

CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: Council Conference Room, City Hall, 288 Central Ave, Dover NH 03820
Meeting Date: **Thursday, February 27, 2025**
Meeting Time: **10:30 AM**

1. Site Plan for Civilworks New England, Assessor's Map E, Lot 32-1, zoned IT, located at 181 Watson Road. (Proposal is to construct a $\pm$ 1,760 sq. ft. addition onto an existing 3,005 sq. ft. Professional Office Building) (SITE-2025-0002)



PLAN SNAPSHOT REPORT SITE-2025-0002 FOR CITY OF DOVER, N.H.

Plan Type: Site Plan - Major
Work Class: Alteration / Addition
Status: In Review
Valuation: \$0.00
Description: For a 1760 sf addition to the existing professional office building.

Project:
District: None
Square Feet: 0.00
Assigned To: Blonigen, Rachel

App Date: 02/06/2025
Exp Date: 04/12/2025
Completed: NOT COMPLETED
Approval
Expire Date:

Parcel: E0032-001000	Main	Address: 181 Watson Rd Dover, NH	Main	Zone: IT(Non-Residential - Innovative Technolo
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Applicant Civilworks New England Steve Haight 181 Watson Road PO Box 1166 Dover, NH 03820 Business: (603) 749-0443 Mobile: (603) 817-6651	Engineer Civilworks New England Steve Haight 181 Watson Road PO Box 1166 Dover, NH 03820 Business: (603) 749-0443 Mobile: (603) 817-6651	Owner Civilworks New England Steve Haight 181 Watson Road PO Box 1166 Dover, NH 03820 Business: (603) 749-0443 Mobile: (603) 817-6651	Engineer McEaney Survey Associates P.O. Box 1166 DOVER, NH 03821 Business: (603) 742-0911
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Plan Custom Fields

Total	0	Total2	0	Total3	0
Total4	0	Total5	1760	Total6	0
Total7	0	Total8	0	Total9	0
Street Classification Type	Municipal	Net Change in # Parking Spaces (+/-)	22	Water Service	Municipal
Recording Number		Sewer Service	Private	Total Acres (GIS)	1.38
Deed Book		Total SQFT	60112.8	Deed Page	
Deed Date		Proposed Property Use	Professional Office Building Addition	Area of Parcel to be Developed (SQFT)	3385
Number of Parking Spaces Existing	22	Number of Parking Spaces Proposed	0	Number of Employees Total	20
Number of Employees in Max Shift	1	Distance to City Water	5	Type of Building to be Built	Wood Frame w/Wood Siding.
Estimated Construction Value	10000.00	Refuse Removal	Public	Existing Conservation Easement Details	
TotalImpactFeeSDTOD	0.00	TotalImpactFeeTHTOD	0.00	TotalImpactFee23FTOD	0.00
TotalImpactFeeA4TOD	0.00	TotalImpactFeeMHTOD	0.00	TotalImpactFeeADUTO	0.00 D
TotalImpactFeeAONRT	0.00 OD	TotalImpactFeeAR55TC	0.00 D	TotalImpactFeeAR62TC	0.00 D
Sub Total Residential	0.00	TotalImpactFeeRIRCTC	0.00 D	TotalImpactFeeOCSTO	0.00 D
TotalImpactFeeITWCTC	0.00 D	TotalImpactFeeNHALTC	0.00 D	TotalImpactFeeOIUTOD	0.00
TotalImpactFeeAFAOT	0.00 OD	Sub Total	0.00	Total of Impact Fees to be Assessed	0.00
		Non-Residential			

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Steve_Haight_2/6/2025.jpg	02/06/2025 11:50	Haight, Steve		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00011141	Planning General Application Fee	\$200.00	\$200.00
	Total for Invoice INV-00011141	\$200.00	\$200.00
NOT INVOICED	Planning Non-Residential – Addition	\$176.00	\$0.00
	Total for Invoice NOT INVOICED	\$176.00	\$0.00
	Grand Total for Plan	\$376.00	\$200.00

PLAN SNAPSHOT REPORT (SITE-2025-0002)

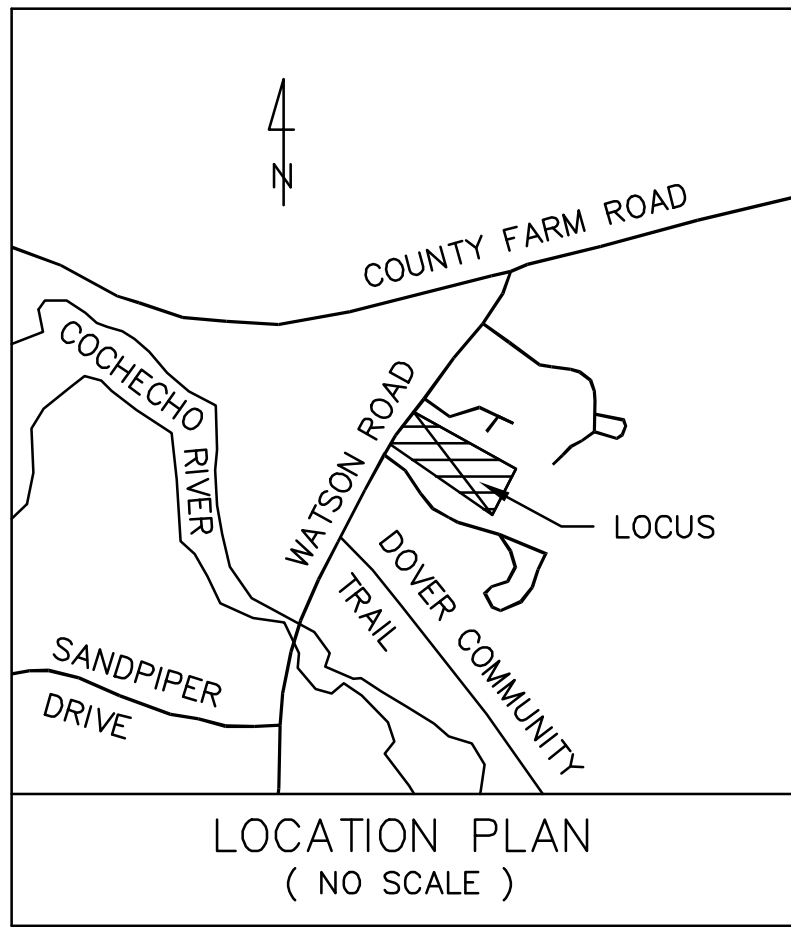
Workflow Step / Action Name	Action Type	Start Date	End Date
Review v.1		02/07/2025 8:34	
Confirm application complete v.1	Generic Action		02/07/2025 8:35
Technical Review Committee Meeting Agenda v.1	Task	02/07/2025 8:35	
Land Use Plan Technical Review v.1	Receive Submittal		
Technical Review Committee Meeting v.1	Hold Meeting		
Planning Board v.1			
Planning Board Agenda v.1	Task		
Invoice for Notices v.1	Task		
Send Notices v.1	Task		
Planner Creates Staff Recommendations v.1	Plan Activity		
Distribute Planning Board Materials v.1	Task		
Planning Board Hearing v.1	Hold Hearing		
Planning Board Decision v.1	Plan Activity		
NOD Sent to Applicant v.1	Create Report		
Final Plan v.1			
Land Use Plan Stamped and Signed v.1	Generic Action		
Recording v.1	Task		
Document Archival v.1	Generic Action		
Internal Notification of Plan Completion v.1	Generic Action		
Building Official Notifies Address v.1	Generic Action		
Pre-Con Meeting v.1	Hold Meeting		
Create/Link to Records v.1			
Create / Link to Permit - Building Major v.1	Create Sub Permit		
Create / Link to Permit - Site Work, Construction v.1	Create Sub Permit		

PROJECT NARRATIVE
for
CIVILWORKS NEW ENGLAND
PROFESSIONAL OFFICE EXPANSION
Site Plan Review
181 Watson Road
Tax Map E, Lot 32-1

February 2025

The project parcel is located at Tax Map E as Lot 32-1 within the IT District and consists of 1.38± acres which is currently developed, consisting of an existing 3,005 sf office building, 22 parking spaces and utilities. Existing utilities are underground from Watson Road to the existing building. The site is serviced by municipal water and has a private septic system. There are no wetlands present on the site. There is an existing detention pond located between the road and the existing building.

The proposed addition will utilize existing utility services already in place. No new pavement or parking is being proposed by this application. There will be minimal grading and drainage improvements around the foundation of the new addition resulting in a total disturbance area of 3,385 sf. The disturbed area will be stabilized with loam and seed when complete.



CIVILWORKS NEW ENGLAND PROFESSIONAL OFFICE EXPANSION

TAX MAP E, LOT 32-1
181 WATSON ROAD
DOVER, NH
FEBRUARY 2025

OWNER

TOFTREE PROPERTIES LLC
P.O. BOX 1166
DOVER, NH 03821

APPLICANT

CIVILWORKS NEW ENGLAND
P.O. BOX 1166
DOVER, NH 03821

SITE CIVIL
ENGINEER



LAND SURVEYOR

MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND
P.O. BOX 1166
181 WATSON ROAD
DOVER, NH 03821
(603) 742-0911

ARCHITECT

JOHN M. TUTTLE, ARCHITECT
TW DESIGNS, LLC
254 DRAKE HILL ROAD
STRAFFORD, NH 03884
(603) 664-2181

DATE

DATE

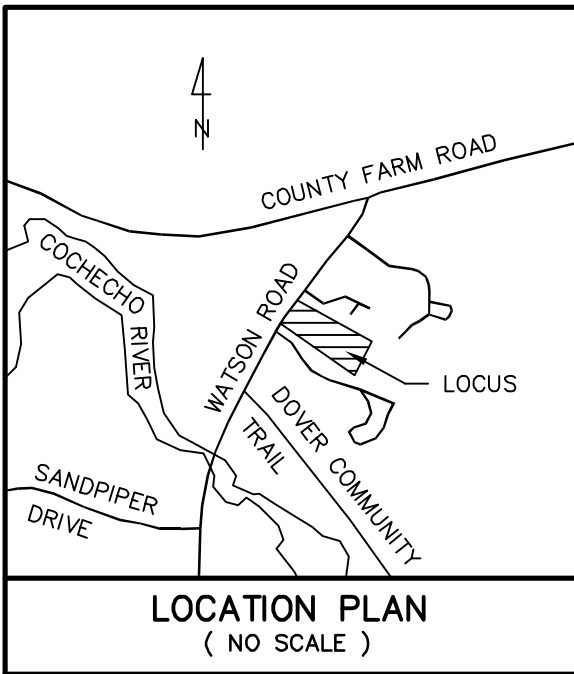
SHEET INDEX
COVER SHEET
EXISTING CONDITIONS PLAN (BY MCENEANEY SURVEY)
SITE GRADING, DRAINAGE & EROSION CONTROL PLAN
LIGHTING PLAN

SHEET
1
2
3
4

ARCHITECTURAL PLANS
PROJECT COVER SHEET
FLOOR PLANS
EXTERIOR ELEVATIONS

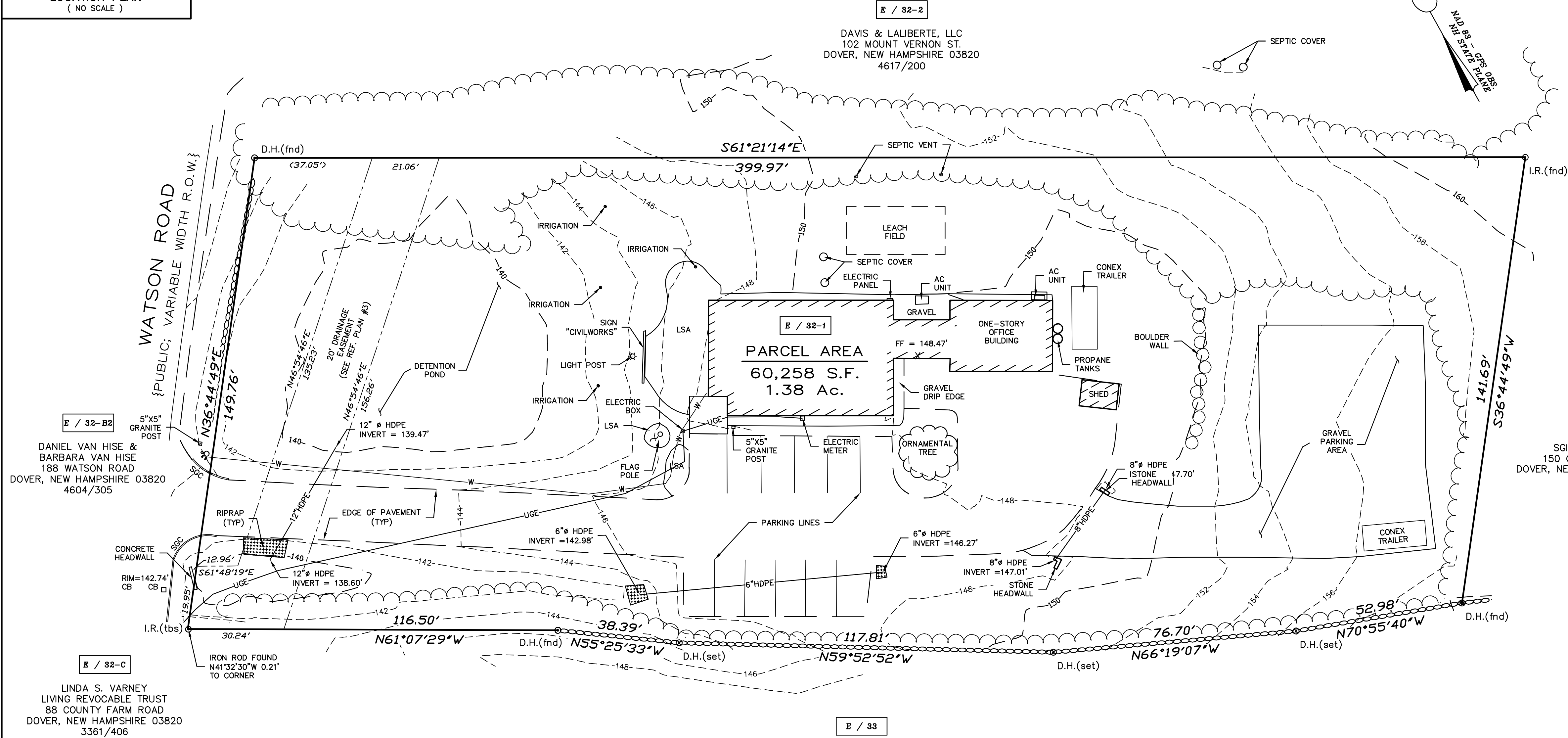
PCS
A1.1
A3.1

24-2606.ec.dwg EC 2/19/2025 17:16:16



REFERENCE PLANS:

- 1.) MINOR SUBDIVISION LOTS 1, 2, 3 & 4, PREPARED FOR KEVIN KELLY, DOVER, NEW HAMPSHIRE, SCALE: 1" = 100'; DATED: JUNE 1986, BY R.W. McRONE RECORDED S.C.R.D. PLAN #29A-68.
- 2.) BOUNDARY SURVEY PLAN LAND OF SEACOAST CHARTER SCHOOL 171 WATSON ROAD DOVER, NEW HAMPSHIRE TAX MAP E, LOT 33, PREPARED BY BERRY SURVEYING & ENGINEERING, SCALE: 1" = 40'; DATED: MAY 19, 2019. RECORDED S.C.R.D. PLAN #11917.
- 3.) SITE PLAN FOR KEVIN KEESEY BENNETT ROAD DURHAM, N.H. 03824 SITE: WATSON ROAD DOVER, N.H. 03820, PREPARED BY HENRY and BERLIND ASSOCIATES, INC. SCALE: 1" = 20'; DATED: DECEMBER 21, 1988.
- 4.) OFFICE BUILDING SITE PLAN WATSON DOVER NEW HAMPSHIRE COUNTY OF STRAFFORD, PREPARED BY CIVILWORKS, SCALE: 1" = 20'; DATED: OCTOBER 20, 1997 NOT RECORDED.



NOTES:

- 1.) OWNER OF RECORD:
TOFTREE PROPERTIES, LLC
P.O. BOX 1166
DOVER, NEW HAMPSHIRE 03821
S.C.R.D. VOLUME 4191, PAGE 641
- 2.) **E / 32-1** - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) PARCEL AREA: = 60,258 S.F. / 1.38 Ac.
- 4.) THE INTENT OF THIS PLAN IS TO DEPICT THE PARCELS BOUNDARIES AND EXISTING SITE CONDITIONS AS OF SEPTEMBER 5, 2024.
- 5.) ZONING DISTRICT: INNOVATIVE TECHNOLOGY
DISTRICT (IT)
DIMENSIONAL REQUIREMENTS:
MINIMUM LOT SIZE = 2 AC.
MAXIMUM LOT COVERAGE = 33 PERCENT
MINIMUM FRONTAGE = 200 FEET
BUILDING SETBACK REQUIREMENTS:
FRONT SETBACK = 50 FEET
SIDE SETBACK = 50 FEET
REAR SETBACK = 50 FEET
MAXIMUM BUILDING HEIGHT = 55 FEET MAXIMUM
*ZONING DISTRICT IN EFFECT AT THE TIME OF LOT CREATION WAS R-40 SEE REFERENCE PLAN #1.
- 6.) THE SUBJECT PARCEL IS LOCATED OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 33017C0310E; EFFECTIVE DATE SEPTEMBER 30, 2015.
- 7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED SEPTEMBER 30, 2023 VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATION DATED SEPTEMBER 30, 2024.
- 8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATES. DURING SEPTEMBER, 2024 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.
- 13.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
- 14.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

SGI REALTY, LLC
150 GARRISON ROAD
DOVER, NEW HAMPSHIRE 03820
3667/823

LEGEND

- I.R.(fnd) ○ - IRON ROD (FOUND)
D.H. ○ - DRILL HOLE
DYL - DOUBLE YELLOW LINE
SGC - SLOPED GRANITE CURB
SWL - SINGLE WHITE LINE
TREELINE -
W - UNDERGROUND WATER
UGE - UNDERGROUND ELECTRIC
CB - CATCH BASIN
W - WATER SHUTOFF VALVE
W - WATER GATE VALVE
S.F. - SQUARE FEET
Ac. - ACRE
(TYP.) - TYPICAL
± - MORE OR LESS
Ø - DIAMETER
S.C.R.D. - STRAFFORD COUNTY
REGISTRY OF DEEDS
UP 410/5 - UTILITY POLE W/ I.D. Nos.
LSA - LANDSCAPED AREA

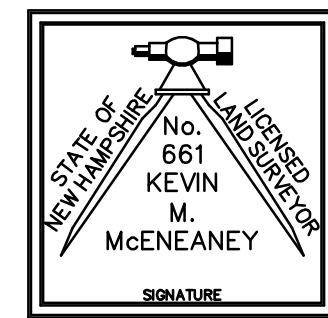
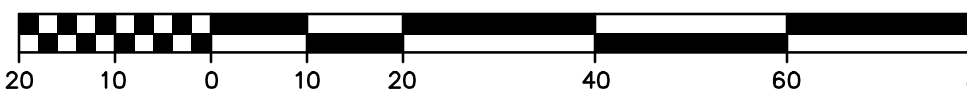
"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 676:18)

DATE: / KEVIN M. McENEANEY LLS # 661

EXISTING CONDITIONS PLAN
PREPARED FOR
TOFTREE PROPERTIES, LLC
TAX MAP E, LOT No. 32-1
181 WATSON ROAD
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DRAWN BY: JHH FILE: M:\2606\DWG\24-2606.ec
SCALE: 1" = 20' DATE: NOVEMBER 19, 2024

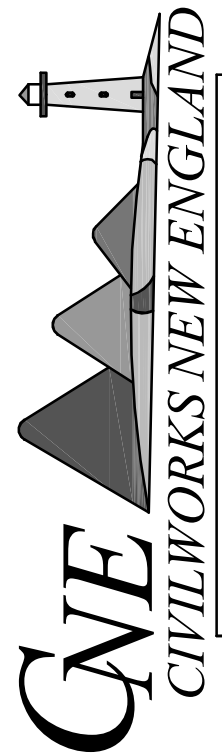
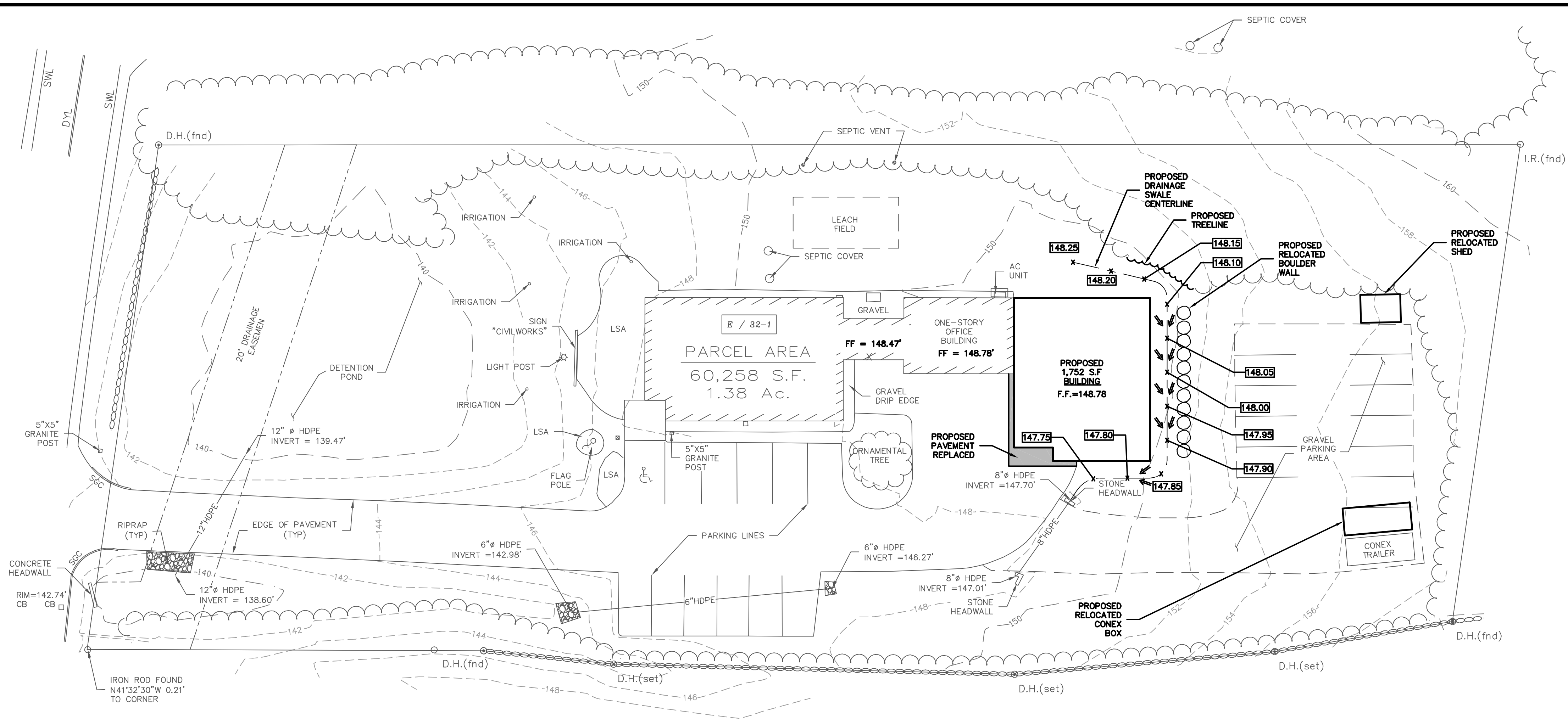


McEnaney
Survey
Associates
of NEW ENGLAND

P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
24-2606	EC & BNDY	24-06	52,58-59	
PROJECT NO	TYPE	FIELDBOOK & PAGES		



CIVIL WORKS NE ADDITION

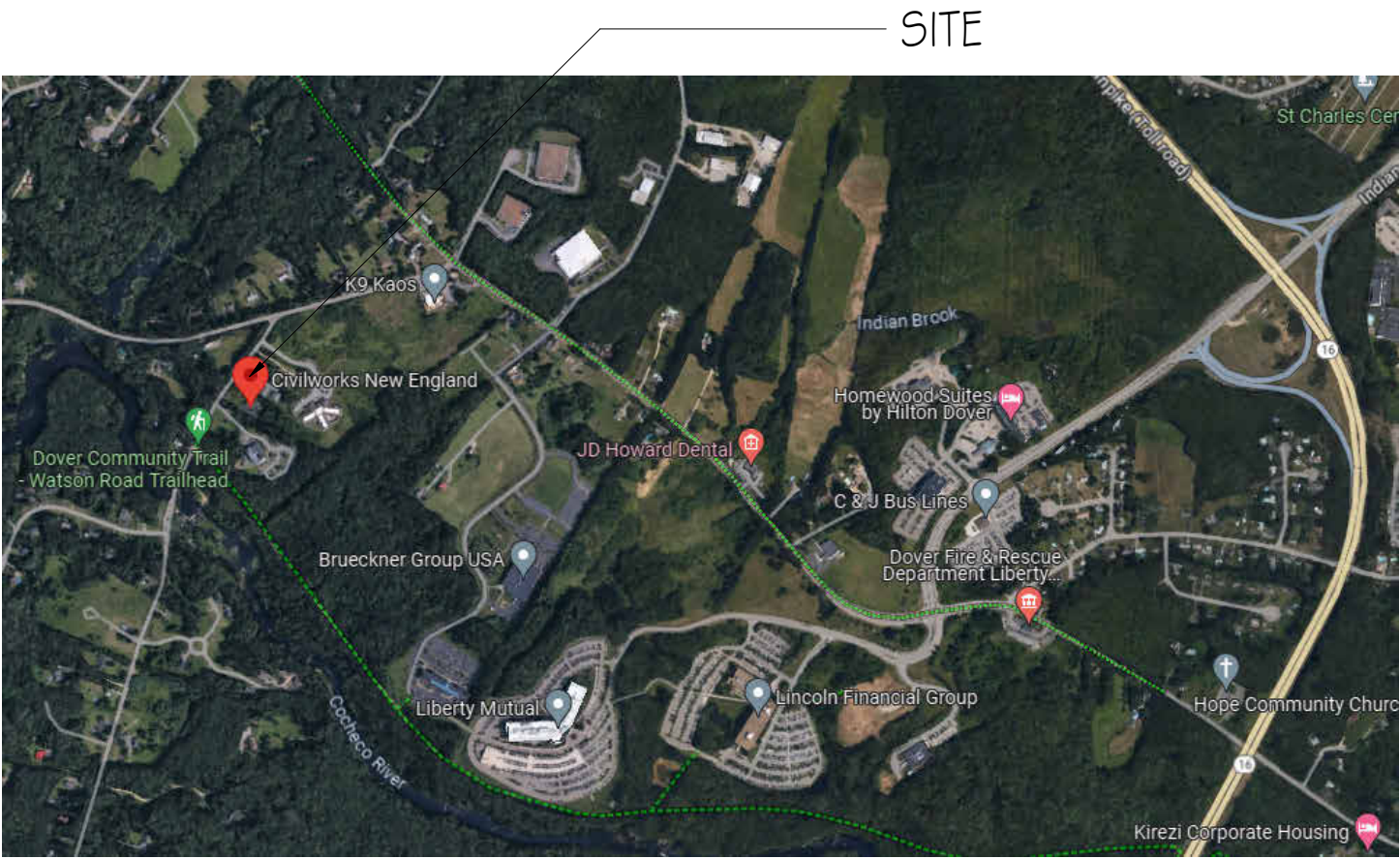
WATSON ROAD, DOVER, NH



Preliminary Concept

NFC - 042324

LOCUS MAP: (N.T.S.)



3D View 8

Project Info:

24007
CIVIL WORKS NE ADDITION
WATSON ROAD, DOVER, NH
Preliminary Concept

Architect of Record:

T | W Designs, LLC
254 Drake Hill Rd.
Strafford, NH 03884
603-664-2181

Civil Engineer:

xxx

Structural Engineer:

xxx

Electrical Engineer:

xxx

Mechanical Engineer:

xxx

Plumbing Engineer:

xxx

Fire Protection Eng.:

xxx

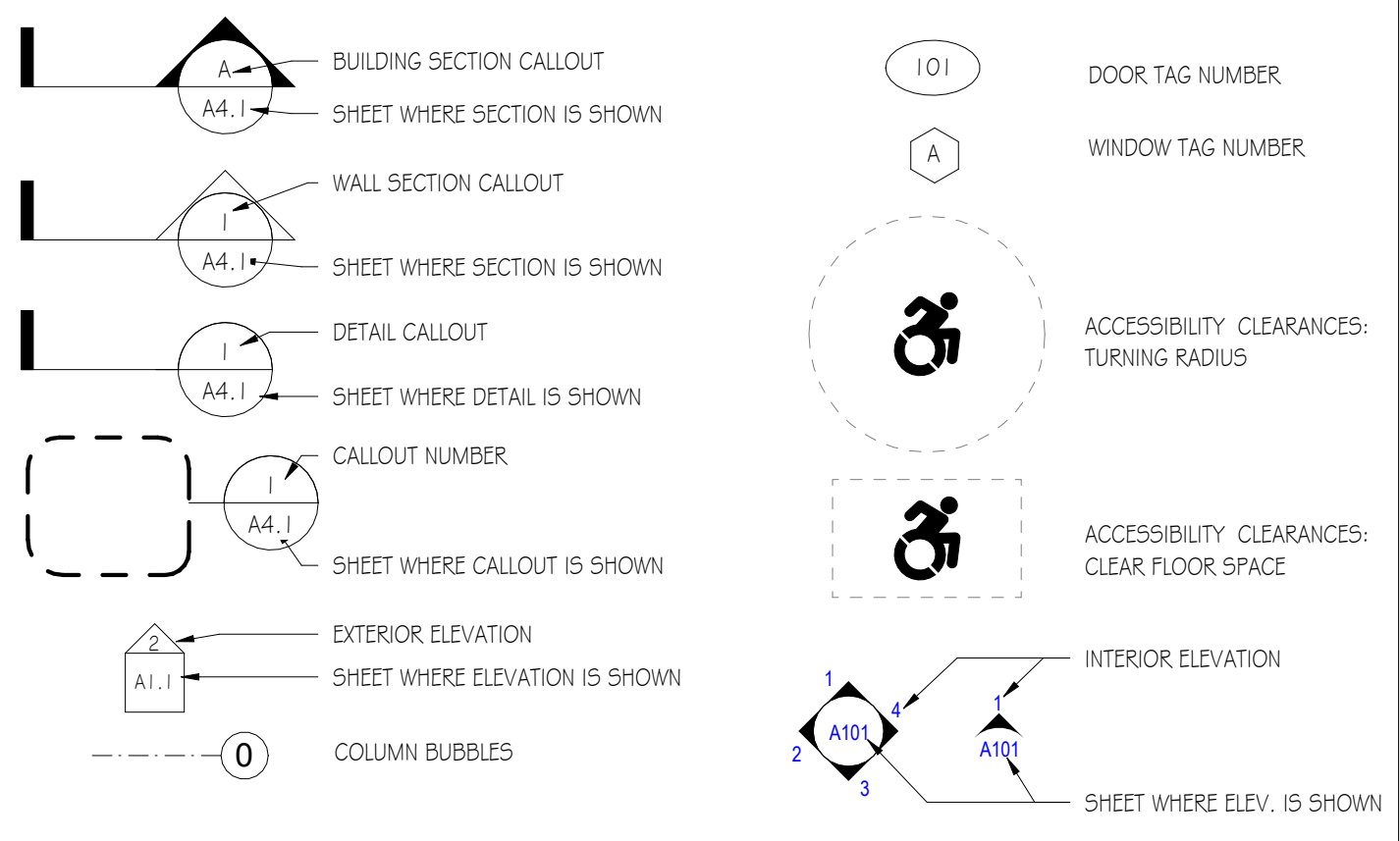
Contractor of Record:

xxx

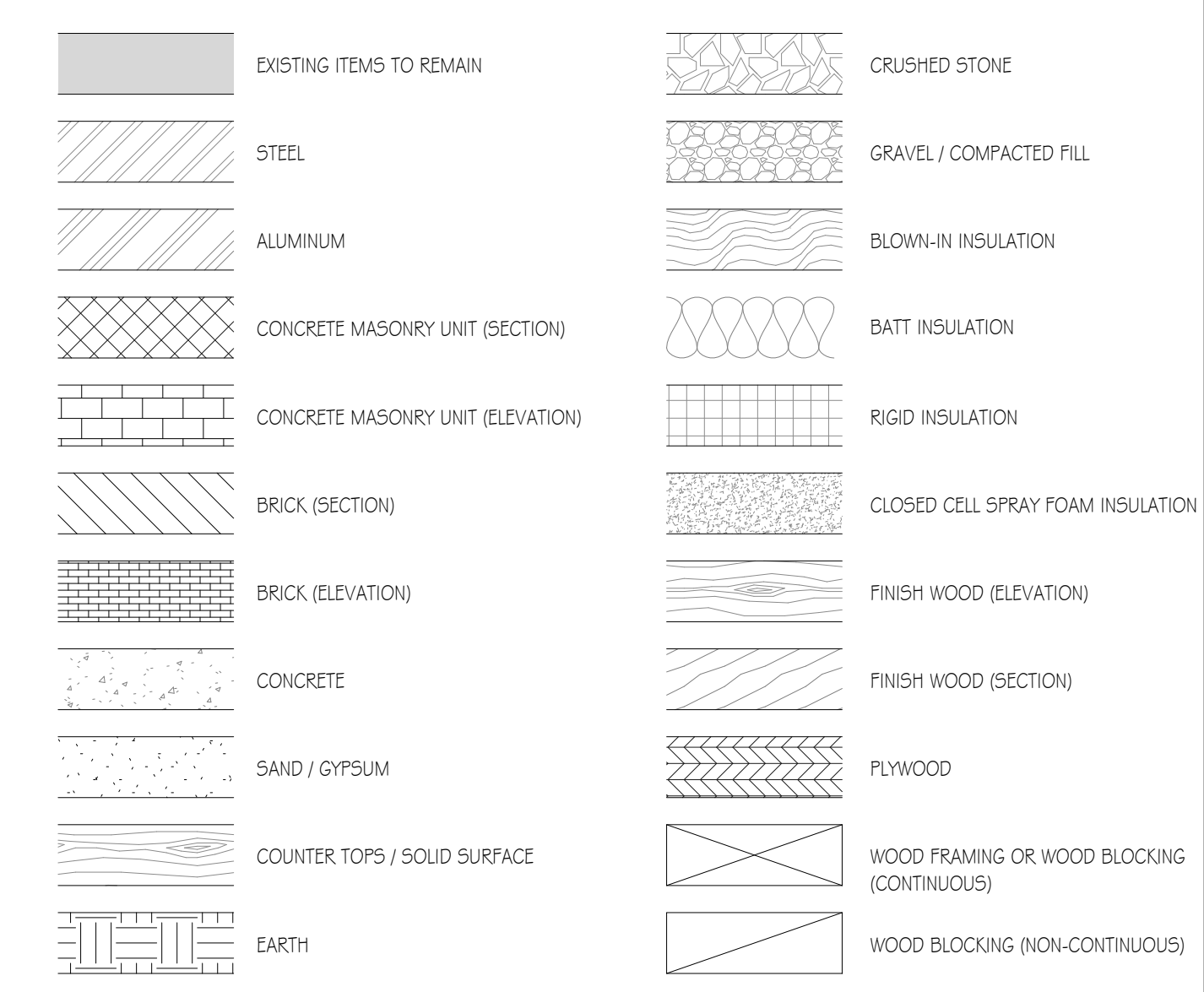
MASTER ABBREVIATION KEY:

AB	ANCHOR BOLT	E	EAST	LAM	LAMINATE	S	SOUTH
AC	AIR CONDITIONER	EJ	EXPANSION JOINT	LAV	LAVATORY	S-TRAP	SEDIMENT TRAP
ACI	AMERICAN CONCRETE INSTITUTE	EJC	EXPANSION JOINT COVER	MAS	MASONRY	SC	SOLID CORE
ACOUST	ACOUSTIC	EL	ELEVATION	MAT	MATERIAL	SCED	SCHEDULE
AFF	ABOVE FINISH FLOOR	ELEC	ELECTRICAL	MAX	MAXIMUM	SD	STORM DRAIN
ALT	ALTERNATE	ELEV	ELEVATOR	MECH	MECHANICAL	SF	SQUARE FOOT
ALUM	ALUMINUM	EQ	EQUAL	MEM	MEMBRANE	SH	SHOWER
ANCH	ANCHOR	EQUIP	EQUIPMENT	MEP	MECHANICAL, ELECTRICAL, PLUMBING	SHT	SHEET
ANOD	ANODIZED	ER	EMERGENCY ROOM	METP	METAL TOILET PARTITION	SIM	SIMILAR
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	EST	ESTIMATE	MFR	MANUFACTURER	SL	SLIDING
		EWC	ELECTRICAL WATER COOLER	MH	MANHOLE	SMR	SINGLE PLY MEMBRANE ROOF
				MIN	MINIMUM	SPRT/FIN	SPECIAL PAINT FINISH
BD	BOARD	EXH	EXHAUST	MISC	MISCELLANEOUS	SPEC	SPECIFICATION
BIT	BITUMINOUS	EXIST	EXISTING	MO	MASONRY OPENING	SPKR	SPEAKER
BL	BUILDING LINE	EXP	EXPANSION	MTL	METAL	SQ	SQUARE
BLDG	BUILDING	EXPD	EXPANDED	MUL	MULLION	SS	STAINLESS STEEL
BLK	BLOCK	EXT	EXTERIOR			STA	STATION
BLKG	BLOCKING					STD	STANDARD
BM	BEAM	F/F	FACE OF FOUNDATION WALL	N	NORTH	STL	STEEL
BOC	BOTTOM OF CURB			NAT	NATURAL	STOR	STORAGE
BOF	BOTTOM OF FOOTING ELEVATION	FA	FRESH AIR	NEC	NECESSARY	STRG	STRINGER
		FAP	FIRE ALARM PANEL	NIC	NOT IN CONTRACT	STRUCT	STRUCTURAL
BOT	BOTTOM	FD	FLOOR DRAIN	NOM	NOMINAL	SU	SITE UTILITY
BRG	BEARING	FE	FIRE EXTINGUISHER	NRC	NOISE REDUCTION COEFFICIENT	SUSP	SUSPEND (SUSPENDED)
BRK	BRICK	PEC	FIRE EXTINGUISHER CABINET	NTS	NOT TO SCALE	SYMM	SYMMETRICAL
B&MT	BASEMENT					SYS	SYSTEM
BTW	BETWEEN	FIN	FINISH				
BUR	BUILT-UP ROOF	FL	FLOW LINE	OC	ON CENTER	T	TREAD
		FLR	FLOOR	OD	OUTSIDE DIAMETER	T&G	TONGUE & GROOVED
CAB	CABINET	FND	FOUNDATION	O/C	OUTSIDE FACE OF CONCRETE	T/FRM	TOP OF FRAME
CB	CATCH BASIN	FOP	FACE OF FINISH	OH	OVERHEAD	T&SLB	TOP OF SLAB
CER	CERAMIC	FOM	FACE OF MASONRY	OPG	OPENING	TB	TACKBOARD
CF	CUBIC FOOT	FOS	FACE OF STUD	OPP	OPPOSITE	TEL	TELEPHONE
CI	CAST IRON	FR	FIRE RATED	OR	OPERATING ROOM	TEMP	TEMPORARY
CJ	CONTROL JOINT	FS	FULL SIZE			TERR	TERRAZZO
CL	CLOSET	FT	FOOT	PL	PROPERTY LINE	THK	THICK
CLCB	CURBLESS CATCH BASIN	FTG	FOOTING	PBD	PARTICLE BOARD	THLD	THRESHOLD
CLG	CEILING	FUR	FURRED (FURRING)	PCF	POUNDS PER CUBIC FOOT	TOC	TOP OF CURB
CM	CONTRACT MANAGER	FVC	FIRE VALVE CABINET	PL	PLASTER	TOF	TOP OF FOUNDATION
CMU	CONCRETE MASONRY UNIT	GA	GAUGE	PLYWD	PLYWOOD	TOS	TOP OF SLAB
		GALV	GALVANIZED	PNL	PANEL	TOW	TOP OF WALL ELEVATION
CO	CLEAN OUT	GC	GENERAL CONTRACTOR	PSF	POUNDS PER SQUARE FOOT	TR	TO REMAIN
COL	COLUMN	GL	GLASS	PSI	POUNDS PER SQUARE INCH	TYP	TYPICAL
COMP	COMPACTED (COMPOSITION)	GLZ	GLAZING	PT	PAINT		
CONC	CONCRETE	GRD	GRADE	PTD	PAINTED	UH	UNIT HEATER
CONST	CONSTRUCTION	GYP	GYPSPUM	PTN	PARTITION	UL	UNDERWRITERS LABORATORIES, INC.
CONT	CONTINUOUS	H&V	HEATING & VENTILATING	PVC	POLYVINYL CHLORIDE	UOD	UNDERSIDE OF DECK
CONTR	CONTRACTOR	HC	HANDICAP	QT	QUARRY TILE	UON	UNLESS OTHERWISE NOTED
CORR	CORRUGATED	HDWD	HARDWOOD	R	RADIUS	UR	URINAL
CP	CONTROL PANEL	HGT	HEIGHT	RIA	RETURN AIR	UV	UNIT VENTILATOR
CSG	CASING	HM	HOLLOW METAL	RC	REINFORCED CONCRETE	VAR	VARIES OR VARIABLE
CSMT	CASEMENT	HP	HIGH POINT	RD	ROOF DRAIN	VB	VINYL BASE
CT	CERAMIC TILE	HVAC	HEATING, VENTILATION, AIR CONDITIONING	REF	REFERENCE	VCT	VINYL COMPOSITION TILE
CTR	CENTER	HWM	HOT WATER HEATER	REFR	REFRIGERATOR	VERT	VERTICAL
CY	CUBIC YARD	ID	INSIDE DIAMETER	REINP	REINFORCE	VEST	VESTIBULE
		IN	INCH	REQD	REQUIRED	VIF	VERIFY IN FIELD
DF	DRINKING FOUNTAIN	INSUL	INSULATION	RGH	ROUGH	VNR	VENEER
DIA	DIAMETER	INT	INTERIOR	RL	RAIN LEADER	VOL	VOLUME
DIAG	DIAGONAL	INV	INVERT	RM	ROOM	W	WEST
DIM	DIMENSION	JC	JANITOR'S CLOSET	RO	ROUGH OPENING	WI	WITH
DL	DEAD LOAD	JST	JOIST	ROW	RIGHT OF WAY REQUIREMENT	WC	WATER CLOSET
DN	DOWN	JT	JOINT	RQMT		WO	WOOD
DR	DOOR					WDW	WINDOW
DS	DOWNSPOUT					WGL	WIRE GLASS
DS&C	DRIVE SIDE OF CURB					WP	WEATHERPROOF (WATERPROOFING)
DTL	DETAIL					WWF	WELDED WIRE FABRIC
DWG	DRAWING						

GRAPHIC SYMBOLS LEGEND



MATERIAL LEGEND

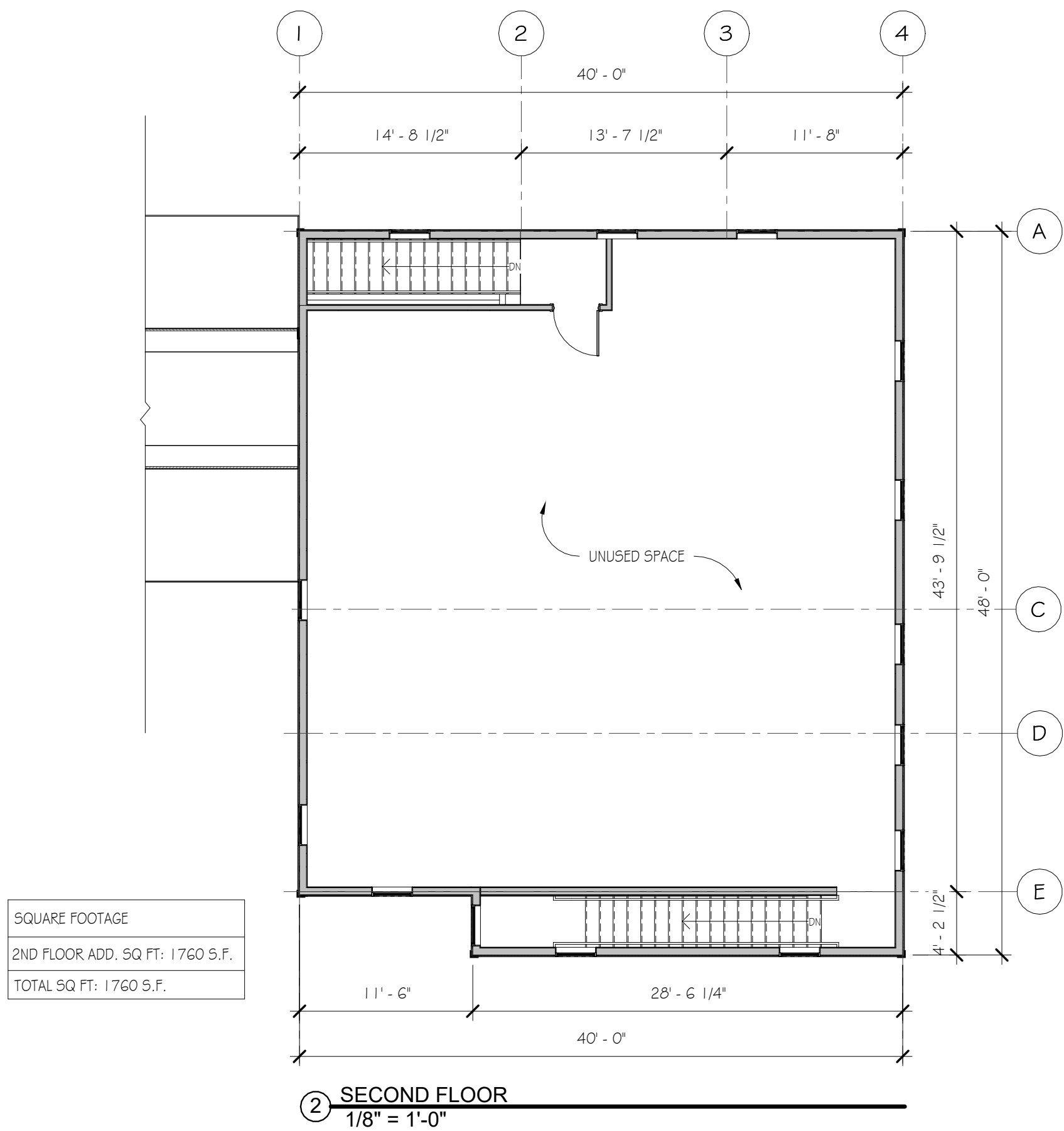
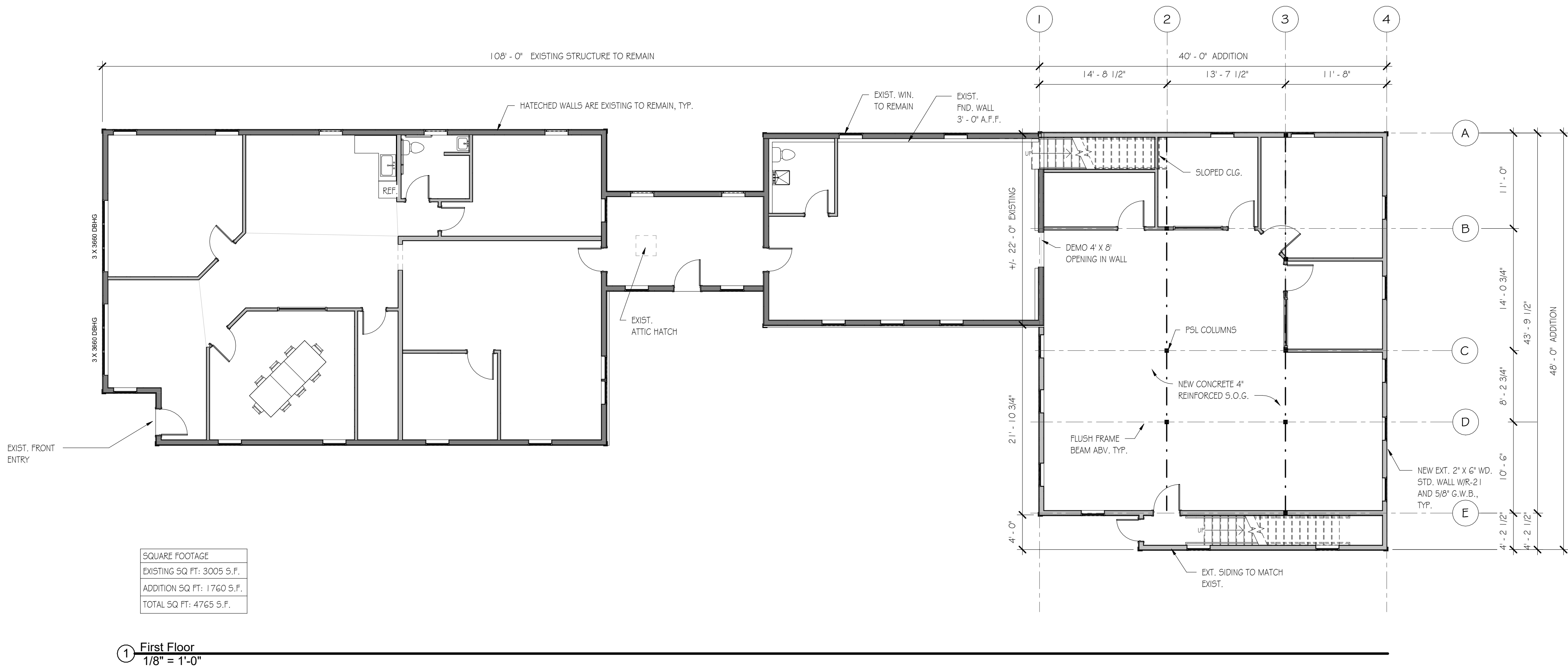


DRAWING SHEET INDEX:

Sheet	Sheet Name	Issued	Revision	Revision Date
PCS	PROJECT COVER SHEET	N.F.C.		
A1.1	FLOOR PLANS	N.F.C.		
A3.1	EXTERIOR ELEVATIONS	N.F.C.		
A4.1	STAIR SECTION	N.F.C.		

GENERAL NOTES:

- DO NOT SCALE DRAWING OR DIMENSIONS. FOR MISSING DIMENSIONS OR DIMENSIONS IN CONFLICT, CONTACT THE CONTRACTOR IMMEDIATELY BEFORE CONTINUING WITH WORK.
- ANY DISCREPANCIES IN THESE PLANS WILL BE BROUGHT TO THE CONTRACTOR'S ATTENTION IN WRITING IMMEDIATELY.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DESIGN-BUILD PLANS AND SPECIFICATION FOR LOCATIONS OF ALL BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES, & PADS THAT ARE NOT DIMENSIONED OR SHOWN ON CONTRACTOR'S DWG'S. OR STRUCTURAL DWG'S.
- STRUCTURAL STEEL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION PLANS AND SPECIFICATION SHALL BE PROVIDED AND ARE THE RESPONSIBILITY OF THERE RESPECTIVE SUBCONTRACTORS IF NOT CARRIED IN ARCHITECTURAL SERVICES.
- ALL CONSTRUCTION SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE REGULATOR REQUIREMENTS MANDATED BY ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION IN ACCORDANCE TO THE STATE IN WHICH THE WORK IS PERFORMED (STATE BUILDING CODE, STATE LIFE SAFETY & FIRE CODE ETC.)
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND SHALL CONFIRM WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION.
- DIMENSIONS ARE FROM EXTERIOR FACE OF FOUNDATION, VENEER, OR WALL STUD AND TO CENTER OF ALL INTERIOR STUD WALLS OR FACE OF INTERIOR MASONRY. UNLESS NOTED OTHERWISE.
- CLEAR DIMENSIONS ARE FROM FACE TO FACE OF WALL FINISH, UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL DRAWINGS / SPEC. FOR ALL SIZES AND LOCATIONS OF MECHANICAL DUCT WORK.
- UNLESS OBVIOUSLY SHOWN OTHERWISE, DOOR LOCATIONS NOT DESIGNATED BY WRITTEN DIMENSION SHALL BE CENTERED IN THE WALL OR SHALL BE LOCATED FOUR (4) INCHES FROM FINISH WALL TO EDGE OF DOOR JAMB, PER PLAN.
- PROVIDE METAL CORNER BEAD AT ALL OUTSIDE CORNERS OF PLASTERED OR DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- PENETRATIONS OF ALL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY LIKE RATED CONSTRUCTION DAMPERS, SEALANTS, COLLARS, ETC. . TYPICAL.
- CONTRACTOR SHALL FURNISH, LOCATE, AND INSTALL ALL ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK, FIRE RATED AS REQUIRED.
- FURNISH AND INSTALL SOLID BLOCKING BEHIND ALL WALL HUNG MILLWORK ITEMS, RAILS, FIXTURES, GRAB BARS, ETC. . WHERE INDICATED OR REQUIRED.
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No.	Description	Date
Revision Schedule		

Project Info:
**CIVIL
WORKS NE
ADDITION**

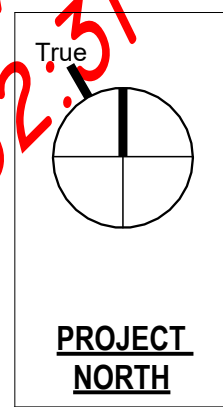
**WATSON ROAD,
DOVER, NH**

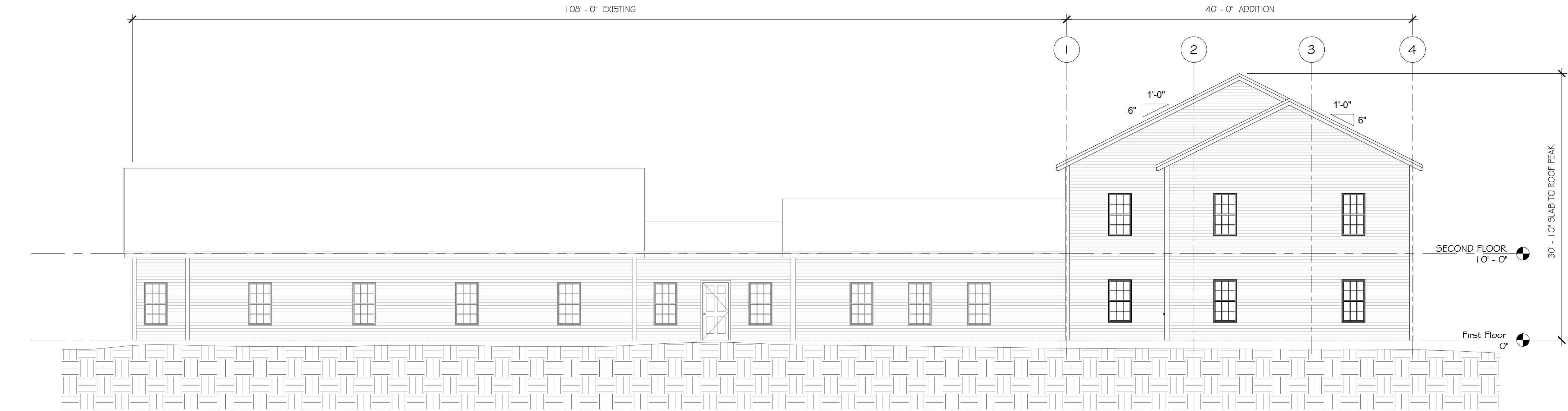
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Org. Issue Date: NFC - 042324
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CHECKED: JMT
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Sheet Title:
FLOOR PLANS

Sheet Number:
A1.1

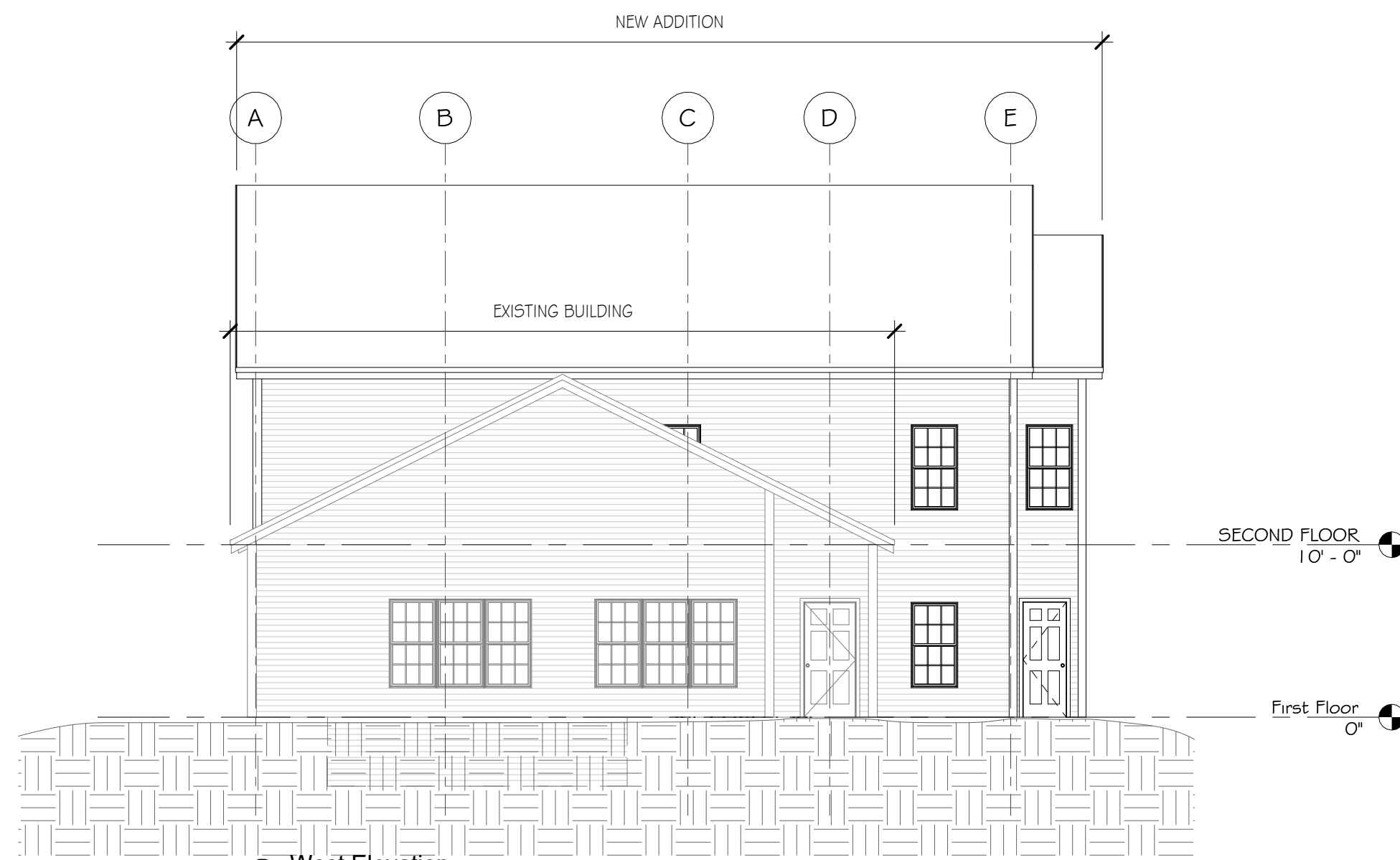
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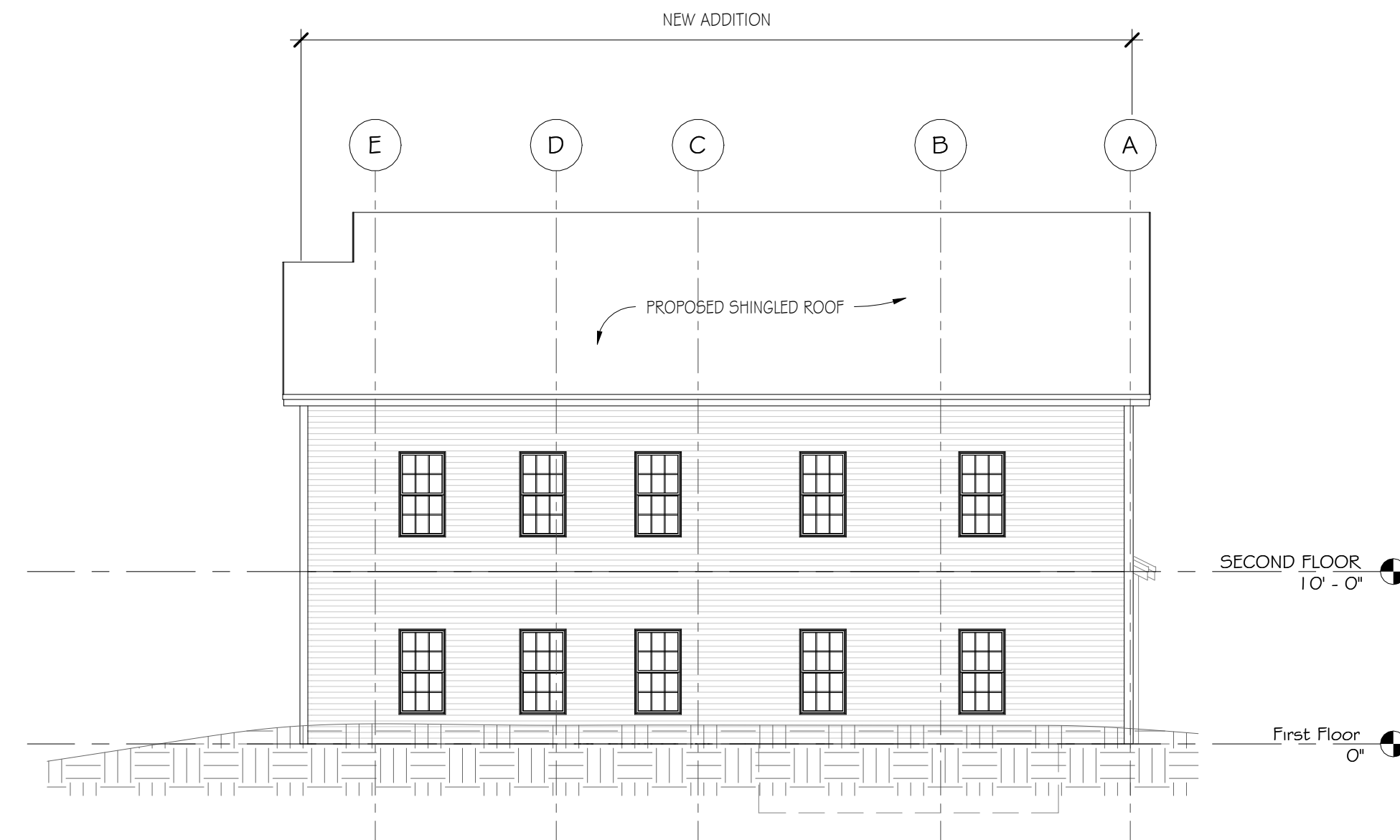




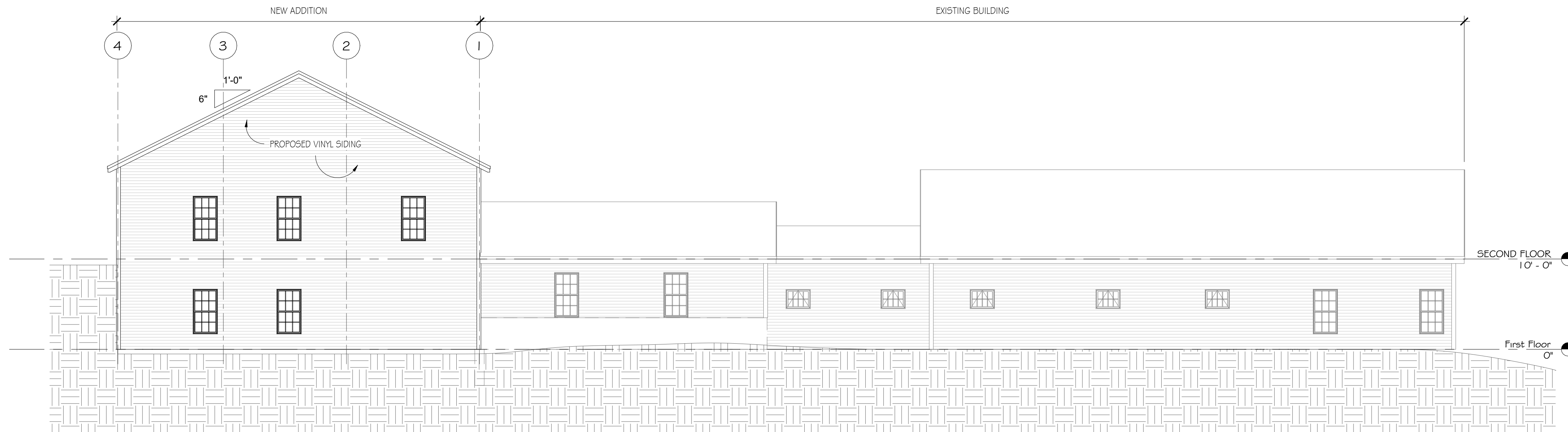
3 South Elevation
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4 West Elevation
1/8" = 1'-0"



2 East Elevation
1/8" = 1'-0"



1 North Elevation
1/8" = 1'-0"

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WATSON ROAD,
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CHECKED: JMT
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Sheet Title:
**EXTERIOR
ELEVATIONS**

Sheet Number:
A3.1

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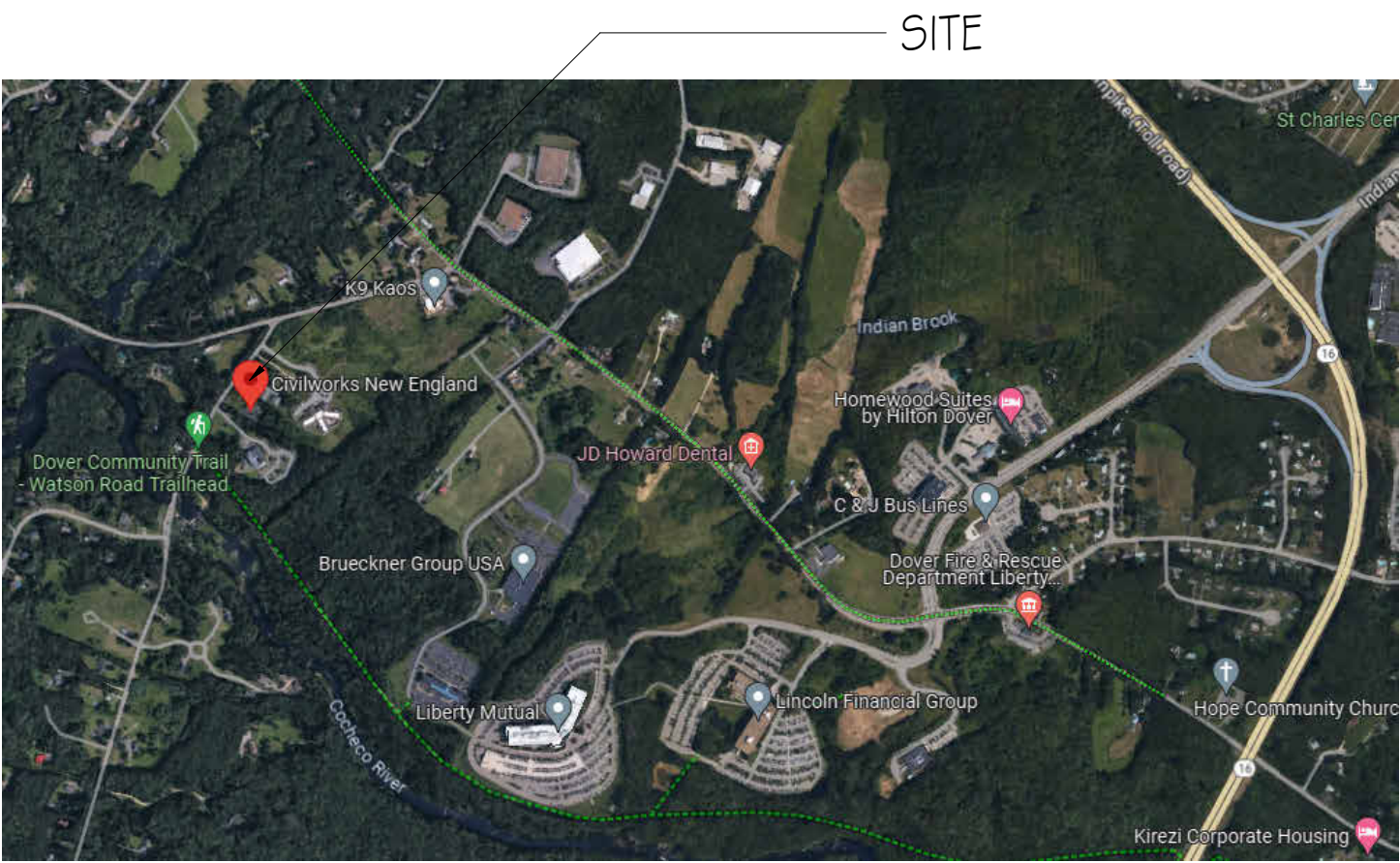
CIVIL WORKS NE ADDITION

WATSON ROAD, DOVER, NH



Preliminary Concept NFC - 042324

LOCUS MAP: (N.T.S.)



3D View 8

Project Info:

24007
CIVIL WORKS NE ADDITION
WATSON ROAD, DOVER, NH
Preliminary Concept

Architect of Record:

T | W Designs, LLC
254 Drake Hill Rd.
Strafford, NH 03884
603-664-2181

Civil Engineer:

xxx

Structural Engineer:

xxx

Electrical Engineer:

xxx

Mechanical Engineer:

xxx

Plumbing Engineer:

xxx

Fire Protection Eng.:

xxx

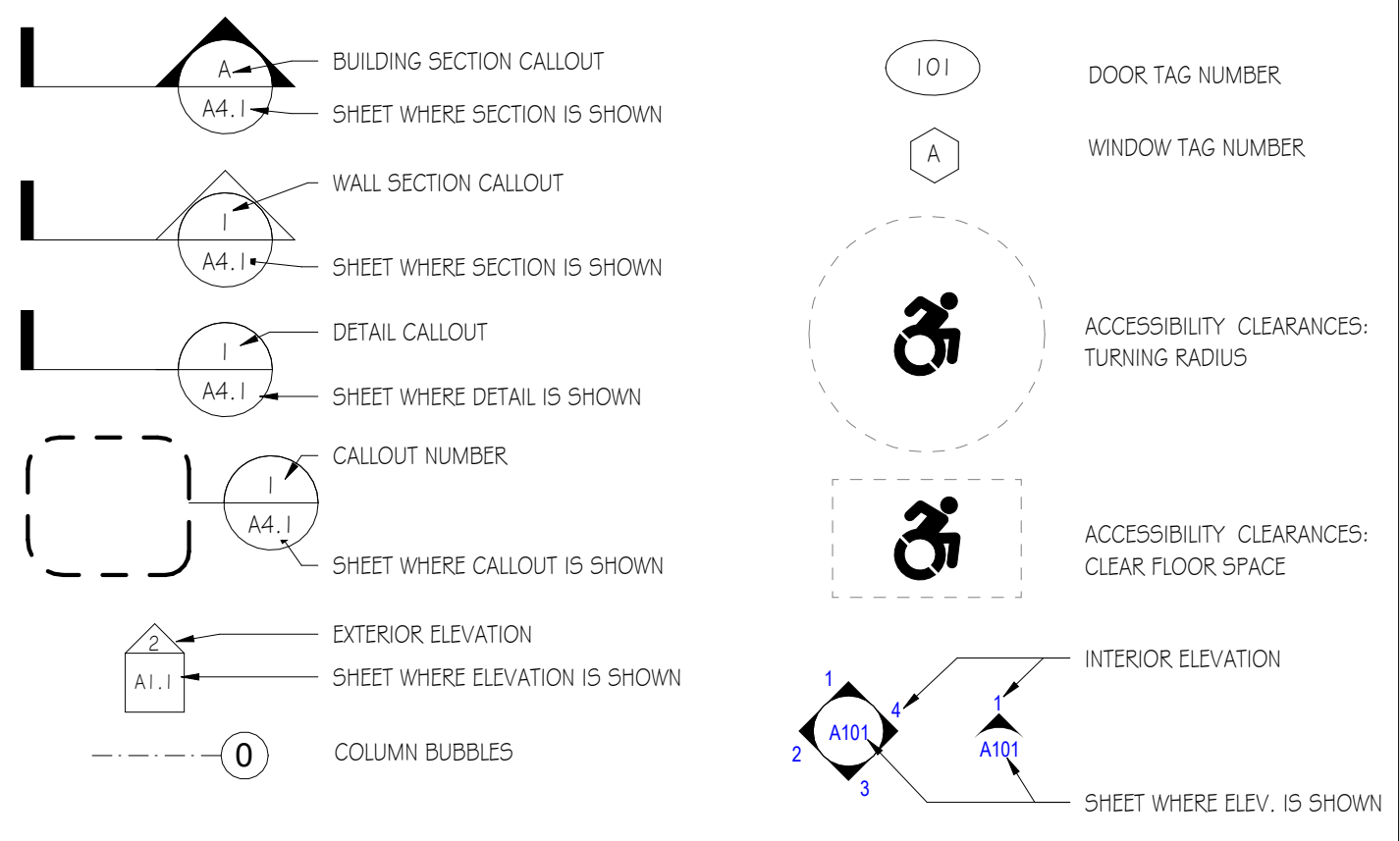
Contractor of Record:

xxx

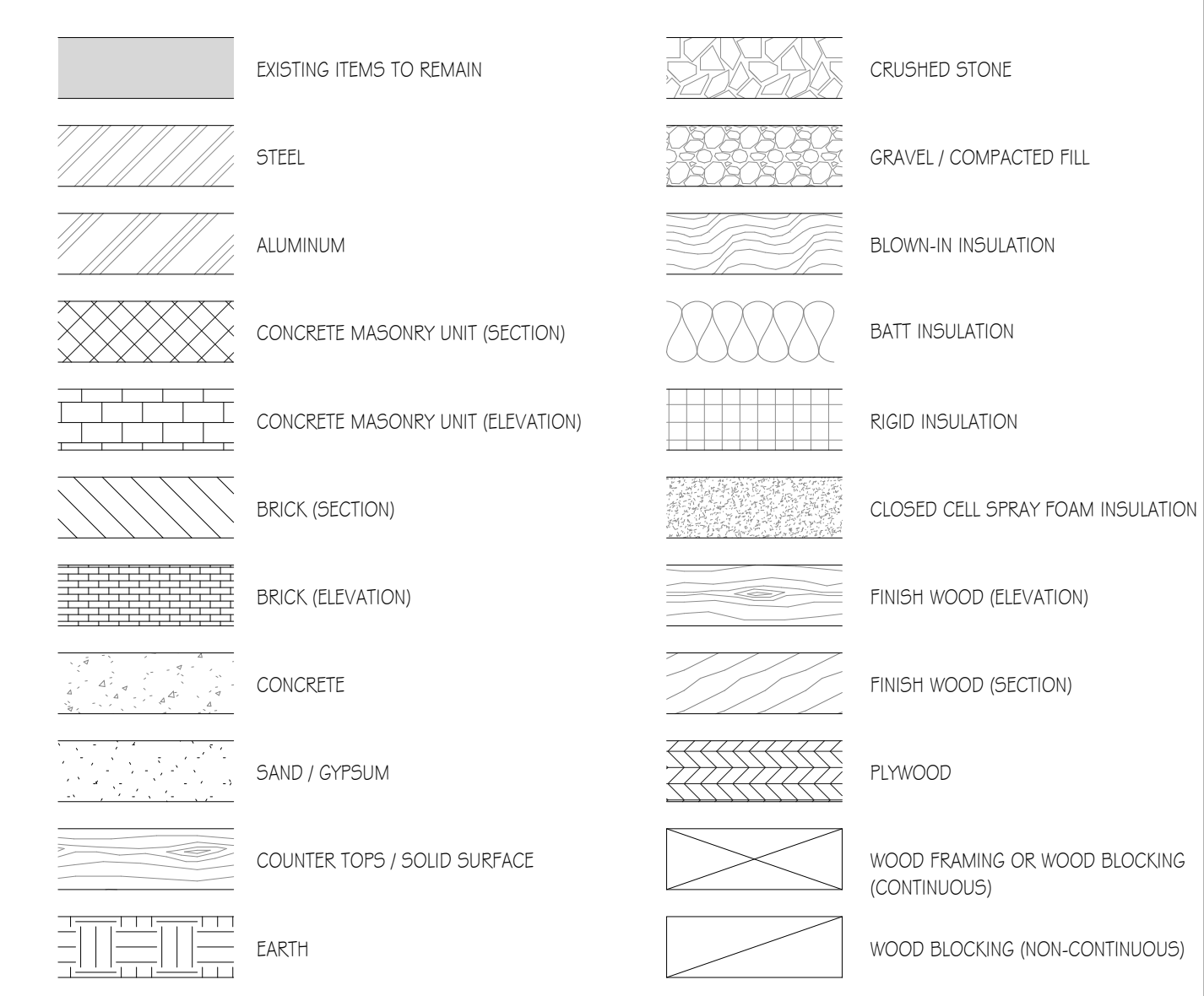
MASTER ABBREVIATION KEY:

AB	ANCHOR BOLT	E	EAST	LAM	LAMINATE	S	SOUTH
AC	AIR CONDITIONER	EJ	EXPANSION JOINT	LAV	LAVATORY	S-TRAP	SEDIMENT TRAP
ACI	AMERICAN CONCRETE INSTITUTE	EJC	EXPANSION JOINT COVER	MAS	MASONRY	SC	SOLID CORE
ACOUST	ACOUSTIC	EL	ELEVATION	MAT	MATERIAL	SCED	SCHEDULE
AFF	ABOVE FINISH FLOOR	ELEC	ELECTRICAL	MAX	MAXIMUM	SD	STORM DRAIN
ALT	ALTERNATE	ELEV	ELEVATOR	MECH	MECHANICAL	SF	SQUARE FOOT
ALUM	ALUMINUM	EQ	EQUAL	MEM	MEMBRANE	SH	SHOWER
ANCH	ANCHOR	EQUIP	EQUIPMENT	MEP	MECHANICAL, ELECTRICAL, PLUMBING	SHT	SHEET
ANOD	ANODIZED	ER	EMERGENCY ROOM	METP	METAL TOILET PARTITION	SIM	SIMILAR
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	EST	ESTIMATE	MFR	MANUFACTURER	SL	SLIDING
		EWC	ELECTRICAL WATER COOLER	MH	MANHOLE	SMR	SINGLE PLY MEMBRANE ROOF
				MIN	MINIMUM	SPRT/FIN	SPECIAL PAINT FINISH
BD	BOARD	EXH	EXHAUST	MISC	MISCELLANEOUS	SPEC	SPECIFICATION
BIT	BITUMINOUS	EXIST	EXISTING	MO	MASONRY OPENING	SPKR	SPEAKER
BL	BUILDING LINE	EXP	EXPANSION	MTL	METAL	SQ	SQUARE
BLDG	BUILDING	EXPD	EXPANDED	MULL	MULLION	SS	STAINLESS STEEL
BLK	BLOCK	EXT	EXTERIOR			STA	STATION
BLKG	BLOCKING					STD	STANDARD
BM	BEAM	F/F	FACE OF FOUNDATION WALL	N	NORTH	STL	STEEL
BOC	BOTTOM OF CURB			NAT	NATURAL	STOR	STORAGE
BOF	BOTTOM OF FOOTING ELEVATION	FA	FRESH AIR	NEC	NECESSARY	STRG	STRINGER
		FAP	FIRE ALARM PANEL	NIC	NOT IN CONTRACT	STRUCT	STRUCTURAL
BOT	BOTTOM	FD	FLOOR DRAIN	NOM	NOMINAL	SU	SITE UTILITY
BRG	BEARING	FE	FIRE EXTINGUISHER	NRC	NOISE REDUCTION COEFFICIENT	SUSP	SUSPEND (SUSPENDED)
BRK	BRICK	PEC	FIRE EXTINGUISHER CABINET	NTS	NOT TO SCALE	SYMM	SYMMETRICAL
B&MT	BASEMENT					SYS	SYSTEM
BTW	BETWEEN	FIN	FINISH				
BUR	BUILT-UP ROOF	FL	FLOW LINE	OC	ON CENTER	T	TREAD
		FLR	FLOOR	OD	OUTSIDE DIAMETER	T&G	TONGUE & GROOVED
CAB	CABINET	FND	FOUNDATION	OF/C	OUTSIDE FACE OF CONCRETE	T/FRM	TOP OF FRAME
CB	CATCH BASIN	FOP	FACE OF FINISH	OH	OVERHEAD	T&SLB	TOP OF SLAB
CER	CERAMIC	FOM	FACE OF MASONRY	OPG	OPENING	TB	TACKBOARD
CF	CUBIC FOOT	FOS	FACE OF STUD	OPP	OPPOSITE	TEL	TELEPHONE
CI	CAST IRON	FR	FIRE RATED	OR	OPERATING ROOM	TEMP	TEMPORARY
CJ	CONTROL JOINT	FS	FULL SIZE			TERR	TERRAZZO
CL	CLOSET	FT	FOOT	PL	PROPERTY LINE	THK	THICK
CLCB	CURBLESS CATCH BASIN	FTG	FOOTING	PBD	PARTICLE BOARD	THLD	THRESHOLD
CLG	CEILING	FUR	FURRED (FURRING)	PCF	POUNDS PER CUBIC FOOT	TOC	TOP OF CURB
CM	CONTRACT MANAGER	FVC	FIRE VALVE CABINET			TOF	TOP OF FOUNDATION
CMU	CONCRETE MASONRY UNIT	GA	GAUGE	PL	PROPERTY LINE	TOS	TOP OF SLAB
		GALV	GALVANIZED	PLAM	PLASTIC LAMINATE	TOW	TOP OF WALL ELEVATION
CO	CLEAN OUT	GC	GENERAL CONTRACTOR	PLAS	PLASTER	TR	TO REMAIN
COL	COLUMN	GL	GLASS	PLYWD	PLYWOOD	TYP	TYPICAL
COMP	COMPACTED (COMPOSITION)	GEN	GENERAL	PNL	PANEL		
		GL	GLASS	PSF	POUNDS PER SQUARE FOOT	UH	UNIT HEATER
CONC	CONCRETE	GLZ	GLAZING	PSI	POUNDS PER SQUARE INCH	UL	UNDERWRITERS LABORATORIES, INC.
CONST	CONSTRUCTION	GRD	GRADE			UOD	UNDERSIDE OF DECK
CONT	CONTINUOUS	GYP	GYPSON	PT	PAINT	UON	UNLESS OTHERWISE NOTED
CONTR	CONTRACTOR	H&V	HEATING & VENTILATING	PTD	PAINTED	UR	URINAL
CORR	CORRUGATED	HC	HANDICAP	PTN	PARTITION	UV	UNIT VENTILATOR
CP	CONTROL PANEL	HDWD	HARDWOOD	PVC	POLYVINYL CHLORIDE		
CSG	CASING	HGT	HEIGHT	QT	QUARRY TILE	VAR	VARIES OR VARIABLE
CSMT	CASEMENT	HM	HOLLOW METAL			VB	VINYL BASE
CT	CERAMIC TILE	HP	HIGH POINT	R	RADIUS	VCT	VINYL COMPOSITION TILE
CTR	CENTER	HVAC	HEATING, VENTILATION, AIR CONDITIONING	R/A	RETURN AIR	VERT	VERTICAL
CY	CUBIC YARD	HWH	HOT WATER HEATER	RC	REINFORCED CONCRETE	VEST	VESTIBULE
		ID	INSIDE DIAMETER	RD	ROOF DRAIN	VIF	VERIFY IN FIELD
DF	DRINKING FOUNTAIN	IN	INCH	REF	REFERENCE	VNR	VENEER
DIA	DIAMETER	INSUL	INSULATION	REFR	REFRIGERATOR	VOL	VOLUME
DIAG	DIAGONAL	INT	INTERIOR	REINP	REINFORCE		
DIM	DIMENSION	INV	INVERT	REQD	REQUIRED	W	WEST
DL	DEAD LOAD	JC	JANITOR'S CLOSET	RGH	ROUGH	WI	WITH
DN	DOWN	JST	JOIST	RL	RAIN LEADER	WC	WATER CLOSET
DR	DOOR	JT	JOINT	RM	ROOM	WO	WOOD
DS	DOWNSPOUT			RO	ROUGH OPENING	WDW	WINDOW
DS&C	DRIVE SIDE OF CURB			ROW	RIGHT OF WAY	WGL	WIRE GLASS
DTL	DETAIL			RQMT	REQUIREMENT	WP	WEATHERPROOF (WATERPROOFING)
DWG	DRAWING					WWF	WELDED WIRE FABRIC

GRAPHIC SYMBOLS LEGEND



MATERIAL LEGEND

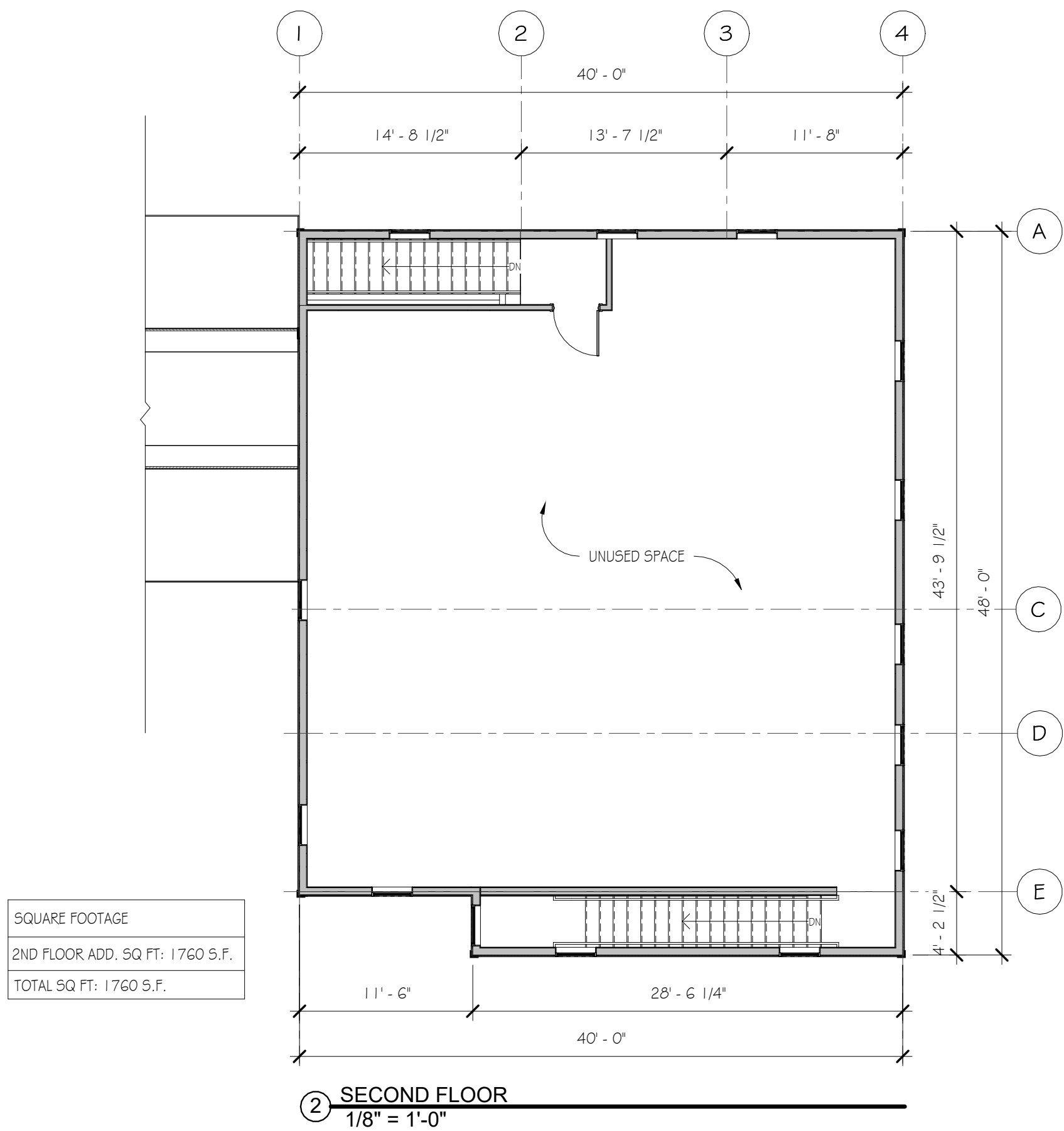
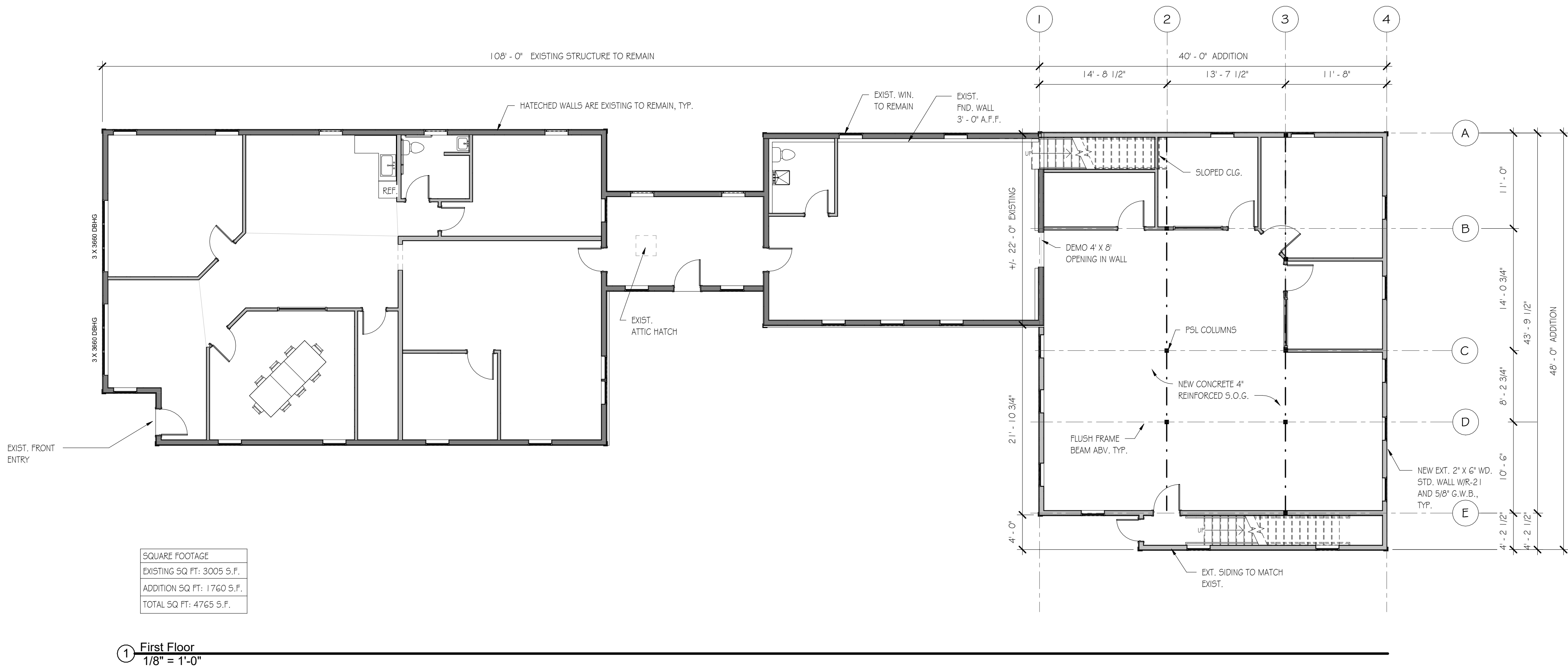


DRAWING SHEET INDEX:

Sheet	Sheet Name	Issued	Revision	Revision Date
PCS	PROJECT COVER SHEET	N.F.C.		
A1.1	FLOOR PLANS	N.F.C.		
A3.1	EXTERIOR ELEVATIONS	N.F.C.		
A4.1	STAIR SECTION	N.F.C.		

GENERAL NOTES:

- DO NOT SCALE DRAWING OR DIMENSIONS. FOR MISSING DIMENSIONS OR DIMENSIONS IN CONFLICT, CONTACT THE CONTRACTOR IMMEDIATELY BEFORE CONTINUING WITH WORK.
- ANY DISCREPANCIES IN THESE PLANS WILL BE BROUGHT TO THE CONTRACTOR'S ATTENTION IN WRITING IMMEDIATELY.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DESIGN-BUILD PLANS AND SPECIFICATION FOR LOCATIONS OF ALL BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES, & PADS THAT ARE NOT DIMENSIONED OR SHOWN ON CONTRACTOR'S DWG'S. OR STRUCTURAL DWG'S.
- STRUCTURAL STEEL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION PLANS AND SPECIFICATION SHALL BE PROVIDED AND ARE THE RESPONSIBILITY OF THERE RESPECTIVE SUBCONTRACTORS IF NOT CARRIED IN ARCHITECTURAL SERVICES.
- ALL CONSTRUCTION SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE REGULATOR REQUIREMENTS MANDATED BY ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION IN ACCORDANCE TO THE STATE IN WHICH THE WORK IS PERFORMED (STATE BUILDING CODE, STATE LIFE SAFETY & FIRE CODE ETC.)
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND SHALL CONFIRM WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION.
- DIMENSIONS ARE FROM EXTERIOR FACE OF FOUNDATION, VENEER, OR WALL STUD AND TO CENTER OF ALL INTERIOR STUD WALLS OR FACE OF INTERIOR MASONRY. UNLESS NOTED OTHERWISE.
- CLEAR DIMENSIONS ARE FROM FACE TO FACE OF WALL FINISH, UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL DRAWINGS / SPEC. FOR ALL SIZES AND LOCATIONS OF MECHANICAL DUCT WORK.
- UNLESS OBVIOUSLY SHOWN OTHERWISE, DOOR LOCATIONS NOT DESIGNATED BY WRITTEN DIMENSION SHALL BE CENTERED IN THE WALL OR SHALL BE LOCATED FOUR (4) INCHES FROM FINISH WALL TO EDGE OF DOOR JAMB, PER PLAN.
- PROVIDE METAL CORNER BEAD AT ALL OUTSIDE CORNERS OF PLASTERED OR DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- PENETRATIONS OF ALL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY LIKE RATED CONSTRUCTION DAMPERS, SEALANTS, COLLARS, ETC. TYPICAL.
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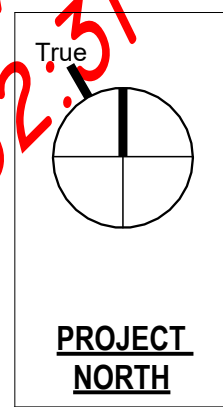
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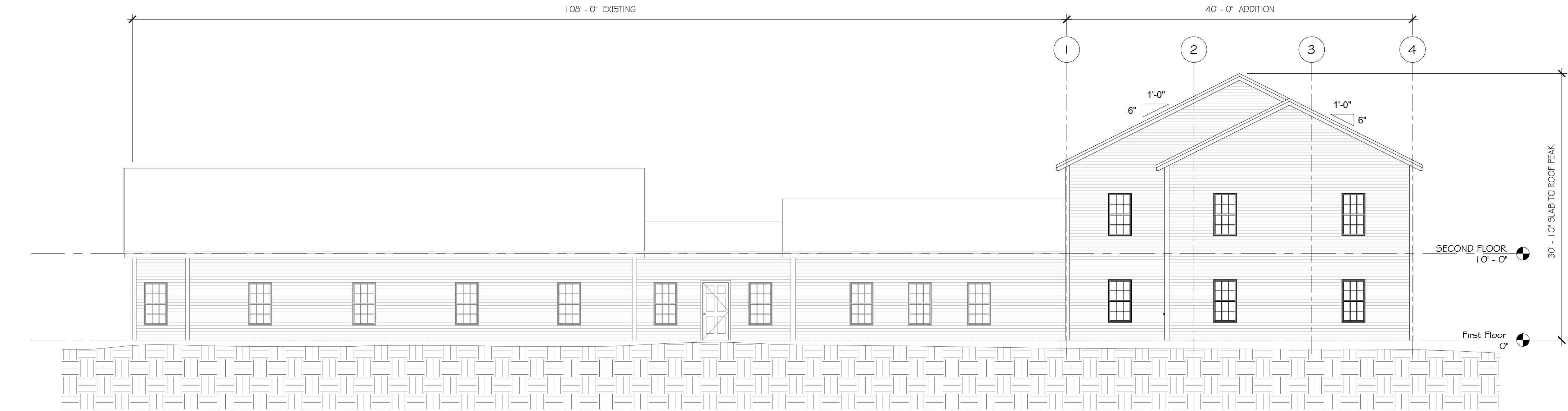
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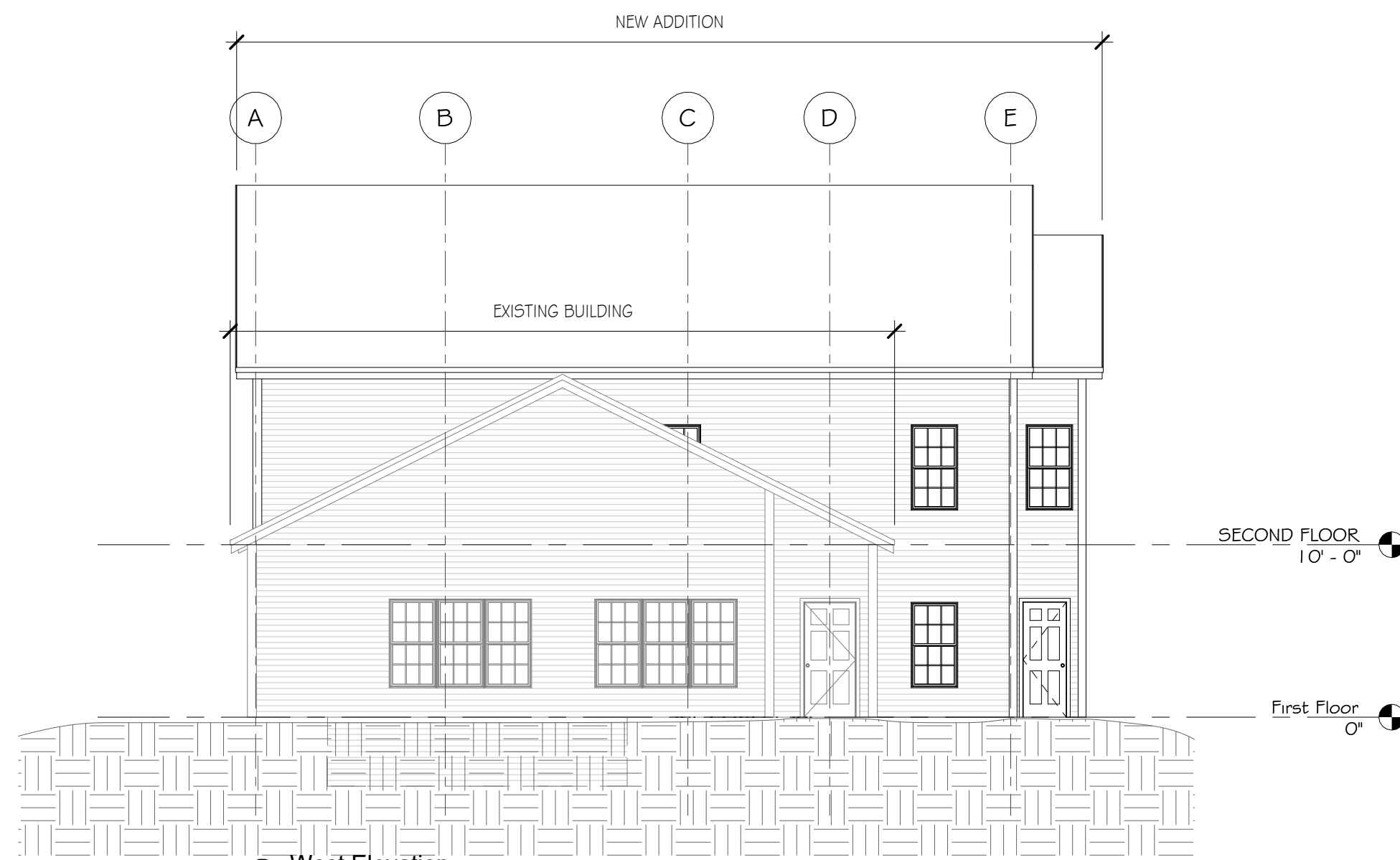
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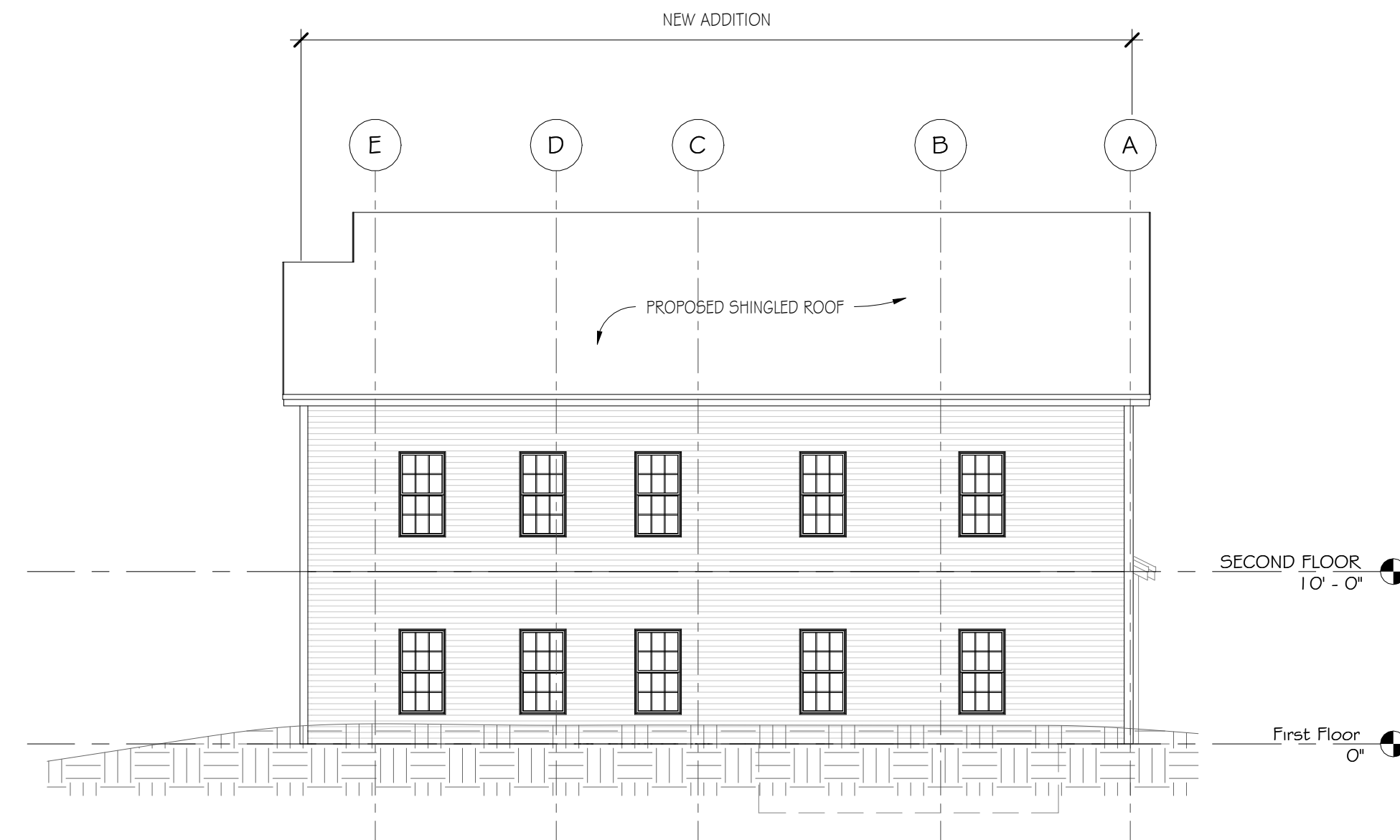




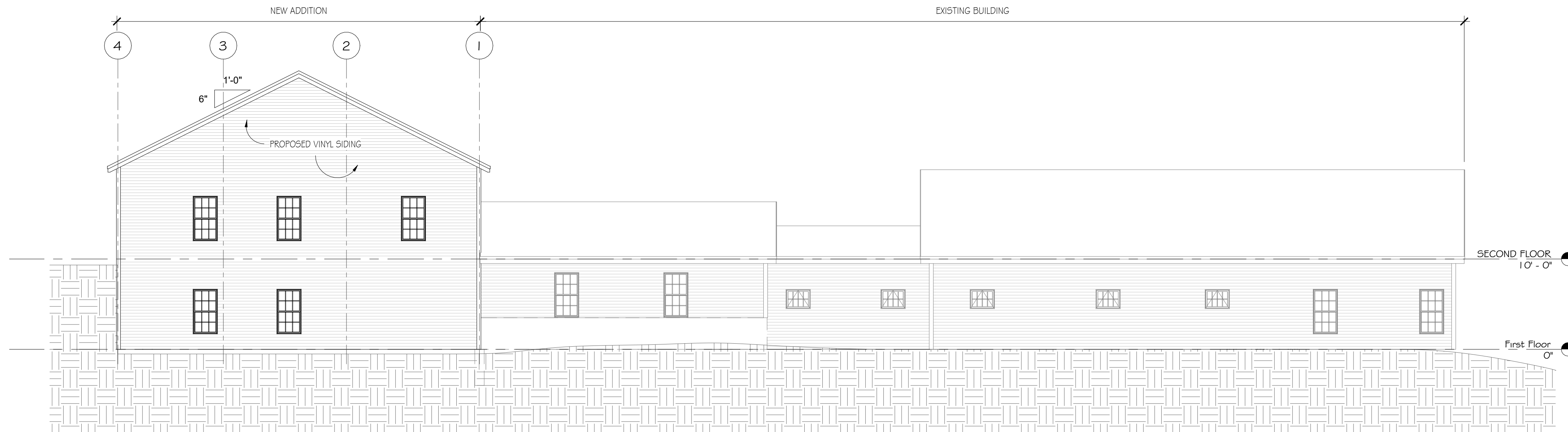
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1/8" = 1'-0"



2 East Elevation
1/8" = 1'-0"



1 North Elevation
1/8" = 1'-0"

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