

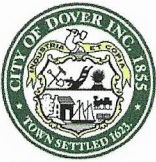


CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: Council Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, January 20, 2022**
Meeting Time: **10:30 AM**

1. 10:30 AM – 11:15 AM: Site Review for Tolwood Realty Group LLC, Assessor's Map 9, Lot 44, zoned CBD- Mixed Use, located at 53 Silver Street. (Proposal is for construction of three (3) new townhouse style units developed within a portion of the parking lot of the existing commercial office building.) (P22-01)



City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: July 1, 2021]

Office Use Only	Project #:	_____	Date Received:	_____
	Amount Paid:	_____	Time Received:	_____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Tolwood Realty Group LLC Telephone # 603-742-2121

Address of Applicant: 242 Central Ave Dover NH

E-Mail Address: robert@centralfallsrealty.com

Name of Property Owner (if different from applicant): Same Telephone # _____

Address of Property Owner: _____

PROPERTY INFORMATION

Address of Property: 53 Silver Street

Assessor's Map # 9 Lot(s) # 44

Zoning District(s) Central Business Overlay District(s) Mixed use

Size of Parcel: 16,805 sq. ft. 0.39 ac. Property Deed: Book 4910 Page: 64

Existing Use of Property: 2 commercial units with adjacent parking.

SITE PLAN INFORMATION

Describe Proposed Use: See attached narrative

Area of Parcel to be Developed: 10,000 SF sq. ft.

If Multi-family Residential: Number of Units 3 & Buildings Proposed 3 New Residential

If lodging: Number of Units N/A & number of Buildings N/A

Number of Parking Spaces: Existing 15-16 +/- Proposed 11 and 1 EV Ready

Highway Access (check where applicable): ☒ City Street ☐ State Highway

Number of Employees Total: Unknown at this time In Maximum Shift: 1

Disposition of Parcel:

Building Setbacks:

Building Footprint 4,084 sq. ft.

Front Yard 5-20 ft.

Total Building Area +5,816 sq. ft.

Rear Yard 10-20 ft.

Paved Area 5,221 sq. ft.

Side Yard: Right 5-20 ft. Left 5-20 ft.

City Water? ☒ Yes ☐ No How far is city water from the property? Silver Street

City Sewer? ☒ Yes ☐ No How far is city sewer from the property? Silver Street

TRANSFER OF DEVELOPMENT RIGHTS INFORMATION

Type of TRANSFER OF DEVELOPMENT RIGHT REQUEST (Check All That Apply):

☐ Residential ☐ Residential (reduced size) ☐ Industrial | ☐ Purchase ☐ Land Preservation

Relief sought (Check All That Apply):

☐ Lot Size ☐ Frontage ☐ Setback ☐ 30' Buffer ☐ Increase by _____ units

Describe Proposed Use or Activity that requires TDR; describe any impacts and document mitigation:

BUILDING INFORMATION

Type of Building to be Built: Existing Office to Remain, Addition of 3 units at rear of site

Height of Building: 30' +/- Finished Floor Elevation: 104.0

Number of Seats (where applicable) N/A

Estimated value of construction: 750,000 Refuse removal: Public/Private (circle one)

WAIVER REQUESTS

Site Review Regulations section(s) to be waived: Lighting.

Justification for waiver request(s) (*attach additional sheets as needed*):

Existing Lighting to remain and adding only residential lamps to the project site.
Being that this is a residential mixed zone, there are some dark areas in the parking
lot, as there are in the existing condition. The project increases light levels on
site increasing the safety from the existing condition without adding pole lamps and
providing excess lights. Uniformity ratios cannot be provided with 0 FC factored in.

SURVEYOR INFORMATION

Kenneth A Berry, PE, LLS
Christopher R. Berry
Name of Surveyor and Company (Licensed in N.H.) Berry Surveying & Engineering
Address 335 Second Crown Point Rd, Barrington, NH 03825 Telephone #: 603-332-2863
Professional License #: 805 E-mail address: K.Berry@BerrySurveying.com
crberry@metrocast.net

ENGINEER INFORMATION

Kenneth A Berry, PE, LLS
Christopher R. Berry
Name of Engineer and Company (Licensed in N.H.) Berry Surveying & Engineering
Address 335 Second Crown Point Rd, Barrington, NH 03825 Telephone #: 603-332-2863
Professional License #: 14243 E-mail address: K.Berry@BerrySurveying.com
crberry@metrocast.net

ARCHITECT INFORMATION

Name of Architect and Company (Licensed in N.H.) _____
Address _____ Telephone #: _____
Professional License #: _____ E-mail address: _____

LANDSCAPE ARCHITECT INFORMATION

Terrain Planting & Design LLC
Name of Landscape Architect and Company (Licensed in N.H.) Eric Buck
Address 311 Kast Hill Road, Hopkinton NH 03229 Telephone #: 603-491-2322
Professional License #: 78 E-mail address: _____

SOIL SCIENTIST INFORMATION

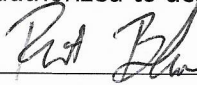
Name of Soil Scientist and Company (Licensed in N.H.) Deidra Benjamin
Address 100 Leavitt Road, Pittsfield, NH 03263 Telephone #: 603-496-3307
Professional License #: 295 E-mail address: deidra.benjamin1@gmail.com

CONSERVATION EASEMENT HOLDER

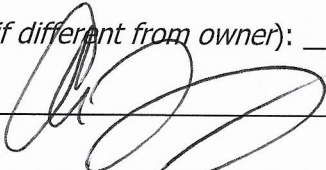
Name of Easement Holder: _____ Telephone # _____
Address Easement Holder: _____

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. Furthermore, I/we submit that the existing conditions sheet of the plan represents the lot in question, and that no alteration of the site shall take place during Planning Board review up to and including the pre-construction meeting. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

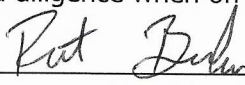
Signature of Property Owner:  Date: 12-28-21

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent:  Date: 12-28-21

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 12-28-21

AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY

I, and my successors, hereby the City of Dover or its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 12-28-21

Signature of Applicant (if different from owner): _____ Date: _____

CERTIFICATION OF FEES

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board. Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner:  Date: 12-28-21

Signature of Applicant (if different from owner): _____ Date: _____

PLANNING BOARD FEE SCHEDULE/INVOICE

(Revised July 1, 2021)

Below are the fees associated with plan review and are subject to a nonrefundable application fee to cover administrative expenses. Please complete the information below and provide payment with your application submittal. **Plan Review Fees shall be paid prior to technical review committee (TRC) being scheduled.** For plans not requiring TRC review, **fees are due 21 days prior** to the Planning Board meeting. Staff will coordinate abutter/notice fees, which will be invoiced and must be paid 28 hours before the Planning Board meeting for an application to be heard. Fees shall be paid by cash or check made payable to "City of Dover".

A. Plan Review Fees

1. Application fee for the following (SELECT ALL THAT APPLY):

- ☐ SUBDIVISION Application fee \$200.00 + \$150.00 x # _____ new lots created = \$ _____
- ☐ LOT LINE ADJUSTMENT Application fee \$200.00 + \$100.00 X # _____ of lots involved = \$ _____
- ☐ TRANSFER OF DEVELOPMENT RIGHTS Application fee \$200.00 = \$ _____
- ☐ SITE REVIEW – RESIDENTIAL Application fee \$200.00 + \$100.00 x # 3 per dwelling unit = \$ 500.00
- ☐ SITE REVIEW – NON-RESIDENTIAL Application fee \$200.00 + (not to exceed \$10,000)
 - ☐ New construction \$.15 sq. ft. x # _____ sq. ft. = \$ _____
 - ☐ Additions (new floor space) \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- ☐ MOTEL/HOTEL \$35.00 x # _____ per lodging unit = \$ _____
- ☐ CHANGE OF USE Application fee \$200.00 + (not to exceed \$5,000)
 - ☐ Existing floor spaces \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- ☐ CONDITIONAL USE PERMIT Application fee \$200.00 x # _____ per Application = \$ _____
- ☐ GRAVEL PIT/ EXCAVATIONS
 - ☐ Application fee \$50.00 = \$ _____
 - ☐ Permit fee \$75.00 = \$ _____
- ☐ EXTENSIONS/AMENDMENTS/WAIVERS FOR AN APPROVED PLAN Application fee \$200.00 = \$ _____
- ☐ REQUEST FOR REZONING Application fee \$200.00 = \$ _____
- ☐ DRIVEWAY WAIVER Application fee \$200.00 = \$ _____

- 2. TOTAL IMPERVIOUS PAVED AREA** (for new development, roadways or additions to existing parking lots, (not to exceed \$10,000)) Application fee of \$200.00 is N/A if it is part of a Site Review or Subdivision Plan. \$200.00 + \$.07 per sq. ft. x # 1,087 sq. ft. = \$ 76.09

SUBTOTAL PLAN REVIEW FEE (A) = \$ 576.09

AND

- B. Abutter Notification/Mailing Labels** - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will review the list for accuracy and provide to us the engineer, architect, licensed land surveyor (LLS), licensed landscape architect (LLA) and/or soil scientist whose professional seal appears on the plan with names and addresses for notices.

- ☐ Applicant & Owner, engineer, architect, LLS, LLA and/or soil scientist
 - ☐ Certified letters fee # _____ of x \$8.00 = \$ _____
- ☐ Certified letters fee: # of abutters _____ X \$8.00 = \$ _____
- ☐ First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X \$1.00 = \$ _____
- ☐ Creating/Printing Abutter Labels in triplicate per sheet _____ x \$10.00 = \$ _____

- C. Foster's newspaper public notice fee \$100.00 x # _____ applications = \$ _____**

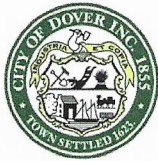
SUBTOTAL NOTICE FEE (B & C) = \$ _____

TOTAL INVOICE AMOUNT (A, B & C) = \$ _____

PLAN REVIEW FEE COLLECTED/PAID = \$ _____

BALANCE DUE = \$ _____

The balance due must be paid 28 hours prior to the Planning Board Meeting, to be heard.



City of Dover, New Hampshire SITE PLAN REVIEW SUBMISSION CHECKLIST

[Revision Date: June 4, 2019]

This site plan review checklist, as required by Chapter 153-6-B(2), should be completed by the applicant. It is intended to assist the applicant in the planning process of preparing a Site Plan Review application for Planning Board action. The size of the project will determine the types of information required for review, therefore, a **pre-application conference** with the Planning Department to determine the list of items that must be completed is strongly encouraged.

The first step would be to appear before the Technical Review Committee, to apply, eight (8) folded copies of the site plan with scale of not less than 1"=50' or 1"=100' for larger site plans, need to be provided, along with payment of plan review fees.

Two weeks prior to Planning Board, three (3) full size and twelve (12) half size (11x17), folded, copies of the plan set and materials, including response to TRC comments, will be due. Abutter/Notice Fees will be invoiced and need to be paid 28 hours prior to the Planning Board meeting.

The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan Review Regulations for full details.

APPLICANT: Tolwood Realty Group LLC File Number: _____

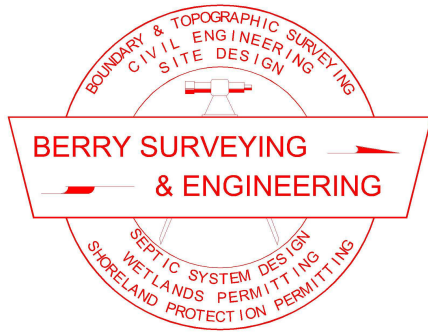
PROJECT TITLE: _____

PROPERTY LOCATION: 53 Silver Street Tax Map: 9 Lot: 44

	Where/How Provided	Reviewed
1. Completed and signed Application form	x	
2. Plan Review Fees are provided	x	
3. Electronic copy of the engineered/surveyed plan layout	x	
4. Electronic copy of supplementary materials and application	x	
5. Traffic Impact Assessment and Analysis (Standard or Advanced)	x	
6. Waiver requests to the Site Plan Review Regulations, with written justification	x	
7. Conditional Use Permit applications	N/A	
8. A colored rendering of the streetscape that will be created along the existing public right-of-way	x	
9. A colored architectural plan showing all sides of buildings	x	
10. Folded copies of site plan w/scale of not less than 1"=50' or 1"=100' for larger site plans, for TRC. Plans shall contain the following items as appropriate:	x	
Location map at appropriate scale	x	
Proposed Project name and title and Planning File #	x	
Date, north arrow and scale	x	
Names of all abutting property owners	x	
Name and address of owners and/or applicants	x	
Signature & stamp of NH licensed land surveyor and/or engineer	x	
Zoning District boundaries, including any special or overlay districts	x	
Location of Conservation District areas	x	
Location, names and widths of existing and proposed streets, including pavement widths, grades, curbs and crosswalks	x	
Location and widths of existing & proposed easements & right of ways	x	
Location and width of existing and proposed access/egress ways	x	

	Explain How Provided	Reviewed
Depict pedestrian walkways and accessible access	x	
Existing and proposed property lines with dimensions and bearings tied into Dover's Geographic Information System coordinate system	x	
Existing and proposed topographic information at two foot intervals	x	
Existing and proposed buildings and structure locations	x	
Minimum building setbacks or build to lines on all lots	x	
Location and size of existing and proposed electric, telephone, gas cable and other underground utilities	x	
Existing and proposed water lines and fire hydrants, including materials and capacity needed	x	
Location and materials of sanitary sewage facilities within project site and projected additional peak hour sewer load	x	
Existing and proposed stormwater lines and facilities	x	
Lighting plan depicting all existing and proposed exterior light fixtures and a lighting level analysis for parking lots	x	
Location of Flood Hazard Zone	N/A	
Location of all bodies of water and watercourses	N/A	
Location of wetlands and buffers	N/A	
Neighborhood plan with aerial underlay showing how project relates to abutting uses within the plan set	x	
Existing natural features and/or significant vegetation on property	x	
Depict existing contours up to 100 ft. beyond project limits	x	
Landscape plan depicting existing and proposed landscaping, prepared by a licensed Professional Landscape Architect	x	
Location of parking layout delineating spaces and arrangement; note addressing maximum required spaces	x	
Location, material and size of existing and proposed pavement area	x	
Location of proposed fire lanes	x	
Specify finished floor elevations of buildings	x	
Location of solid waste disposal facilities (dumpster, pad and screening, etc.), including required screening	x	
Depict all service, storage, loading bays and utility areas	x	
All applicable Dover Common Site Plan notes	x	
11. Additional Information if appropriate		
Stormwater Management Plan depicting the existing & proposed storm drainage system and engineered drainage analysis	x	
Stormwater Management System Operation and Maintenance Plan	x	
Letter to Serve from Public and Private Utilities	Will provide	
Erosion and Sedimentation Control Plan	x	
Landscape Operation and Maintenance Plan	x	
Proposed restrictive covenants or homeowners association documents	Will provide	
Dates and permit numbers of all required state and federal permits	N/A	
If wetland buffer, indicate placards locations, as applicable	N/A	
Depict test boring locations, groundwater elevations and soil profiles and/or soils types call-outs	x	
Location of proposed drive-in facilities	N/A	
Provide additional exhibits/technical data determined appropriate by the Planning Board or its staff as required	Will provide as needed	

REVIEWED BY: _____ DATE _____ TRC DATE _____



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

crberry@metrocast.net

December 28, 2021

City of Dover

Attention: City Planner Donna Benton

288 Central Ave

Dover, NH 03820

Re: TRC Review Minor addition of 3 residential units
Tolwood Realty Group LLC
53 Silver Street
Tax Map 9, Lot 44

Dear Mrs. Benton,

On behalf of our client, Tolwood Realty Group LLC, Berry Surveying & Engineering (BS&E) is submitting for a TRC only review of the proposal for three residential units at 53 Silver Street. Please note that this set is developed to provide the applicant with a comprehensive set of site construction drawings and may not contain all of the elements required for Site Review, based on the project not requiring a Site Review. As such, many of the common Site Review notes do not apply to this project and therefore were not added to the plan.

Background and General Narrative:

Tolwood Realty Group LLC, owns the parcel known as 52 Silver Street in Dover, NH (Tax Map 9, Lot 44). Berry Surveying & Engineering has conducted an on-site survey of the parcel which includes a topographic analysis and wetlands analysis. No wetlands were found on site. The lot has an existing building with a commercial office unit with adjacent parking. The rear of the site is lightly wooded, while the front is open. The site gradually slopes away from Silver Street towards the rear of the project to an infiltrating catch basin.

The Proposal:

The proposal is to apply for a TRC review of a minor project, which develops three new townhouse style units at the rear of the project site. This new building would be developed generally in the footprint of a portion of the existing parking lot. The existing parking lot is underutilized for the small commercial office space on site with between 15 and 16 spaces in the lot. The existing parking lot remains in place, however will be manipulated due to trenching and re-grading for ADA compliance. At the end of the project the lot will be re-claimed and re-surfaced. A small addition to the lot is made to the rear to allow for a pull out and some additional parking. The existing structure is equipped with a fire suppression system. Due to the number of units / intensity of the use it is assumed that a street name is required. Sterling Drive

has been provided for the private road name, however as of this writing it was determined there is an existing Sterling Way, so an alternative will be required. The drive is larger than 20' in width and is 144' in length.

Drainage:

The much of the existing site drains to an infiltrating catch basin off the end of the parking lot. This flow pattern is replicated in the proposed condition, however the time of concentration is likely increased due to the flow coming around the new building, through a shallow swale, through a landscaped swale system and then to the basin. Due to the minor increase in impervious surface, the proposal is to capture the roof of the new structure through gutters and down spouts and direct them to a stormtech infiltration system. Soil on site is sandy with a seasonal high water table of around 6 feet. The system was modeled to handle a 100 yr/24 hr. storm event using an infiltration rate of 10 in/hr. If an infiltration rate of 3 in/hr were used within the model, the system would be designed for the 25 yr/24hr storm event. Due to the fact that the entire roof is now infiltrated, the effective impervious area is reduced on site.

Utilities:

There are existing utilities to the building onsite. Overhead utilities from the pole on Silver Street to the front western corner of the existing structure. The applicant is working with Eversource to determine the best route for utilities to the rear structure. It is preferred by the applicant to not disturb the new brick sidewalk on Silver Street to gain access to utilities within the planting strip.

The existing structure is equipped with both a domestic water line and a fire line. The applicant will run flow tests to determine if tapping into these lines onsite is an option. The plans demonstrate a water tap in Silver Street in the event onsite utilities cannot be utilized.

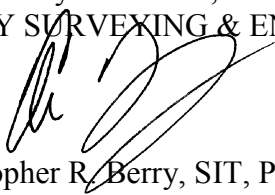
Sewer is proposed to be dropped into a small low pressure system and pumped to the existing service at the front of 53 Silver Street, so as to avoid trenching and connecting to the sewer in Silver Street.



Lighting:

A lighting plan was developed and has been submitted in the plan set to demonstrate that the proposal will not cause the site to be non-compliant with respect to lighting trespass. There are existing lights on the building which are proposed to remain, and have been modeled. The proposed structure is to have residential style lamps on the front and rear doors, and proposes a lamp on either end of the building, where toters are located. There are areas of the parking area that are not lit in the existing condition and are proposed to remain that way in the proposed condition. Due to this, uniformity ratios cannot be developed for the parking area. The site is located in a populated area, and has remained unlit, and out of respect to the abutting land owners the applicant would request that no additional pole lamps be required for the project.

Respectfully Submitted,
BERRY SURVEYING & ENGINEERING

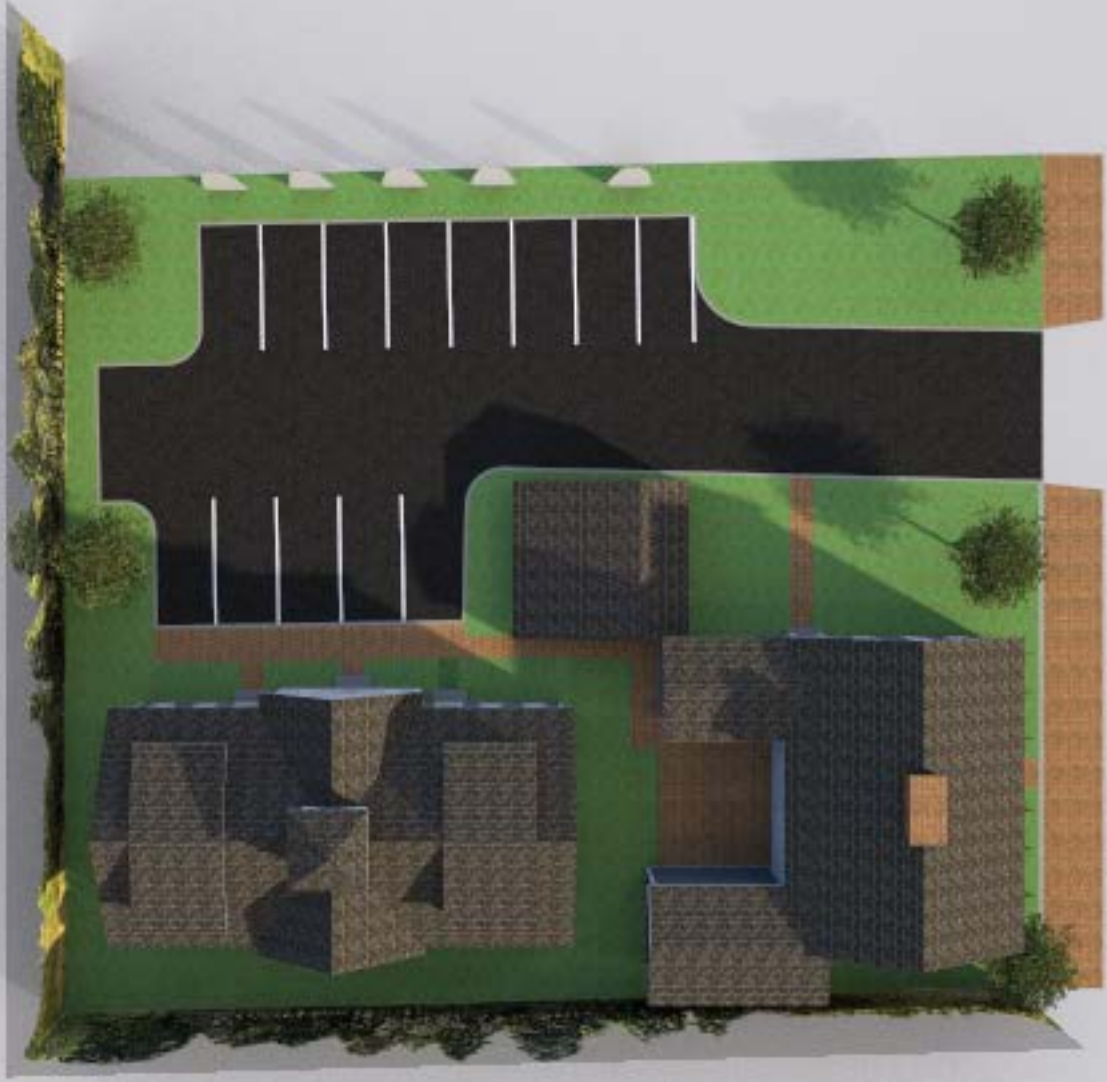


Christopher R. Berry, SIT, Project Manager
Principal, President



BERRY SURVEYING & ENGINEERING

335 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
www.BerrySurveying.Com





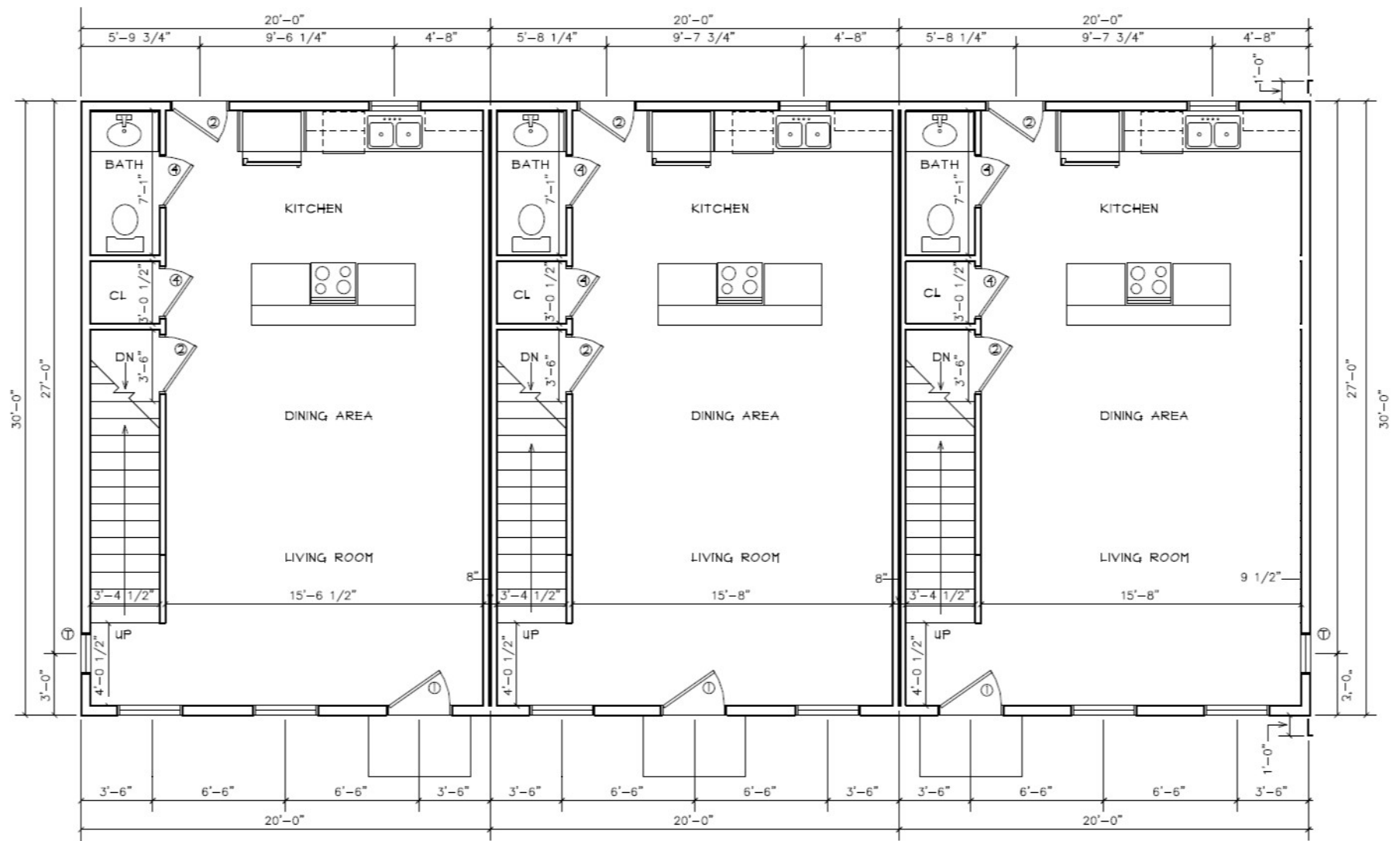




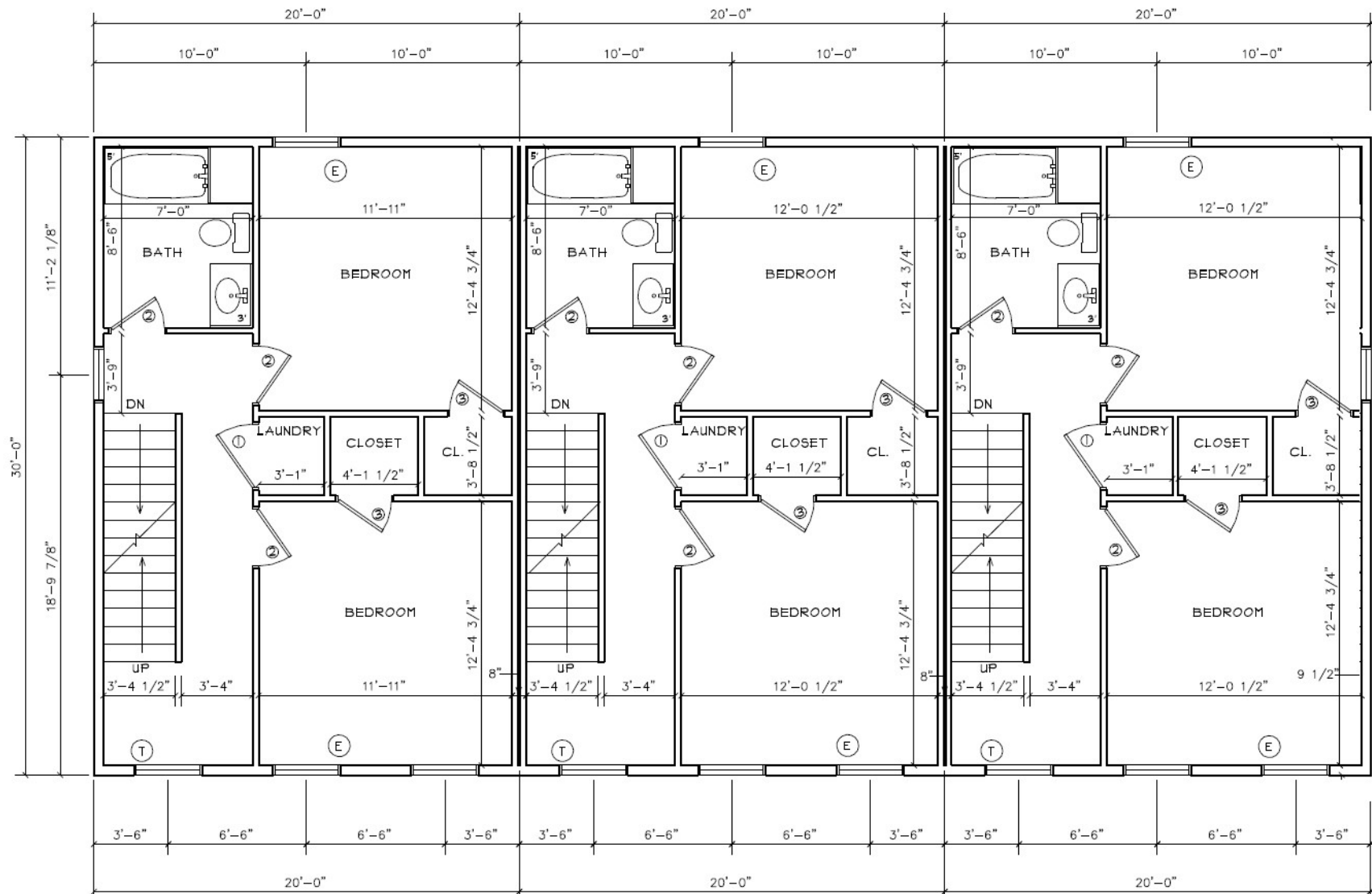




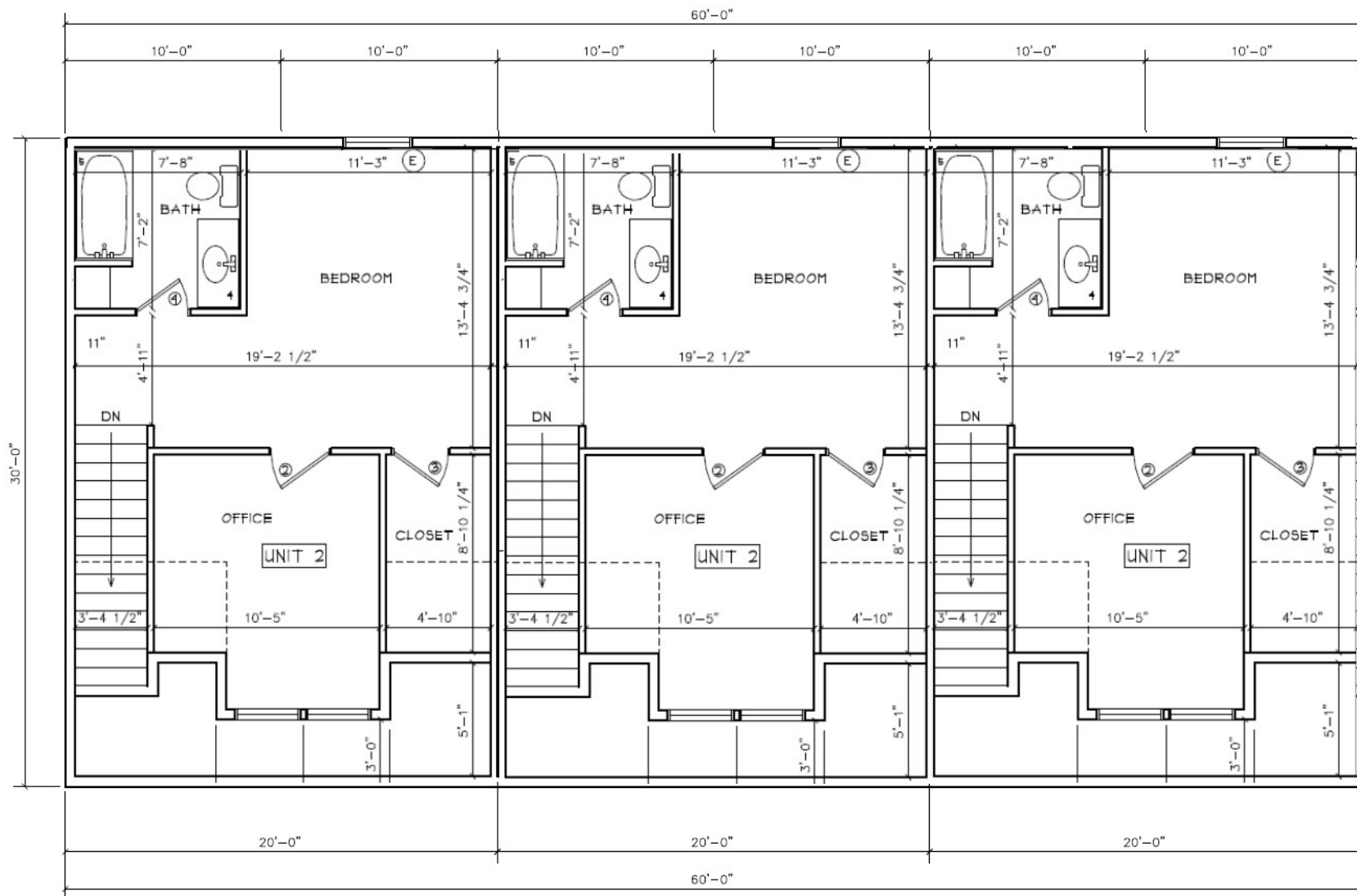




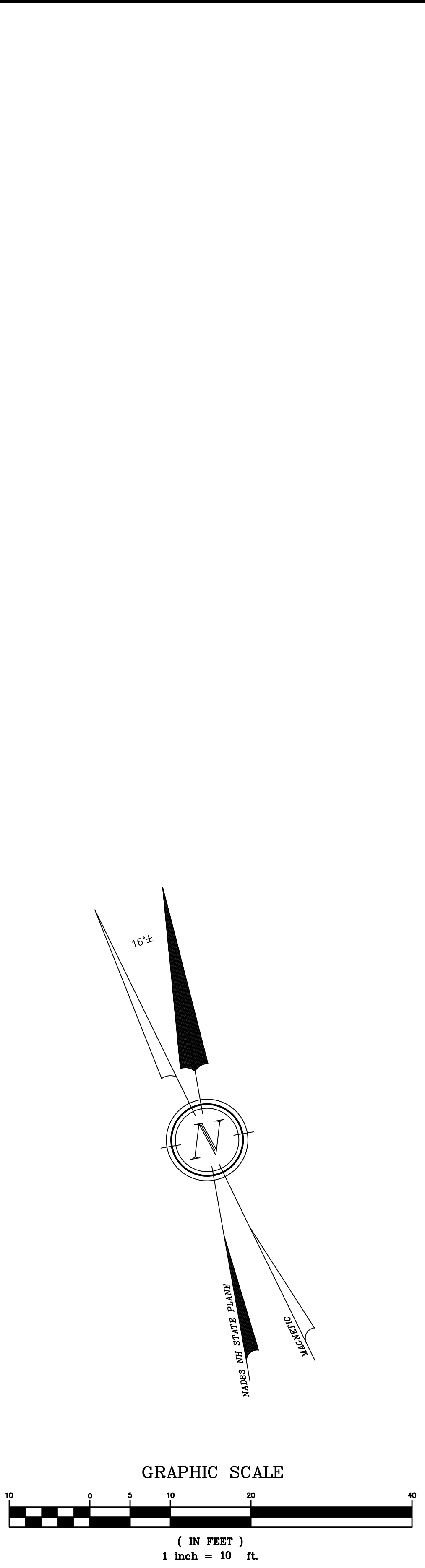
① FIRST FLOOR PLAN
SCALE 1/4"=1'-0"



① SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



① THIRD FLOOR PLAN
SCALE 1/4"=1'-0"



BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863 SCALE : 1 IN. EQUALS 10 FT. DATE : DECEMBER 1, 2021 FILE NO. : DB 2021 - 070		COLOR SITE PLAN LAND OF TOLWOOD REALTY GROUP LLC 53 SILVER STREET DOVER, N.H. TAX MAP 9, LOT 44		PLANNING FILE #
		REVISION	DATE	DESCRIPTION

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SHEET 5	~	GRADING & DRAINAGE
SHEET 6	~	INFILTRATION PRACTICE (STORMTECH)
SHEET 7	~	EROSION & SEDIMENT CONTROL PLAN
SHEET 8	~	UTILITY PLAN
SHEET 9	~	LANDSCAPING PLAN
SHEET 10	~	LIGHTING PLAN
SHEET 11	~	E101-SEDIMENT & EROSION DETAILS
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SHEET 15	~	L101-LANDSCAPING DETAILS
SHEET 16	~	U101-UTILITY DETAILS

OWNER: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820

APPLICANT: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
GPSWQ, CPESC, CESSW
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
GPSWQ, CPESC, CESSW
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

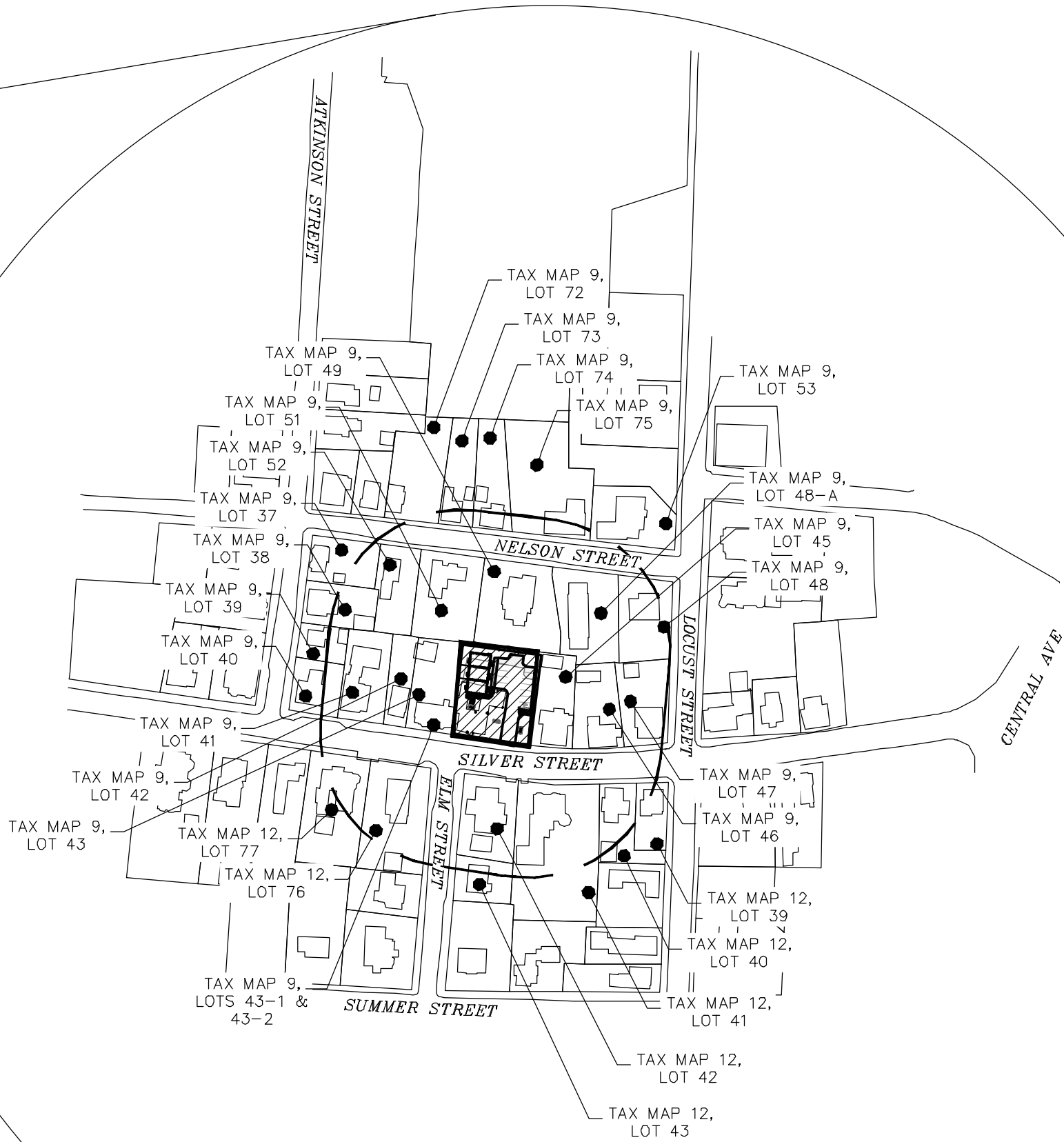
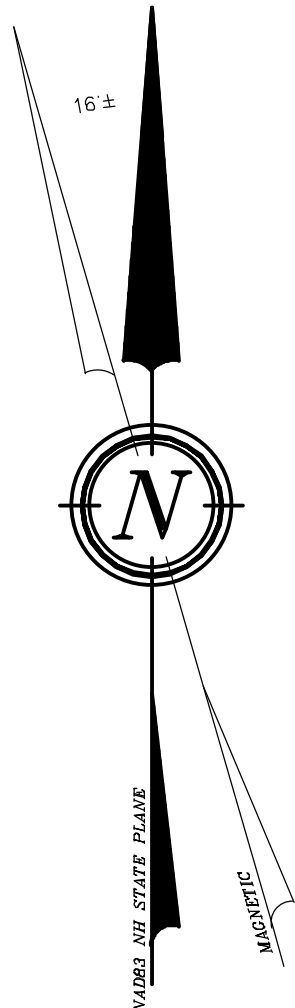
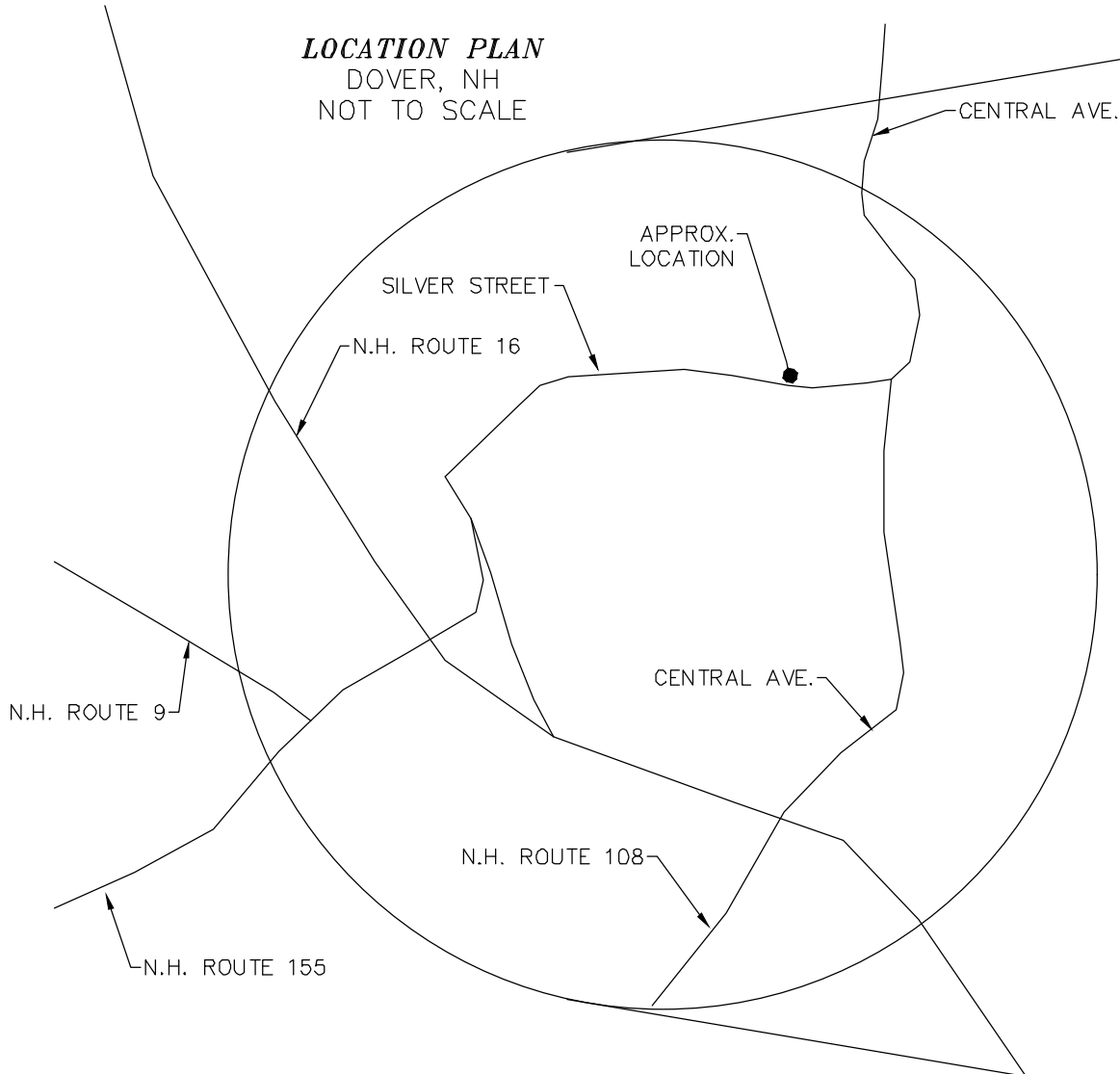
WETLAND SCIENTIST: DEIDRA L. BENJAMIN, CWS
100 LEAVITT ROAD
PITTSFIELD, NH 03263

MINOR SITE PLAN
FOR
TOLWOOD REALTY GROUP, LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CITY OF DOVER COMMUNITY SERVICES DEPARTMENT.

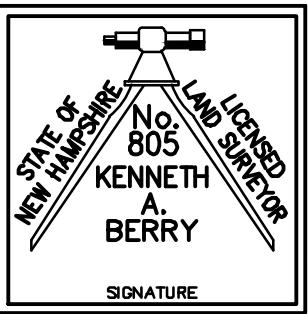
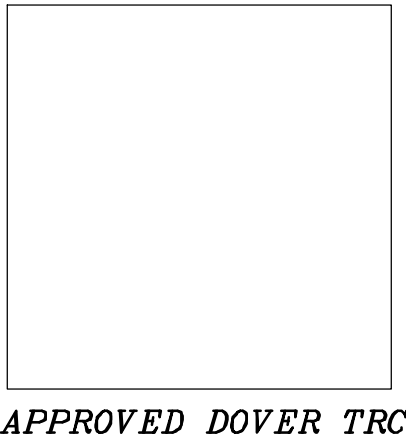
VICINITY SKETCH
DOVER, NH
SCALE: 1" = 200' ±



WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE PLAN, THE SITE PLAN APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF DOVER LAND SITE PLAN REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SITE PLAN APPROVAL.

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF DOVER.



BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : AS SHOWN

DATE : DECEMBER 1, 2021

FILE NO. : DB 2021 - 070

MINOR SITE PLAN

LAND OF

TOLWOOD REALTY GROUP LLC

53 SILVER STREET

DOVER, N.H.

TAX MAP 9, LOT 44

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

NO. 805

REGISTERED PROFESSIONAL ENGINEER

PLANNING FILE #	REVISION	DATE	DESCRIPTION

ABBREVIATION LEGEND:

V.G.C.	VERTICAL GRANITE CURB
E.O.P.	EDGE OF PAVEMENT
BITUM.	BITUMINOUS
E.S.H.W.T.	ESTIMATED SEASONAL HIGH WATER TABLE
TYP.	TYPICAL
U.G.E.	UNDER GROUND ELECTRIC / UTILITY
HDPE	HIGH DENSITY POLYETHYLENE
ACP	ASBESTOS CLAY PIPE
F.G.	FINISHED GRADE
E.G.	EXISTING GRADE
L.F.	LINEAR FOOT
F.D.	FINISHED FLOOR
FND	FOUND
T.B.R.	TO BE REMOVED
P.L.	PROPERTY LINE
E.L.	EASEMENT LINE
T.B.M.	TEMPORARY BENCHMARK
'/	FOOT / FOOT

SSL () ~ {SIZE} SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
DSL () ~ {SIZE} DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
SSB () ~ {SIZE} SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
SBL () ~ {SIZE} SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
DBL () ~ {SIZE} DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)

EXISTING LEGEND:

DRILL HOLE ~FND~	IRON PIPE ~FND~
IRON BOUND ~FND~	NH HIGHWAY BOUND ~FND~
UTILITY POLE	GUY WIRE
SINGLE POST SIGN	
TEST PIT	
LEDGE PROBE	
TEMPORARY BENCHMARK (T.B.M.)	
BLAZED OR BARBED WIRE TREE	
POORLY DRAINED WETLAND LINE	VERY POORLY DRAINED WETLAND LINE
BUILDING SETBACK LINE	EASEMENT LINE
50' POORLY DRAINED WETLAND BUFFER	75' VERY POORLY DRAINED WETLAND BUFFER
ZONING DISTRICT LINE	STONE WALL
NRCS SOIL DELINEATION LINE	SITE SPECIFIC SOIL LINE
LIMIT OF SOIL SURVEY	OVERHEAD UTILITIES LINE
EXISTING CULVERT PIPE	EXISTING CONTOUR MINOR
EXISTING CONTOUR MAJOR	
AREA OF 25% OR GREATER SLOPE	

448A SOIL SERIES
CsB NRCS SOIL LABEL
R.C.R.D. ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
TYP. TYPICAL
FND FOUND

PROPOSED LEGEND:

IRON BOUND ~TBS~	GRANITE BOUND ~TBS~
UTILITY POLE	OUTLET STRUCTURE
SIGNAGE	CHECK DAM-MATERIAL AS SPECIFIED
FLOW ARROW	WELL
TEMPORARY BENCH MARK (T.B.M.)	
DETAIL SHEET / DETAIL	
CONTOUR MINOR	CONTOUR MAJOR
CULVERT W/ FLARED END SECTION (F.E.S.)	PROPOSED TREE LINE
GUARD RAIL	SHOULDER
CENTER LINE	CLEAR ZONE LINE
BUILDING SETBACK LINE	SUBDIVISION BOUNDARY LINE
SAW CUT & MILL	TRANSFORMER / J.BOX
UNDERGROUND UTILITY	UNDER DRAIN
SILT FENCE / EROSION MIX BERM	FILTREXX 8" - 12" SILT SOXX AS SPECIFIED
ORANGE CONSTRUCTION PERIMETER FENCE	NRCS SOIL DELINEATION
SOIL TYPE	
RIP RAP	RAIN GARDEN
BERM	

DIRECT ABUTTERS:

- N/F CANDLEWOOD PROPERTIES, LLC
PO BOX 132
DOVER, NH 03820
TAX MAP 9, LOT 46
S.C.R.D. BOOK 3791, PAGE 745
- N/F COLBY, ANDREW E.
140 YORK WOODS ROAD
SOUTH BERWICK, ME 03908
TAX MAP 9, LOT 49
S.C.R.D. BOOK 4184, PAGE 891
- N/F BURNS, ELYSE A. & MICHAEL
16 NELSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 51
S.C.R.D. BOOK 4533, PAGE 167
- N/F 55-57 SILVER STREET TRUST
C/O LUCIE CARTAYA
PO BOX 1073
MURPHY, NC 28906
TAX MAP 9, LOT 43
S.C.R.D. BOOK 3197, PAGE 596
- N/F KNIGHT, HANNAH C.
55 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 43-1
S.C.R.D. BOOK 4913, PAGE 470
- N/F STEVEN K. ROBINSON REV. TRUST
STEVEN K. ROBINSON, TRUSTEE
57 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 43-2
S.C.R.D. BOOK 4717, PAGE 121
- N/F NASEEM D. NOSSIFF REV. FAM TRUST
NASEEM D. NOSSIFF TRUSTEE
1 ELM STREET
DOVER, NH 03820
TAX MAP 12, LOT 76
S.C.R.D. BOOK 2567, PAGE 136
- N/F SILVER ELM CONDO
C/O CHARLES C. SMITH
65 AMESBURY ROAD
NEWTON, NH 03858
TAX MAP 12, LOT 43
S.C.R.D. BOOK 1131, PAGE 359
- N/F BREWITT, DARCY D.
50 SILVER STREET
DOVER, NH 03820
TAX MAP 12, LOT 41
S.C.R.D. BOOK 4590, PAGE 528

ABUTTERS WITHIN 200' CONT.:

- N/F CALAGURO, JOSHUA
130 CENTRAL AVE.
DOVER, NH 03820
TAX MAP 9, LOT 48
S.C.R.D. BOOK 1894, PAGE 744
- N/F FRANK J. LAURINO & DENISE DIXON REV. LIV TRUST
FRANK J. LAURINO & DENISE DIXON TRUSTEES
37 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 46
S.C.R.D. BOOK 4633, PAGE 875
- N/F CALAGURO, JOSHUA
35A SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 52
S.C.R.D. BOOK 4404, PAGE 966
- N/F SNOW, KATHERINE CONNOR
66 ATKINSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 37
S.C.R.D. BOOK 4505, PAGE 204
- N/F DAVID M. CLINE REV. TRUST
DAVID M. CLINE, TRUSTEE
PO BOX 1224
DOVER, NH 03820
TAX MAP 9, LOT 38
S.C.R.D. BOOK 4803, PAGE 581

ABUTTERS WITHIN 200' CONT.:

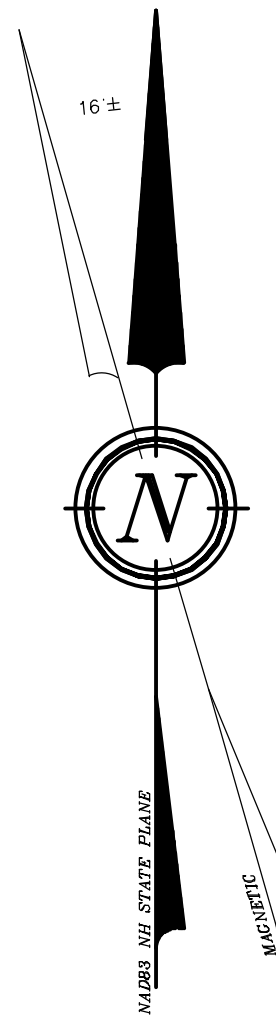
- N/F BAMFORD, DAVID K.
466 CENTRAL AVE. SUITE 12
DOVER, NH 03820
TAX MAP 9, LOT 48A
S.C.R.D. BOOK 1151, PAGE 563
- N/F HOLGATE LIMITED PARTNERSHIP
61 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 42
S.C.R.D. BOOK 310, PAGE 455
- N/F DEMPOULOS, NICKOLAS
74 ATKINSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 41
S.C.R.D. BOOK 4374, PAGE 889
- N/F SEARS, JILL A.
23 NELSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 39
S.C.R.D. BOOK 4313, PAGE 457
- N/F WOLFE, CHARLES R. II
65 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 77
S.C.R.D. BOOK 2138, PAGE 571
- N/F PAULA GEORGAKILIS REV. TRUST
PAULA & PETER GEORGAKILIS, TRUSTEES
62 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 77
S.C.R.D. BOOK 3650, PAGE 726
- N/F HICKMAN, JONATHAN E. & JOY L.
38 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 40
S.C.R.D. BOOK 4213, PAGE 93
- N/F DUGDALE, MARY & SMIDER, KEITH
36 SILVER STREET
DOVER, NH 03820
TAX MAP 9, LOT 39
S.C.R.D. BOOK 3500, PAGE 159

ABUTTERS WITHIN 200' CONT.:

- N/F BROWN, NATHANIEL
4 ELM STREET
DOVER, NH 03820
TAX MAP 12, LOT 43
S.C.R.D. BOOK 4374, PAGE 889
- N/F HENNINGER, MICHAEL & HEIDI
23 NELSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 72
S.C.R.D. BOOK 3955, PAGE 101
- N/F KELLEY, ROBERT J. & SAMANTHA JR.
15 NELSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 73
S.C.R.D. BOOK 4401, PAGE 464
- N/F COTE, JOSHUA J. & KYLE V.
11 NELSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 74
S.C.R.D. BOOK 3632, PAGE 987
- N/F 7 NELSON ST, LLC
7 NELSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 75
S.C.R.D. BOOK 4031, PAGE 113
- N/F LINCOLN BUILDING, LLC
5 NELSON STREET
DOVER, NH 03820
TAX MAP 9, LOT 69
S.C.R.D. BOOK 2358, PAGE 413

SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
W14-2	30"x30"	NO OUTLET	SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	YELLOW	BLACK	BLACK	U-CHANNEL (1)
R7-8	12"x18"	RESERVED PARKING	SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE		RED	U-CHANNEL (2)
D9-11b	24"x24"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	BLUE	WHITE	WHITE	U-CHANNEL (1)
	24"x12"	STERLING DRIVE (PVT)	SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	GREEN	WHITE	GREEN	U-CHANNEL (1)

GIS SKETCH
DOVER, NH
SCALE: 1" = 100' ±



PLANNING FILE #

REVISION	DATE	DESCRIPTION

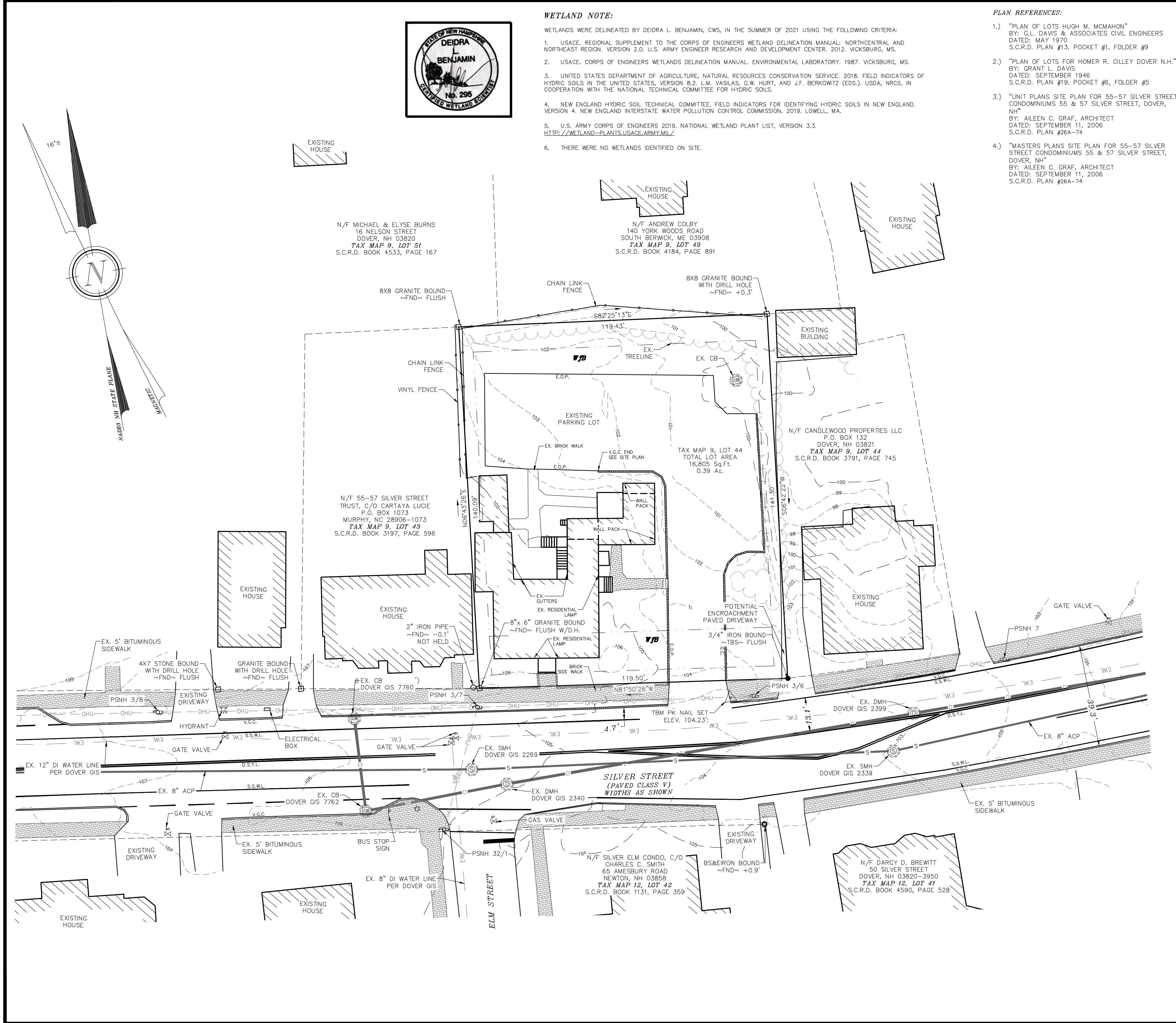
NEIGHBORHOOD PLAN

LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.

TAX MAP 9, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

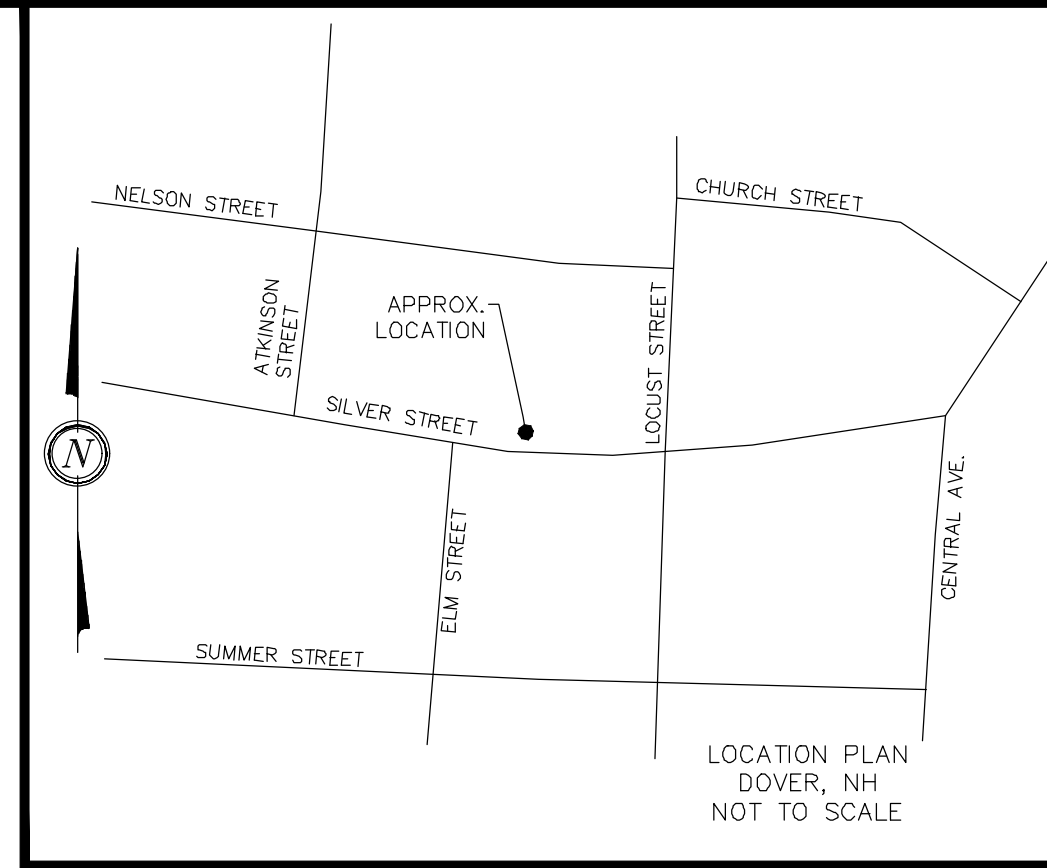


WETLAND NOTE:

- WETLANDS WERE DELINEATED BY DEIDRA L. BENJAMIN, CWS, IN THE SUMMER OF 2021 USING THE FOLLOWING CRITERIA:
1. USACE, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEAST REGION, VERSION 2.0. U.S. ARMY ENGINEER RESEARCH AND DEVELOPMENT CENTER, 2012. VICKSBURG, MS.
 2. USACE, CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL. ENVIRONMENTAL LABORATORY, 1987. VICKSBURG, MS.
 3. UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, 2018. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2. L.M. VASILAS, G.W. HURT, AND J.F. BERKOWITZ (EDS.). USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
 4. NEW ENGLAND HYDRIC SOIL TECHNICAL COMMITTEE, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, 2019. LOWELL, MA.
 5. U.S. ARMY CORPS OF ENGINEERS 2019. NATIONAL WETLAND PLANT LIST, VERSION 3.3. [HTTP://WETLAND-PLANTS.USACE.ARMY.MIL/](http://wetland-plants.usace.army.mil/)
 6. THERE WERE NO WETLANDS IDENTIFIED ON SITE.

PLAN REFERENCES:

- 1.) "PLAN OF LOTS HUGH M. MCMAHON"
BY: G.L. DAVIS & ASSOCIATES CIVIL ENGINEERS
DATED: MAY 1970
S.C.R.D. PLAN #13, POCKET #1, FOLDER #9
- 2.) "PLAN OF LOTS FOR HOMER R. CILLEY DOVER N.H."
BY: GRANT L. DAVIS
DATED: SEPTEMBER 1946
S.C.R.D. PLAN #19, POCKET #6, FOLDER #5
- 3.) "UNIT PLANS SITE PLAN FOR 55-57 SILVER STREET CONDOMINIUMS 55 & 57 SILVER STREET, DOVER, NH"
BY: AILEEN C. GRAF, ARCHITECT
DATED: SEPTEMBER 11, 2006
S.C.R.D. PLAN #26A-74
- 4.) "MASTERS PLANS SITE PLAN FOR 55-57 SILVER STREET CONDOMINIUMS 55 & 57 SILVER STREET, DOVER, NH"
BY: AILEEN C. GRAF, ARCHITECT
DATED: SEPTEMBER 11, 2006
S.C.R.D. PLAN #26A-74



NOTES:

- 1.) OWNERS: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) TAX MAP 9, LOT 44
- 3.) S.C.R.D. BOOK 4910, PAGE 64
- 4.) LOT AREA: 16,805 Sq. Ft., 0.39 Ac.
- 5.) ZONING: CBD - CENTRAL BUSINESS DISTRICT (MIXED USE SUB) SETBACKS
FRONT ~ 5-20'
SIDE ~ 5-20'
REAR ~ 10-20'
MIN. LOT SIZE: N/A
MIN. LOT COVERAGE: 50%
MAX. BUILDING HEIGHT: 3 STORIES
- 6.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES AND CONDITIONS OF TAX MAP 9, LOT 45 LOCATED IN DOVER, N.H., AS OF THE FIELD SURVEY IN JUNE 2021.
- 7.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REF: FEMA COMMUNITY #330145, MAP 33017C0320E, DATED: MAY 17, 2005.
- 8.) VERTICAL DATUM: BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM: BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- 9.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JUNE OF 2021 WITH AN ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000.
- 10.) TOPOGRAPHY PROVIDED IS DEMARCATED AT 1' INTERVALS, AND IS THE RESULT OF A FIELD SURVEY PERFORMED IN JUNE 2021.
- 11.) THIS SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
- 12.) NO WETLANDS WERE FOUND ON SITE.
- 13.) EXISTING IMPERVIOUS COVER: 9,024 SQUARE FEET, 53.7%
- 14.) SEE LANDSCAPING PLAN FOR EXISTING VEGETATION AT FRONT OF THE EXISTING BUILDING. THERE ARE STREET TREES IN THE ISLAND BETWEEN THE SIDEWALK AND THE CURB LINE. NO WORK PROPOSED IN THESE AREAS.

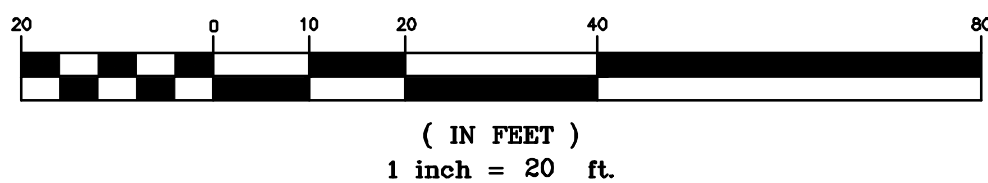
EXISTING LEGEND:

- STONE BOUND (FND)
- DRILL HOLE (FND)
- IRON BOUND (FND)
- IRON PIPE (FND)
- STEEL STAKE (FND)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- TEMPORARY BENCHMARK
- TEST PIT
- CURB STOP
- GATE VALVE
- FIRE HYDRANT
- CATCH BASIN
- SEWER MANHOLE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING DRAIN LINE
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- EXISTING TREELINE
- NRCS SOIL LINE/LABEL
- FND
TYP
S.C.R.D.
S.G.C
V.G.C.
- FOUND
TYPICAL
STRAFFORD COUNTY REGISTRY OF DEEDS
SLOPED GRANITE CURB
VERTICAL GRANITE CURB

SOIL DATA:

W1B ~ WINDSOR LOAMY FINE SAND, CLAY SUBSOIL VARIANT, 0 TO 8% SLOPES
SEE NRCS WEBSOIL

GRAPHIC SCALE



PLANNING FILE #

DESCRIPTION

DATE

REVISION

EXISTING CONDITIONS PLAN
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

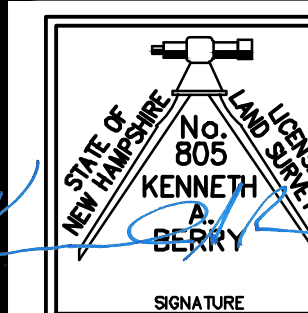
BERRY SURVEYING & ENGINEERING

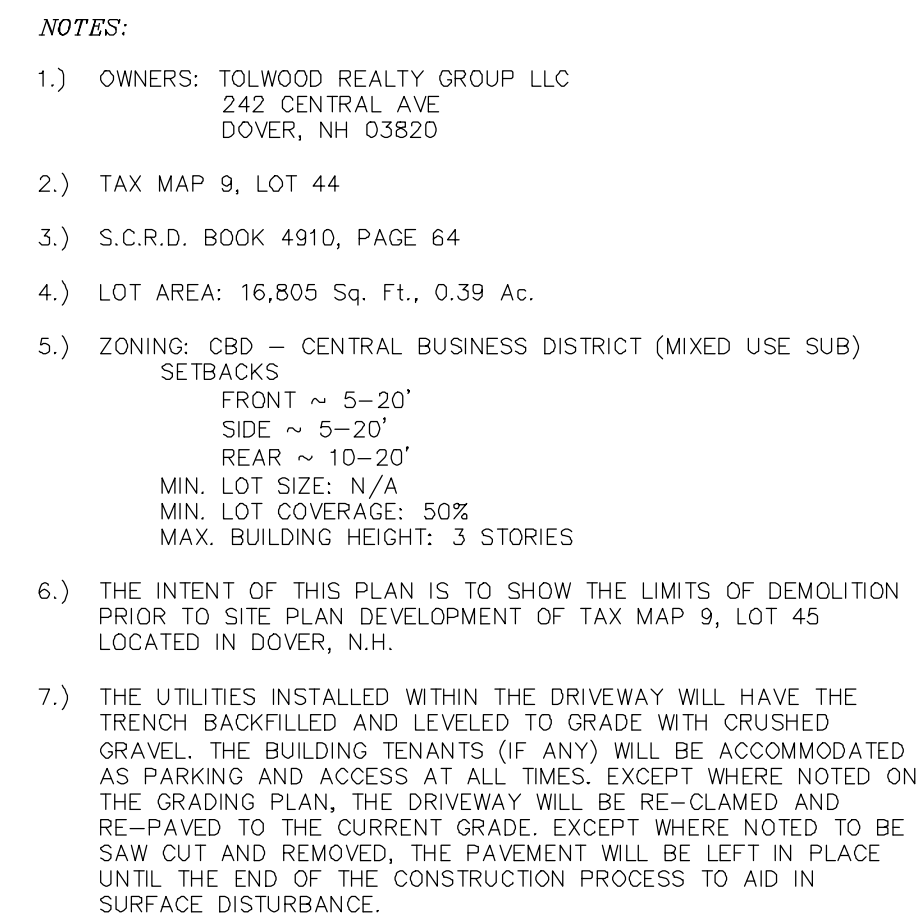
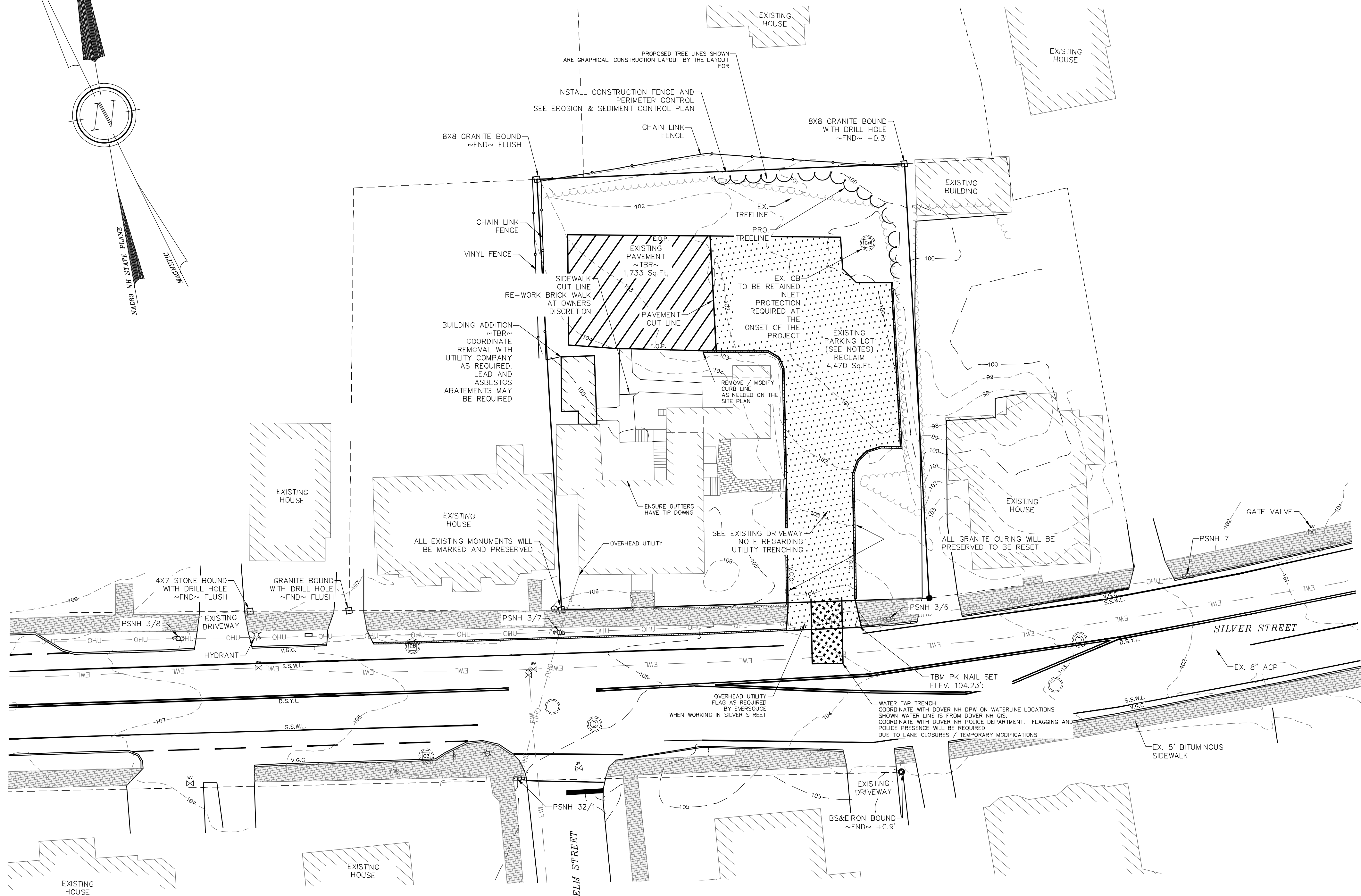
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : DECEMBER 1, 2021

FILE NO. : DB 2021 - 070





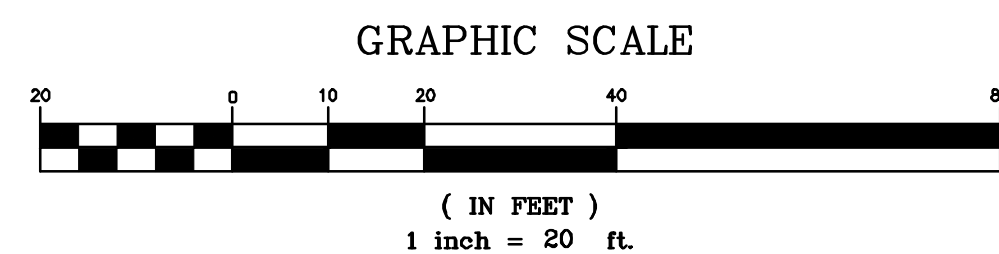
- EXISTING LEGEND:**

	STONE BOUND (FND)
	DRILL HOLE (FND)
	IRON BOUND (FND)
	IRON PIPE (FND)
	STEEL STAKE (FND)
	UTILITY POLE / GUY WIRE
	SINGLE POST SIGN
	TEMPORARY BENCHMARK
	TEST PIT
	CURB STOP
	GATE VALVE
	FIRE HYDRANT
	CATCH BASIN
	SEWER MANHOLE

	ABUTTING PROPERTY LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING DRAIN LINE
	OVERHEAD UTILITIES
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING TREELINE

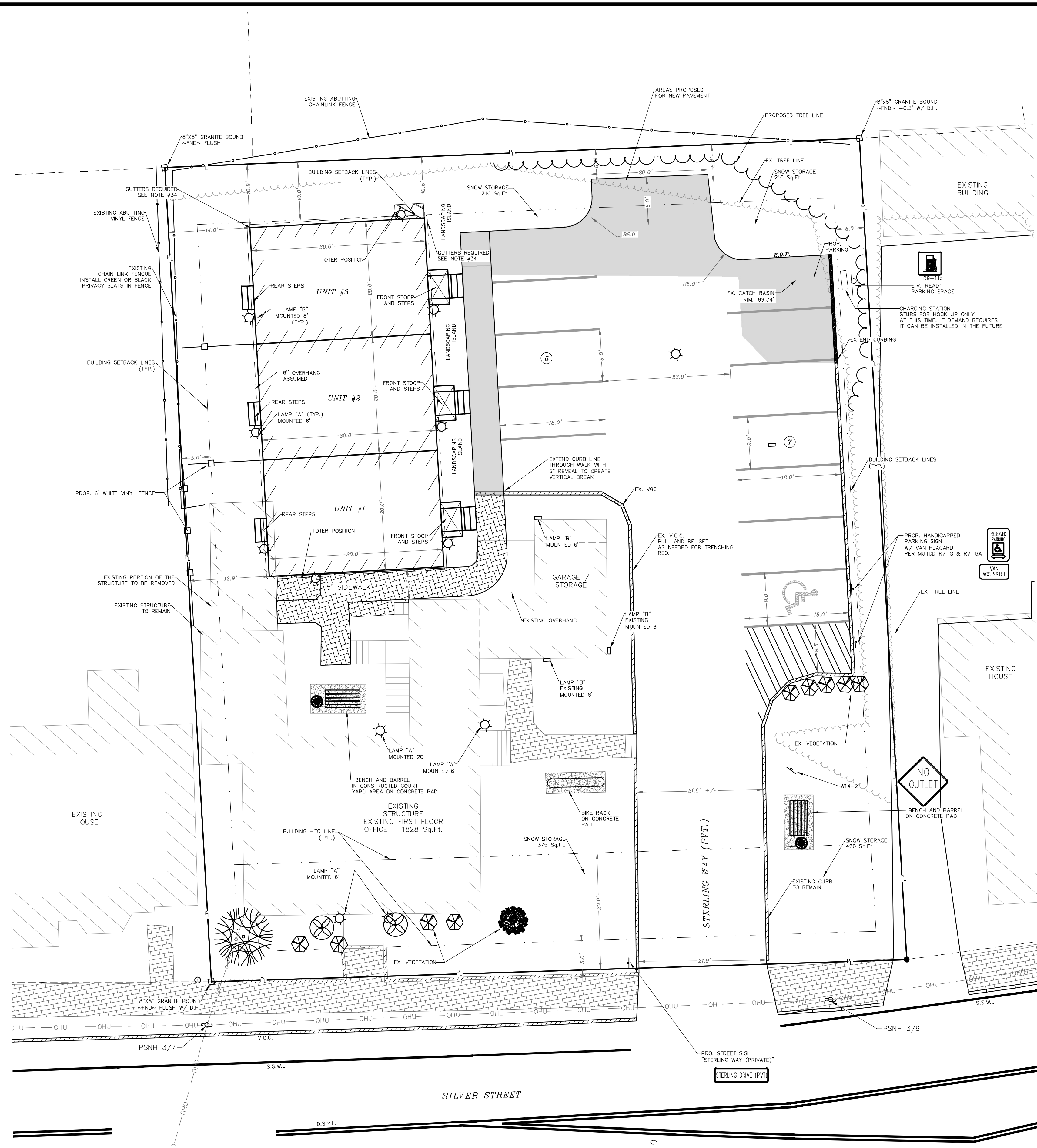
	FOUND
	TYPICAL
	STRAFFORD COUNTY REGISTRY OF DEEDS
	VERTICAL GRANITE CURB
	TO BE REMOVED

SOIL DATA:
WFB ~ WINDSOR LOAMY FINE SAND, CLAY SUBSOIL VARIANT, 0 TO 8% SLOPES
SEE NRCS WEBSOIL



DEMOLITION PLAN
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, NH.
TAX MAP 9, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070



NOTES:

- OWNERS: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- TAX MAP 9, LOT 44
- S.C.R.D. BOOK 4910, PAGE 64
- LOT AREA: 16,805 Sq. Ft., 0.39 Ac.
- ZONING: CBD - CENTRAL BUSINESS DISTRICT (MIXED USE SUB) SETBACKS
FRONT ~ 5'-20'
SIDE ~ 5'-20'
REAR ~ 10'-20'
MIN. LOT SIZE: N/A
MIN. LOT COVERAGE: 50%
MAX. BUILDING HEIGHT: 3 STORIES
1 UNIT PER 5,000 Sq.Ft.
- THE INTENT OF THIS PLAN IS TO SHOW THE SITE PLAN ELEMENTS OF ADDING THREE STAND ALONE RESIDENTIAL UNITS AT THE REAR OF THE PROJECT SITE.
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY #330145, MAP 33017C0310E, DATED: SEPTEMBER 30, 2015.
- VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JUNE OF 2021 WITH AN ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000.
- TOPOGRAPHY PROVIDED IS DEMARCATED AT 1' INTERVALS, AND IS THE RESULT OF A FIELD SURVEY PERFORMED IN JUNE 2021.
- THIS SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
- NO WETLANDS WERE FOUND ON SITE. THE SITE IS FULLY DEVELOPED IN AN URBAN ZONE.
- LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT OR CONDITIONAL USE PERMITS GRANTED BY THE PLANNING BOARD FOR THE PROPOSED USE OR STRUCTURE, INCLUDING THE CASE NUMBER AND DATE OF DECISION AND ANY CONDITIONS. NONE
- THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED.
- ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE, FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED, AND THE APPROVED CONSTRUCTION SIGN INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
- SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM. NO WEEKEND HOURS. HOURS OF CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR ASSISTANT CITY MANAGER.
- BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY: NONE
- COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM TO DOVER CITY CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
- ANY RETAINING WALL TALLER THAN FOUR FEET (4') REQUIRES ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.
- ANY FENCE TALLER THAN SEVEN FEET (7') REQUIRES THE ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.

SNOW STORAGE:

- STORAGE CALCULATION (6:1 RATIO USED)
PAVED AREA = 5,484 Sq.Ft. / 6 = 914 Sq.Ft.

UNIT DENSITY CALCULATION:

- CBD-MIXED USE DENSITY CALCULATION
LOT AREA = 16,805 Sq.Ft.
WETLANDS = 0 Sq.Ft.
UPLANDS = 16,805 Sq.Ft.
NUMBER OF UNITS = 16,805 Sq.Ft./5,000 Sq.Ft. PER UNIT = 3.2 UNITS

TOTAL ALLOWED = 3 UNITS
TOTAL PROPOSED = 3 UNITS

PARKING REQUIREMENTS:

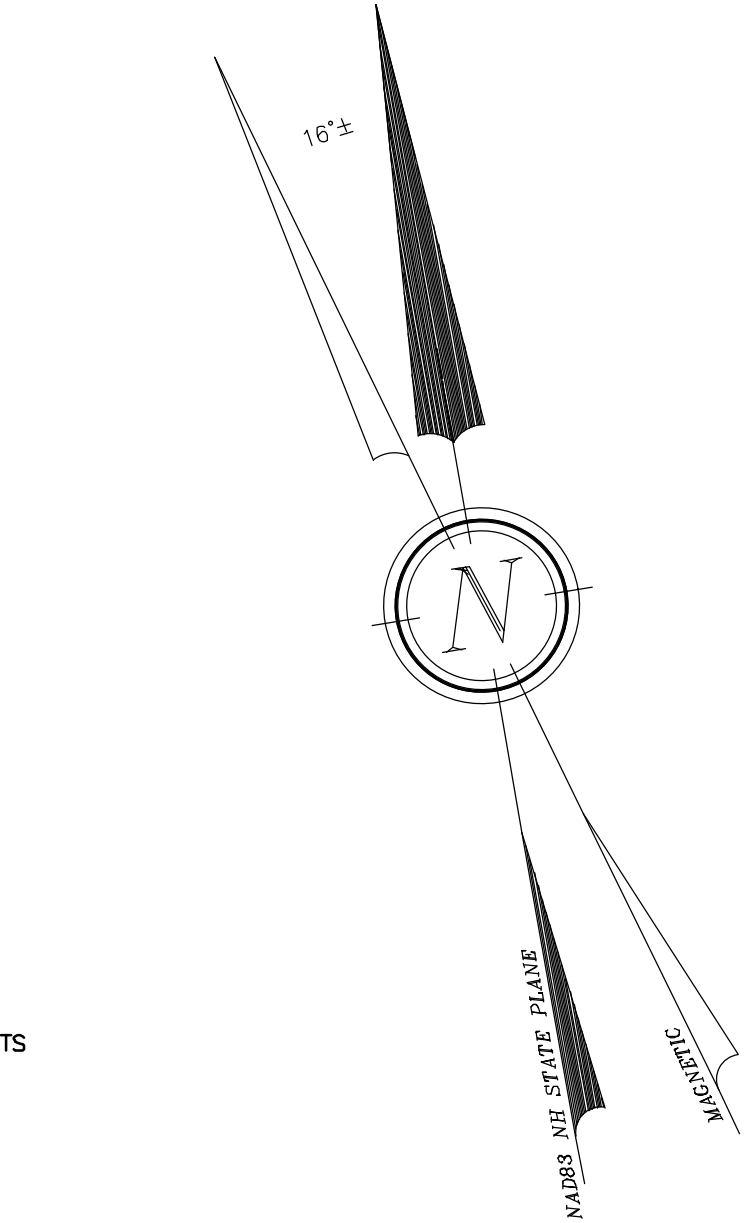
- CHAPTER 153-14D PARKING TABLE
- RESIDENTIAL
RESIDENTIAL (CBD-MIXED USE) 1.65 SPACES PER UNIT:
3 UNITS x 1.65 SPACES = 5 SPACES
 - OFFICE SPACE
1828 Sq.Ft. / 300 Sq.Ft. = 6 SPACES

TOTAL MAXIMUM = 11 SPACES
TOTAL PROPOSED = 11 SPACES

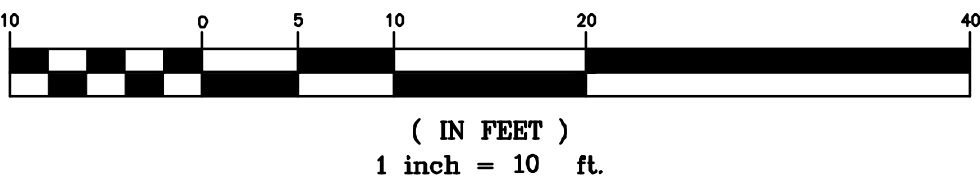
5% EV READY SPACE REQUIREMENT
1 EV READY SPACE PROPOSED (NOT COUNTED IN TOTAL)

NOTES CONTINUED:

- THE OWNER OF RECORD SHALL RECORD AT THE REGISTRY OF DEEDS DOCUMENTATION SUFFICIENT TO PROVIDE NOTICE TO ALL PERSONS/ENTITIES THAT MAY ACQUIRE ANY PROPERTY SUBJECT TO THE REQUIREMENTS AND RESPONSIBILITIES DESCRIBED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE NOTICE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR RECORDING CONTAINED IN RSA 477 AND 478. THE NOTICE NEED NOT SET FORTH THE REQUIREMENTS AT LENGTH, SO LONG AS IT IS SUFFICIENT TO PROVIDE NOTICE TO PROSPECTIVE PURCHASERS TO THE REQUIREMENTS FOR MAINTENANCE AND REPORTING.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE INSTALLED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS IN ALL WEATHER CONDITIONS AT ALL TIMES.
- SEE TABLE BELOW FOR PARKING SPACE CALCULATION.
- EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 153-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 45, ARTICLE 1, SECTION 45-2 OF THE CODE OF THE CITY OF DOVER.
- APPROVED BACKFLOW PREVENTERS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
- THE PROPOSED STRUCTURE SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED BY CHAPTER 81- 30 OF THE CODE OF THE CITY OF DOVER AND THE ADOPTED STATE OF NH BUILDING AND FIRE CODES.
- SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED AND APPROVED BY INSPECTION SERVICES PRIOR TO CONNECTION OF THE BACKFLOW DEVICE.
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13. ACCESS TO THE FDC SHALL MAINTAIN A CLEAR AND UNOBSTRUCTED PATH AT ALL TIMES.
- THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL BE ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. (I.E. IBC, ANSI-117.1) AND NH RSA 155-A:5.
- EXISTING IMPERVIOUS COVER: 9,024 SQUARE FEET, 53.7%
PROPOSED IMPERVIOUS COVER: 10,111 SQUARE FEET, 60.2%
- THE PROPOSED BUILDING IS TO BE CONSTRUCTED WITH CUTTERS, ON BOTH THE FRONT AND THE BACK, WHICH WILL DISCHARGE INTO STORMTECH CHAMBERS (OR APPROVED EQUAL) AS SHOWN ON THE GRADING AND DRAINAGE PLANS.
- BUILDING AND FOUNDATION DRAINS WILL BE PROVIDED FOR.
- ARRANGEMENTS WILL BE MADE TO ACCOMMODATE THE TENANTS IN THE BUILDING REGARDING PARKING AND REASONABLE ACCESS.



GRAPHIC SCALE



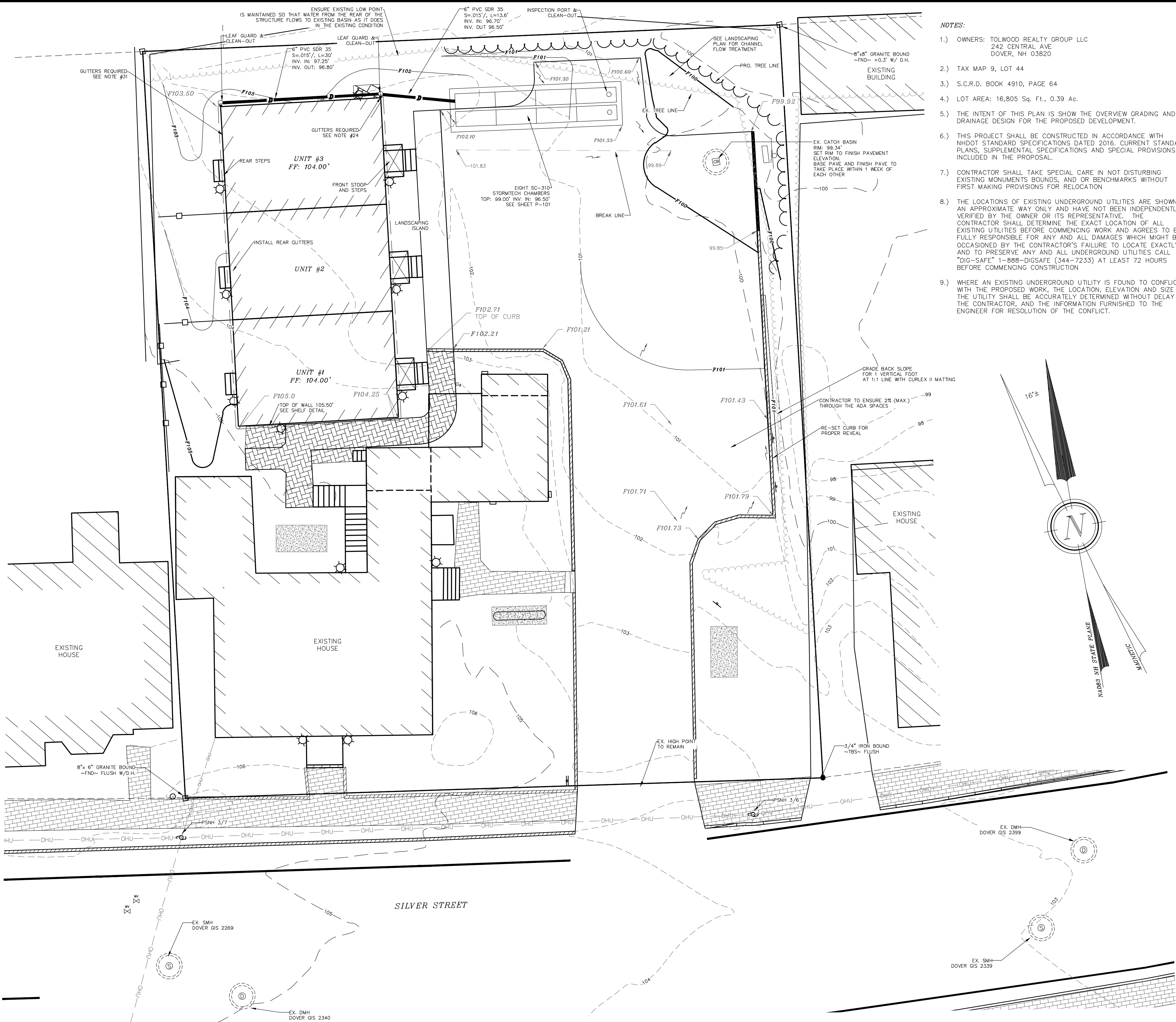
PLANNING FILE #

DESCRIPTION		DATE	REVISION

SITE PLAN
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

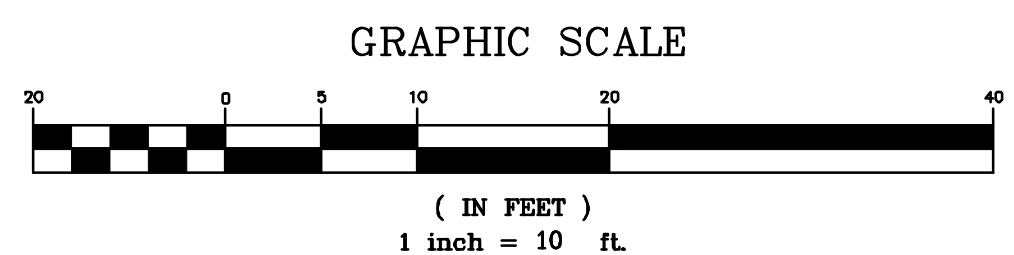
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 10 FT.
DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14943
PROFESSIONAL ENGINEER - LICENSE



- NOTES:
- OWNERS: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - TAX MAP 9, LOT 44
 - S.C.R.D. BOOK 4910, PAGE 64
 - LOT AREA: 16,805 Sq. Ft., 0.39 Ac.
 - THE INTENT OF THIS PLAN IS SHOW THE OVERVIEW GRADING AND DRAINAGE DESIGN FOR THE PROPOSED DEVELOPMENT.
 - THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
 - CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION
 - WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.

- NOTES CONTINUED:
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LIMIT OF GRADING SHOULD NOT BE EXPANDED WITHOUT CONSULTING THE DESIGN ENGINEER. SEE ALSO E&SC PLAN.
 - THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R).
 - ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH [T] SHALL BE THERMOPLASTIC.
 - ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEEDED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.
 - ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
 - NOTE THAT THE PROJECT IS NOT SUBJECT TO THE EPA NPDES PHASE II. HOWEVER IS SUBJECT TO THE CITY OF DOVER STORMWATER ORDINANCE. BIWEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER AND AFTER STORM EVENTS OF OVER 0.25".
 - UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASINS. SEE SHEET E102, DETAIL E11 FOR DEFINITION OF STABLE.
 - ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED, RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED HDPE PIPE "GREEN PIPE" IS ACCEPTABLE FOR THIS PROJECT SITE.
 - ALL TREATMENT SWALE TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS UNLESS OTHERWISE INSTRUCTED BY THE DESIGN ENGINEER DURING CONSTRUCTION.
 - A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND DOVER CITY STAFF SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
 - WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM WITH CITY OF DOVER CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
 - SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY, AND SEDIMENT AND EROSION CONTROLS.
 - CUTTERS AND DOWNSPOUTS ARE REQUIRED COLLECTING THE BUILDING RUNOFF FOR DISCHARGE INTO THE PROPOSED INFILTRATION SYSTEM. SEE P-101 INFILTRATION PLAN SHEET



PLANNING FILE #	
REVISION	DATE

PROPOSED GRADING PLAN
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 10 FT.
DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14283
LICENSED PROFESSIONAL ENGINEER

SHEET 5 OF 16

SOILS & DEWATERING:

WINDSOR LOAMY FINE SAND $K = 0.17$

SEE SITE SPECIFIC SOILS MAP (SSSM)

SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. &
ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION
PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY
DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN
ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE
CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES
CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY /
STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL
RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL
REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL
SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER
STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER
RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING
CONSTRUCTION AND FOR INTERM SEDIMENT AND EROSION CONTROL MEASURES.

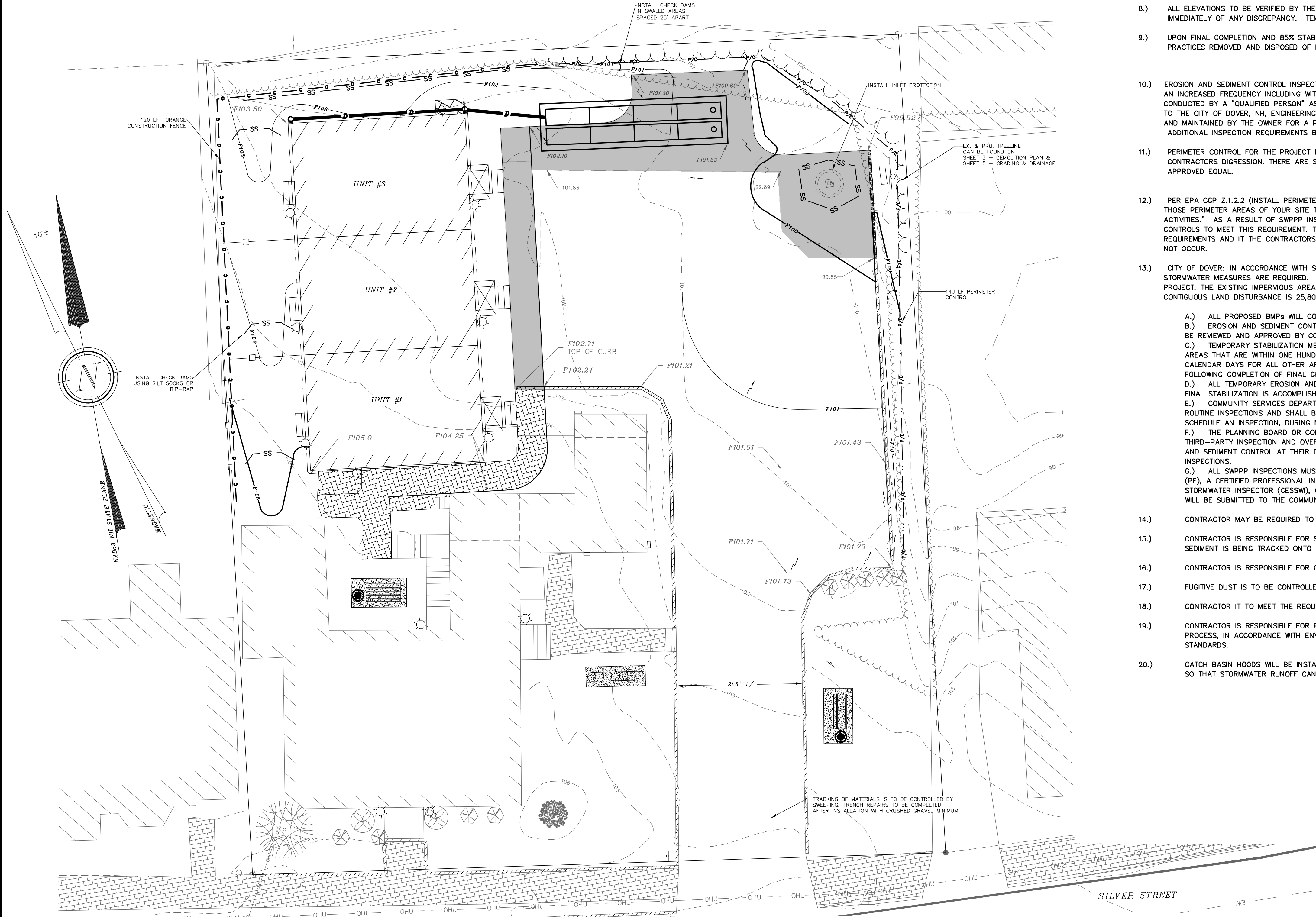
LEGEND:

- RAIN GARDEN BIO-MEDIA PROTECTION
- PERIMETER CONTROL
- RESIDENTIAL/ROADWAY CONSTRUCTION
- IRON PIPE (FND)
- IRON BOUND (FND)
- REBAR (FND)
- UTILITY POLE
- GUY WIRE
- WELL
- BENCHMARK
- CONIFEROUS TREE
- DECIDUOUS TREE

- ORANGE CONSTRUCTION FENCE
- PERIMETER CONTROL
- SILT FENCE
- FILTREXX SILT/SOXX
- TREE LINE

NOTES:

- OWNERS: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- TAX MAP 9, LOT 44
- S.C.R.D. BOOK 4910, PAGE 64
- LOT AREA: 16,805 Sq. Ft., 0.39 Ac.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED ON GRADING AND DETAIL PLAN SHEETS, GREEN PIPE.
- ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- UPON FINAL COMPLETION AND 85% STABILIZATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS. SEDIMENT CONTROL PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL MAINTENANCE PERFORMED ON ALL DRAINAGE PRACTICES.
- EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE CITY OF DOVER, NH, ENGINEERING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE PROJECT IS COMPLETED. SEE ALSO CITY OF DOVER ADDITIONAL INSPECTION REQUIREMENTS BELOW.
- PERIMETER CONTROL FOR THE PROJECT HAS THE OPTION OF EROSION CONTROL MIX BERM, SILT SOCKS, OR SILT FENCE AT THE CONTRACTORS DISCRETION. THERE ARE SPECIFIC RECOMMENDATIONS FOR THE PROTECTION OF BIO-MEDIA, I.E. SILT SOXX OR APPROVED EQUAL.
 - PER EPA CGP Z.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&SC PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR.
- CITY OF DOVER: IN ACCORDANCE WITH SITE PLAN REVIEW REGULATIONS (149-14) THE FOLLOWING STORMWATER MEASURES ARE REQUIRED. THIS SITE DEVELOPMENT QUALIFIES AS A REDEVELOPMENT PROJECT. THE EXISTING IMPERVIOUS AREA IS 92.0% AND PROPOSED IMPERVIOUS AREA IS 85.2%. THE CONTIGUOUS LAND DISTURBANCE IS 25,800 SQUARE FEET.
 - A.) ALL PROPOSED BMPs WILL CONFORM TO THE NH STORMWATER MANUAL VOLUME 3.
 - B.) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY COMMUNITY SERVICE.
 - C.) TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN CALENDAR DAYS FOR EXPOSED SOILS AREAS THAT ARE WITHIN ONE HUNDRED FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.
 - D.) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL STABILIZATION IS ACCOMPLISHED.
 - E.) COMMUNITY SERVICES DEPARTMENT OR THEIR DESIGNATED AGENT SHALL HAVE ACCESS TO THE SITE TO COMPLETE ROUTINE INSPECTIONS AND SHALL BE NOTIFIED 24-HOURS PRIOR TO INSTALLATION OF A STORMWATER BMP IN ORDER TO SCHEDULE AN INSPECTION, DURING NORMAL WORKING HOURS.
 - F.) THE PLANNING BOARD OR COMMUNITY SERVICES MAY REQUIRE THE DESIGN ENGINEER AND/OR AN INDEPENDENT, THIRD-PARTY INSPECTION AND OVERSIGHT OF THE CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES AND EROSION AND SEDIMENT CONTROL AT THEIR DISCRETION. THE OWNER / APPLICANT IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH INSPECTIONS.
 - G.) ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORMWATER INSPECTOR (CESSWI), OR A CERTIFIED PROFESSIONAL IN STORMWATER QUALITY (CPSWQ). INSPECTION REPORTS WILL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT.
- CONTRACTOR MAY BE REQUIRED TO HAVE A CONSTRUCTION ENTRANCE DEPENDING ON SITE MANAGEMENT.
- CONTRACTOR IS RESPONSIBLE FOR SWEEPING THE PARKING LOT, SIDEWALKS AND ANYTHING DISTURBED, TO ENSURE THAT NO SEDIMENT IS BEING TRACKED ONTO CHESTNUT STREET OR FOURTH STREET.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE INLET PROTECTION ONCE INSTALLED.
- FUGITIVE DUST IS TO BE CONTROLLED THROUGHOUT THE CONSTRUCTION PROCESS IN ACCORDANCE WITH ENV-A 1000.
- CONTRACTOR IT TO MEET THE REQUIREMENTS SPECIFIED IN RSA 430:51-57 AND AGR 3800, RELATING TO INVASIVE SPECIES.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE WATER QUALITY FROM ANY RUN OFF DURING THE CONSTRUCTION PROCESS, IN ACCORDANCE WITH ENV-WQ 1507, IN ORDER TO PREVENT VIOLATIONS OF THE STORM WATER QUALITY STANDARDS.
- CATCH BASIN HOODS WILL BE INSTALLED AS SOON AS THE BASIN IS PUT ON LINE. RIM IS TO BE RAISED WITH FINAL GRADE SO THAT STORMWATER RUNOFF CAN DRAIN PROPERLY THROUGHOUT CONSTRUCTION.



GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

PLANNING FILE #

REVISION	DATE	DESCRIPTION

EROSION AND SEDIMENT CONTROL PLAN

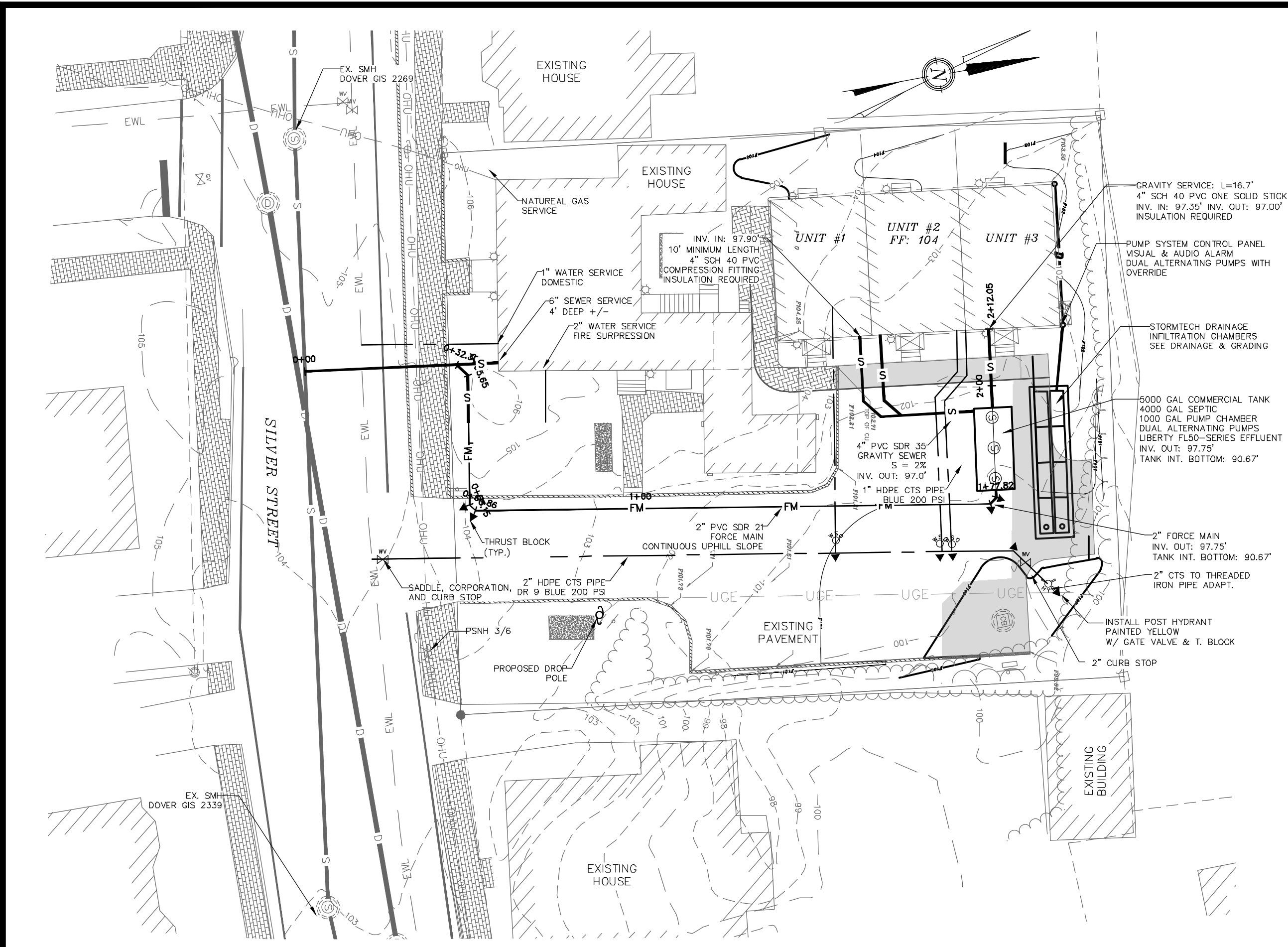
LAND OF
TOLWOOD REALTY GROUP LLC

53 SILVER STREET
DOVER, N.H.

TAX MAP 9, LOT 44

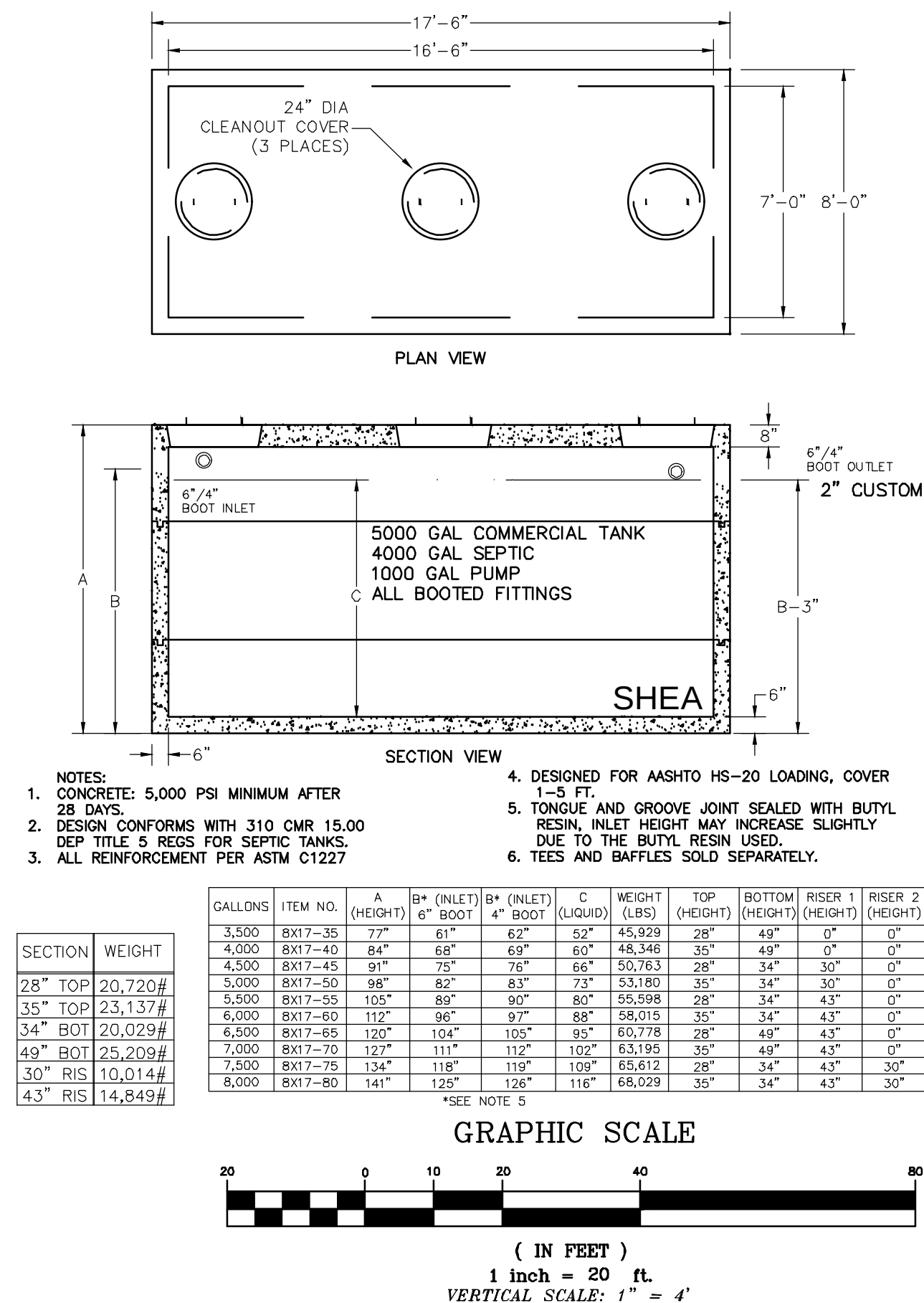
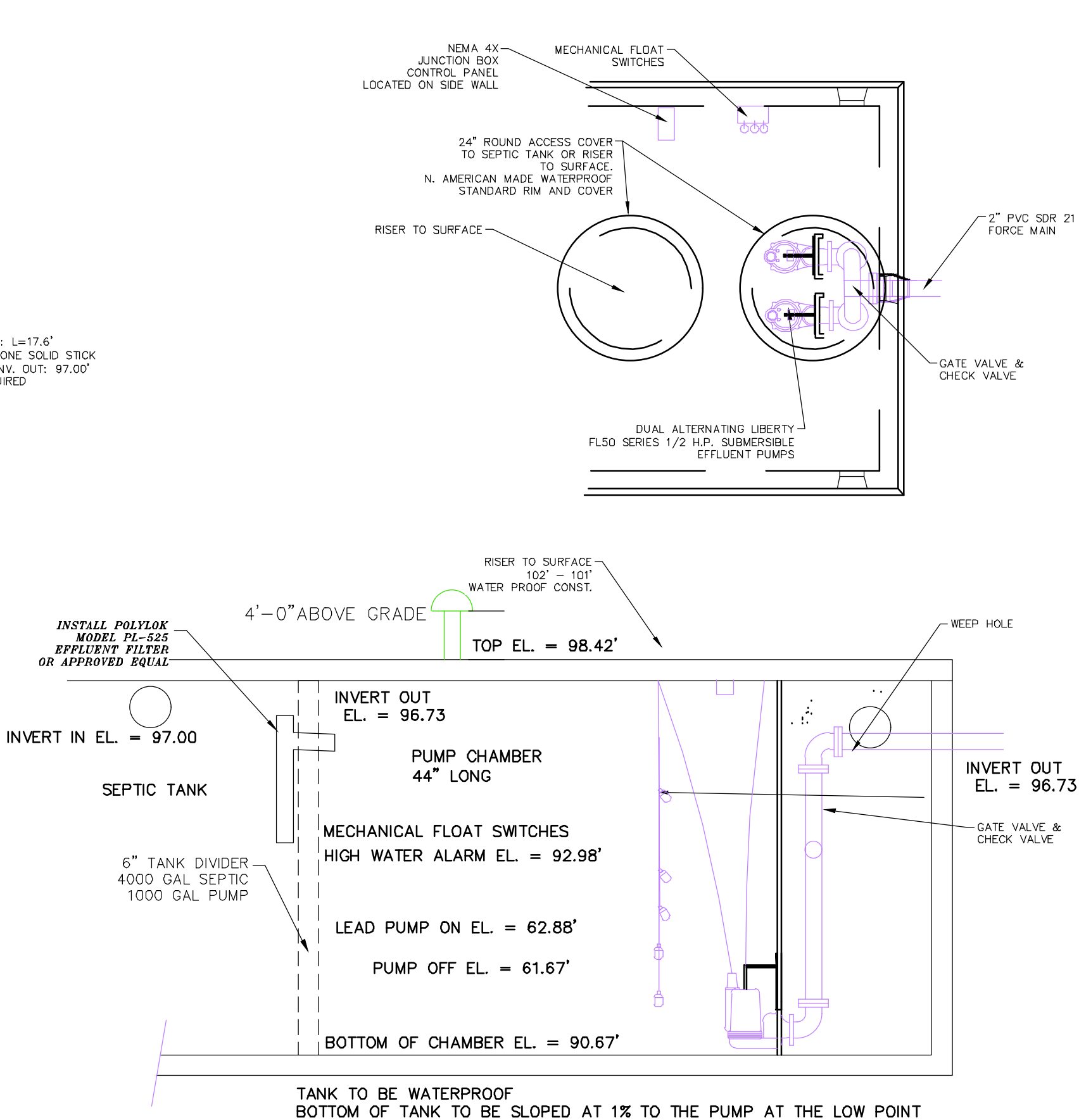
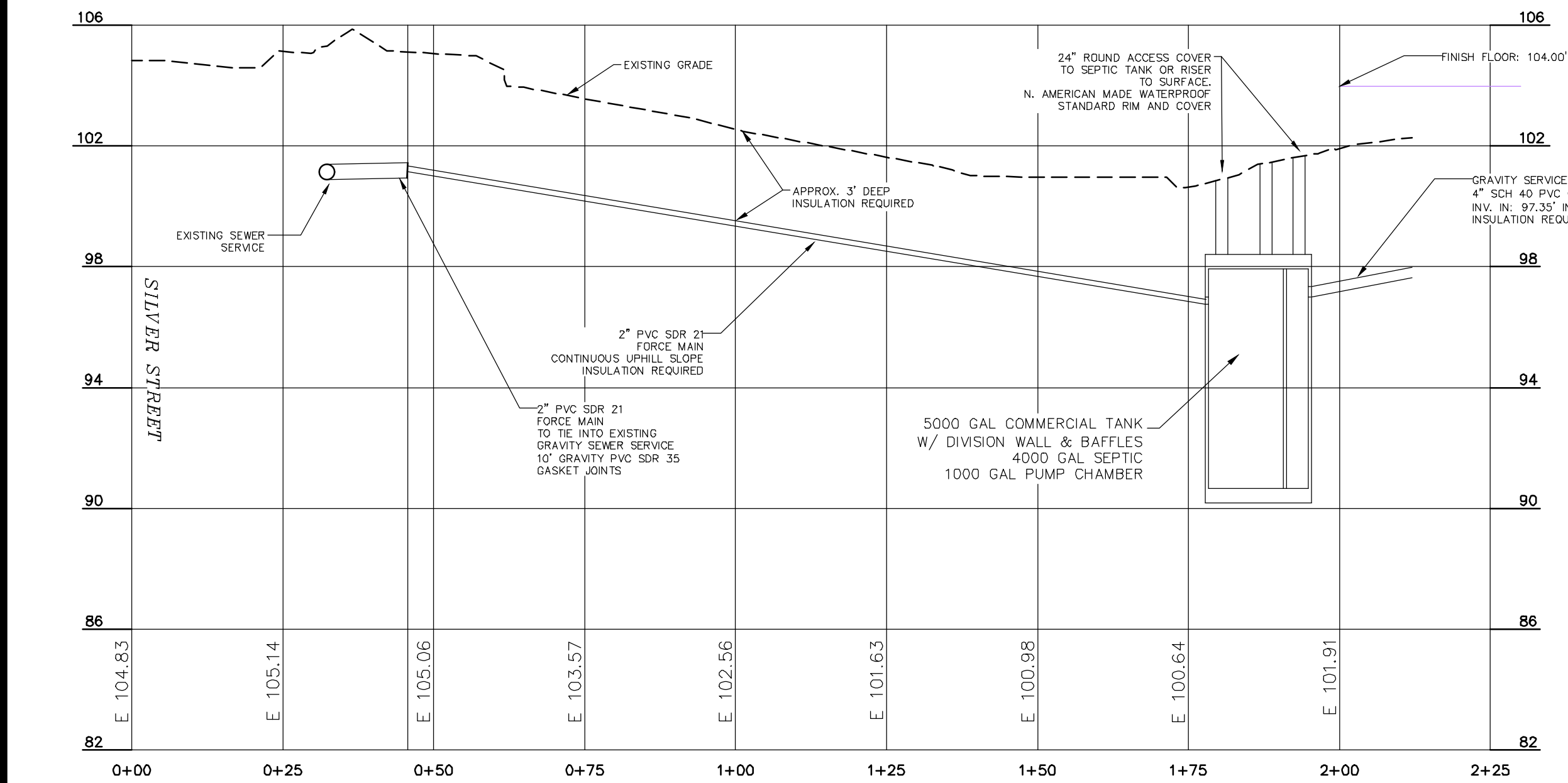
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 10 FT.
DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14246
REGISTERED PROFESSIONAL ENGINEER



NOTES:

- OWNERS: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- TAX MAP 9, LOT 44
- S.C.R.D. BOOK 4910, PAGE 64
- LOT AREA: 16,805 Sq. Ft., 0.39 Ac.
- THE INTENT OF THIS PLAN IS SHOW THE UTILITY DESIGN FOR THE PROPOSED DEVELOPMENT. VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS. SEE EXISTING CONDITIONS PLAN FOR DATUM. VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUMS BASED ON NAD83 STATE PLANE COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION
- WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
- FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE DOVER DPW.
- CONTRACTOR TO CONTACT DOVER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS.
- ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO CITY OF DOVER STANDARDS. ALL HIGHWAY CONSTRUCTION WILL MEET THE CITY OF DOVER STANDARDS.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (800) 662-7764. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS AT (603) 427-5525. CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH COMCAST. CONTRACTOR SHALL COORDINATE ALL GAS INSTALLATIONS WITH UNILIT.
- ALL SEWER MAN HOLE RIMS & COVERS ARE TO BE NH STANDARD AND WATER TIGHT
- ALL WATER SERVICES ARE TO BE WITNESSED WITH A 2"x4" PAINTED BLUE. ALL SEWER SERVICES ARE TO BE WITNESSED WITH A 2"x4" PAINTED YELLOW, IS STUBBED PRIOR TO BUILDING CONSTRUCTION.
- CURB BOXES SHOULD BE PLACED IN THE LAWN AREA, OR IF PLACED IN PAVEMENT, A ROAD BOX IS REQUIRED.
- ALL SEWER INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF NHDES & DOVER DPW SEWER DIVISION STANDARDS. ALL PVC SEWER PIPE IS TO CONFORM WITH ENV-WQ 704.05 (c)-(e) FOR SDR 35 GRAVITY SEWER PIPE, CONFORM WITH ENV-WQ 704.08 FOR SDR 21 / 11 / 9 FORCE MAIN PRESSURE PIPE, AND CONFORM WITH ASTM D3034. PVC JOINT SEALS SHALL CONFORM WITH ASTM D3121. THE FORCE MAIN SHALL BE TESTED IN ACCORDANCE WITH ENV-WQ 704.09. MINIMUM SLOPE FOR ALL SEWER SERVICE CONNECTIONS IS TO BE NO LESS THAN 0.02'./.
- CONTRACTOR TO TRANSFER TEMPORARY BENCHMARK TO A SUITABLE BENCHMARK TO CONTROL CONSTRUCTION. ANY ELEVATION DISCREPANCIES ARE TO BE REPORTED TO THE THE DESIGN ENGINEER IMMEDIATELY.
- ALL SEWER AND WATER CROSSINGS ARE TO MAINTAIN A 1.5' OF SEPARATION. OTHERWISE, 2" RIGID INSULATION WILL BE REQUIRED.
- IF DIGGING UNDER EXISTING AC WATERMAIN OCCURS, FLOWABLE FILL IS REQUIRED FOR PIPE SUPPORT.
- ALL HDPE CTS 200 PSI (BLUE) PIPE WILL UTILIZE STAINLESS STEEL TUBING INSERTS AT COMPRESSION FITTINGS.



PLANNING FILE #

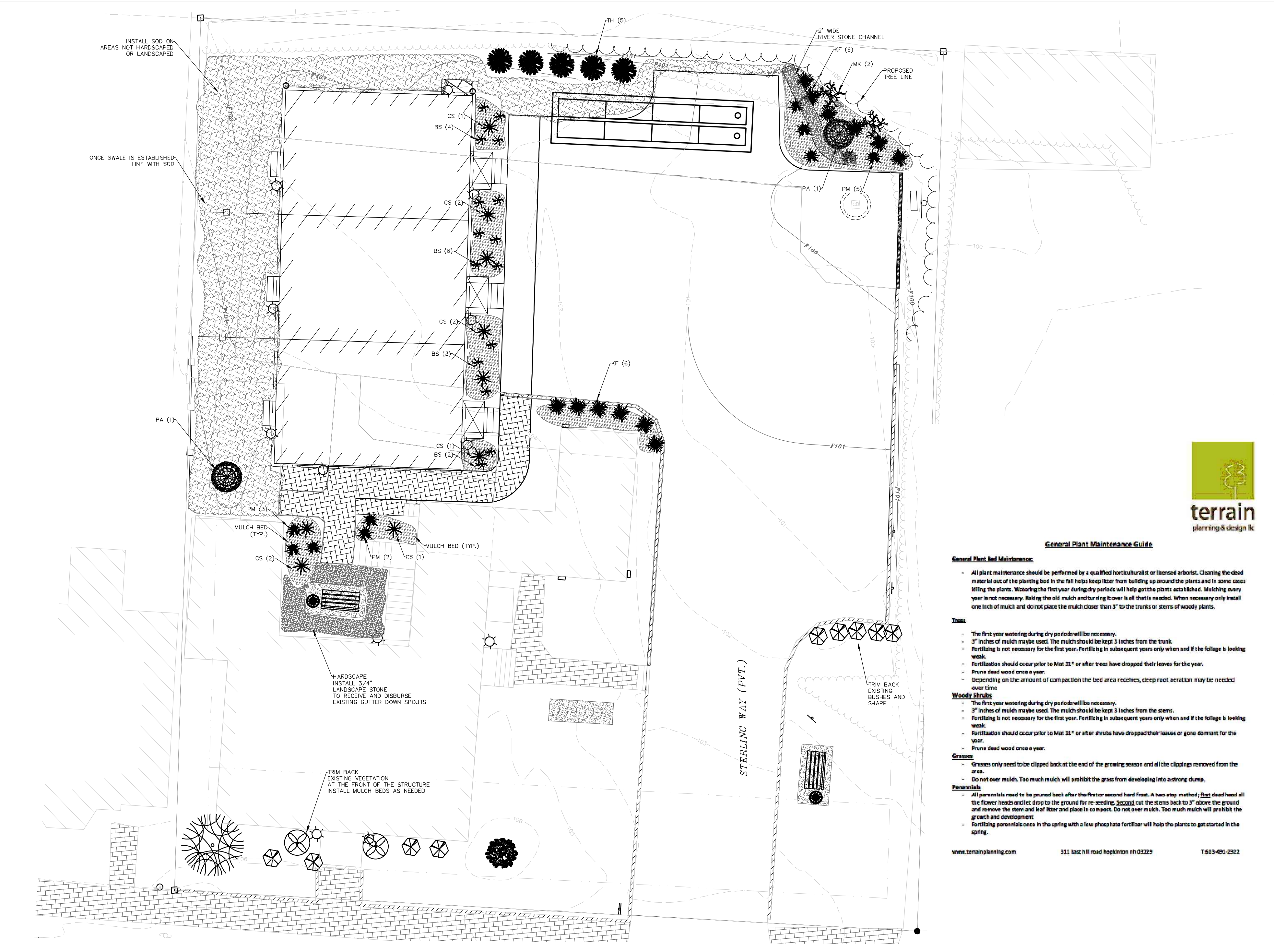
REVISION	DATE	DESCRIPTION

UTILITY PLAN AND PROFILE 0+00 TO END
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070

KENNETH A. BERRY
No. 14245
LICENSED PROFESSIONAL ENGINEER

SHEET 8 OF 16



- NOTES:**
- CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
 - CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
 - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS. VARIATIONS IN QUANTITIES ARE TO BE APPROVED BY THE DESIGN ENGINEER.
 - PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
 - ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
 - ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
 - ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
 - ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED,
 - THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE, AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
 - NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
 - ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH
 - WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
 - MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
 - THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
 - ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
 - SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
 - ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
 - TREES ARE TO BE 6' TALL AT PLANTING.
 - ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
 - 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
 - PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
 - ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
 - TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE

- PLANTING NOTES:**
- CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
 - CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
 - LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
 - CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY & FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY L.A.
 - ALL BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.
 - ALL PLANT MATERIAL TO COMPLY WITH THE CITY OF DOVER'S SITE REVIEW REGULATIONS, 149-14(G), SUCH THAT THERE SHALL BE DECIDUOUS SHADE TREES PLANTED 40 FEET O.C. ALONG THE PERIMETER OF THE PARKING LOTS AND SHRUBS PLANTED 5 FEET O.C. WITHIN THE PERIMETER BUFFER. SEE PLANT LIST FOR SPECIES AND SIZE OF PLANTS.
- TEMPORARY WATERING NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
 - THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
 - TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

GRAPHIC SCALE			
(IN FEET) 1 inch = 10 ft.			
PLANTING SCHEDULE			
53 SILVER STREET			
Botanical Name/ Common Name			
Trees			
	Size	Qty	Label
Plantanus acerifolia/London Planetree	3" Cal.	2	PA
Thuja / arborvitae	6'	5	TH
Shrubs			
	Size	Qty	Label
Miss Kim Lilac	#3 3-4'	2	MK
Cornus sanguina 'Winter Flame' / Winter Flame Dogwood	2-3' B&B	9	CS
Perennials			
	Size	Qty	Label
Hemerocallis 'Big Time Happy' / Big Time Happy Daylily	#1	6	HD
Hemerocallis 'Pardon Me' / Pardon Me Daylily	#1	10	PM
Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Grass	#1	12	KF
Rudbeckia fulgida var. sullivantii 'Goldstrum' / Goldstrum Black-Eyed Susan	#1	15	BS

- ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
- ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEED WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.
 - ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ONGOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
 - PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
 - ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NO LESS THAN ONE FULL YEAR FROM THE TIME OF INSTALLATION. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE OWNER IN WRITING OR OTHERWISE FORFEIT HIS CLAIM.
 - BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, THAT HAS LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESS PRUNING OR INADEQUATE OR IMPROPER CARE, OR IS, IN THE OPINION OF THE OWNER, IN UNHEALTHY OR UNSIGHTLY CONDITION.
 - THE CONTRACTOR IS TO USE TEMPORARY MEASURES FOR WATERING PLANTS DURING THE ESTABLISHMENT PERIOD, INCLUDING CONNECTING TEMPORARY HOSES TO THE STRUCTURE WATER SUPPLY LINE AND UTILIZING SPRINKLERS UNTIL 85% GROWTH OCCURS.



terrain
planning & design llc

311 kast hill road
hopkinton, nh 03229
603. 491. 2322
terrainplanning.com

260 LOCUST
STREET

Site Location:
260 Locust Street
Dover, NH
Tax Map: 15

Prepared For:
Berry Surveying & Engineering
335 Second Crown Point Rd
Barrington, NH 03825

LANDSCAPE
PLAN

DATE:

SCALE: 1" = 10'

PROJECT #: DB 2021-070

Drawn By: ID
CRB

Checked By: ERB

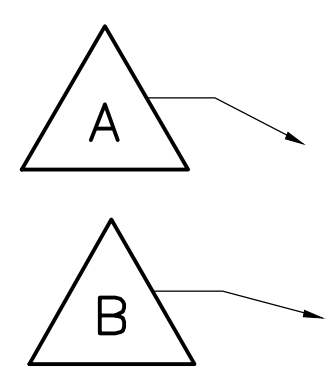
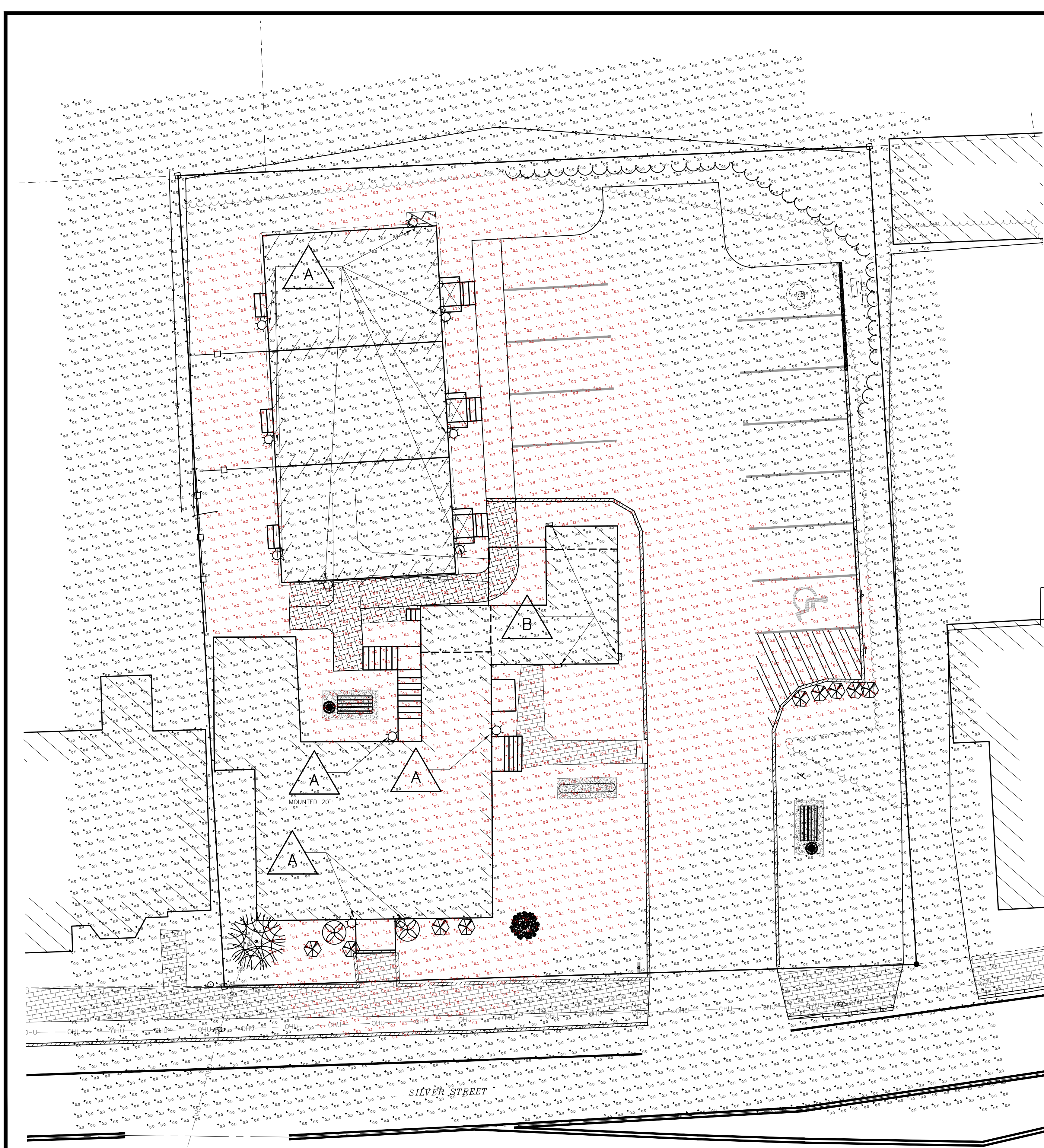
REVISIONS: DATE:
Issued for Client Review

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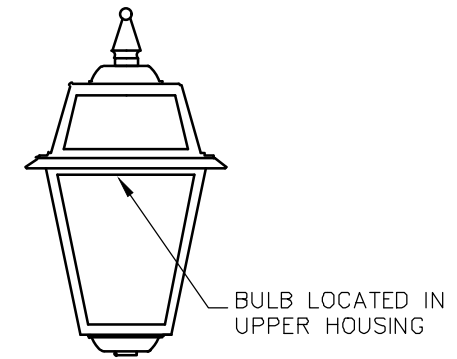
L - 01

SHEET 9 OF 16





Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	12	Lithonia Lighting	ODSL10 SRC	CRAFTSTON WALL MOUNTED SMALL DECORATIVE LANTERN. ONE LAMP 13W SPIRAL COMPACT FLUORESCENT T WHITE GLASS DIFFUSER 4.25" DIA. X 6.65" HIGH. ELECTRONIC BALLAST	ONE 13-WATT T4 SPIRAL COMPACT FLUORESCENT T, VERTICAL BASE UP POSITION.	1	ODSL10_SRC.ies	900	1	12.6
	B	3	Lithonia Lighting	TWS LED P1 50K MVOLT PE DDB M4	Wallpack - Caster	LED	1	TWS_LED_P1_50K_MVOLT_PE_DDB_M4.ies	2080	1	17.8

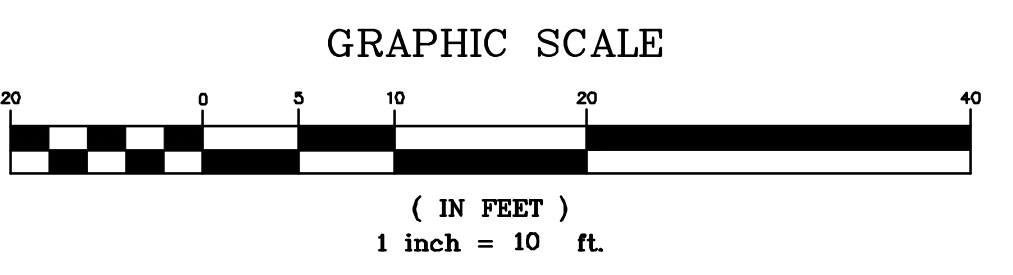


TYPICAL RESIDENTIAL LAMP "A"
NOT TO SCALE



TYPICAL EXISTING WALL PACK "B"
NOT TO SCALE

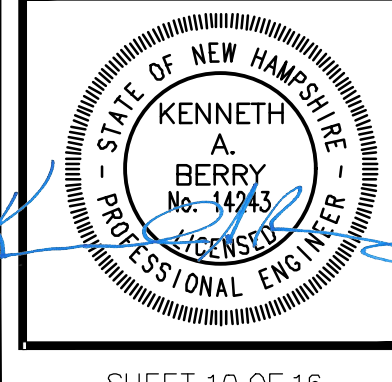
- NOTES:
- OWNERS: TOLWOOD REALTY GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - TAX MAP 9, LOT 44
 - S.C.R.D. BOOK 4910, PAGE 64
 - LOT AREA: 16,805 Sq. Ft., 0.39 Ac.
 - THE INTENT OF THIS PLAN IS SHOW THE PROPOSED LIGHTING DESIGN.
 - LAMP "A" IS MOUNTED 6' ABOVE GRADE ON THE BUILDINGS. SECOND FLOOR REAR ENTRANCE IS MOUNTED AT 20'. LAMP "B" IS EXISTING AND IS MOUNTED BETWEEN 6'-8' ON THE EXISTING BUILDINGS
 - SEE THIS SHEET FOR CONSTRUCTION DETAILS. LAMP "B" IS TO BE RETROFITTED WITH A TOP SHIELD TO BECOME NIGHT SKY COMPLIANT.
 - EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 153-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.



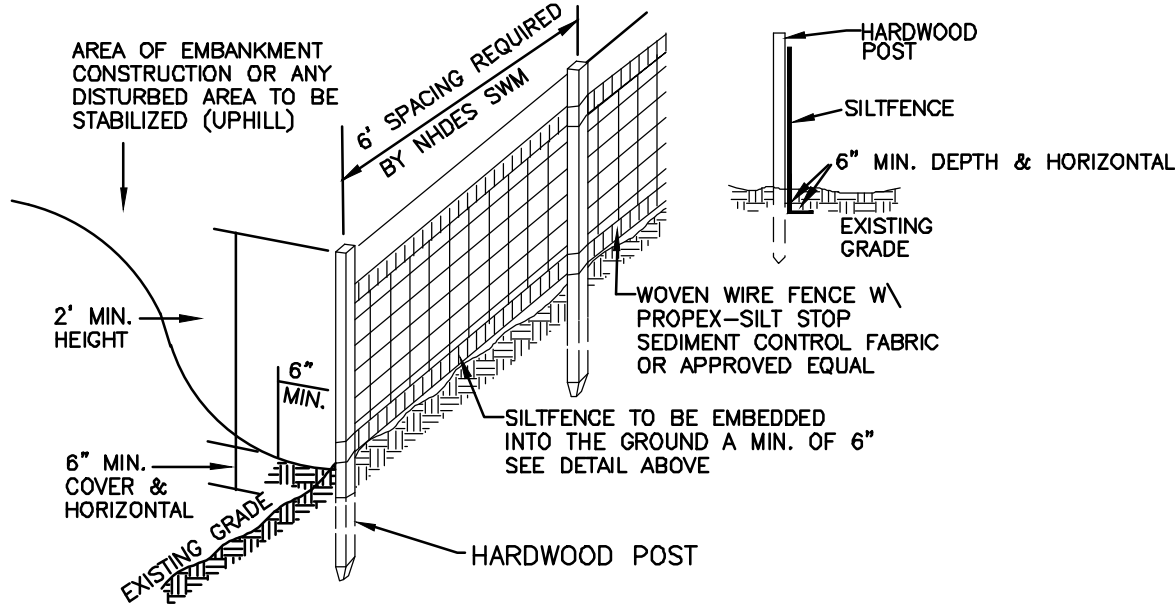
PLANNING FILE #	
REVISION	DATE

LIGHTING PLAN
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 10 FT.
DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070



E1



SILT FENCE CONSTRUCTION SPECIFICATIONS

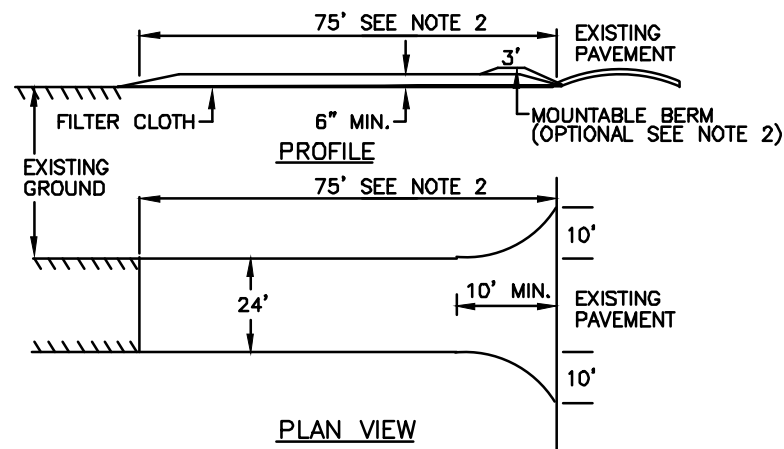
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW. REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
5. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
7. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL
NOT TO SCALE

E4 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.

E7

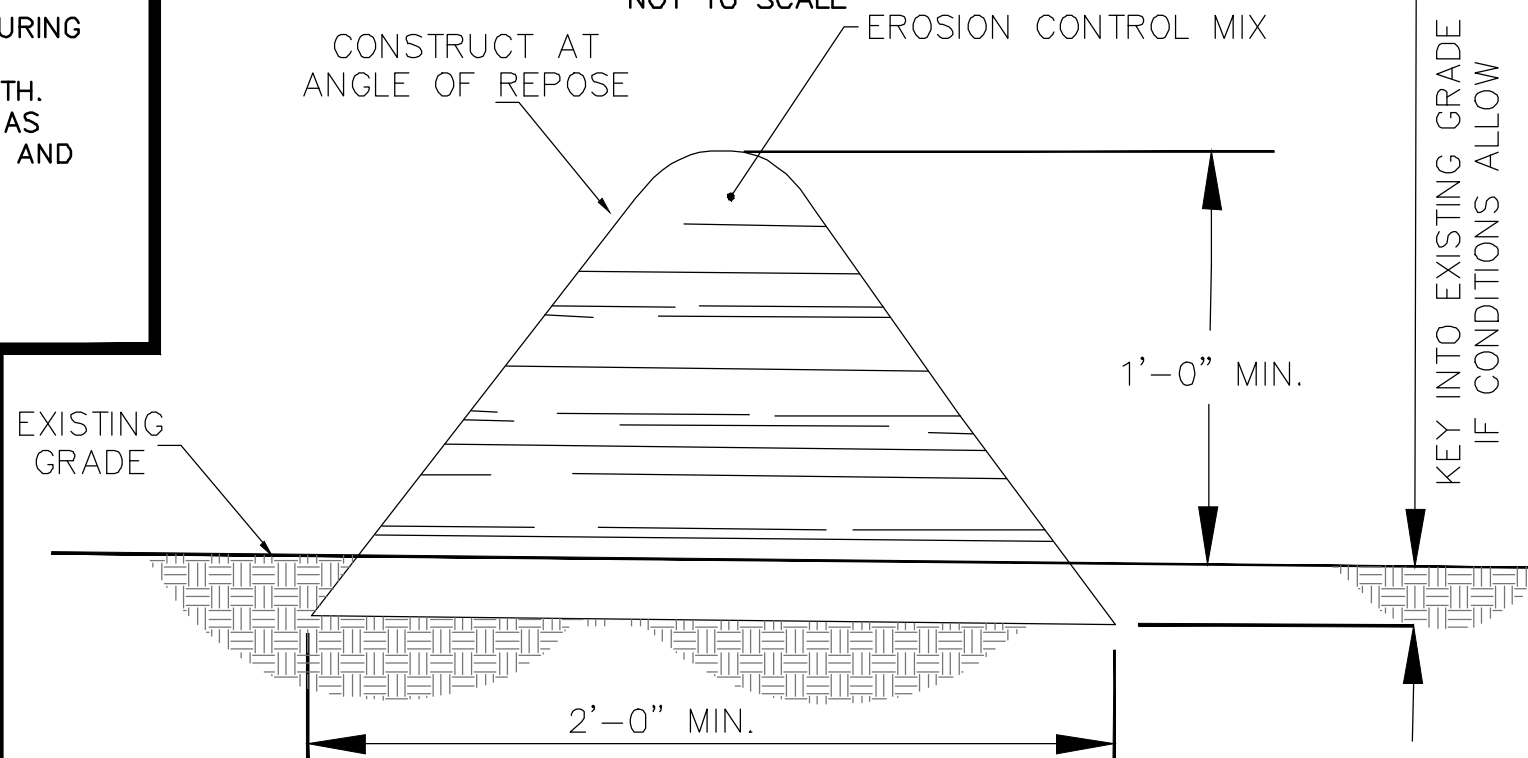
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES				
d50 SIZE=	0.5	FEET	6	INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM			TO
100%	9			12
85%	8			11
50%	6			9
15%	2			3

E2

CONSTRUCTION SEQUENCE:

- 1.) CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
- 2.) CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
- 3.) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS.
- 4.) CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- 5.) CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
- 6.) CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY
- 7.) START BUILDING CONSTRUCTION
- 8.) INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
- 9.) BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDDED OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 60 DAYS BEFORE BEING STABILIZED. DAILY, OR AS REQUIRED. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES.
- 10.) CONSTRUCT TEMPORARY BERMS, DRAINS DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- 11.) INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESSW), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSWQ). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT.
- 12.) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 13.) REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
- 14.) SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
- 15.) FINISH PAVING ALL ROADWAYS.

E5 EROSION CONTROL MIX BERM
NOT TO SCALE

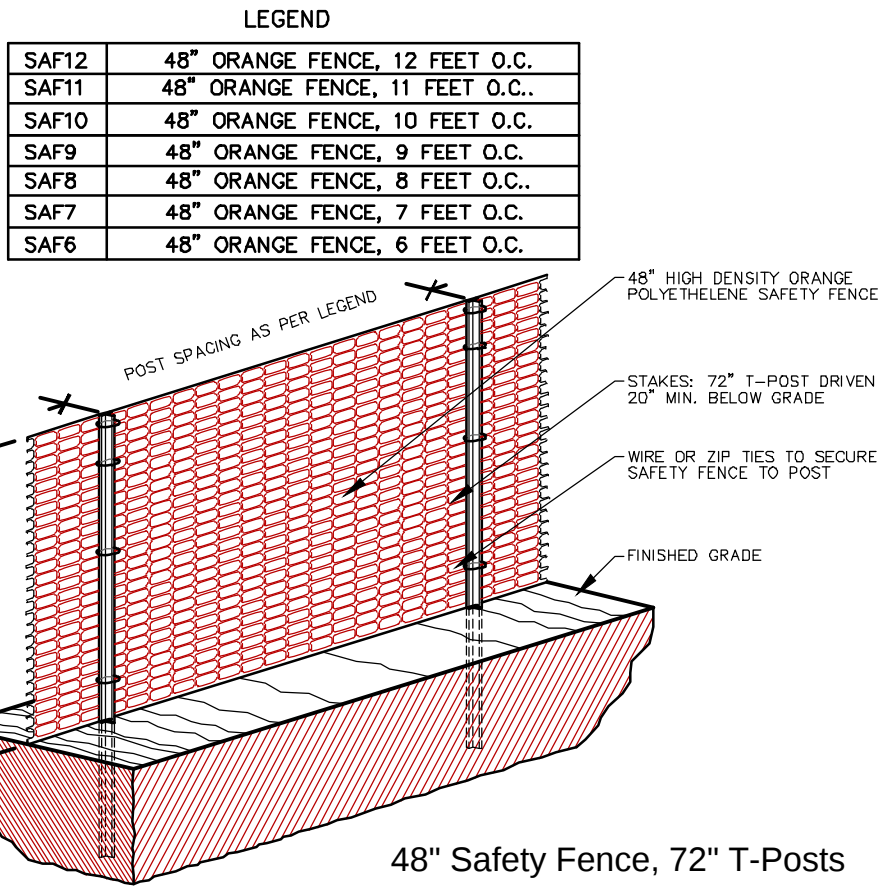


EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:

1. BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
2. THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
3. THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
4. SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
5. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
6. THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
7. THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
8. THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
9. THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
10. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

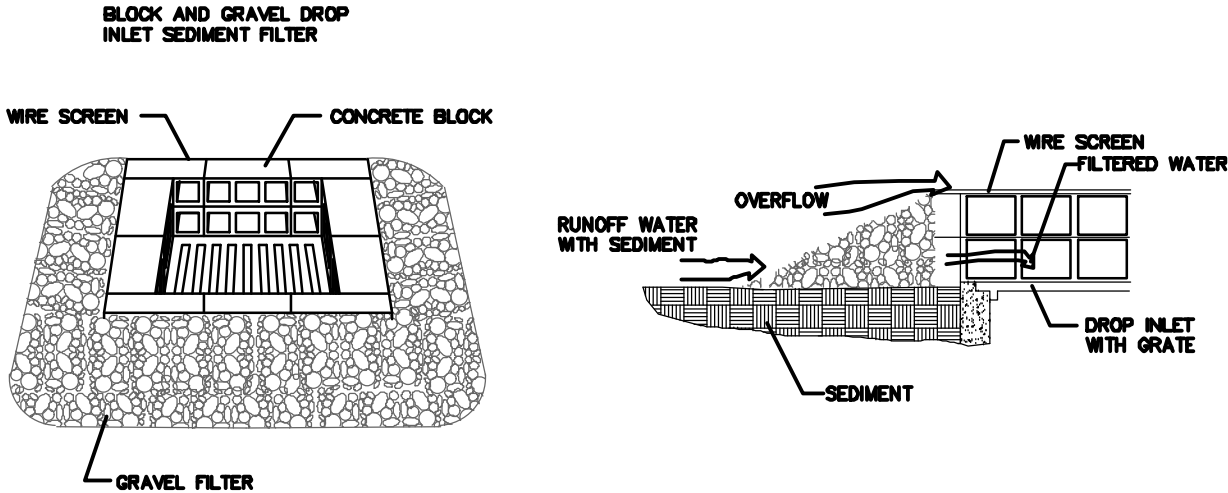
E3

CONSTRUCTION SAFETY FENCE
NOT TO SCALE



1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

E6



MAINTENANCE

ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

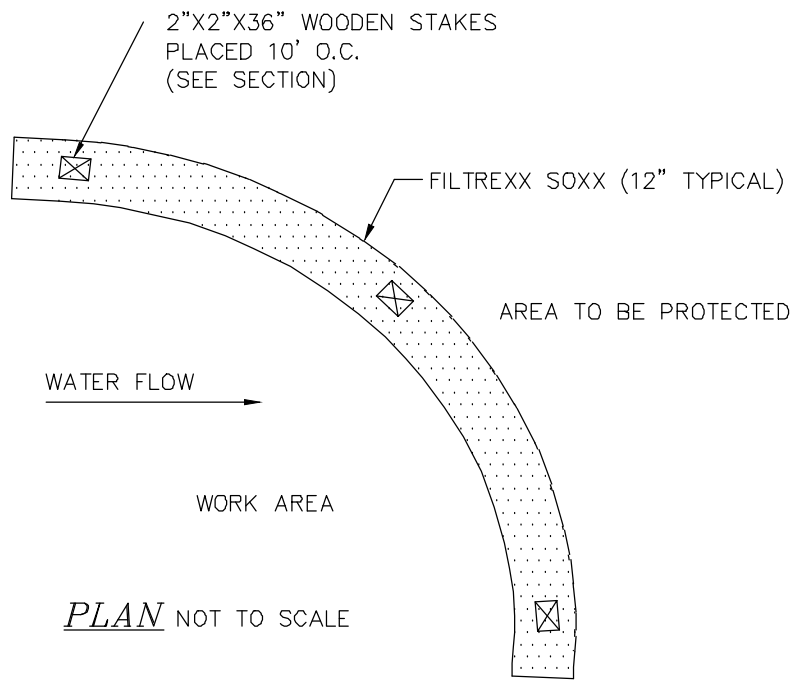
BLOCK & GRAVEL DROP
INLET SEDIMENT FILTER

NOT TO SCALE

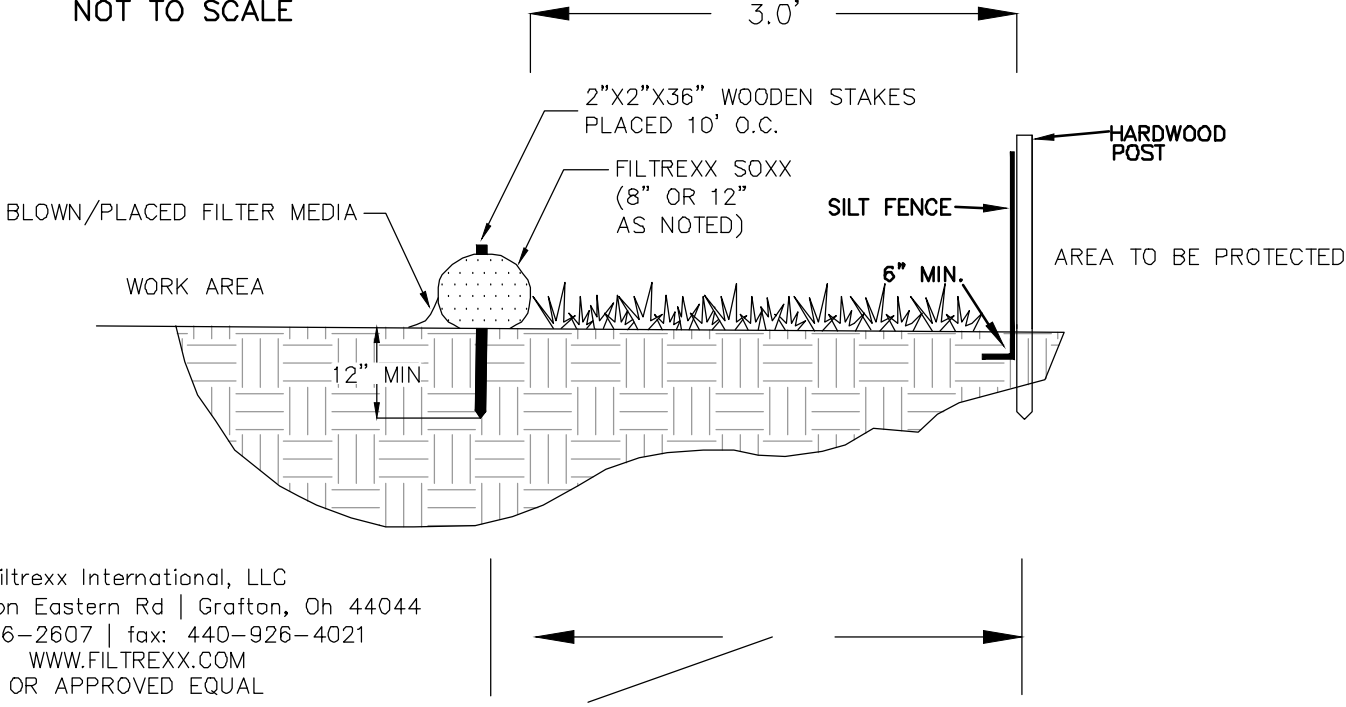
TO BE USED IN ALL AREAS WHERE THERE WILL BE NO TRAFFIC.

TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY STORM DRAIN INLET PROTECTION, PAGE 118.

E8



FILTREXX SEDIMENT
CONTROL
NOT TO SCALE

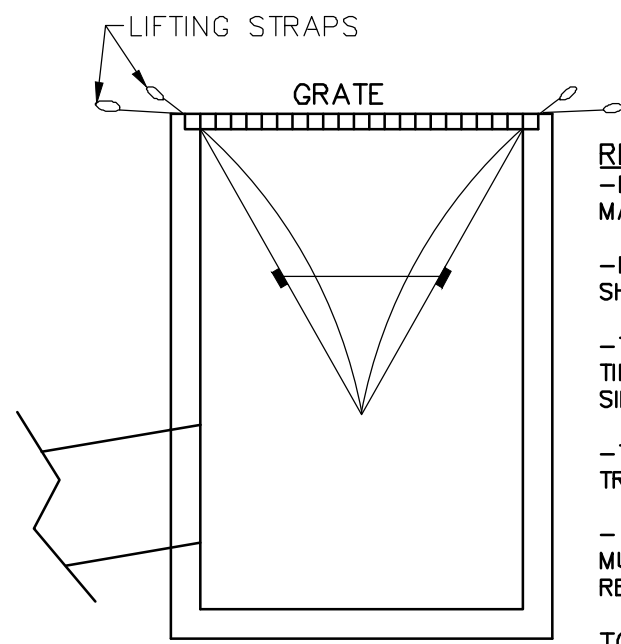


Filtrex International, LLC
35481 Grafton Eastern Rd | Grafton, Oh 44044
440-926-2807 | fax: 440-926-4021
WWW.FILTREXX.COM
OR APPROVED EQUAL

NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOXX APPLICATIONS. THIS DUPLICATION MAY BE SPECIFIED AS 12" SILT SOXX OR ORANGE CONSTRUCTION FENCE AS NOTED.

SECTION NOT TO SCALE

E9



RECOMMENDED MAINTENANCE SCHEDULE
-EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT, AND MUST BE MAINTAINED.
-IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACK SHOULD BE INSPECTED EVERY 2-3 WEEKS.
-THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.
-TO BE USED IN ALL AREAS WHERE THERE WILL BE TRAFFIC.

- ARE SUBJECT TO DAMAGE BY SNOW PLOWS, AND MUST BE INSPECTED AFTER ANY SNOW EVENT AND REPLACED AS REQUIRED.

TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY STORM DRAIN INLET PROTECTION, PAGE 118.

SILTSACK DETAIL
NOT TO SCALE

E-101

PLANNING FILE #

DESCRIPTION

DATE

REVISION

EROSION & SEDIMENT CONTROL DETAILS
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

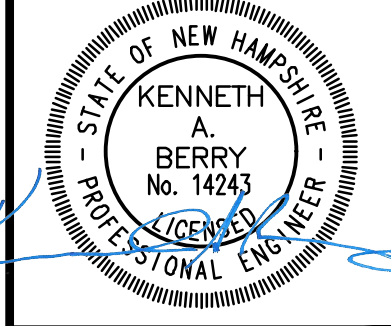
BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

AS NOTED

DATE : DECEMBER 1, 2021

FILE NO. : DB 2021 - 070



SHEET 11 OF 16

NOTE: THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

NOTE: Temporary seed mix for stabilization of turf shall be winter rye or oats at a rate of 2.5 lbs. per 1000 s.f. and shall be placed prior to OCT. 15, if permanent seeding not yet complete.

SEEDING GUIDE					
USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	D	POOR	GOOD	EXCELLENT	GOOD
	E	FAIR	FAIR	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
	E	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, OOD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	GOOD	POOR
	C	GOOD	EXCELLENT	EXCELLENT	GOOD
	D	FAIR	GOOD	GOOD	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	F	FAIR	EXCELLENT	EXCELLENT	2/
	G	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL RT. SEE NH-RM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING
 - SLOPES SHALL NOT BE STEEPER THAN 2:1;3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION
 - SURFACE AND SEepage WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEED BED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50LBS. PER ACRE OR 1.1LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000LBS. PER ACRE OF 5-10-10.)
- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT TREFOIL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
- WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
- MULCH
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND
 - PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.
- TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, PERMANENT VEGETATION, PAGE 60.

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	20	0.45
TOTAL	40	1.35
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	24	0.55
CREeping RED FESCUE	24	0.55
BIRDS FOOT TREFOIL	24	0.55
TOTAL	72	1.65
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

CONSERVATION MIX	POUNDS PER ACRE	POUNDS PER 1,000 S.F.
TALL FESCUE (35%)	15	0.35
CREeping RED FESCUE (25%)	15	0.35
ANNUAL RYEGRASS (12%)	5	0.12
PERENNIAL RYEGRASS (10%)	5	0.12
KENTUCKY BLUEGRASS (10%)	15	0.35
WHITE CLOVER (3%)	7	0.16

DEFINITION OF STABLE:

PER ENV-WQ 1500 ALTERATION OF TERRAIN

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
- A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED..
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
- OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

- HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
- DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

TEMPORARY EROSION CONTROL MEASURES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
- ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,800 Sq. Ft.) WILL BE DISTURBED.
- SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- PER THE EPA CDP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
- DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- DRIVEWAYS AND CUT AND FILL SPLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
- STABILIZATION MEANS:
 - A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)

WINTER STABILIZATION NOTES

- ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
- ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
- PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
- AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

PLANNING FILE #

DESCRIPTION

DATE

REVISION

EROSION & SEDIMENT CONTROL DETAILS

LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.

TAX MAP 9, LOT 44

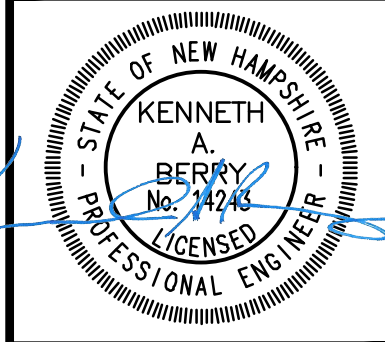
BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

AS NOTED

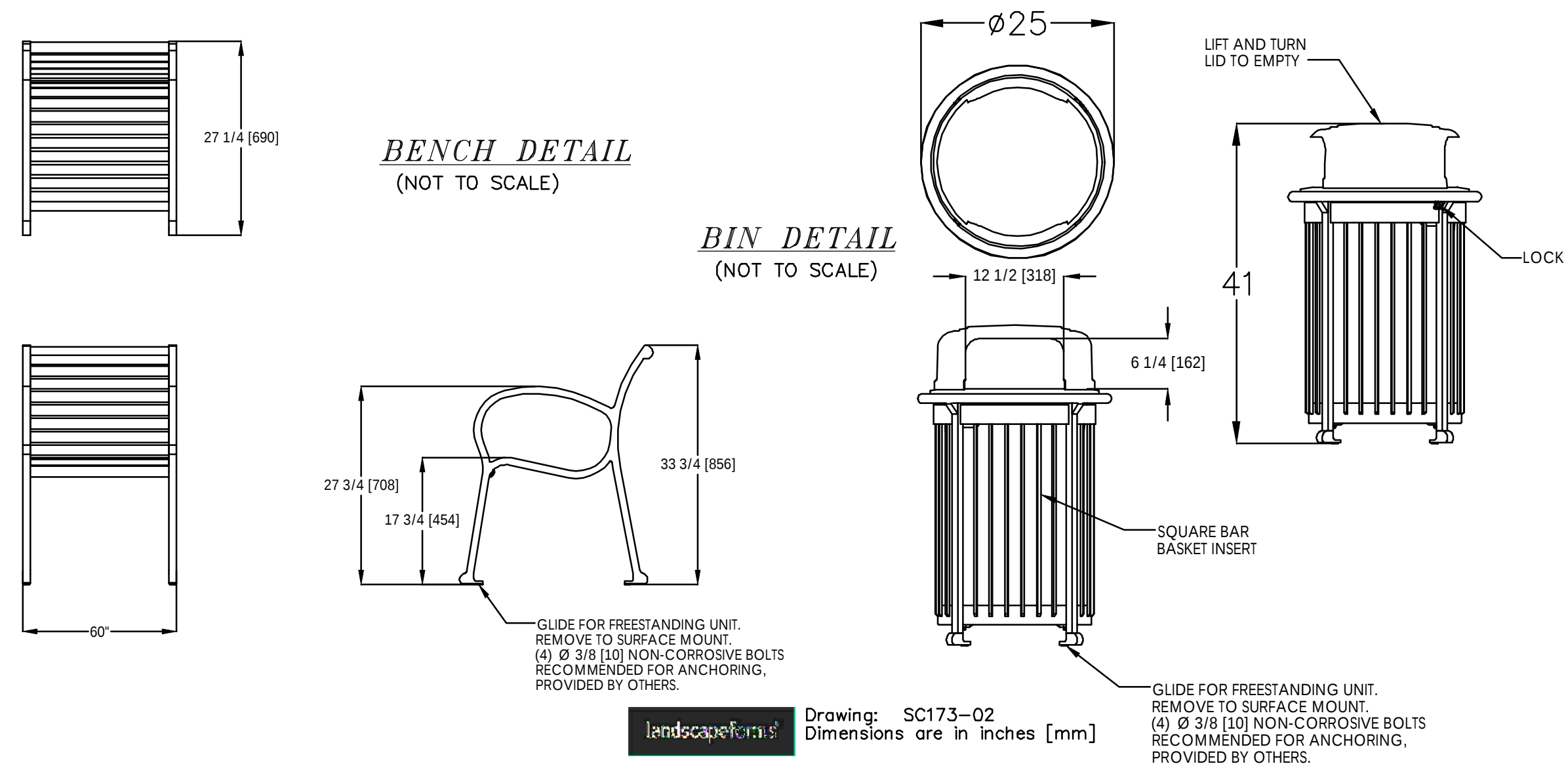
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FILE NO. : DB 2021 - 070



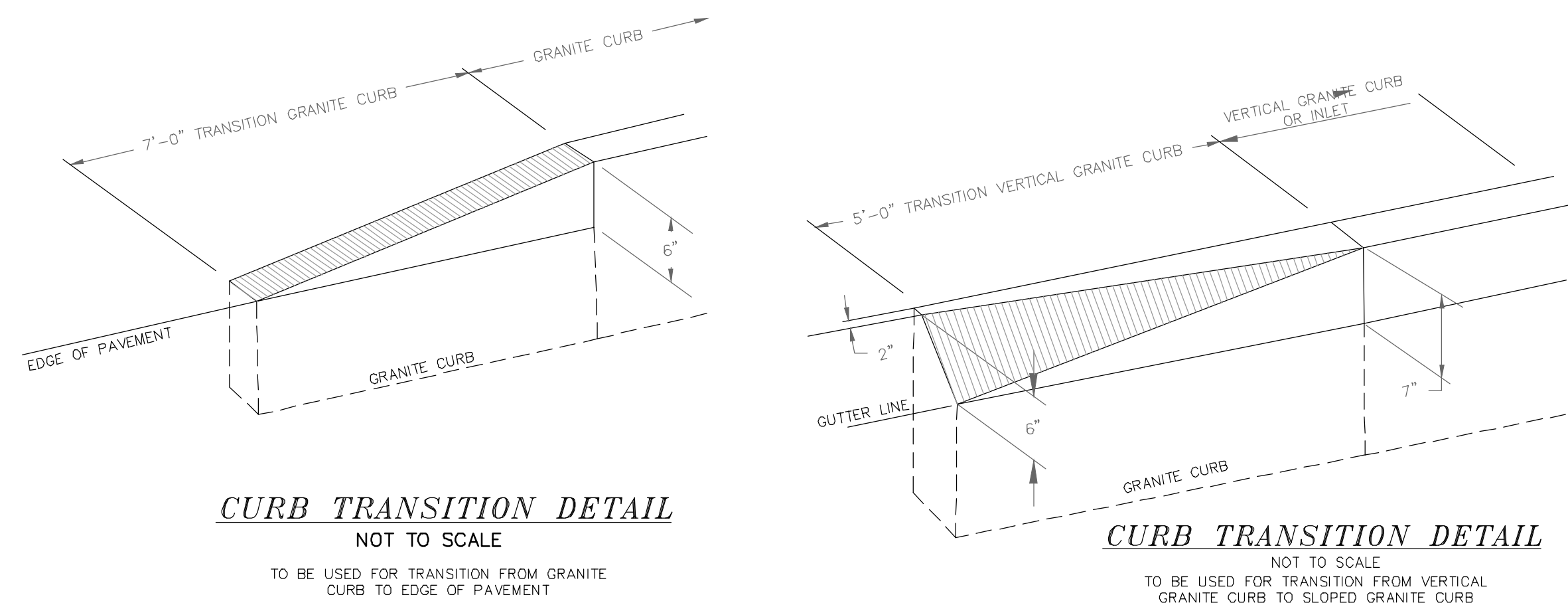
C7

Product Drawing www.landscapeforms.com Date: 5/19/2010
 Scarborough™ Bench, 24" Backed, with Horizontal Strap Seat Ph: 800.521.2546



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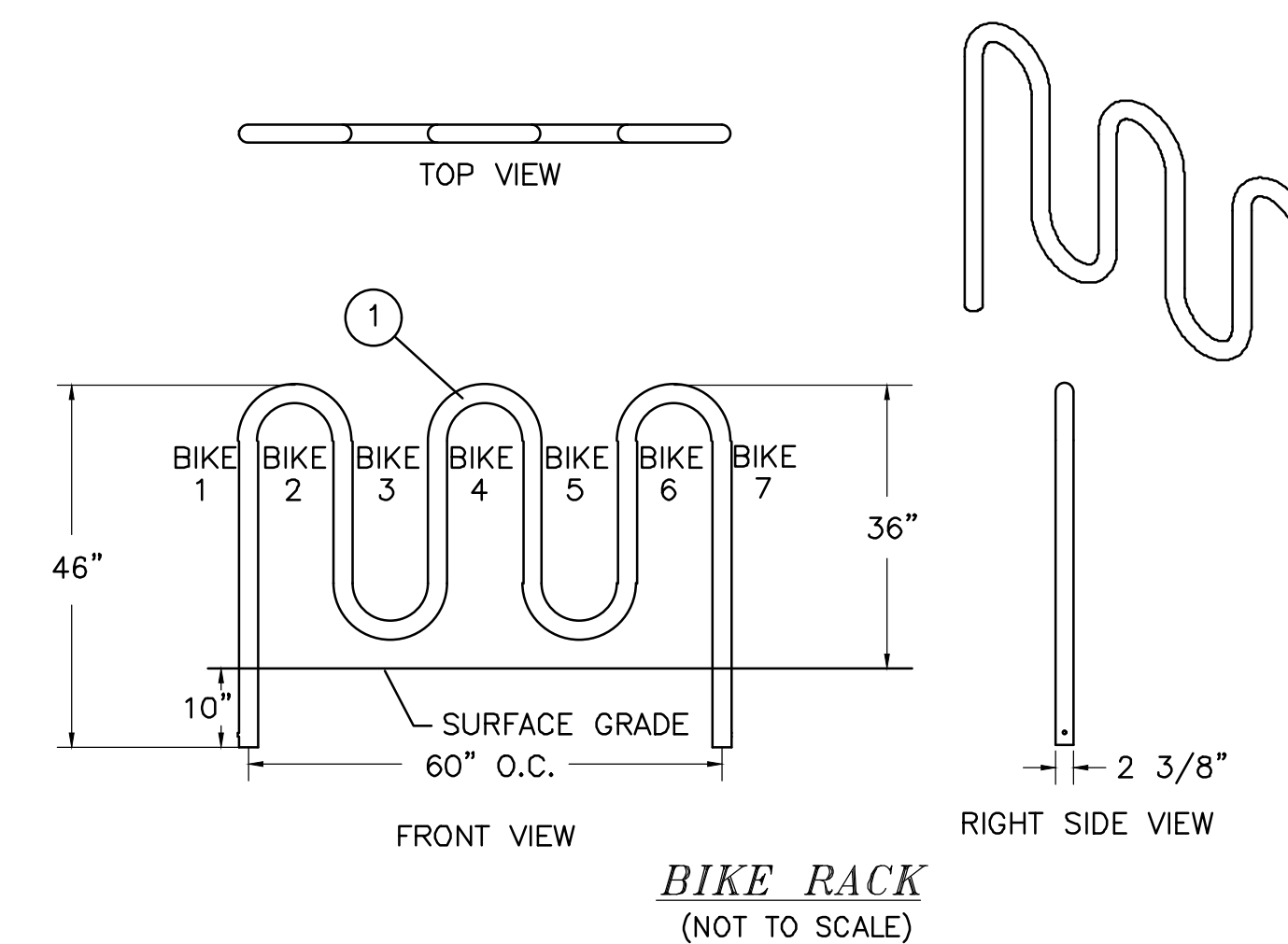
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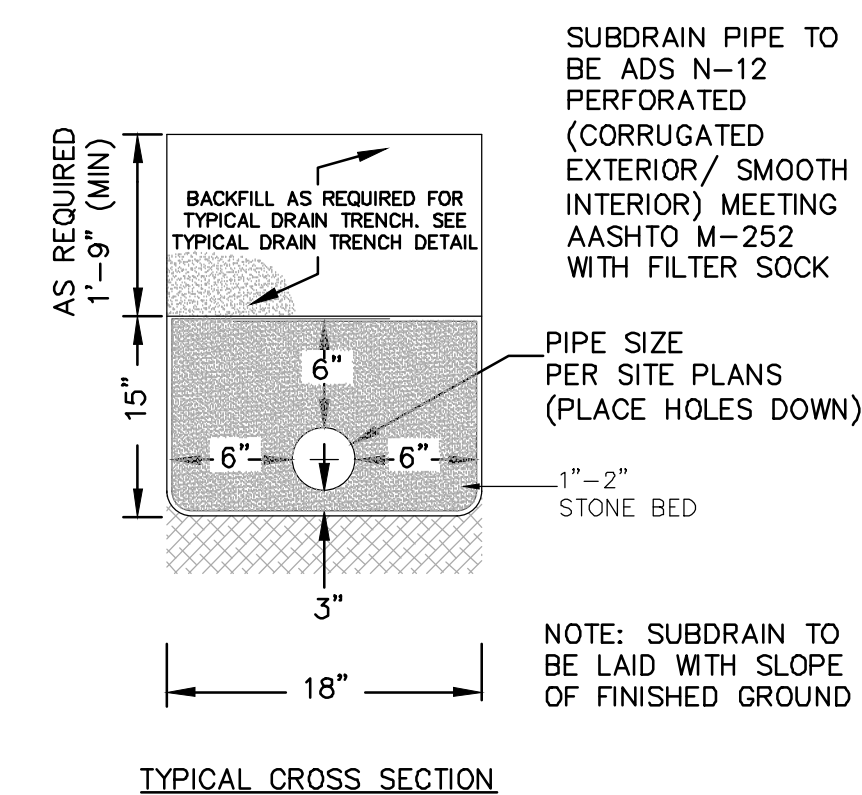
C8

MATERIALS LIST

(1) TUBING - ϕ 2 3/8" x .154" Wall Steel Tubing



C10



NOTES:
CROWN OF 6" SUBDRAIN PIPES TO MATCH CROWN OF DRAIN PIPES IN CATCH BASINS

SUBDRAIN TO BE INSTALLED AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.

SHORING AND STABILIZING OF TRENCH SIDEWALLS DURING EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR ANY TRENCH EXCAVATION BEYOND THE LIMITS OF PAY EXCAVATION INDICATED.

SUBDRAIN DETAIL TYPICAL
NOT TO SCALE

PLANNING FILE #

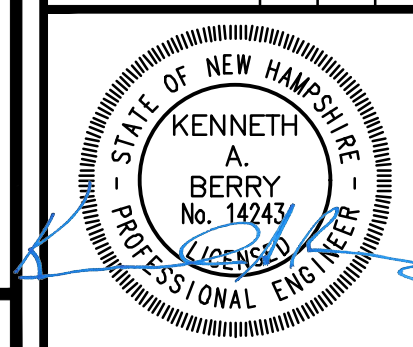
REVISION	DATE	DESCRIPTION	TRAINING TILL #

CONSTRUCTION DETAILS
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2866

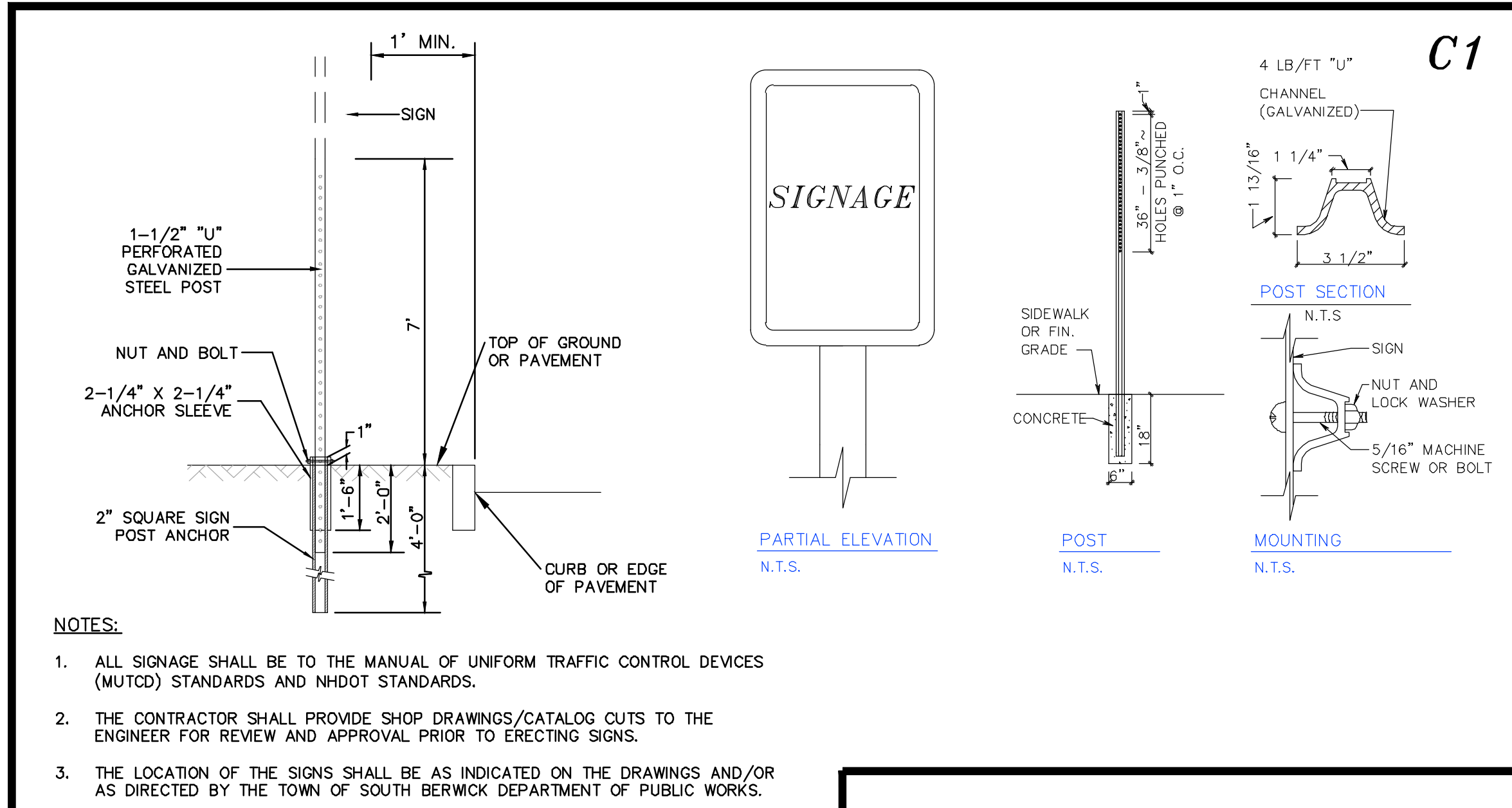
AS NOTED

DATE : DECEMBER 1, 2021
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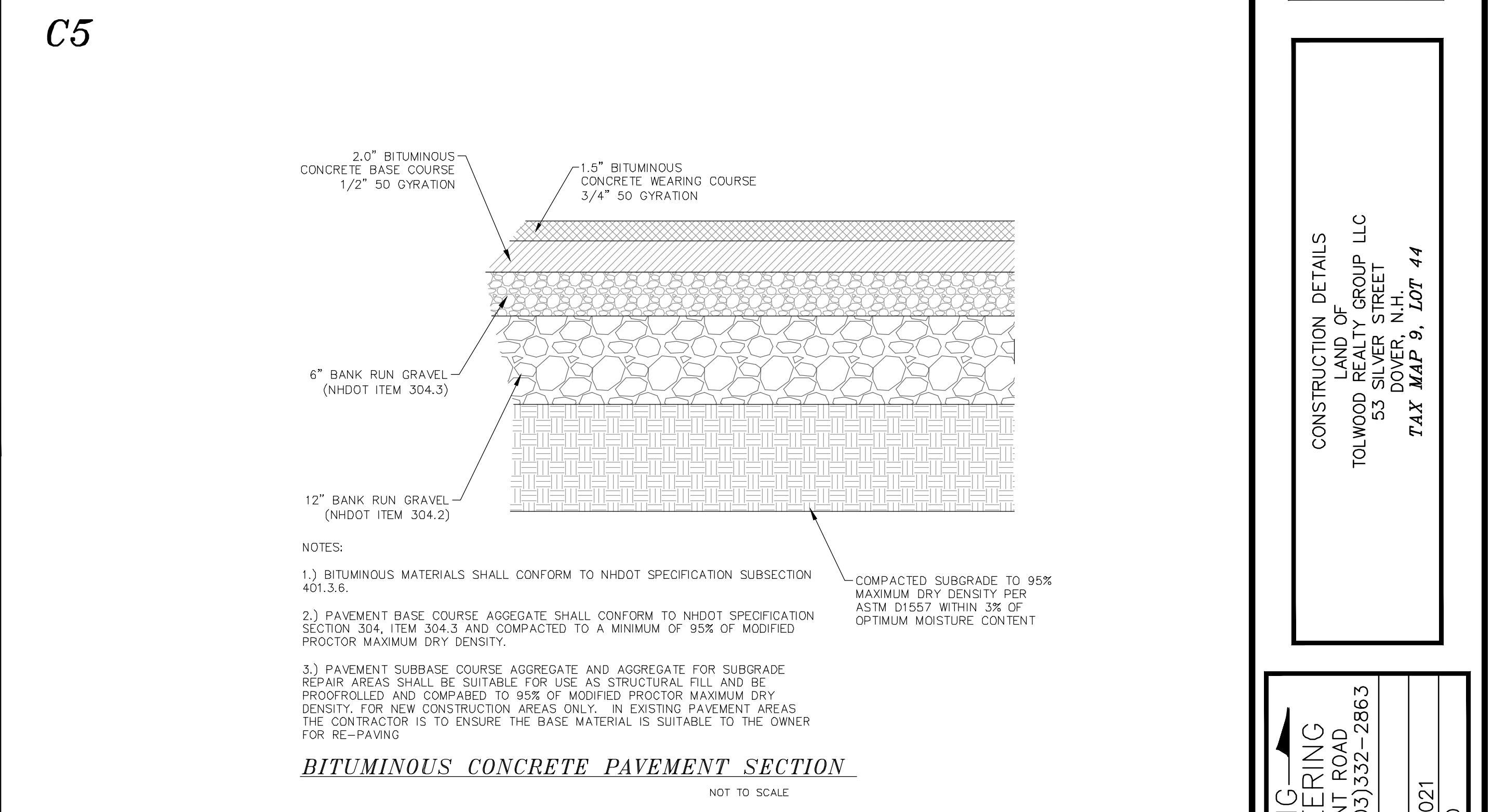
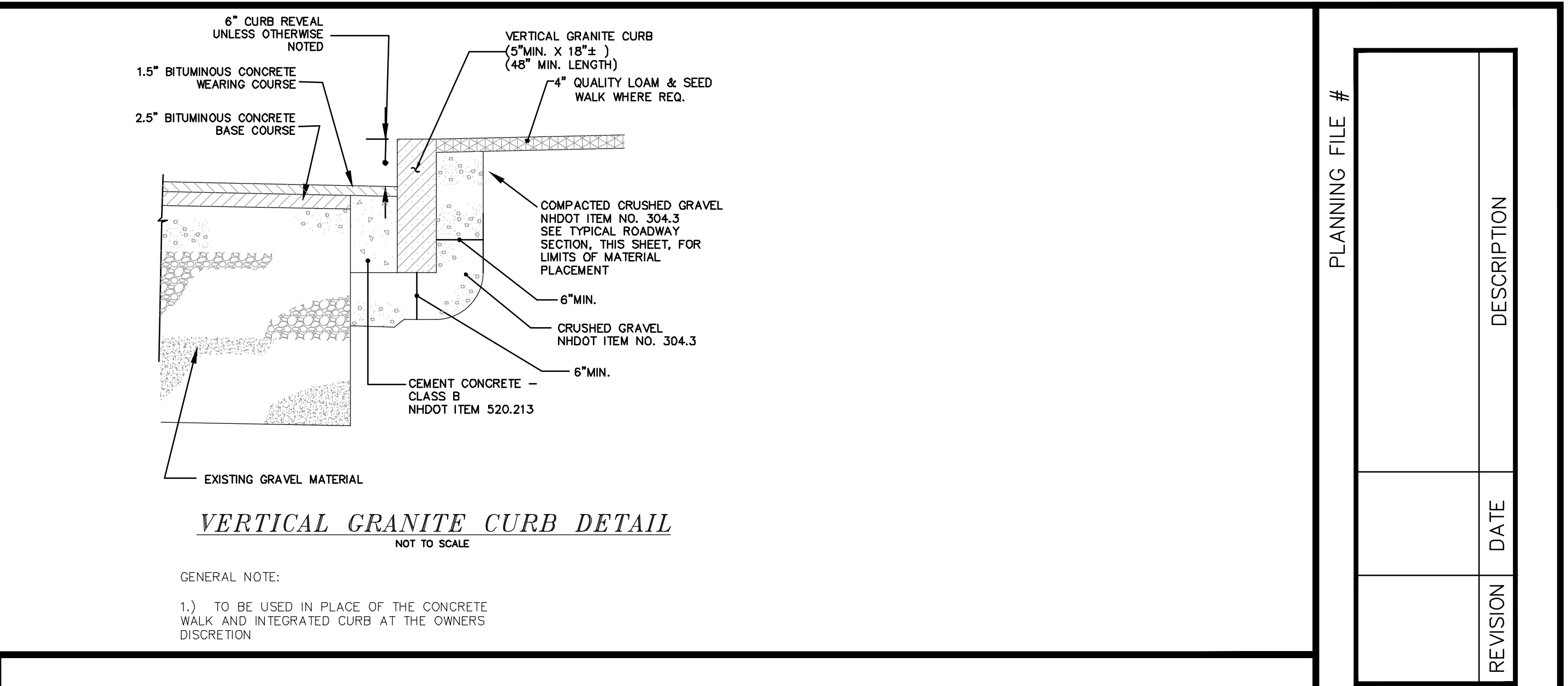
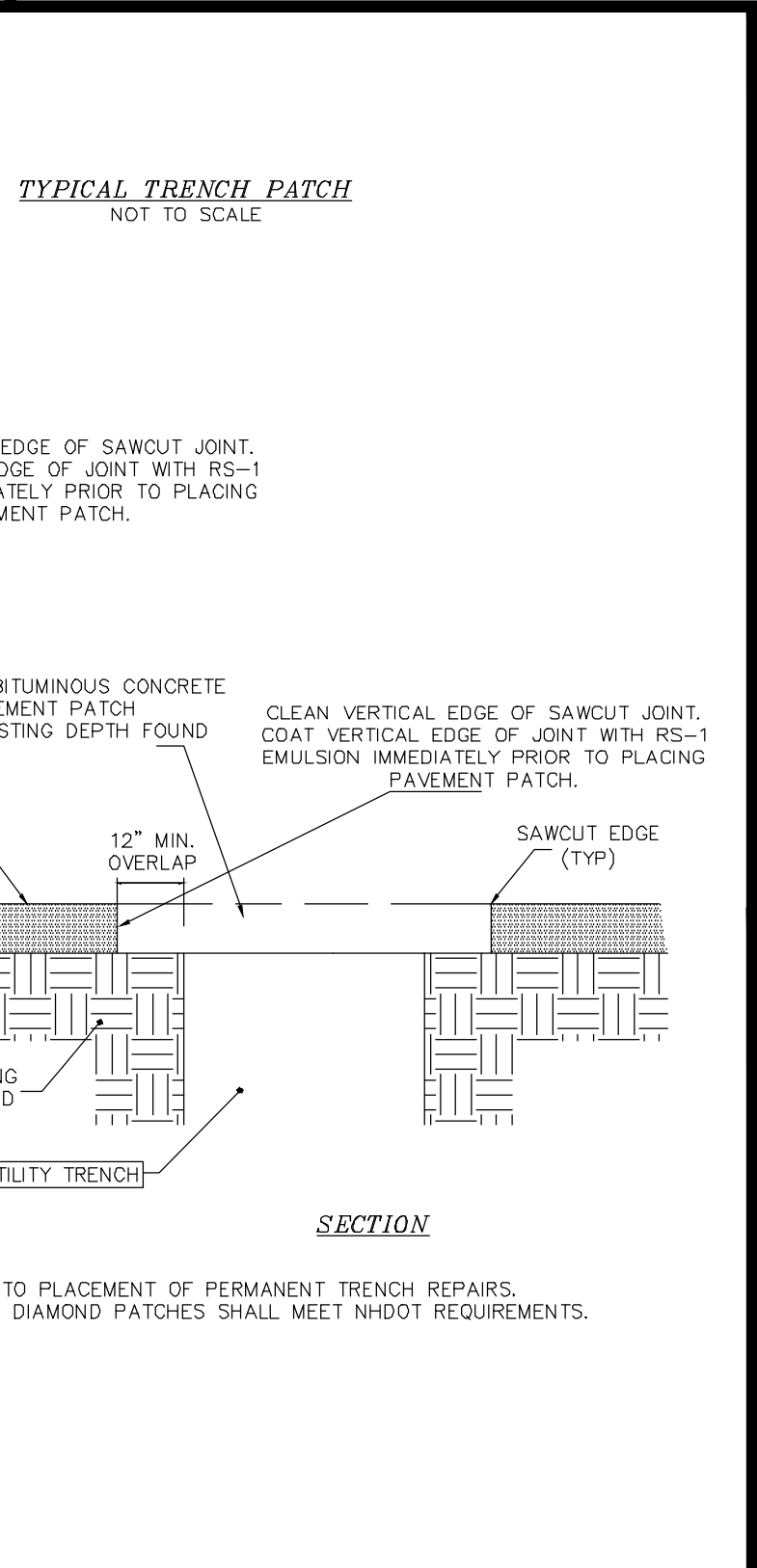
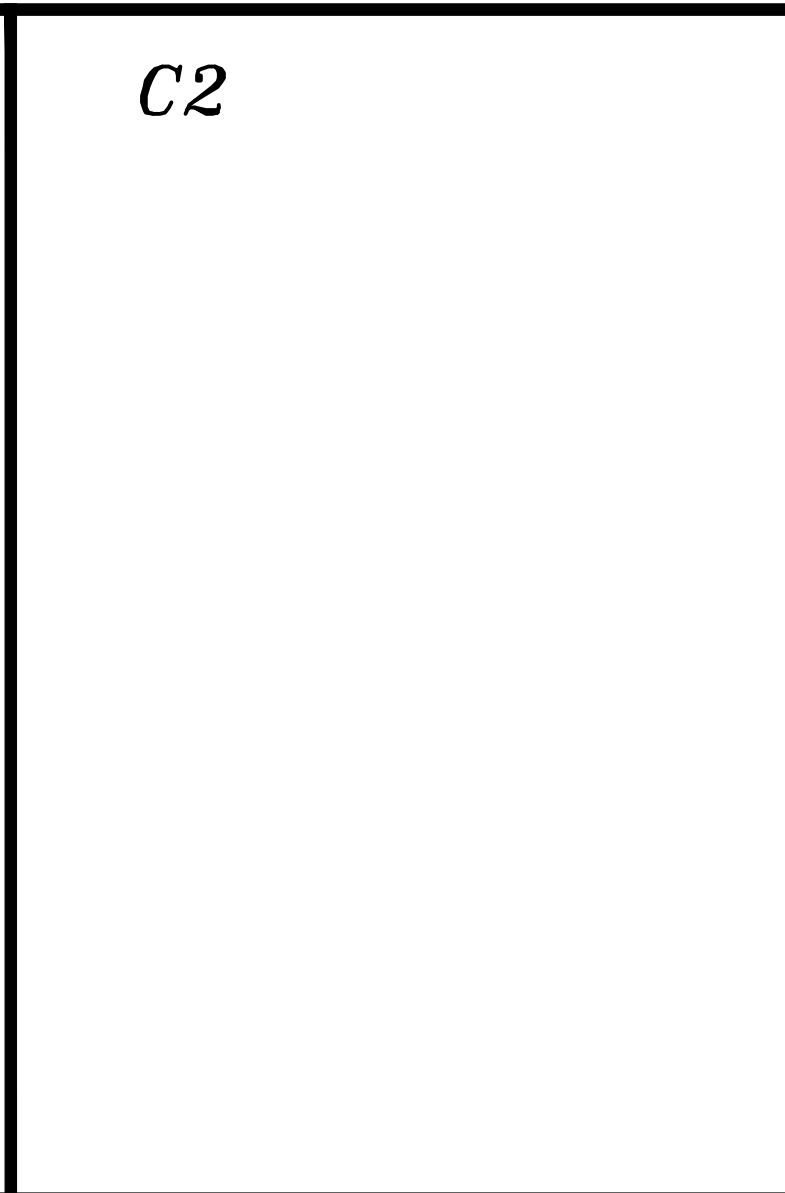
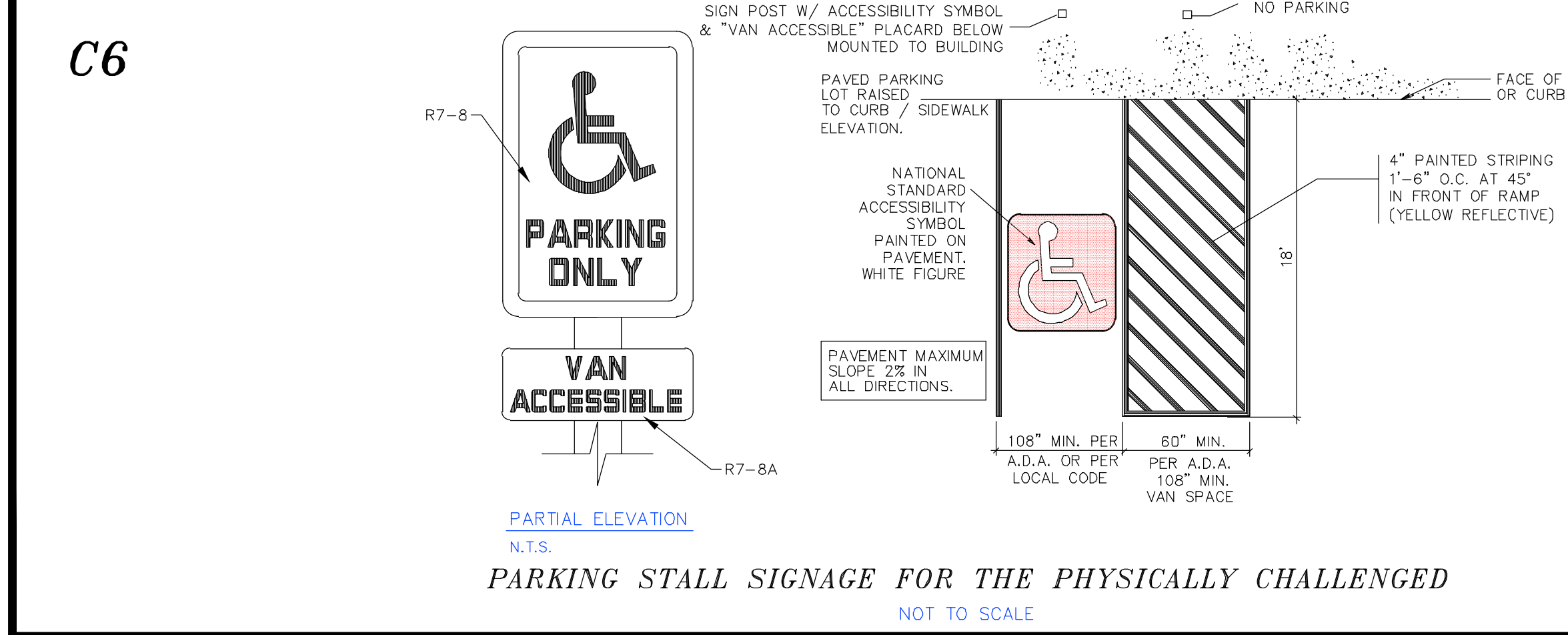
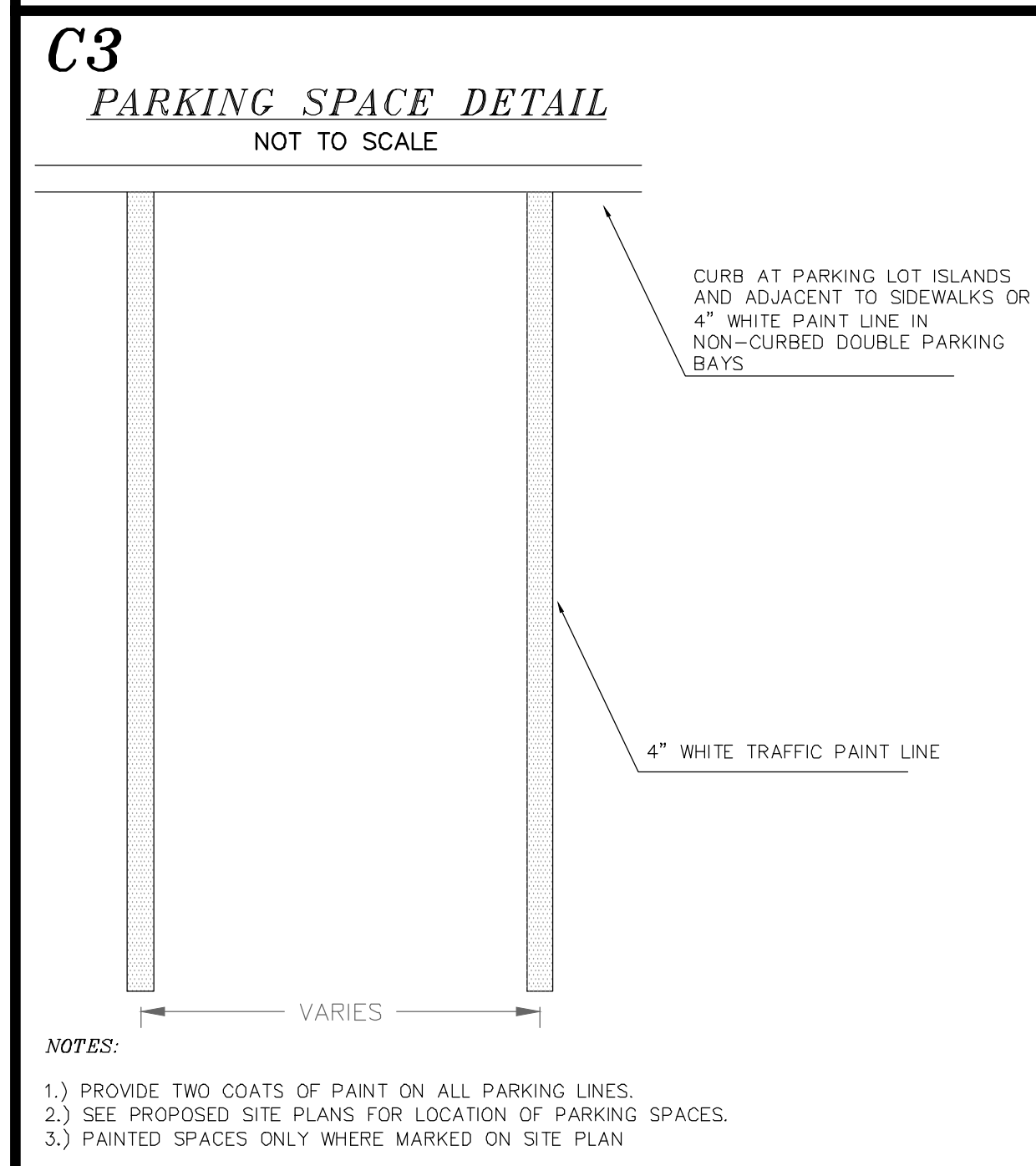


C-102

SHEET 13 OF 16



C1
TYPICAL SIGN POST
(NOT TO SCALE)



PLANNING FILE #

CONSTRUCTION DETAILS
LAND OF
TOLWOOD REALTY GROUP LLC
53 SILVER STREET
DOVER, N.H.
TAX MAP 9, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
AS NOTED

DATE : DECEMBER 1, 2021
FILE NO. : DB 2021 - 070

SEAL: STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 1443
LICENSED PROFESSIONAL ENGINEER

C-101

SHEET 14 OF 16

PLASTIC LOCK-TIE OR RUBBER HOSE TREE TIE. SET LOOSE TO ALLOW FOR DIAMETER GROWTH.

Ø X 8'-0" LENGTH LODGEPOLE PINE TREE STAKE

MIN 2"-3" OF MULCH

3"-4" SOIL SAUCER (DURING ESTABLISHMENT)

FINISH GRADE

REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL.

REMOVE ALL WIRE & STRING

NATIVE BACKFILL SOIL AMENDED WITH 25% (Ø1/3 CU YD) DECOMPOSED ORGANIC MULCH AMENDMENT FOR ENTIRE TREE PIT AREA (APPROXIMATELY ROOTBALL DEPTH)

UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)

SET ROOT CROWN AT OR 1" ABOVE FINISH GRADE

MIN 1/3 HEIGHT OF TREE (TYP)

1'-0" MIN. TYP.

6'-0" MIN OR 2 TIMES ROOTBALL

6'-0" Ø MULCH AREA CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION DURING ESTABLISHMENT

TYPICAL SLOPE GROUND COVER PLANTINGS **L4**

The diagram illustrates the cross-section of a slope with ground cover plantings. The layers from top to bottom are:

- TYPICAL GROUND COVER PLANTED AT NURSERY LEVEL**: The plants are shown with their root balls.
- MIN. 2" MULCH**: A layer of mulch directly beneath the plants.
- FINISH GRADE**: The top surface of the slope.
- MIN. 6" DEPTH**: The depth of the planting layer below the finish grade.
- 3" - 4" PLANTING SOIL MIXED 50/50 WITH NATIVE SOIL OR NATIVE SOIL AMENDED WITH 25% MIN DECOMPOSED ORGANIC MULCH AMENDMENT**: The soil layer within the planting depth.
- SPACING VARIES SEE LANDSCAPE DRAWINGS**: An arrow indicating the distance between plants.
- SCARIFIED SUBGRADE**: The base layer at the bottom of the slope.

L8

SHREDDED HARDWOOD
BARK MULCH

12" MIN. PLANTING
SOIL MIX

UNDISTURBED EARTH

NATIVE GRASSES

PERENNIAL
FLOWER OR PLANT

L2

RUBBER HOSE AT BARK
WIRE TIE
EYE SCREW
50x50mm (2"x2") WOOD STAKE ON WINDWARD SIDE
INSTALL TWO ADDITIONAL STAKES AT 120°
SET TREE AT ORIGINAL GRADE
MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN.
SOIL SAUCER: USE GOOD TOPSOIL 150mm (6") MIN.
8" MINIMUM DISTANCE FROM TRUCK
ROPES AT TOP OF BALL SHALL BE CUT. REMOVE
TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL
SHALL BE TOTALLY REMOVED
PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT
SETTLING
2X BALL DIA., MIN.

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

L5

← PREVAILING WINDS

B&B OR BAREROOT TREES (AS SPECIFIED)

SET ALL PLANTS PLUMB

SEE NOTE 4

SEE NOTE 6

2"-3" MULCH DEPTH TAPERED AT TRUNK

MIN 1/3 HEIGHT OF TREE (TYP)

1'-6"

SEE NOTE 5

2"-3" MULCH DEPTH TAPERED AT TRUNK

BACKFILL WITH MIXTURE OF 75% NATIVE SOIL AND 25% DECOMPOSED ORGANIC MULCH AMENDMENT

1:1 MAX

2:1 TYP

1'-0" MIN

B&B OR CONTAINERIZED SHRUB (TYP)

SET ROOTCROWN AT OR JUST ABOVE SOIL LEVEL (TYP)

SEE NOTE 6

EXISTING GRADE (SEE GRADING PLAN)

1:1 MAX

NOTES:

1. STAKE TREES PER STD PLAN NO 100g
2. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEeward SIDE
3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
 - ROCK FACING
 - PRECAST CONCRETE WALL UNITS

L7

8" LONG ROUND WOOD RAIL WITH DOWELED ENDS TO BE INSTALLED PARALLEL WITH EACH OTHER AND THE GROUND SURFACE.

GROUND LEVEL

UNDISTURBED GROUND

HOLE #1 DRILLED 4" DOWN FROM TOP OF POST.

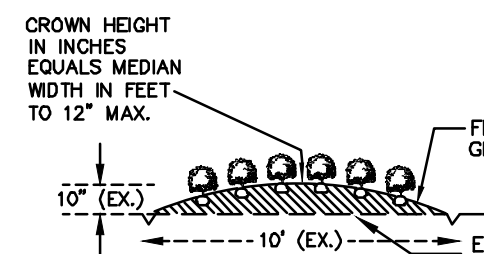
HOLE #2 DRILLED 2' 4" DOWN FROM TOP OF POST.

6" LONG 4"-6" ROUND WOOD POST W/DRILLED HOLES TO ACCEPT DOWEL ENDS OF RAILS.

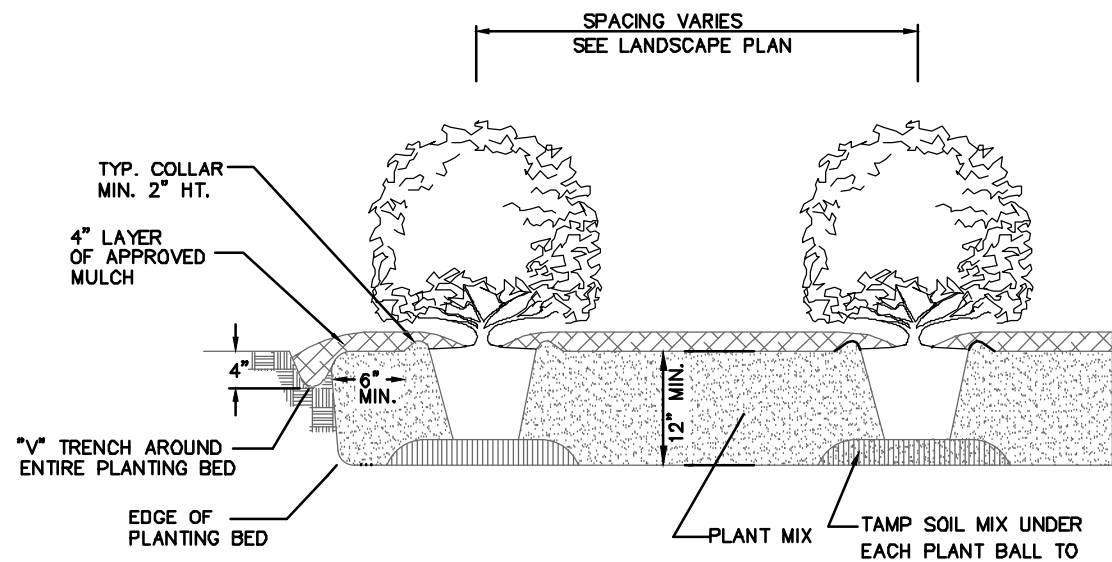
USE 6" POST ON ENDS OR CORNERS.

SLOPE GROUND AROUND POST TO DRAIN

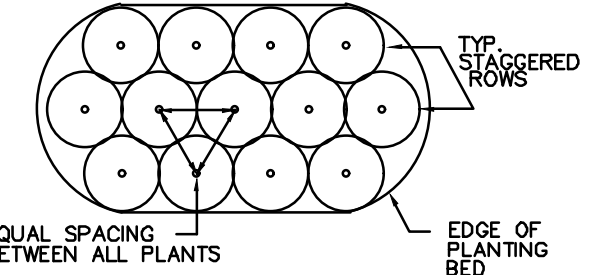
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL BED CROWNING



TYPICAL PLANTING BED DETAIL



TYPICAL PLANTING BED PLAN

NOTES:

- 1.) CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- 2.) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING. SEE NOTE XXX ON OVERALL SITE PLAN.
- 3.) PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 4.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 5.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 6.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 7.) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 8.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- 9.) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- 10.) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- 11.) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- 12.) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- 13.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- 14.) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- 15.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- 16.) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- 17.) SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- 18.) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- 19.) TREES ARE TO BE 3" CALIPER 6" OFF THE ROOT BALL.
- 20.) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 21.) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 22.) PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
- 23.) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.