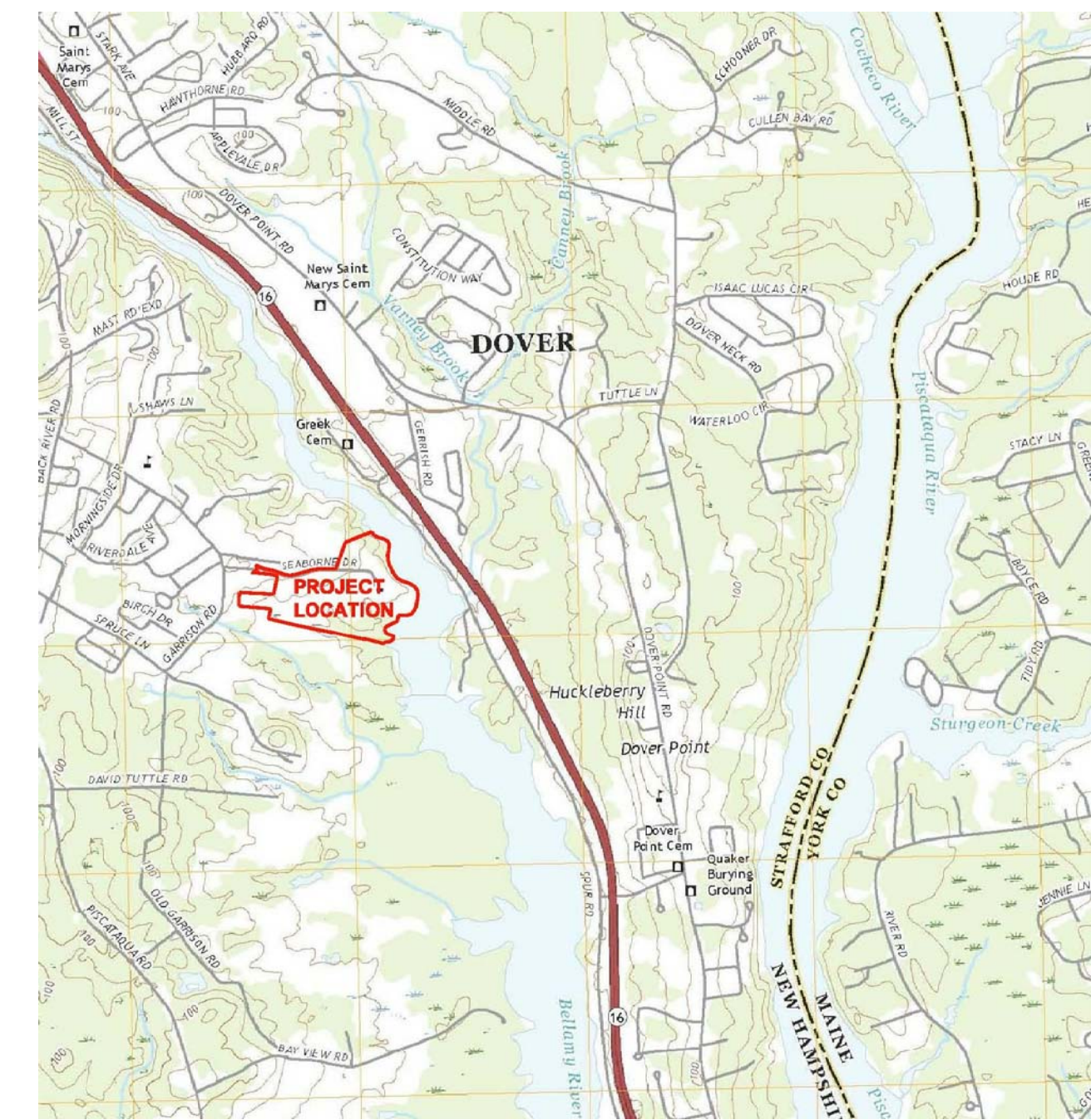
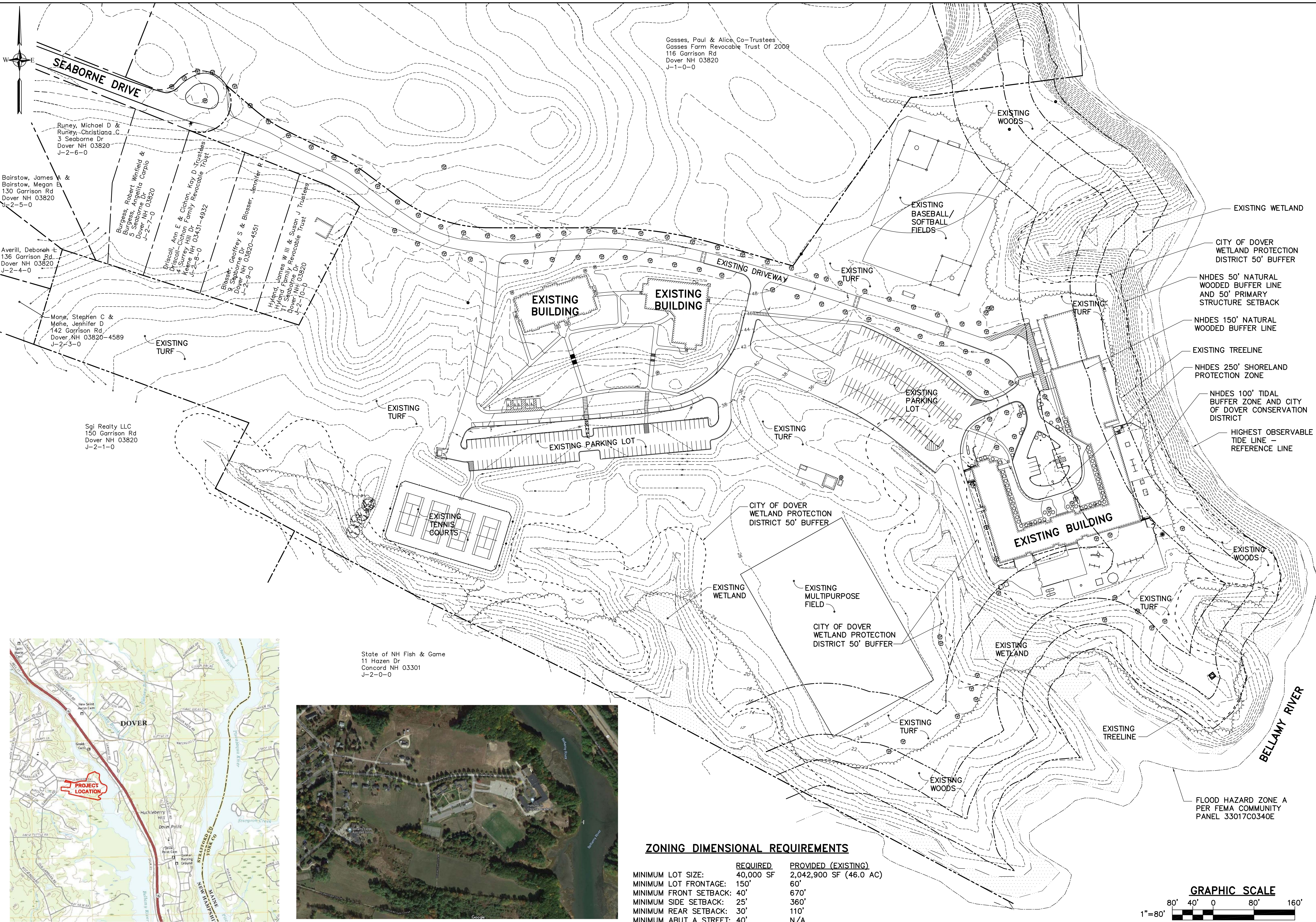
LEGEND,
NOTES,
ABBREVIATIONS,
AND DRAWING
LIST

SCALE: AS NOTED

DATE: 2/17/2021

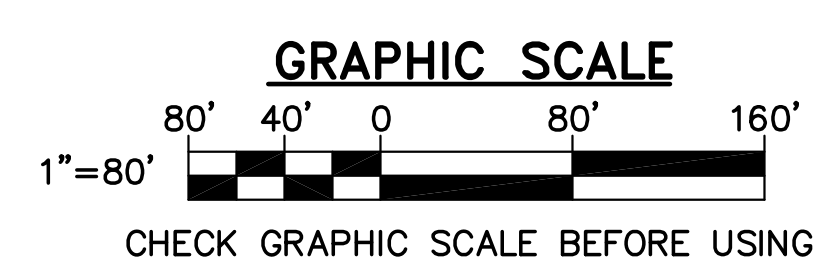
DWG.: C-001

SHEET: 1 OF 8



ZONING DIMENSIONAL REQUIREMENTS

	REQUIRED	PROVIDED (EXISTING)
MINIMUM LOT SIZE:	40,000 SF	2,042,900 SF (46.0 AC)
MINIMUM LOT FRONTAGE:	150'	60'
MINIMUM FRONT SETBACK:	40'	670'
MINIMUM SIDE SETBACK:	25'	360'
MINIMUM REAR SETBACK:	30'	110'
MINIMUM ABUT A STREET:	40'	N/A
MAXIMUM LOT COVERAGE:	10%	4%



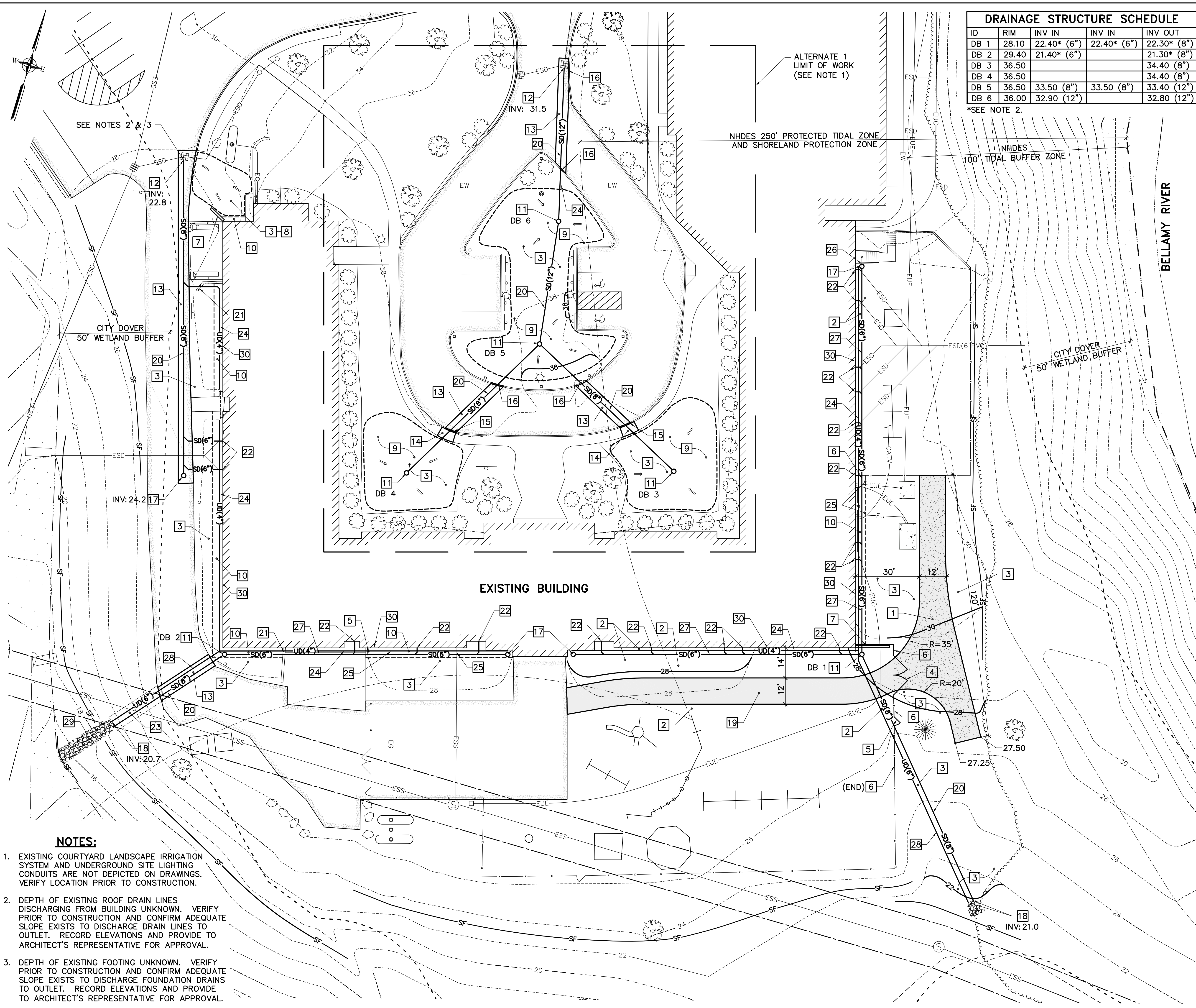
WAL KSP
DESIGNED BY: 22002.01
DRAWN BY:
CHECKED BY:
PROJECT:

PORTSMOUTH CHRISTIAN ACADEMY
20 Seaborne Drive
Dover, New Hampshire 03820

LOWER SCHOOL DRAINAGE AND SITE IMPROVEMENTS

OVERALL SITE PLAN

SCALE: AS NOTED
DATE: 2/17/2021
DWG.: **C-002**
SHEET: **2** OF **8**



DRAINAGE STRUCTURE SCHEDULE				
ID	RIM	INV IN	INV IN	INV OUT
DB 1	28.10	22.40* (6")	22.40* (6")	22.30* (8")
DB 2	29.40	21.40* (6")		21.30* (8")
DB 3	36.50			34.40 (8")
DB 4	36.50			34.40 (8")
DB 5	36.50	33.50 (8")	33.50 (8")	33.40 (12")
DB 6	36.00	32.90 (12")		32.80 (12")

*SEE NOTE 2.

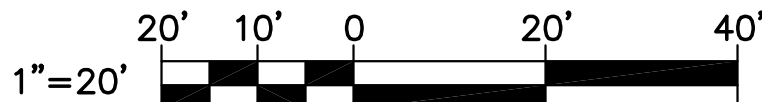
KEYNOTES:

- 12' WIDE GRAVEL ACCESS ROAD. (ALTERNATE 2)
- RESTORE PLAYGROUND SURFACE WITH ENGINEERED WOOD FIBER. MINIMUM OF 9" UNCOMPRESSED DEPTH. ROLL SURFACE TO COMPRESS AND RAKE EDGES OF RESTORED AREA SMOOTH WITH SURROUNDING SURFACE. PROVIDE 12" DEPTH WITHIN 6' OF PLAYGROUND EQUIPMENT.
- 6" TOPSOIL, SEED, FERTILIZER, AND MULCH (ALL DISTURBED AREAS NOT SPECIFIED OTHERWISE).
- 16' WIDE, 6' HIGH DOUBLE SWING CHAIN LINK GATE. (ALTERNATE 2)
- 4' WIDE, 6' HIGH CHAIN LINK GATE.
- 6' HIGH CHAIN LINK FENCE.
- 18" HIGH (MAX) SEGMENTAL CONCRETE BLOCK RETAINING WALL.
- RE-GRADE TURF AREA. SLOPE TO DRAIN TO EXISTING CATCH BASIN.
- RE-GRADE TURF AREA. SLOPE TO DRAIN BASIN.
- CRUSHED STONE DRIP EDGE.
- DRAIN BASIN. COORDINATE INVERTS WITH EXISTING FOOTING ELEVATION AND EXISTING ROOF DRAIN CONNECTIONS. SEE NOTES 2 AND 3.
- CONNECT TO EXISTING CATCH BASIN WITH RESILIENT BOOT CONNECTOR.
- ASPHALT CONCRETE PAVEMENT.
- CONCRETE WALK (COLOR AND STAMPED PATTERN SURFACE TO MATCH EXISTING).
- RESET EXISTING GRANITE CURB.
- BITUMINOUS CONCRETE CURB.
- DRAIN CLEANOUT.
- PIPE OUTLET PROTECTION. SEE NOTES 2 & 3.
- 12' WIDE STONE DUST ACCESS ROAD. (ALTERNATE 2)
- DRAIN LINE.
- REINSTALL SEGMENTAL BLOCK RETAINING WALL.
- CONNECT TO EXISTING BUILDING ROOF DRAIN. CAP AND ABANDON EXISTING UNDERGROUND ROOF DRAIN OUTLET PIPE. SEE NOTE 2.
- STABILIZED TURF SLOPE.
- FOUNDATION DRAIN. SEE NOTE 3.
- VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND COORDINATE WITH DRAIN LINES.
- CONNECT TO EXISTING 4" DRAIN.
- ROOF DRAIN LINE. SEE NOTE 2.
- FOUNDATION DRAIN LINE (SOLID PIPE).
- RIP RAP SLOPE.
- FOUNDATION PROTECTION (ALTERNATE 3).

NOTES:

- EXISTING COURTYARD LANDSCAPE IRRIGATION SYSTEM AND UNDERGROUND SITE LIGHTING CONDUITS ARE NOT DEPICTED ON DRAWINGS. VERIFY LOCATION PRIOR TO CONSTRUCTION.
- DEPTH OF EXISTING ROOF DRAIN LINES DISCHARGING FROM BUILDING UNKNOWN. VERIFY PRIOR TO CONSTRUCTION AND CONFIRM ADEQUATE SLOPE EXISTS TO DISCHARGE DRAIN LINES TO OUTLET. RECORD ELEVATIONS AND PROVIDE TO ARCHITECT'S REPRESENTATIVE FOR APPROVAL.
- DEPTH OF EXISTING FOOTING UNKNOWN. VERIFY PRIOR TO CONSTRUCTION AND CONFIRM ADEQUATE SLOPE EXISTS TO DISCHARGE FOUNDATION DRAINS TO OUTLET. RECORD ELEVATIONS AND PROVIDE TO ARCHITECT'S REPRESENTATIVE FOR APPROVAL.

GRAPHIC SCALE



CHECK GRAPHIC SCALE BEFORE USING



DESIGNED BY: WAL
DRAWN BY: JLG
CHECKED BY:
PROJECT: 22002.01

PORTSMOUTH CHRISTIAN ACADEMY
20 Seaborn Drive
Dover, New Hampshire 03820

LOWER SCHOOL
DRAINAGE AND
SITE IMPROVEMENTS

SITE PLAN

SCALE: AS NOTED

DATE: 2/17/2021

DWG.: CS101

SHEET: 4 OF 8

EROSION AND SEDIMENT CONTROL NOTES

A. GENERAL NOTES

1. DURING CONSTRUCTION AND THEREAFTER, PROVIDE EROSION CONTROL MEASURES AS INDICATED AND SPECIFIED. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORM WATER MANUAL".
2. TEMPORARY EROSION CONTROL MEASURES INCLUDE THE USE OF EROSION CONTROL DEVICES, TEMPORARY SEEDING AND MULCHING, AND PROVISIONS FOR STABILIZING INACTIVE AREAS. PERMANENT EROSION CONTROL MEASURES INCLUDE PERMANENT SEEDING AND MULCHING.
3. PERIMETER EROSION CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING EARTH MOVING OPERATIONS.
4. PROVIDE INLET PROTECTION FOR EACH CATCH BASIN ON THE SAME DAY THAT BACKFILL IS PLACED AROUND THE CATCH BASIN.
5. PROVIDE 6-INCHES PLANTING SOIL, SEED AND MULCH ON DISTURBED AREAS NOT OTHERWISE SPECIFIED. PERMANENT SEEDING SHALL BE COMPLETED BETWEEN THE DATES OF APRIL 1 AND OCTOBER 14. WATER VEGETATED AREAS AS NECESSARY TO ESTABLISH A VIGOROUS TURF.
6. PROVIDE EROSION CONTROL MEASURES TO CONTROL EROSION AND SEDIMENTATION FROM THE PROJECT SITE. THE MEASURES INDICATED ON THE DRAWINGS ARE A MINIMUM TO BE PROVIDED. PROVIDE ADDITIONAL MEASURES AS NECESSARY AND APPLICABLE TO CONTROL EROSION AND SEDIMENTATION FROM LEAVING THE SITE.
7. LIMIT AREAS OF EXPOSED SOILS TO THOSE AREAS THAT WILL ACTIVELY BE WORKED. TEMPORARILY STABILIZE AREAS OF DISTURBED SOIL THAT REMAIN UNWORKED FOR MORE THAN 14 DAYS USING TEMPORARY MULCHING (IF THE SOIL WILL BE PERMANENTLY STABILIZED WITHIN 30 DAYS) OR TEMPORARY SEEDING AND MULCHING (IF THE SOIL WILL NOT BE PERMANENTLY STABILIZED WITHIN 30 DAYS). PERMANENTLY STABILIZE ANY AREA OF DISTURBED SOIL BROUGHT TO FINAL GRADE WITHIN 7 DAYS. DISTURBED SOILS DO NOT INCLUDE COMPACTED BASE COURSES OR STRUCTURAL FILLS USED FOR ROADS AND PARKING LOTS.
8. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - B. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED.
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
9. ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

B. INSPECTION AND MAINTENANCE

1. INSPECT DISTURBED AND IMPERVIOUS AREAS. EROSION CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE PROJECT AREA AT LEAST ONCE A WEEK AND BEFORE AND AFTER EACH STORM EVENT, GREATER THAN 0.1", PRIOR TO COMPLETION OF PERMANENT STABILIZATION. A PERSON WITH KNOWLEDGE OF EROSION AND STORMWATER CONTROL, INCLUDING THE NPDES STANDARDS MUST CONDUCT THE INSPECTION. IF BEST MANAGEMENT PRACTICES (BMPs) NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.
2. MAINTAIN EROSION CONTROL MEASURES FOR THE LIFE OF THE PROJECT AND UNTIL PERMANENT STABILIZATION OF THE ENTIRE SITE IS ESTABLISHED. PERMANENT STABILIZATION SHALL CONSIST OF AT LEAST 90-PERCENT VEGETATION OR PAVEMENT.
3. PROTECT STABILIZED AREAS FROM EROSION AND IMMEDIATELY REPAIR/REVEGETATE ERODED AREAS.
4. SEDIMENT ACCUMULATIONS SHALL BE REMOVED FROM EROSION CONTROL BERM AND SILT FENCES WHEN THE SEDIMENT DEPTH REACHES 6 INCHES.
5. REMOVE TEMPORARY EROSION CONTROL MEASURES WITHIN 30 DAYS AFTER THE TRIBUTARY AREA HAS BEEN PERMANENTLY STABILIZED. REMOVE ANY ACCUMULATED SEDIMENTS AND STABILIZE.

C. SEQUENCE OF CONSTRUCTION

1. INITIAL OPERATIONS INCLUDE INSTALLATION OF EROSION CONTROL DEVICES.
2. CLEAR TREES, GRUB OUT STUMPS AND STRIP TOPSOIL AND STOCKPILE. PROVIDE SILT FENCE DOWNGRADIENT OF STOCKPILES AND COVER WITH MULCH.
3. COMMENCE EARTH MOVING OPERATIONS. CONSTRUCT STORM DRAINAGE SYSTEM BEGINNING AT THE LOW POINT OF THE SYSTEM.
4. CONTINUE WITH OTHER UTILITY AND PAVEMENT CONSTRUCTION.
5. COMPLETE PAVEMENT CONSTRUCTION. PROVIDE PERMANENT SEEDING, MULCHING, OR OTHER SURFACE TREATMENTS AS INDICATED IMMEDIATELY UPON ESTABLISHMENT OF FINISH GRADES.

D. SOIL STOCKPILE STABILIZATION

1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 30 DAYS SHALL BE COVERED WITH HAY MULCH (90 LBS HAY/1000 SF) OR COVERED WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN LONGER THAN 30 DAYS SHALL BE SEEDED WITH A CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LB/1000 SF) AND HAY MULCHED (90 LBS. HAY/1000 SF) WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
3. SOIL AND FILL STOCKPILES SHALL HAVE A SEDIMENT BARRIER (e.g. SILT FENCE) INSTALLED AROUND THE DOWNHILL EDGE OF THE STOCKPILE TO TRAP SEDIMENTS.

E. TEMPORARY SEEDING

1. BEDDING – REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 4" TO PREPARE SEED BED AND MIX THE FERTILIZER INTO THE SOIL.
2. FERTILIZER – FERTILIZER SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING TILLED INTO THE SOIL. A 10–10–10 MIX OF FERTILIZER SHOULD BE APPLIED AT A RATE OF 300 LBS PER ACRE.
3. SEED MIXTURE – USE ANY OF THE FOLLOWING IN UPLAND AREAS:

SPECIES	ACRE	SEEDING RATES	DATES	DEPTH
WINTER RYE	112 LBS	1,000 SF 2.5 LBS	8/15 – 9/15	1 INCH
OATS	80 LBS	2.0 LBS	SPRING – 5/15	1 INCH
ANNUAL RYEGRASS	40 LBS	1.0 LBS	4/15 – 9/15 WITH MULCH	0.25 INCH

4. MULCHING FOR TEMPORARY SEEDING – WHERE IT IS IMPRACTICAL TO INCORPORATE FERTILIZER AND SEED INTO MOIST SOIL, THE SEEDED AREA SHALL BE MULCHED TO FACILITATE GERMINATION. MULCH IN THE FORM OF HAY OR STRAW SHALL BE APPLIED AT A RATE OF 70 TO 40 90 LBS PER 1,000 SF.
5. REMOVE TEMPORARY GROWTH FROM TEMPORARY SEEDING PRIOR TO PERMANENT SEEDING.

F. MULCHING

PROVIDE TEMPORARY MULCHING ON SLOPES, OTHER EROSION PRONE AREAS, AND EXPOSED SOILS THAT CANNOT RECEIVE PERMANENT COVER WITHIN 14 DAYS OF DISTURBANCE. ALSO PROVIDE MULCH FOLLOWING TEMPORARY AND PERMANENT SEEDING AS SPECIFIED. MULCH ANCHORS SHALL BE USED ON SLOPES GREATER THAN 5% IN FALL (PAST OCTOBER 1, AND OVER WINTER TO APRIL 1).

MULCH TYPE	RATE PER 1000 SF
HAY OR STRAW	70 TO 40 90 LBS
WOOD CHIPS OR BARK MULCH	480 TO 920 LBS
JUTE AND FIBROUS MATTING	AS PER MANUFACTURERS' SPECIFICATIONS
CRUSHED STONE 1/4" TO 1-1/2"	SPREAD MORE THAN 1/2" THICK

G. TEMPORARY EROSION CONTROL MAT SPECIFICATIONS

1. STRAW EROSION CONTROL MAT CONSISTING OF A MACHINE PRODUCED MAT OF 100 PERCENT AGRICULTURAL STRAW FIBER, MINIMUM WEIGHT: 0.5 LBS/SY. NETTINGS SHALL BE LIGHTWEIGHT BIO OR PHOTO DEGRADABLE, TOP SIDE ONLY, MINIMUM WEIGHT: 1.5 LBS/1000 SF. MINIMUM WIDTH: 48", MINIMUM THICKNESS: 0.39 INCH. THE MINIMUM FUNCTIONAL LONGEVITY OF THE EROSION CONTROL MAT SHALL BE 45 DAYS.

H. EXTENDED USE EROSION CONTROL BLANKET SPECIFICATION

1. STRAW EROSION CONTROL MAT CONSISTING OF A MACHINE PRODUCED MAT OF 100 PERCENT AGRICULTURAL STRAW FIBER, MINIMUM WEIGHT: 0.5 LBS/SY. NETTINGS SHALL BE 100 PERCENT BIO OR PHOTO DEGRADABLE WOVEN NATURAL ORGANIC FIBER, TOP SIDE ONLY, MINIMUM WEIGHT: 9.3 LB/1000 SF. MINIMUM WIDTH: 6.7 FT, MINIMUM THICKNESS: 0.24 INCH. THE MINIMUM FUNCTIONAL LONGEVITY OF THE EROSION CONTROL MAT SHALL BE 12 MONTHS.

I. WINTER STABILIZATION

THE WINTER CONSTRUCTION PERIOD IS FROM OCTOBER 15 THROUGH MAY 15. IF THE SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 85% MATURE VEGETATION COVER OR RIPRAP BY OCTOBER 15 THEN THE SITE SHALL BE PROTECTED WITH OVER-WINTER STABILIZATION.

1. PROVIDE STABILIZATION AS FOLLOWS WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS:
- A. PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX.
 - B. PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM OF 4 INCH THICKNESS OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
2. INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
3. MULCH APPLIED DURING WINTER SHALL BE ANCHORED (e.g. BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
4. STOCKPILES OF SOIL MATERIALS SHALL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHALL BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHALL BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
5. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF BASE COURSE (NHDOT ITEM 304.3).

J. PERMANENT SEEDING

1. REFER TO TURF AND GRASSES SPECIFICATION.

K. OFF-SITE VEHICLE TRACKING

1. SWEEP ADJACENT PAVED AREAS AND ROADS AS NECESSARY AND AS DIRECTED BY THE OWNER TO KEEP THEM FREE OF SEDIMENTS RESULTING FROM CONSTRUCTION ACTIVITIES.

L. HOUSEKEEPING

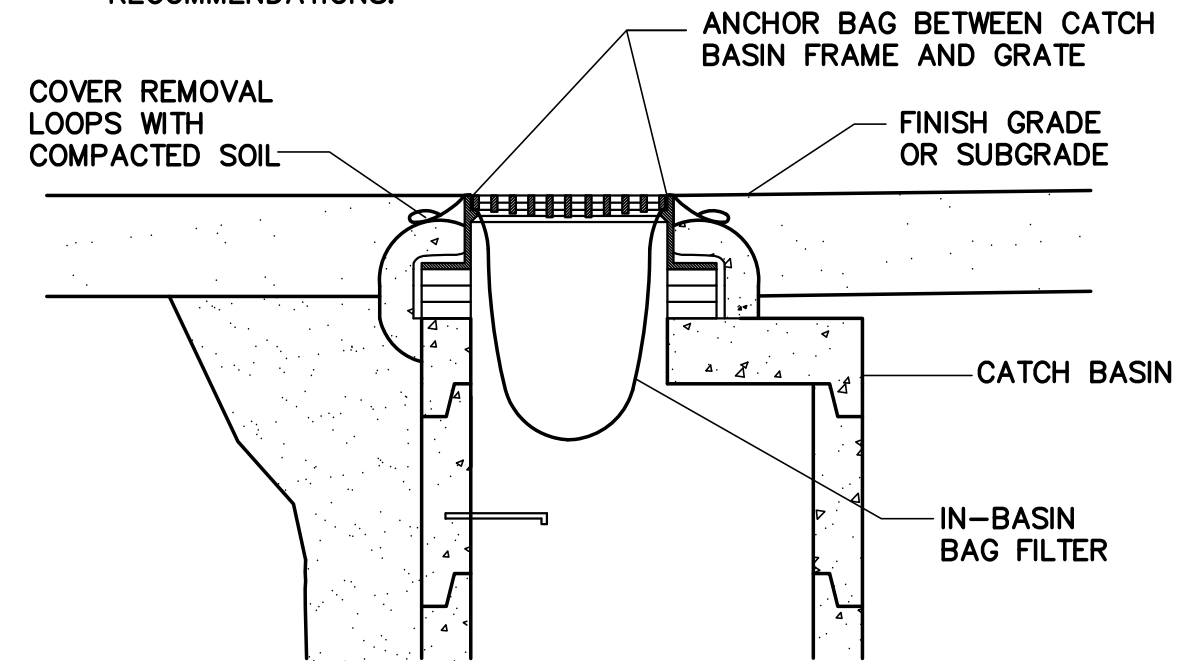
1. WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER PROVIDED BY THE CONTRACTOR. CONSTRUCTION WASTE MATERIALS SHALL NOT BE BURIED ON SITE.
2. HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.
3. MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINER AND IF POSSIBLE UNDER A ROOF OR OTHER ENCLOSURE. STORE ONLY SUFFICIENT AMOUNTS OF MATERIALS TO COMPLETE THE JOB.
4. DISPOSE OF SURPLUS MATERIALS IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS, STATE AND FEDERAL CODES.
5. CONSTRUCTION RELATED EQUIPMENT AND VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO AVOID LEAKAGE.

M. DUST CONTROL

1. CONTROL DUST WITH PERIODIC WATERING OF THE EXPOSED SOIL SURFACES WITH ADEQUATE WATER TO CONTROL DUST FROM BECOMING AIRBORNE. REPETITIVE TREATMENTS SHALL BE APPLIED AS NEEDED TO CONTROL DUST THROUGHOUT CONSTRUCTION UNTIL AREAS HAVE BEEN STABILIZED.
2. OTHER METHODS TO CONTROL DUST SHALL BE ALLOWED WITH APPROVAL BY THE OWNER.
- N. RIPRAP SPECIFICATION
1. RIPRAP SHALL CONSIST OF SOUND, DURABLE ROCK WHICH WILL NOT DISINTEGRATE BY EXPOSURE TO WATER OR WEATHER. ANGULAR FIELD STONE, ROUGH QUARRY STONE OR BLASTED LEDGE ROCK MAY BE USED. THE MEDIAN STONE SIZE SHALL BE AS INDICATED. THE MAXIMUM STONE SIZE SHALL BE TWICE THE MEDIAN SIZE. PROVIDE SMALLER STONES TO FILL THE VOIDS IN THE LARGER STONES.

NOTES:

1. IN-BASIN BAG FILTERS SHALL BE "DANDY SACK" BY TENCATE OR APPROVED EQUAL. INSTALL ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
2. REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

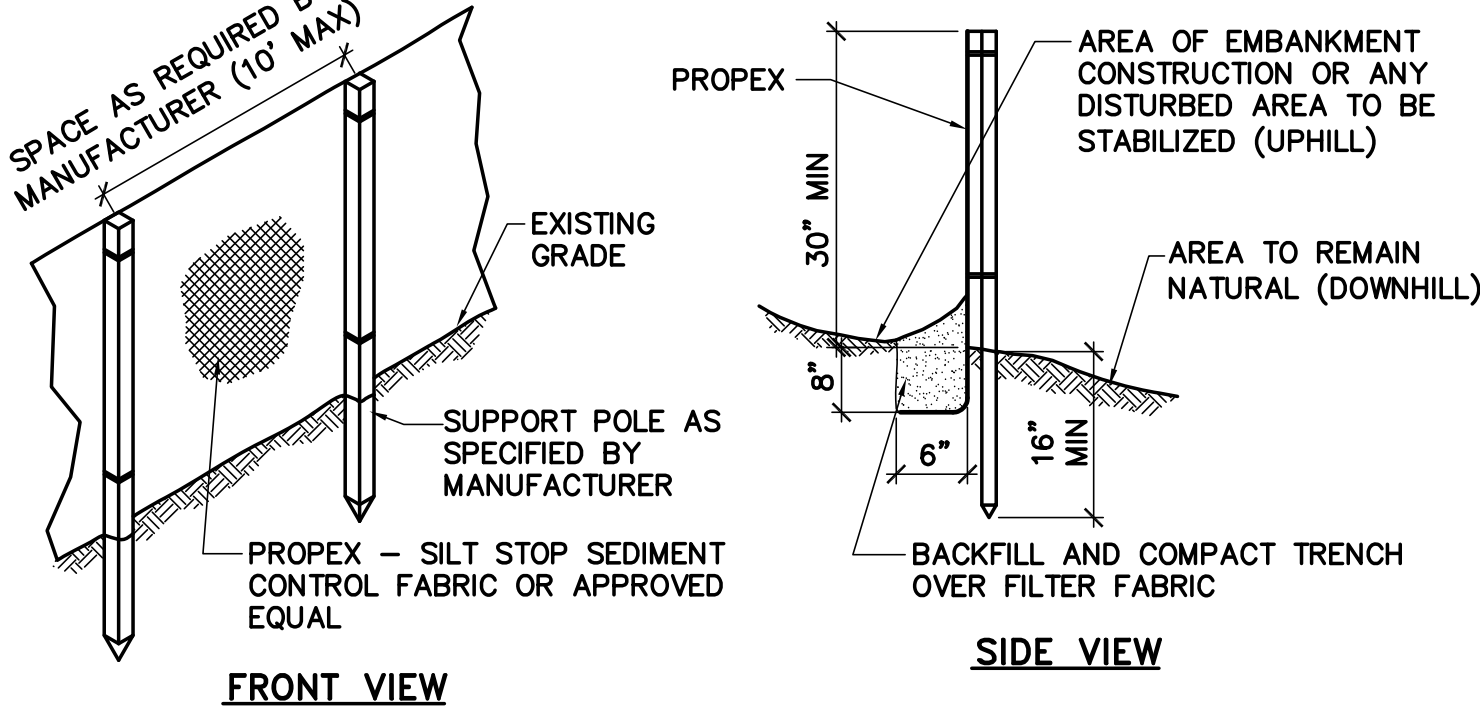


1 CATCH BASIN INLET PROTECTION
CX101 C-501 NOT TO SCALE

NOTES:

1. WHEN JOINTS ARE NECESSARY, FILTER FABRIC SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
2. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND REPAIRS/REPLACEMENT SHALL BE MADE IMMEDIATELY.
3. SILT FENCES SHALL BE REMOVED AFTER SATISFACTORY VEGETATIVE COVER IS ESTABLISHED OR DISTURBED AREAS ARE OTHERWISE STABILIZED. PROVIDE PLANTING SOIL, FINISH GRADE, SEED AND MULCH DISTURBED AREAS.
4. EROSION CONTROL MIX BERM OR WATTLES BE USED IN LIEU OF SILT FENCE WHERE APPROVED BY THE OWNER OR TO SUPPLEMENT EROSION CONTROL MEASURES.

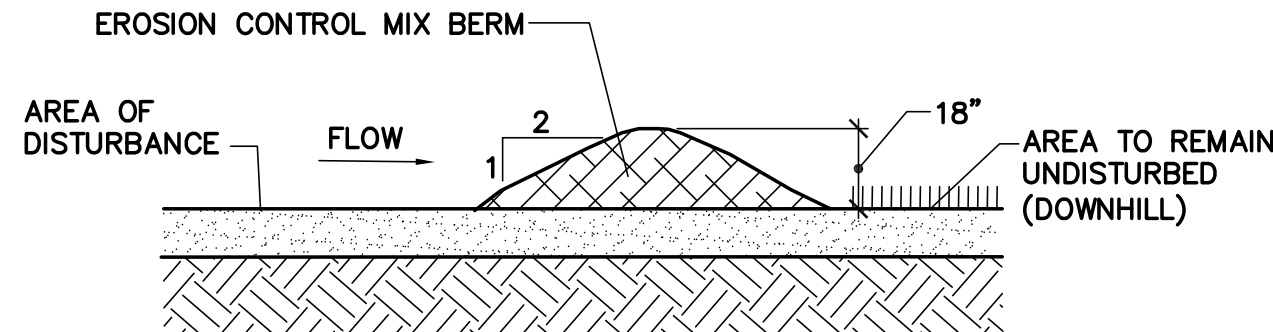
3
C-501



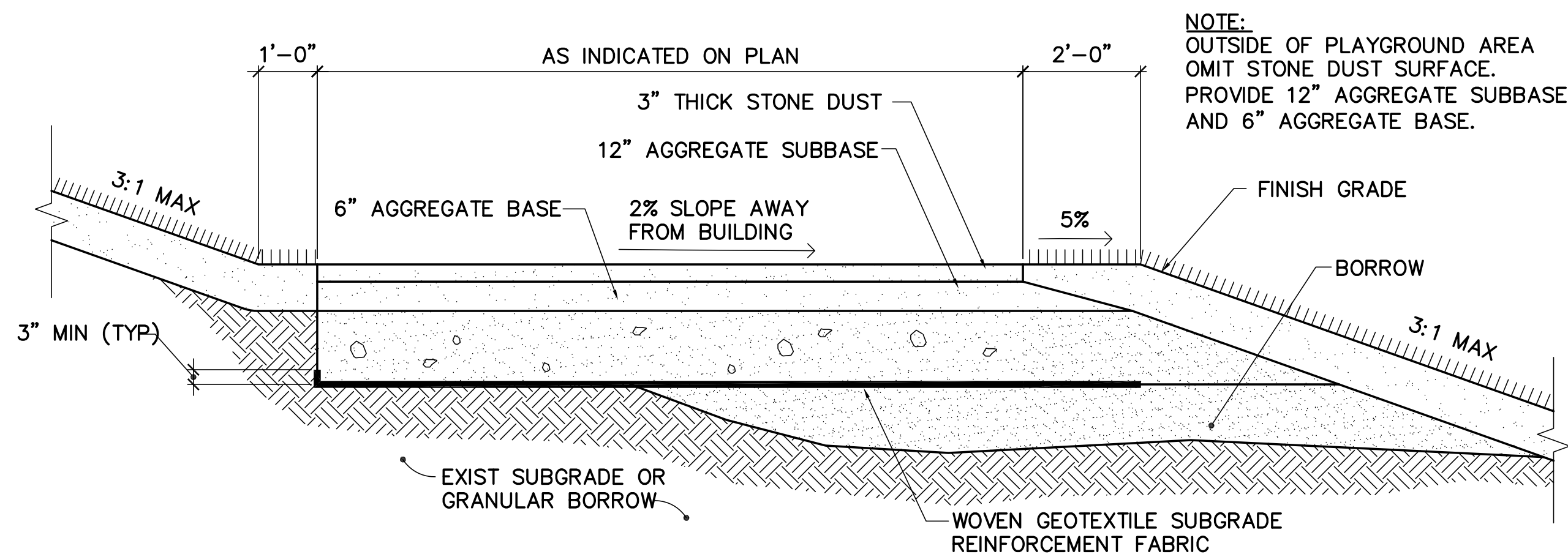
2 SILT FENCE
CX101 C-501 NOT TO SCALE

NOTES:

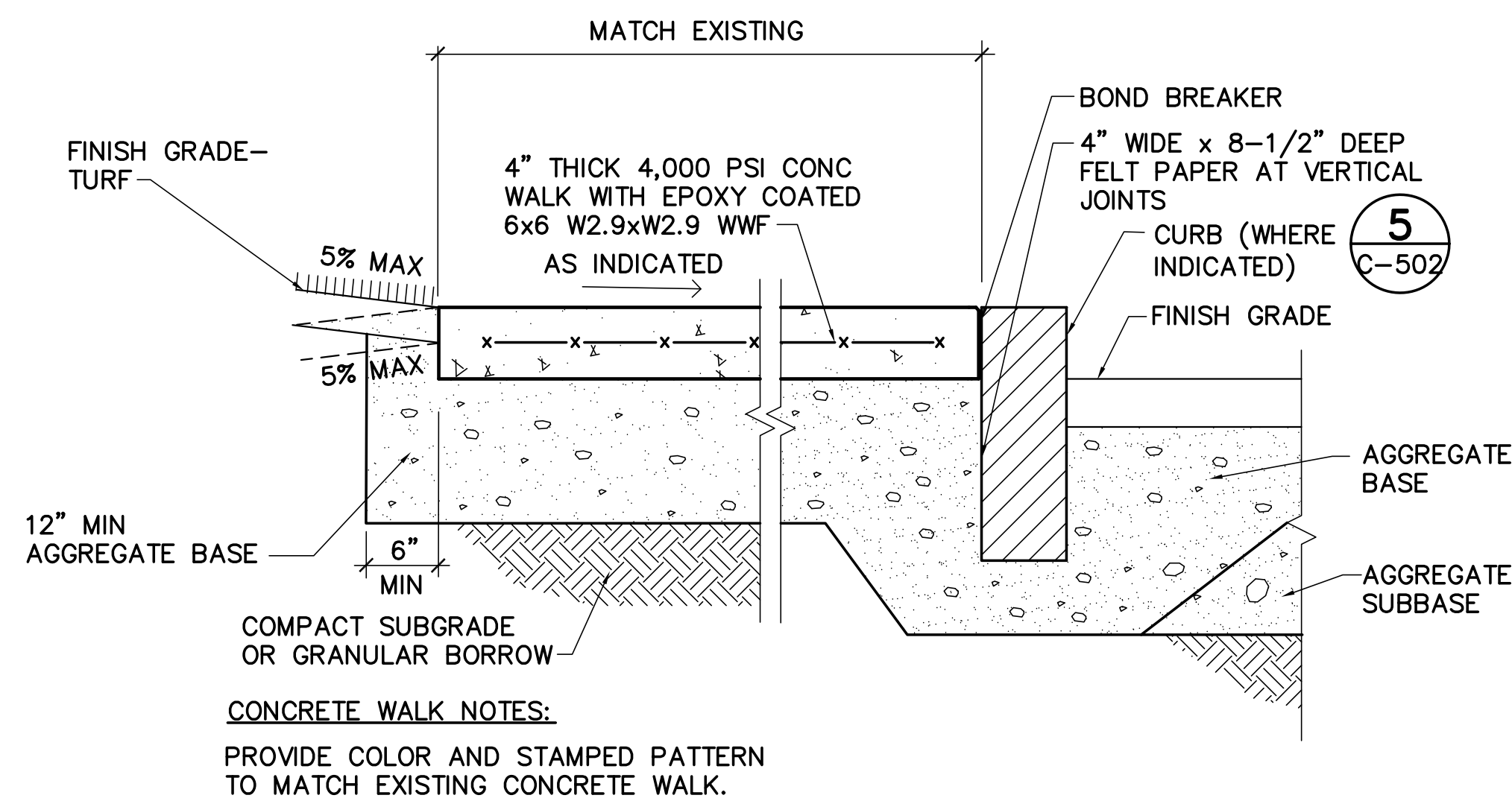
1. EROSION CONTROL MIX SHALL CONSIST PRIMARILY OF ORGANIC MATERIAL AND MAY INCLUDE SHREDDED BARK, STUMP GRINDINGS AND COMPOSTED BARK. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS AND REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS A COMPONENT OF THE MIX.
2. EROSION CONTROL MIX SHALL CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH.
3. THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25 AND 65% DRY WEIGHT BASIS.
4. PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 3" SCREEN, 90% TO 100% PASSING A 1-INCH SCREEN, 70% TO 100% PASSING A 0.75-INCH SCREEN, AND A MAXIMUM OF 30% TO 75% PASSING A 0.25-INCH SCREEN.
5. THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
6. THE MIX SHALL NOT CONTAIN SILTS, CLAYS OR FINE SANDS.
7. SOLUBLE SALTS CONTENT SHOULD BE < 4.0 MMHOS/CM.
8. PH SHALL BE BETWEEN 5.0 AND 8.0.
9. REMOVE OR SPREAD EROSION CONTROL MIX OVER ADJACENT WOODED AREA WHEN THE TRIBUTARY AREAS HAVE BEEN STABILIZED.



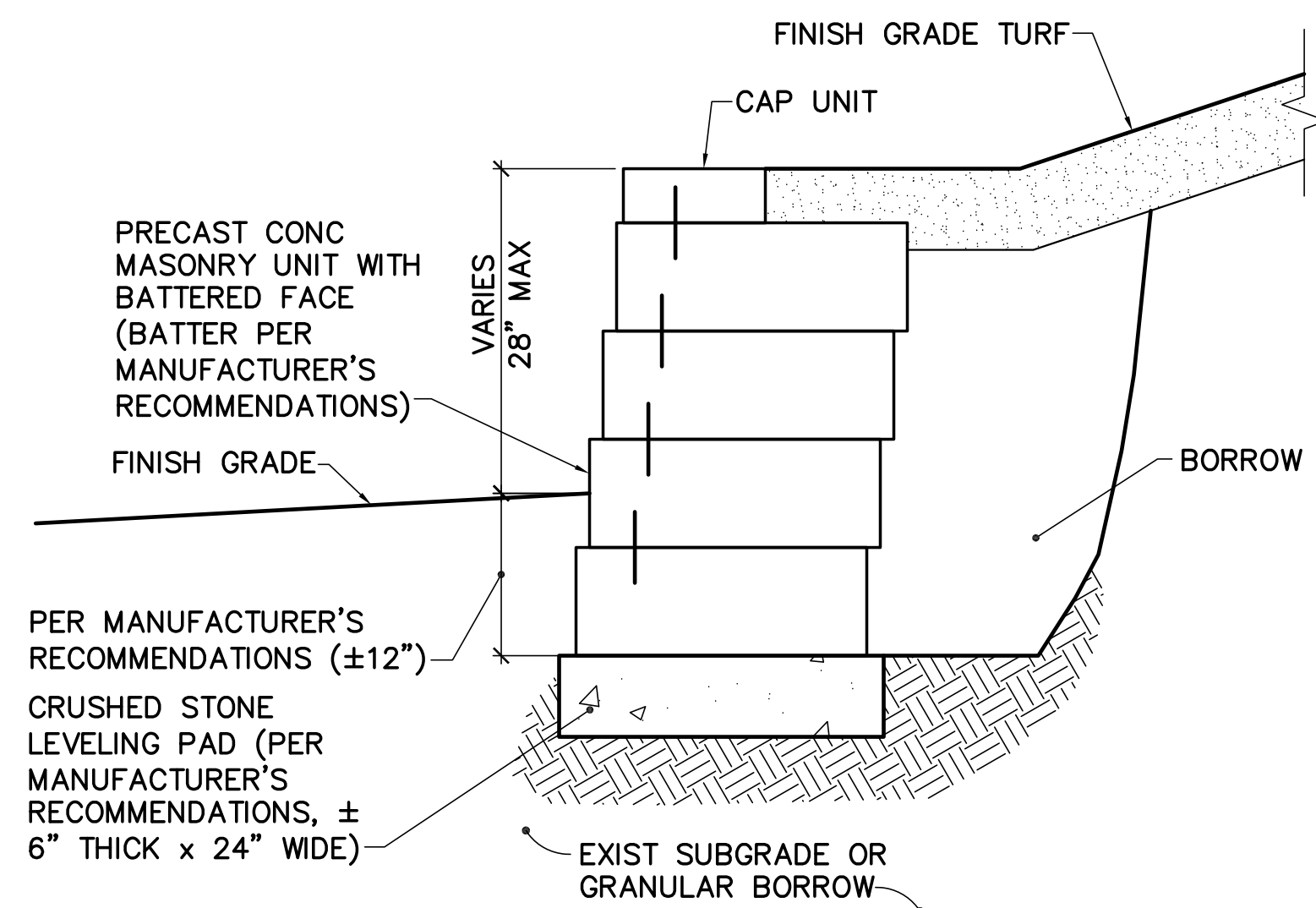
3 EROSION CONTROL MIX BERM
C-501 C-501 NOT TO SCALE



1 ACCESS ROAD SECTION
CS101, C-502 NOT TO SCALE

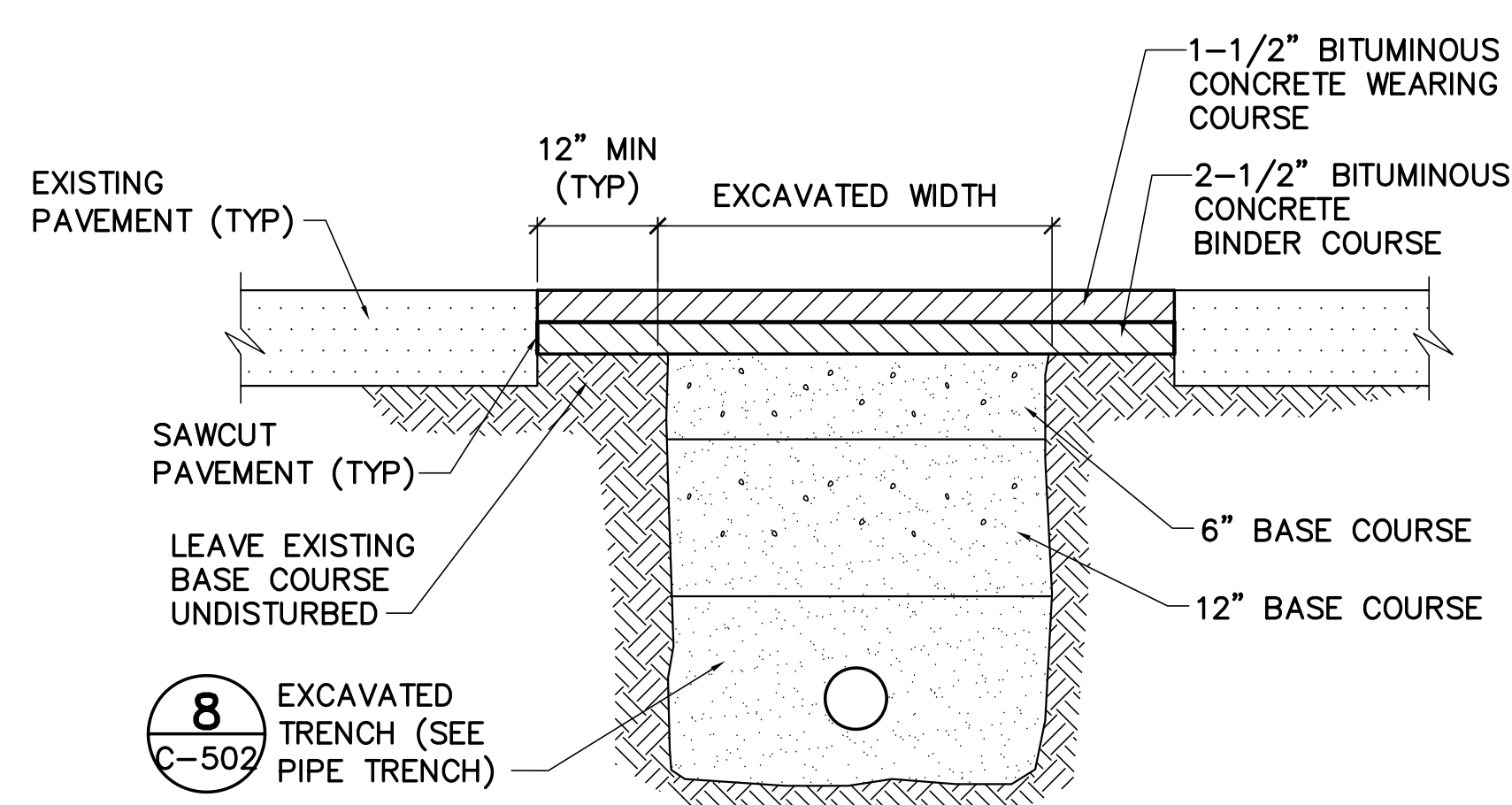


4 TYPICAL CONCRETE WALK DETAIL
CS101, C-502 NOT TO SCALE



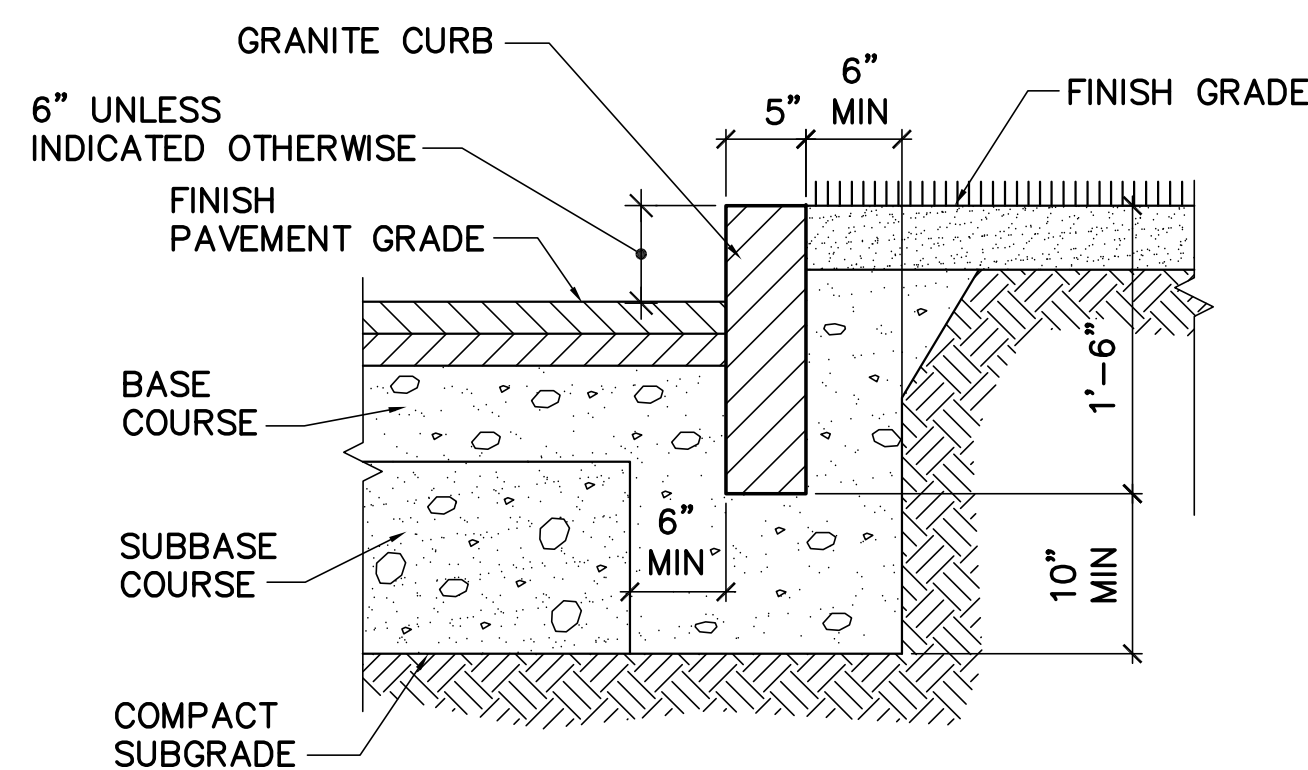
- NOTES:**
1. INSTALL PRECAST CONCRETE RETAINING WALLS IN CONFORMANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 2. MASONRY UNITS SHALL BE MACHINE SPLIT FLAT FACE, COLOR – TO BE SELECTED BY OWNER FROM MANUFACTURER'S FULL COLOR RANGE.

7 RETAINING WALL SECTION
CS101, C-502 NOT TO SCALE

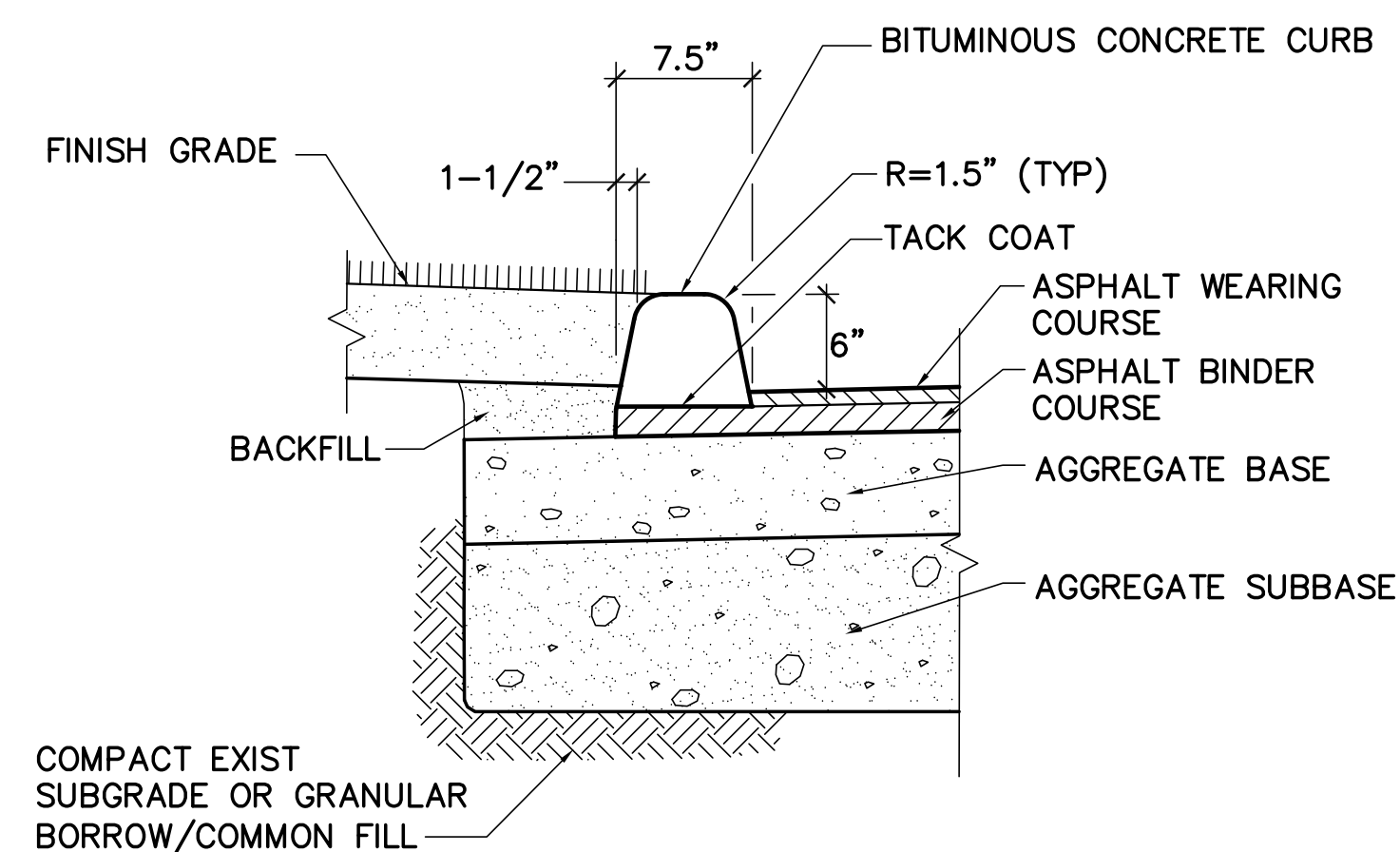


NOTE:
SAWCUT CLEAN VERTICAL EDGE OF EXISTING PAVEMENT IMMEDIATELY PRIOR TO PAVING.

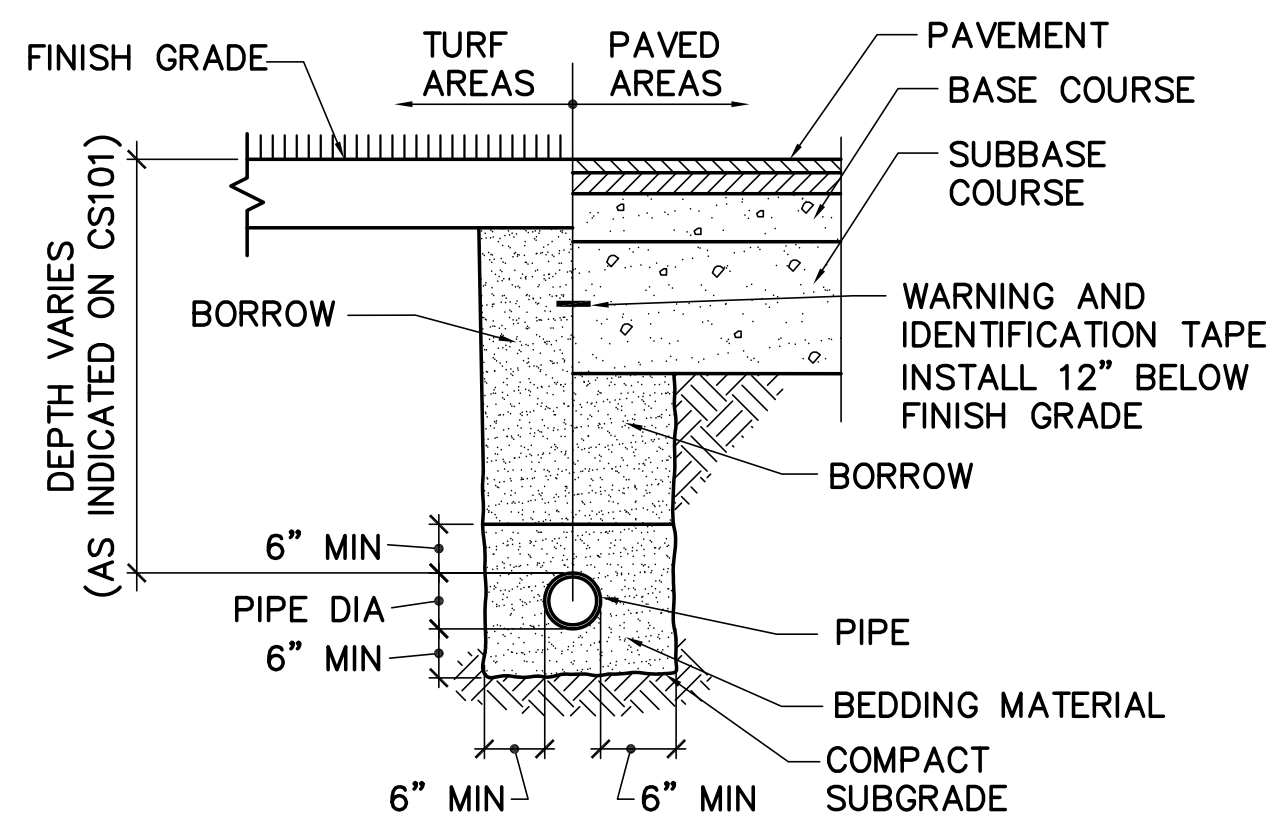
2 ASPHALT TRENCH REPAIR
CS101, C-502 NOT TO SCALE



5 GRANITE CURB
CS101, C-502 NOT TO SCALE

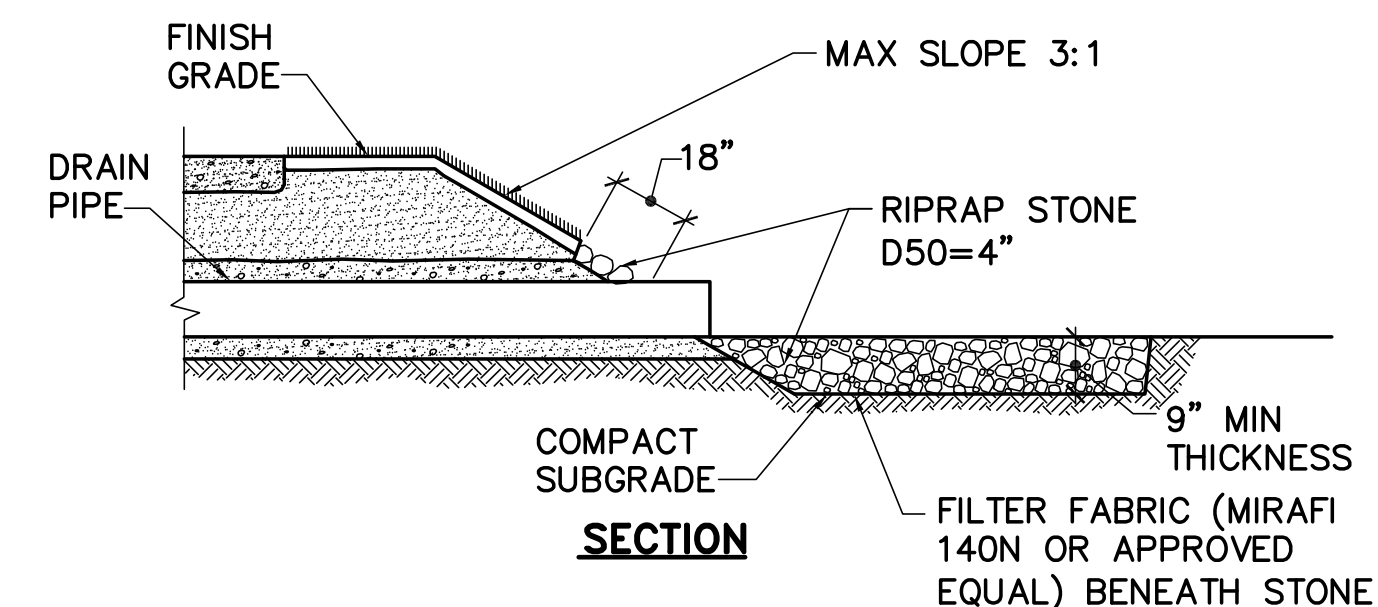
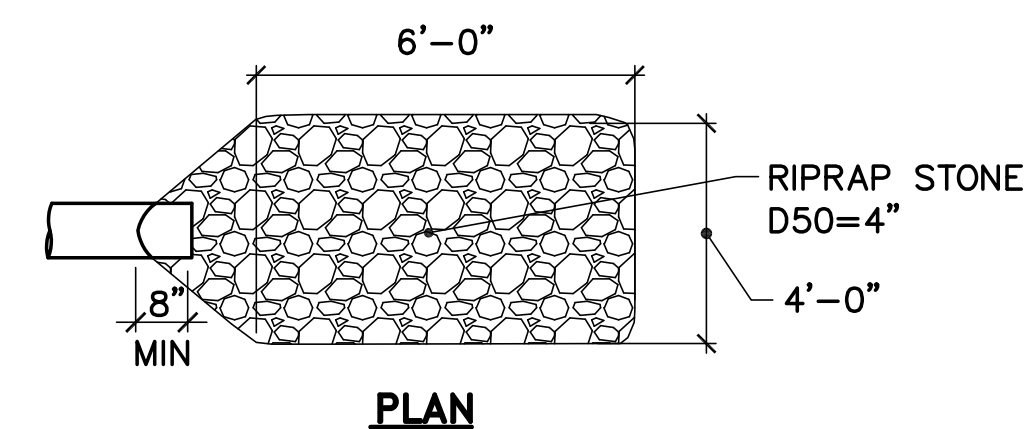


6 BITUMINOUS CONCRETE CURB
CS101, C-502 NOT TO SCALE

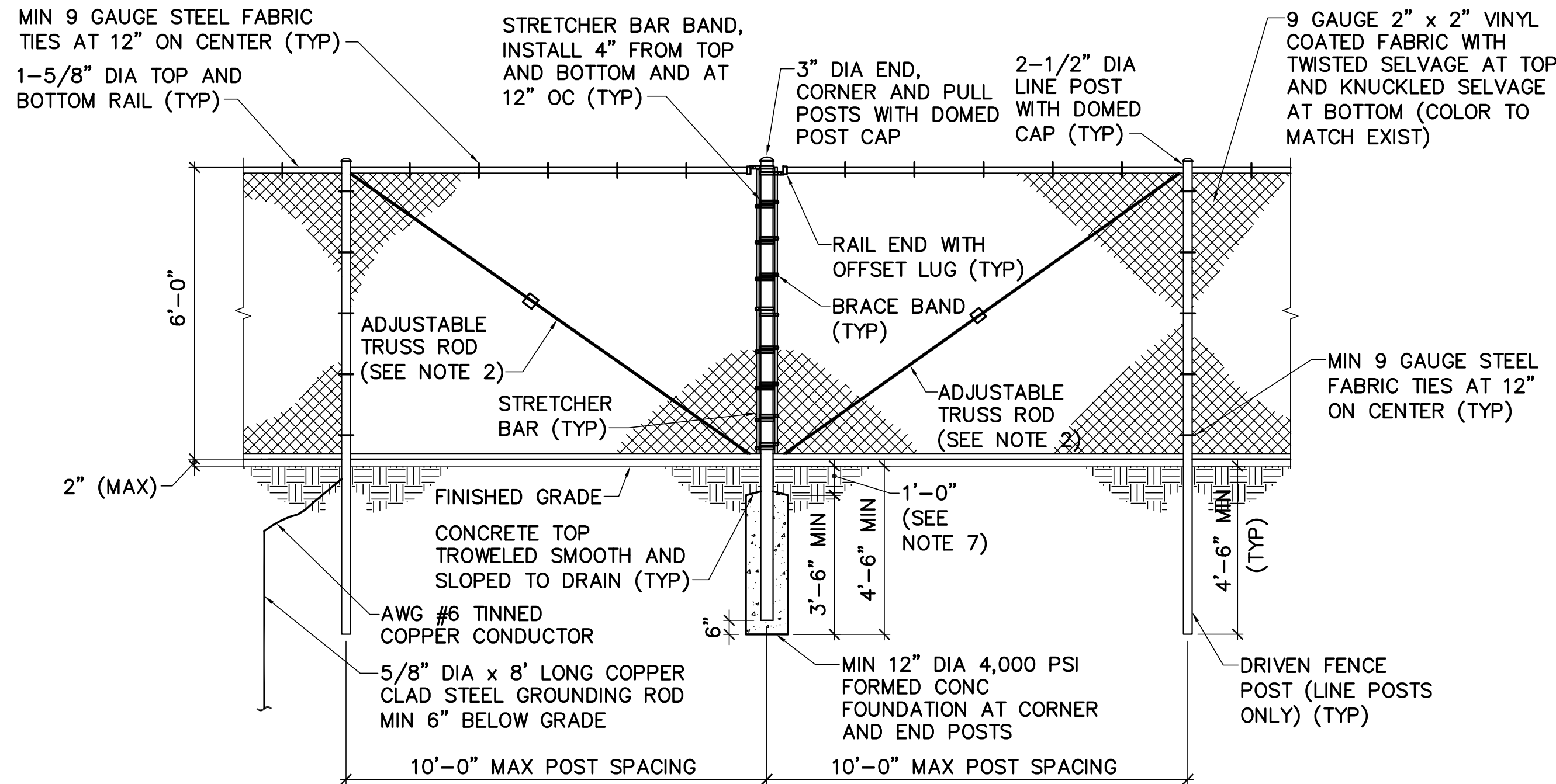


- NOTES:**
1. EXCAVATION WORK SHALL COMPLY WITH OSHA STANDARDS. TRENCH SIDEWALLS SHALL BE VERTICAL FROM TRENCH BOTTOM TO 12" ABOVE TOP OF PIPE.
 2. PROVIDE A MINIMUM OF 6" VERTICAL CLEARANCE BETWEEN CROSSING PIPES..

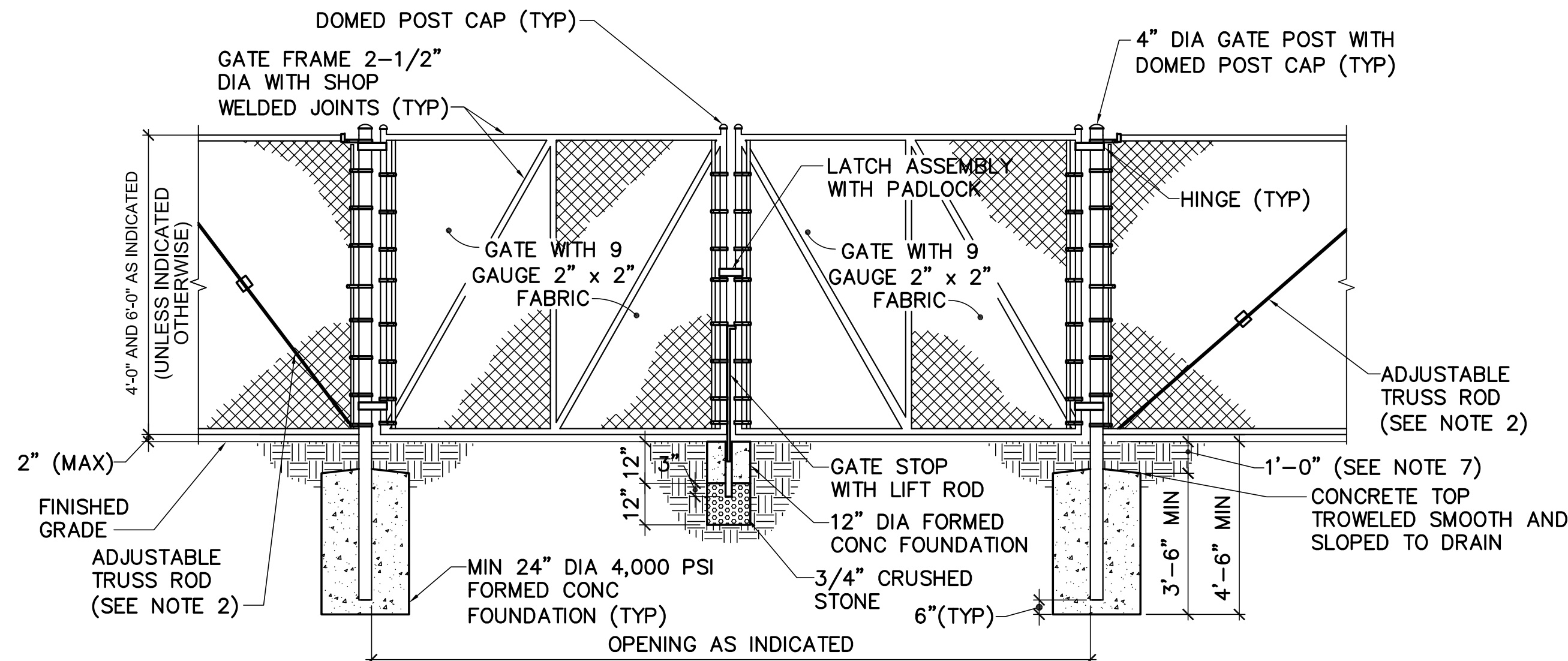
8 PIPE TRENCH
CS101, C-502 NOT TO SCALE



9 PIPE OUTLET PROTECTION DETAIL
CS101, C-502 NOT TO SCALE



1 CHAIN LINK FENCE DETAIL
CS101 C-504 NOT TO SCALE

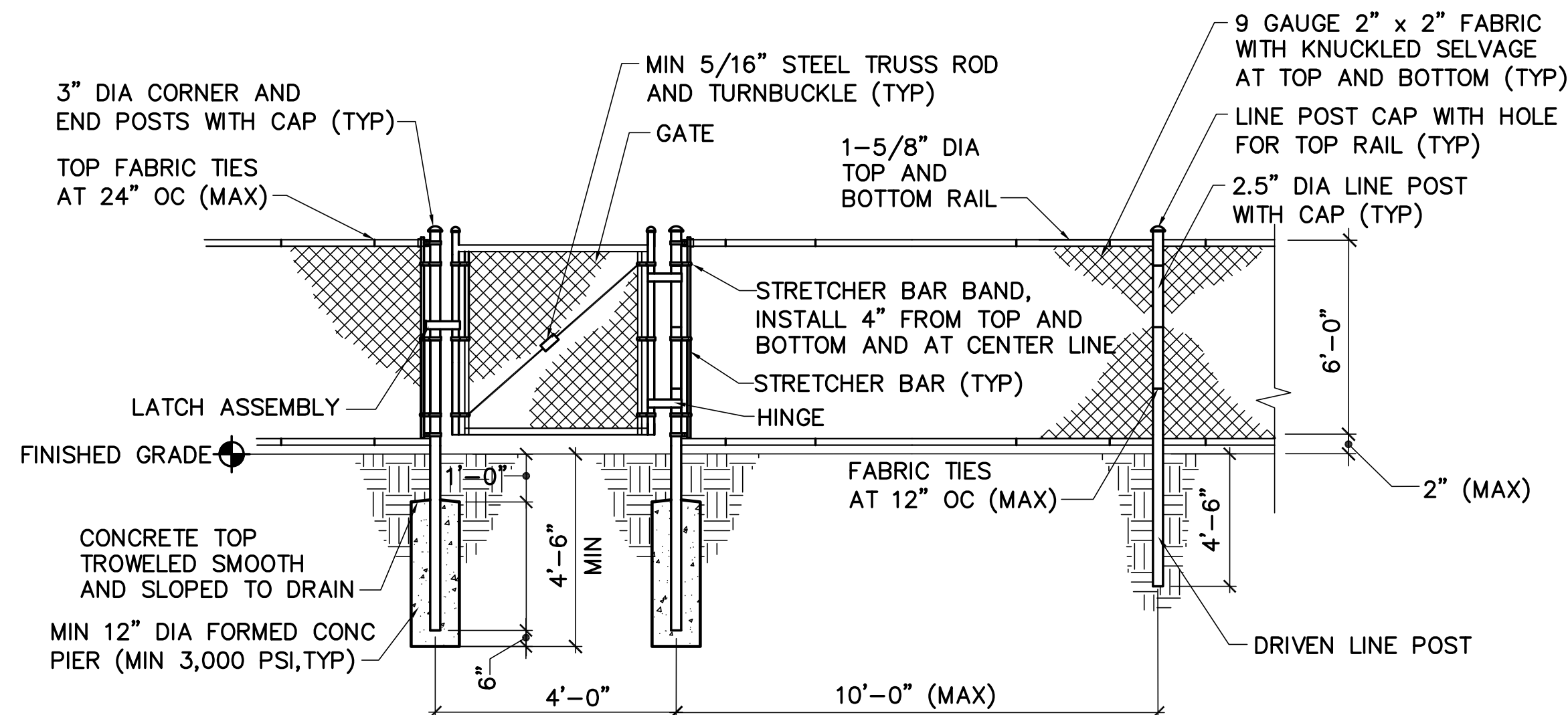


CHAIN LINK FENCE GATE

CHAIN LINK FENCE AND GATE NOTES:

1. ALL POSTS, RAILS, FABRIC, TIES AND APPURTENANCES SHALL BE GALVANIZED STEEL.
2. ALL FASTENING AND HINGE HARDWARE SHALL BE SECURED IN PLACE BY PEENING OR WELDING TO PREVENT DISASSEMBLY OF FENCING/GATES.
3. WHEN LEDGE IS ENCOUNTERED, STEEL POSTS SHALL BE SET AND GROUTED 12 INCHES DEEP UNLESS THE POSTS PENETRATE THE GROUND TO THE DEPTH INDICATED ON THE DRAWINGS.
4. CONNECT BONDING JUMPERS BETWEEN GATE POSTS AND FRAMES. BONDING JUMPERS SHALL BE MADE OF ELECTROPLATED OR HOT TIN COATED COPPER TO ENSURE HIGH CONDUCTIVITY.
5. MAKE GROUNDING CONNECTIONS AT BARE METAL POINTS OF CONTACT.
6. PIPE SIZES INDICATED ARE OUTSIDE DIAMETER (FENCE INDUSTRY STANDARD).
7. IN PAVED AREAS, EXTEND CONCRETE FOUNDATIONS TO FINISH GRADE.
8. VINYL COATED FENCE COLOR TO MATCH EXISTING.

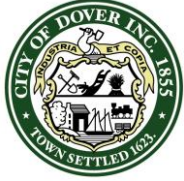
2 CHAIN LINK GATE DETAIL
CS101 C-504 NOT TO SCALE



CHAIN LINK FENCE NOTES:

1. ALL POSTS, RAILS, FABRIC AND APPURTENANCES SHALL BE GALVANIZED.

3 CHAIN LINK PEDESTRIAN GATE DETAIL
CS101 C-504 NOT TO SCALE



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P20-66A

Application Type: Amendment to Site Plan Conditions
Applicant(s): Index Packaging Inc
Owner(s): Index Packaging Inc
Location: 150 Venture Drive (Tax Map D, Lot 9A)
Meeting Date: March 23, 2021

INTENT: To revise the conditions of approval to a previously approved site plan application to note the credit of TDR units in exchange for the Industrial Development per add 170.27.2-G(3)(b)(iii)

LOTS/UNITS PROPOSED:

N/A

AGENDA ITEM #: 4-C

ACREAGE: 9.29 acres

ZONING DISTRICT: IT

EXISTING LAND USE:

Industrial

PROPOSED LAND USE:

Industrial

SURROUNDING LAND USE:

Spaulding and Industrial

ZBA ACTION: None

ATTACHMENTS: Letter from applicant

APPLICATION IS

COMPLETE: Yes

NOTICES SENT: Abutter

notices were sent by certified mail to all abutters for this meeting

PERMITS REQUIRED:

-N/A

WAIVER(S) REQUESTED: -

N/A

Summary of Request and Background

The applicant is requesting the Planning Board amend their previous conditional approval to note that with the industrial project, they are granted 8 residential units (rounded down) as credit based on the 57,000 s.f. of new industrial. This regulation was added in the summer of 2020. The applicant can build these units as part of TDR plan as part of a different project or can sell their credit to a different developer to use.

Consistency with Land Use Regulations – Site Plan

Section 170-27.2-G(3)(b)(iii) states, “any development approved by the Planning Board after July 1, 2020, which will create a manufacturing or assembly facility over 40,000 square feet, may create and transfer one (1) unit per 2,000 square feet of ZONINGP170-112building approved. The transfer shall not be completed prior to the issuance of the Certificate of Occupancy for the additional space. This application is consistent with those regulations.

STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board to accept the application, open the public hearing, and vote to amend the conditional approval to revise the Decision Letter to state that a credit of 8 residential units is part of this project and may be used or transferred after the Certificate of Occupancy is issued for the 57,000 s.f. of industrial space, and would require Planning Board review of the final layout and use of those units.

To: Christopher Berry
From: Christopher Parker, AICP
Cc: Staff
Date: March 12, 2021
Re: TDR 150 Venture Drive

ISSUE:

In February of 2020 the Board recommended amendments to the Transfer of Development Rights (TDR) Ordinance. In June 2020 the Planning Board approved the amendments and on July 22, 2020, the City Council ratified them. One element is the requirement for staff to draft a review statement on determine the need for a sketch plan.

INTENT:

This memo will serve as the staff report

GOALS:

Provide background of the current housing shortage, and describe the TDR applications in Dover.

Background

On March 11, 2021, you submitted a request for staff to apply the provisions of section 170-27.2 G 3) (b) (3) of the Zoning to a project approved in January, by the Planning Board. This provision allows that any manufacturing or assembly use created after July 1, 2020, which creates more than 40,000 square feet of space shall be eligible for residential units.

Staff performed this review based upon the information below, and is now providing the required staff report {170-27.2 E) 4) a}.

Project Information

Project:	Index Packaging, LLC
Where:	150 Venture Drive
What:	57,000 sf assembly and manufacturing
Acres:	9.29
Zone:	IT
Public Water:	Yes
Public Sewer:	Yes
Units:	0 by right, 8 purchased
CUP?	No

Staff Comment

When reviewing projects, staff visit the site, review the context, discuss options with the applicant and advises if it makes sense to request the purchase before or after designing a fully laid out plan. Furthermore, staff discuss the cost/benefit analyses on the proposal with the applicant.

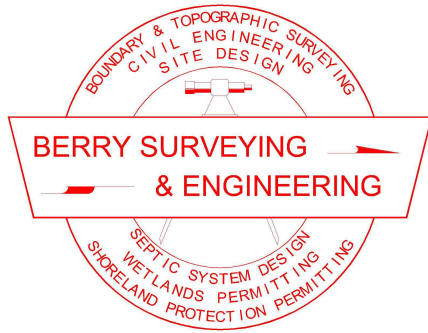
In reviewing this project we note:

- Traffic
 - Venture Drive serves a business park
- Existing layout/topography
 - The existing single story structure has been on the property for decades.
 - The lot is flat
- Environmental
 - The area being developed does not impact the environment

The applicant is looking to codify that it has the ability to create 8 residential units (57,000 – 40,000/2,000) to either add to its site, add to another site it owns or sell to a developer.

Staff Recommendation

Staff recommends that this does not need a sketch plan submitted for review. The request is consistent with the ordinance and would require further Planning Board review once a location for the units is determined. At this time, staff recommends the applicant seek an amendment to its previously approved site plan noting that there are 8 units created, upon CO for the addition and that those units need Planning Board approval before being transferred.



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

crberry@metrocast.net

March 2, 2021

City of Dover
Attention: City Planner Donna Benton
288 Central Ave
Dover, NH 03820

Re: TDR Clarification Request
Index Packaging Inc
150 Venture Drive
Tax Map D, Lot 9A

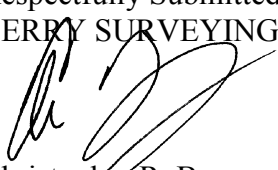
Dear Mrs. Benton,

On behalf of our client Index Packaging Inc. Berry Surveying & Engineering (BS&E) is requesting a minor alteration to the existing Notice of Decision for the project located at 150 Venture Drive.

The latest TDR ordinance allows commercial expansions that create manufacturing or assembly space over 40,000 square feet in size to generate 1 TDR unit for every 2,000 square feet created. This project creates 57,000 square feet of space for this purpose. This generates 28.5 TDR units per the ordinance. It is unclear how this is rounded, likely down, whereas the original adoption of the ordinance discussed rounding down when generating the yield calculation.

To memorialize these units we would like the Notice of Decision to be modified to include language demonstrating their creation.

Respectfully Submitted,
BERRY SURVEYING & ENGINEERING


Christopher R. Berry
Principal, President

P20-66A	150 VENTURE DRIVE						
Property ID	Location	Owner 1	Owner 2	Owner Address 1	City	State	Zip
D0009-A00SND	VENTURE DR	INDEX PACKAGING INC		1055 WHITE MOUNTAIN HIGHWAY	MILTON	NH	03851
D0009-A01000	VENTURE DR	INDEX PACKAGING INC		1055 WHITE MOUNTAIN HIGHWAY	MILTON	NH	03851
D0009-A01SND	VENTURE DR	INDEX PACKAGING INC		1055 WHITE MOUNTAIN HIGHWAY	MILTON	NH	03851
D0011-000000	127 VENTURE DR	APW PROPERTIES LLC		9 CAPITOL ST	CONCORD	NH	03301
D0011-001000	VENTURE DR	DOVER BUSINESS & IND DEV AUTHORITY		288 CENTRAL AVE	DOVER	NH	03820
D0011-003000	111 VENTURE DR	MERCHANDISE CENTRAL LLC		111 VENTURE DR	DOVER	NH	03820
D0011-009000	10 INNOVATION WY	HEINE USA		10 INNOVATION WAY	DOVER	NH	03820
D0011-A00000	SANDY LN	150 VENTURE DRIVE LLC		192 DOVER POINT RD	DOVER	NH	03820
		BERRY SURVEYING & ENGINEERING	CHRISTOPHER BERRY	335 SECOND CROWN POINT ROAD	BARRINGTON	NH	03825
		T&W DESIGNS		254 DRAKE HILL ROAD	STRAFFORD	NH	03884
		TERRAIN PLANNING & DESIGN	ERIC BUCK	311 KAST HILL ROAD	HOPKINTON	NH	03229
		JOHN P HAYES III		7 LIMESTONE WAY	NORTH HAMPTON	NH	03862