

CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: Council Conference Room, City Hall, 288 Central Ave, Dover NH 03820
Meeting Date: **Thursday, November 20, 2025**
Meeting Time: **10:30 AM**

1. Site Plan for Summit Land Development, LLC (Owners: 16 Industrial Park, LLC), Assessor's Map G, Lot 4, zoned CM, located at 14 Industrial Park Road. (Proposal is to construct a 14,560 s.f. warehouse and a 6,200 s.f. addition to the existing building) (SITE-2025-0017)
[This item was previously heard by the Planning Technical Review Committee on October 23, 2025]



PLAN SNAPSHOT REPORT SITE-2025-0017 FOR CITY OF DOVER, N.H.

Plan Type: Site Plan - Major
Work Class: New Construction
Status: In Review
Valuation: \$0.00
Project:
District: None
Square Feet: 0.00
Assigned To: Blonigen, Rachel
App Date: 10/02/2025
Exp Date: 12/06/2025
Completed: NOT COMPLETED
Approval
Expire Date:
Description: New 14560 sf Warehouse Building and 6200 sf Addition to Existing Building

Parcel: G0004-000000	Main	Address: 14 Industrial Park Rd Dover, NH	Main	Zone: CM(Non-Residential - Commercial Manuf.
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Surveyor McEneaney Survey Associates P.O. Box 1166 DOVER, NH 03821 Business: (603) 742-0911	Applicant summit land development john sullivan 340 Central Avenue 202 202 Dover, NH 03820 Home: (603) 749-2800 Business: (603) 749-2800 Mobile: (603) 860-8519	Applicant Civilworks New England Steve Haight 181 Watson Road PO Box 1166 Dover, NH 03820 Business: (603) 749-0443 Mobile: (603) 817-6651	Architect Seacoast Crane & Building Company, Inc. 98 Route 236 Kittery, ME 03904 Business: (207) 439-5899
Soil Scientist BAG Land Consultants 43 Rockingham Street Concord, NH 03301 Business: (603) 228-5775	Owner Summit land Development 340 central ave 202 dover, NH 03820 Business: (603) 749-2300		

Plan Custom Fields

Total	0	Total2	0	Total3	3620
Total4	0	Total5	6200	Total6	0
Total7	0	Total8	14560	Total9	14560
Street Classification Type	Municipal	Net Change in # Parking Spaces (+/-)	13	Water Service	Municipal
Recording Number		Sewer Service	Municipal	Total Acres (GIS)	5.34
Deed Book		Total SQFT	232610	Deed Page	
Deed Date		Proposed Property Use	Commercial / Light Industrial / Light Manufacturing	Area of Parcel to be Developed (SQFT)	53717
Number of Parking Spaces Existing	47	Number of Parking Spaces Proposed	60	Number of Employees Total	4
Number of Employees in Max Shift	1	Distance to City Water	25	Distance to City Sewer	25
Type of Building to be Built	Typical Warehouse Building with Metal Siding	Estimated Construction Value	250000.00	Refuse Removal	Private
Is there an existing Conservation Easement?	No	Existing Conservation Easement Details		TotalImpactFeeSDTOD	0.00
TotalImpactFeeTHTOD	0.00	TotalImpactFee23FTOD	0.00	TotalImpactFeeA4TOD	0.00
TotalImpactFeeMHTOD	0.00	TotalImpactFeeADUTOD	0.00	TotalImpactFeeAONRT OD	0.00
TotalImpactFeeAR55TOD	0.00	TotalImpactFeeAR62TOD	0.00	Sub Total Residential	0.00
TotalImpactFeeRIRCTOD	0.00	TotalImpactFeeOCSTOD	0.00	TotalImpactFeeITWCTOD	0.00
TotalImpactFeeNHALTOD	0.00	TotalImpactFeeOIUTOD	0.00	TotalImpactFeeAFAOT OD	0.00
Sub Total	0.00	Total of Impact Fees to be Assessed	0.00		
Non-Residential					

PLAN SNAPSHOT REPORT (SITE-2025-0017)

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Steve_Haight_10/2/2025.jpg	10/02/2025 11:38	Haight, Steve		Uploaded via CSS
2025.10.23_PlanningTechnicalReviewCommittee.Agenda.pdf	10/03/2025 15:30	Blonigen, Rachel		TRC Agenda
2025.10.23_PlanningTechnicalReviewCommittee.14IndustrialPark_SITE-2025-0017.draft.pdf	11/06/2025 12:30	Blonigen, Rachel		Draft TRC Minutes
2025.10.23_PlanningTechnicalReviewCommittee.14IndustrialPark_SITE-2025-0017.pdf	11/13/2025 11:04	Blonigen, Rachel		Final TRC Minutes

Note	Created By	Date and Time Created
1. Reapply for 2nd TRC	Rachel Blonigen	11/06/2025 12:34

Invoice No.	Fee	Fee Amount	Amount Paid
INV-2025014099	Planning General Application Fee	\$200.00	\$200.00
Total for Invoice INV-2025014099		\$200.00	\$200.00
NOT INVOICED	Planning Non-Residential – Addition	\$620.00	\$0.00
	Planning Impervious Paved Area Fee	\$253.40	\$0.00
Total for Invoice NOT INVOICED		\$873.40	\$0.00
Grand Total for Plan		\$1,073.40	\$200.00

Meeting Type	Location	Scheduled Date	Subject
Technical Review Committee Meeting v.1	City Hall, Second Floor Conference Room	10/23/2025	Technical Review Committee Meeting

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Land Use Plan Technical Review v.1	Requires Re-submit	10/03/2025	10/22/2025	11/06/2025	Yes	Yes

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Business Development	Business Development	Burdin, James	Requires Re-submit	10/03/2025	10/31/2025	10/22/2025

Comments: Narrative states that the new 15,000 s.f. building will include both office and warehouse, but no floor plan provided. The building is architecturally very plain and gives the impression that the entire floor area will be warehouse. Adding some architectural features to the office area (windows, an entrance portico of different materials/colors, etc.) could visually set one personnel door apart as a "main" entrance. The location of personnel doors on the elevations and site plans do not appear to match. Please reconcile. Unclear whether references to "left" or "right" elevations are from perspective of building or viewer from the street, and are made worse by the architectural similarity of the building. A floor plan that labels each wall would assist with orientation.

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
City Engineer	Community Services - Engineering	Semprini, Jillian	Requires Re-submit	10/03/2025	10/22/2025	11/06/2025

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning	Planning	Bassegio, Erin	Requires Re-submit	10/03/2025	10/31/2025	11/06/2025

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Zoning Administrator	Planning	Crouser, Paul	Requires Re-submit	10/03/2025	10/22/2025	11/06/2025

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
IS Building Official	Planning / Inspection Services	Maxfield, Jim	Requires Re-submit	10/03/2025	10/22/2025	10/22/2025

Comments: Clarify addition use, floor plan, means of egress, exit discharge

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Traffic	Police	Mitrushi, Alex	Requires Re-submit	10/03/2025	10/22/2025	11/06/2025

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
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PLAN SNAPSHOT REPORT (SITE-2025-0017)

Land Use Plan Technical Review v.2		In Review	11/14/2025	11/19/2025	No	No
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Business Development	Business Development	Burdin, James	In Review	11/14/2025	12/12/2025	
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
City Engineer	Community Services - Engineering	Semprini, Jillian	In Review	11/14/2025	11/19/2025	
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning	Planning	Bassegio, Erin	In Review	11/14/2025	12/12/2025	
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Zoning Administrator	Planning	Crouser, Paul	In Review	11/14/2025	11/19/2025	
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
IS Building Official	Planning / Inspection Services	Maxfield, Jim	In Review	11/14/2025	11/19/2025	
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Traffic	Police	Mitrushi, Alex	In Review	11/14/2025	11/19/2025	

Workflow Step / Action Name	Action Type	Start Date	End Date
Review v.1		10/02/2025 13:30	
Confirm application complete v.1	Generic Action		10/02/2025 13:30
Technical Review Committee Meeting Agenda v.1	Task	10/02/2025 13:30	10/03/2025 15:29
Land Use Plan Technical Review v.1	Receive Submittal	10/03/2025 0:00	11/06/2025 12:31
Land Use Plan Technical Review v.2	Receive Submittal	11/14/2025 0:00	
Technical Review Committee Meeting v.1	Hold Meeting	11/14/2025 12:01	
Technical Review Committee Meeting v.1	Hold Meeting	10/03/2025 15:28	11/06/2025 12:31
Planning Board v.1			
Planning Board Agenda v.1	Task		
Invoice for Notices v.1	Task		
Send Notices v.1	Task		
Planner Creates Staff Recommendations v.1	Plan Activity		
Distribute Planning Board Materials v.1	Task		
Planning Board Hearing v.1	Hold Hearing		
Planning Board Decision v.1	Plan Activity		
NOD Sent to Applicant v.1	Create Report		
Final Plan v.1			
Land Use Plan Stamped and Signed v.1	Generic Action		
Recording v.1	Task		
Document Archival v.1	Generic Action		
Internal Notification of Plan Completion v.1	Generic Action		
Building Official Notifies Address v.1	Generic Action		
Pre-Con Meeting v.1	Hold Meeting		
Create/Link to Records v.1			
Create / Link to Permit - Building Major v.1	Create Sub Permit		
Create / Link to Permit - Site Work, Construction v.1	Create Sub Permit		



City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: July 1, 2021]

Office Use Only	Project #:	_____	Date Received:	_____
	Amount Paid:	_____	Time Received:	_____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Summit Land Development Telephone # (603) 749-2800

Address of Applicant: 340 Central Avenue, Suite 202 Dover, NH 03820

E-Mail Address: Sullivan@summitlanddev.com

Name of Property Owner (if different from applicant): 16 Industrial Park, LLC Telephone # (603) 749-2800

Address of Property Owner: 340 Central Avenue, Suite 202 Dover, NH 03820

PROPERTY INFORMATION

Address of Property: 14 Industrial Park Road

Assessor's Map # G Lot(s) # 4

Zoning District(s) Commercial Manufacturing (CM) Overlay District(s) N/A

Size of Parcel: 232,408 sq. ft. 5.34 ac. Property Deed: Book 5190 Page: 36

Existing Use of Property: Commercial/Office/Light Manufacturing

SITE PLAN INFORMATION

Describe Proposed Use: Light Industrial/Commercial Building w/Small Office and Addition to Existing Building

Area of Parcel to be Developed: _____ 53,717 sq. ft.

If Multi-family Residential: Number of Units N/A & Buildings Proposed N/A

If lodging: Number of Units N/A & number of Buildings N/A

Number of Parking Spaces: Existing 47 Proposed 60

Highway Access (check where applicable): ☒ City Street ☐ State Highway

Number of Employees Total: 4 In Maximum Shift: 1

Disposition of Parcel:

Building Setbacks:

Building Footprint 14,560 sq. ft.

Front Yard 35 ft.

Total Building Area 14,560 sq. ft.

Rear Yard 10 ft.

Paved Area 3,620 sq. ft.

Side Yard: Right 10 ft. Left 10 ft.

City Water? ☒ Yes ☐ No How far is city water from the property? at Industrial Park Road

City Sewer? ☒ Yes ☐ No How far is city sewer from the property? at Industrial Park Road

TRANSFER OF DEVELOPMENT RIGHTS INFORMATION

Type of TRANSFER OF DEVELOPMENT RIGHT REQUEST (Check All That Apply):

☐ Residential ☐ Residential (reduced size) ☐ Industrial | ☐ Purchase ☐ Land Preservation

Relief sought (Check All That Apply):

☐ Lot Size ☐ Frontage ☐ Setback ☐ 30' Buffer ☐ Increase by _____ units

Describe Proposed Use or Activity that requires TDR; describe any impacts and document mitigation:

N/A

BUILDING INFORMATION

Type of Building to be Built: Typical light industrial/commercial building with metal siding.

Height of Building: 29 feet Finished Floor Elevation: 116±

Number of Seats (where applicable) N/A

Estimated value of construction: \$ 3,000,000.00 Refuse removal: Public/Private (circle one) **Private**

WAIVER REQUESTS

Site Review Regulations section(s) to be waived: Article IV 153-13 A.12

Justification for waiver request(s) (*attach additional sheets as needed*):

1. A waiver Request from the Site Review Regulations 153-13.A.(12), to allow for the landscape plan to not be stamped by a LLA.
2. A waiver request from the Site Review Regulations 153-14.G.(2)(a), to allow for less than 5% of interior landscaping in the existing parking lot where 5% or greater is required.
3. A waiver request from the Site Review Regulations 153-14.E.(2)(a)(b), to allow the existing parking lot to not meet current lighting requirements.
4. A waiver request from the Site Review Regulations 153-14.J.(1)(2)(3), to allow the site design to not include interconnectivity between parcels where it is required per site plan regulations.

SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) Kevin McEneaney- McEneaney Survey Associates

Address P.O. Box 1166 Dover, NH 03821 Telephone #: 603-742-0911

Professional License #: NH LLS # 661 E-mail address: kevin@surveynh.com

ENGINEER INFORMATION

Name of Engineer and Company (Licensed in N.H.) Stephen J. Haight, PE - Civilworks New England

Address P.O. Box 1166 Dover, NH 03821 Telephone #: 603-749-0443

Professional License #: NH PE # 7978 E-mail address: shaight@civilworksne.com

ARCHITECT INFORMATION

Name of Architect and Company (Licensed in N.H.) Seacoast Crane & Building Company, Inc.

Address 98 Route 236, Suite 3 Kittery, ME 03904 Telephone #: 207-439-5899

Professional License #: _____ E-mail address: _____

LANDSCAPE ARCHITECT INFORMATION

Name of Landscape Architect and Company (Licensed in N.H.) N/A

Address _____ Telephone #: _____

Professional License #: _____ E-mail address: _____

SOIL SCIENTIST INFORMATION

Bruce A. Gilday, CSS, CWS

Name of Soil Scientist and Company (Licensed in N.H.) BAG Land Consultants, LLC

Address 43 Rockingham Street Concord, NH 03301 Telephone #: 603-228-5775

Professional License #: NH CSS 12, NH CWS 88 E-mail address: bagilday@comcast.net

CONSERVATION EASEMENT HOLDER

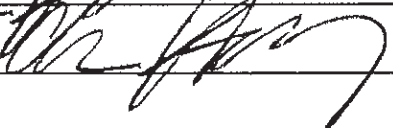
Name of Easement Holder: N/A Telephone # _____

Address Easement Holder: _____

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. Furthermore, I/we submit that the existing conditions sheet of the plan represents the lot in question, and that no alteration of the site shall take place during Planning Board review up to and including the pre-construction meeting. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:  Date: 10-2-25

Signature of Applicant (if different from owner):  Date: 10-2-25

Signature of Agent: _____ Date: _____

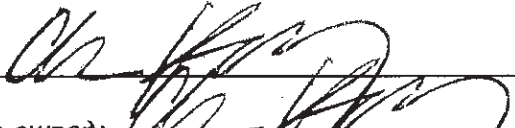
AUTHORIZATION TO ENTER SUBJECT PROPERTY

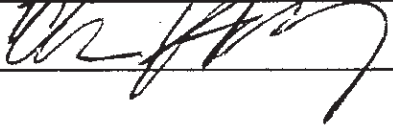
I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 10-2-25

AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY

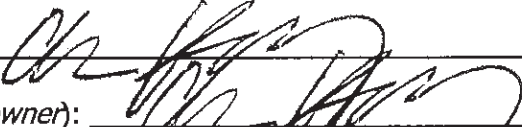
I, and my successors, hereby the City of Dover or its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 10-2-25

Signature of Applicant (if different from owner):  Date: 10-2-25

CERTIFICATION OF FEES

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board. Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner:  Date: 10-2-25

Signature of Applicant (if different from owner):  Date: 10-2-25

***CITY OF DOVER SITE REVIEW
LIST OF ABUTTERS***

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS
G	4	16 Industrial Park, LLC	340 Central Ave, Suite 202 Dover, NH 03820

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS
John Sullivan	Summit Land Development, LLC	340 Central Ave, Suite 202 Dover, NH 03820

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	MAILING ADDRESS
Stephen J. Haight, PE	Civilworks New England	P.O. Box 1166 Dover, NH 03821
Kevin McEneaney, LLS	McEneaney Survey Associates	P.O. Box 1166 Dover, NH 03821

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS

PLANNING BOARD FEE SCHEDULE/INVOICE

(Revised July 24, 2023)

Below are the fees associated with plan review and are subject to a nonrefundable application fee to cover administrative expenses. Please complete the information below and provide payment with your application submittal. **Plan review fees shall be paid prior to technical review committee (TRC) being scheduled.** For plans not requiring TRC review, **fees are due 21 days prior** to the Planning Board meeting. Staff will coordinate abutter/notice fees, which will be invoiced and must be paid 28 hours before the Planning Board meeting for an application to be heard. Fees shall be paid by cash or check made payable to "City of Dover".

A. Plan Review Fees

1. Application fee for the following (SELECT ALL THAT APPLY):

- ☐ SUBDIVISION Application fee \$200.00 + \$150.00 x # _____ new lots created = \$ _____
- ☐ LOT LINE ADJUSTMENT Application fee \$200.00 + \$100.00 X # _____ of lots involved = \$ _____
- ☐ TRANSFER OF DEVELOPMENT RIGHTS Application fee \$200.00 = \$ _____
- ☐ SITE REVIEW – RESIDENTIAL Application fee \$200.00+ \$100.00 x # _____ per dwelling unit = \$ _____
- ☒ SITE REVIEW – NON-RESIDENTIAL Application fee \$200.00 + (not to exceed \$10,000)
 - New construction \$.15 sq. ft. x # 14,560 sq. ft. = \$ 2,384.00
 - Additions (new floor space) \$.10 per sq. ft. x # 6,200 sq. ft. = \$ 620.00
- ☐ MOTEL/HOTEL \$35.00 x # _____ per lodging unit = \$ _____
- ☐ CHANGE OF USE Application fee \$200.00 + (not to exceed \$5,000)
 - Existing floor spaces \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- ☐ CONDITIONAL USE PERMIT Application fee \$200.00 x # _____ per Application = \$ _____
- ☐ GRAVEL PIT/ EXCAVATIONS
 - Application fee \$50.00 = \$ _____
 - Permit fee \$75.00 = \$ _____
- ☐ EXTENSIONS/AMENDMENTS/WAIVERS FOR AN APPROVED PLAN Application fee \$200.00 = \$ _____
- ☐ REQUEST FOR REZONING Application fee \$200.00 = \$ _____
- ☐ DRIVEWAY WAIVER Application fee \$200.00 = \$ _____
- ☒ **TOTAL IMPERVIOUS PAVED AREA** (for new development, roadways or additions to existing parking lots, (not to exceed \$10,000)) Application fee of \$200.00 is N/A if it is part of a Site Review or Subdivision Plan. \$200.00 + \$.07 per sq. ft. x # 3,710 sq. ft. = \$ 259.70

SUBTOTAL PLAN REVIEW FEE = \$ 3,263.70

AND

B. Abutter Notification/Mailing Labels - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will review the list for accuracy and provide to us the engineer, architect, licensed land surveyor (LLS), licensed landscape architect (LLA) and/or soil scientist whose professional seal appears on the plan with names and addresses for notices.

- ☐ Applicant & Owner, engineer, architect, LLS, LLA and/or soil scientist
 - Certified letters fee # _____ of x \$10.00 = \$ _____
- ☐ Certified letters fee: # of abutters _____ X \$10.00 = \$ _____
- ☐ First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X \$1.00 = \$ _____
- ☐ Creating/Printing Abutter Labels in triplicate per sheet _____ x \$10.00 = \$ _____

C. Foster's newspaper public notice fee \$120.00 x # _____ applications = \$ _____

SUBTOTAL = \$ _____

TOTAL INVOICE AMOUNT = \$ _____

PLAN REVIEW FEE COLLECTED/PAID = \$ _____

BALANCE DUE = \$ _____

The amount due must be paid 28 hours prior to the Planning Board Meeting, to be heard.



City of Dover, New Hampshire SITE PLAN REVIEW SUBMISSION CHECKLIST

[Revision Date: June 4, 2019]

This site plan review checklist, as required by Chapter 153-6-B(2), should be completed by the applicant. It is intended to assist the applicant in the planning process of preparing a Site Plan Review application for Planning Board action. The size of the project will determine the types of information required for review, therefore, a **pre-application conference** with the Planning Department to determine the list of items that must be completed is strongly encouraged.

The first step would be to appear before the Technical Review Committee, to apply, eight (8) folded copies of the site plan with scale of not less than 1"=50' or 1"=100' for larger site plans, need to be provided, along with payment of plan review fees.

Two weeks prior to Planning Board, three (3) full size and twelve (12) half size (11x17), folded, copies of the plan set and materials, including response to TRC comments, will be due. Abutter/Notice Fees will be invoiced and need to be paid 28 hours prior to the Planning Board meeting.

The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan Review Regulations for full details.

APPLICANT: Summit Land Development, LLC File Number: SITE-2025- xxx

PROJECT TITLE: Light Industrial/Commercial Building & Addition

PROPERTY LOCATION: 14 Industrial Park Road Tax Map: G Lot: 4

	Where/How Provided	Reviewed
1. Completed and signed Application form	☒	
2. Plan Review Fees are provided	☒	
3. Electronic copy of the engineered/surveyed plan layout	☒	
4. Electronic copy of supplementary materials and application	☒	
5. Traffic Impact Assessment and Analysis (Standard or Advanced)	☒	
6. Waiver requests to the Site Plan Review Regulations, with written justification	☒	
7. Conditional Use Permit applications	☒	
8. A colored rendering of the streetscape that will be created along the existing public right-of-way	☐	
9. A colored architectural plan showing all sides of buildings	☒	
10. Folded copies of site plan w/scale of not less than 1"=50' or 1"=100' for larger site plans, for TRC. Plans shall contain the following items as appropriate:	☒	
Location map at appropriate scale	☒	
Proposed Project name and title and Planning File #	☒	
Date, north arrow and scale	☒	
Names of all abutting property owners	☒	
Name and address of owners and/or applicants	☒	
Signature & stamp of NH licensed land surveyor and/or engineer	☒	
Zoning District boundaries, including any special or overlay districts	☐ N/A	
Location of Conservation District areas	☐ N/A	
Location, names and widths of existing and proposed streets, including pavement widths, grades, curbs and crosswalks	☒	
Location and widths of existing & proposed easements & right of ways	☐ N/A	
Location and width of existing and proposed access/egress ways	☒	

	Explain How Provided	Reviewed
Depict pedestrian walkways and accessible access	☒	
Existing and proposed property lines with dimensions and bearings tied into Dover's Geographic Information System coordinate system	☒	
Existing and proposed topographic information at two foot intervals	☒	
Existing and proposed buildings and structure locations	☒	
Minimum building setbacks or build to lines on all lots	☒	
Location and size of existing and proposed electric, telephone, gas cable and other underground utilities	☒	
Existing and proposed water lines and fire hydrants, including materials and capacity needed	☒	
Location and materials of sanitary sewage facilities within project site and projected additional peak hour sewer load	☒	
Existing and proposed stormwater lines and facilities	☒	
Lighting plan depicting all existing and proposed exterior light fixtures and a lighting level analysis for parking lots	☒	
Location of Flood Hazard Zone	☐ N/A	
Location of all bodies of water and watercourses	☐ N/A	
Location of wetlands and buffers	☒	
Neighborhood plan with aerial underlay showing how project relates to abutting uses within the plan set	☒	
Existing natural features and/or significant vegetation on property	☒	
Depict existing contours up to 100 ft. beyond project limits	☒	
Landscape plan depicting existing and proposed landscaping, prepared by a licensed Professional Landscape Architect	☒ See attached Waiver	
Location of parking layout delineating spaces and arrangement; note addressing maximum required spaces	☒	
Location, material and size of existing and proposed pavement area	☒	
Location of proposed fire lanes	☐ N/A	
Specify finished floor elevations of buildings	☒	
Location of solid waste disposal facilities (dumpster, pad and screening, etc.), including required screening	☒	
Depict all service, storage, loading bays and utility areas	☒	
All applicable Dover Common Site Plan notes	☒	
11. Additional Information if appropriate	☒	
Stormwater Management Plan depicting the existing & proposed storm drainage system and engineered drainage analysis	☒	
Stormwater Management System Operation and Maintenance Plan	☒	
Letter to Serve from Public and Private Utilities	☒	
Erosion and Sedimentation Control Plan	☒	
Landscape Operation and Maintenance Plan	☒	
Proposed restrictive covenants or homeowners association documents	☐ N/A	
Dates and permit numbers of all required state and federal permits	☒	
If wetland buffer, indicate placards locations, as applicable	☒	
Depict test boring locations, groundwater elevations and soil profiles and/or soils types call-outs	☒	
Location of proposed drive-in facilities	☐ N/A	
Provide additional exhibits/technical data determined appropriate by the Planning Board or its staff as required	☒	

REVIEWED BY: _____ DATE _____ TRC DATE _____

PROJECT NARRATIVE

for

Summit Land Development, LLC

Site Plan Review

Tax Map G, Lot 4

14 Industrial Park Road

PROJECT OVERVIEW & SITE CHARACTERISTICS

The proposed site development includes a 14,560 square foot building along with a 6,200 square foot addition to the existing building on the 5.34-acre parcel in the Commercial Manufacturing District (CM) located at 14 Industrial Park Road, Dover, NH.

The lot is currently occupied by an existing 58,156 square foot building. Adjacent to the proposed development are the following: the Boston and Maine Railroad to the South; Littleworth Road to the East; 34 Industrial Park Road to the West and Industrial Park Road to the North.

The proposed site design includes the construction of a stand-alone 14,560 square foot light industrial/commercial building with a small office area, along with a 6,200 square foot warehouse addition to the existing building, grading & drainage improvements, and underground utility service improvements.

The project site consists of the following general improvement plan:

- Clear the site, as necessary, for construction.
- Construction of on-site stormwater detention and treatment system, grading, and other drainage requirements.
- Construction of 14,560 sf warehouse building
- Construction of 6,200 sf building addition
- Site utility construction & installation.
- Stabilize remaining areas with loam and seed.

In addition to a Site Plan Review permit through the Planning Board, a Conditional Use Permit will be required for 6,073 sf of Wetland Buffer Impacts.

DRIVEWAY AND PARKING LOT

The proposed development will utilize the existing site access, which is located along the parking lot adjacent to Industrial Park Road. This development will provide 13 parking spaces (net 7 additional) spaces directly adjacent to the proposed 14,560 sf building.

WETLAND PROTECTION DISTRICT SETBACK & IMPACT

There is a small wetland finger (122 sf) on-site that extends from a larger wetland complex along the ditch of the railroad. The proposed project includes 6,073± sf of wetland buffer impacts for the construction of the Bioretention Basin w/ISR and the associated grading. The site design incorporates the unique site characteristics including existing slopes, depth to estimated seasonal high water, and soil type to minimize wetland buffer impacts and maximize stormwater treatment for pollutant removal. The site is designed to provide the ability to treat the project site stormwater run-off from both proposed and existing impervious areas, while maintaining existing drainage ways from adjacent sites. The proposed project does not directly impact any wetlands.

DRAINAGE

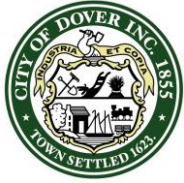
The project proposes the construction of a 14,560-sf light industrial/commercial building and a 6,200-sf warehouse building addition, which includes associated parking areas, grading & drainage improvements, and underground utility services. The proposed drainage system incorporates a bioretention basin with internal storage reservoir and pre-treatment using a Rain Guardian Fortress (Ferguson Waterworks). The proposed stormwater system captures, treats, and stores stormwater runoff from 0.575 acres of proposed impervious surfaces and 0.506 acres of existing impervious surfaces and directs it to the existing discharge point. The proposed stormwater drainage structures will be maintained by the project proponent as outlined within the Stormwater Management System Inspection & Maintenance Manual (Stormwater I&M Manual) in Appendix C.

TRAFFIC

A traffic assessment was completed for the project and is attached as a report to this submittal. The traffic assessment indicates, and as expected, there is a minimal increase in traffic as a result of the proposed development.

UTILITIES

The proposed project will connect to the existing City of Dover water and sewer lines located in Industrial Park Road. Existing electric and communication services are also located on Industrial Park Road and along the Railroad. Building and utility connections will be made per the City's Community Services Utility Division and Fire Department requirements and standards.



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – SITE-2025-0017

Application Type: Site Plan
Applicant(s): 16 Industrial Park, LLC
Owner(s): Summit Land Development LLC
Location: 14 Industrial Park Rd. (Tax Map G, Lot 4)
Date: October 23, 2025

INTENT: Proposal is to construct an approximately 15,000 square foot warehouse and a 6,200 square foot addition to the existing building.

UNITS/LOTS PROPOSED: One (1) new warehouse structure, two (2) structures total

AGENDA ITEM #: 1

ACREAGE: 5.34± ac.

ZONING DISTRICT: Commercial Manufacturing (CM)

EXISTING/PROPOSED LAND USE:
Commercial, Residential

SURROUNDING LAND USE: Commercial, Residential

ZBA ACTION: N/A

PERMITS REQUIRED: City of Dover CUP for proposed wetland buffer impacts.

WAIVERS REQUESTED: [§153-13A\(12\)](#): landscape plan signed by a licensed landscape architect

ATTENDANCE:

Members:

Donna Benton, Planning
Paul Crouser, Zoning
Jim Maxfield, Inspection Services
James Burdin, Business Development
Craig Chabot, Fire Department

Others:

Erin Bassegio, City Planner
Jase Gregoire, Civilworks NE
Steve Haight, Civilworks NE
Elijah Allen, Civilworks NE
John Sullivan, Summit Land Development

Approval of minutes from October 16, 2025:

J. Burdin moved to approve the October 16, 2025 minutes.
Seconded by P. Crouser. Vote: U/A.

PLAN REVIEW:

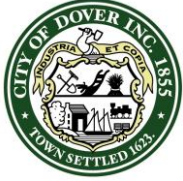
Planning:

- Reminder as applicable: Water and Sewer Investments Fees
- Provide all letters to serve before PB submission. We do not need to have the requests submitted.
- Proposed grading around the bioretention basin appears to be close to the wetlands- please explain how wetland impacts are being avoided.
- Interconnectivity waiver needed as proposed.
- Revise plans to include:
 - Permit number: SITE-2025-0017
 - Shift building to minimize wetland impact
 - Fix typo on sheet 2 of renderings “decorative”
 - Indicate existing parking lot lighting.
 - Parking lot interior landscaping 5% is required
 - Are there architectural renderings for addition?
 - Clarify architectural and plan so they match

Engineering:

General Comments:

- Applicant and Contractor shall review the updated Dover Construction Guidelines and associated details from April 2025 prior to scheduling a Preconstruction meeting with City staff. The guidelines can be found on the City of Dover Website on the Engineering page.
<https://www.dover.nh.gov/Assets/government/city-operations/1form/community-services/engineering/engineering-documents/Construction%20Guidelines.pdf>
- Will the existing OHE be relocated? If so, where? Are there existing easements across the parcel?
- Provide letter from NHDES regarding approval of abandoning the existing monitoring well.
- Recommend reducing the curb cut on the street to reduce chance of vehicle conflicts and reduce stormwater entering property.
- CS does not recommend approval of CUP for building footprint within wetland buffer.
- Confirm where existing roof drains flow.



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – SITE-2025-0017

Application Type: Site Plan
Applicant(s): 16 Industrial Park, LLC
Owner(s): Summit Land Development LLC
Location: 14 Industrial Park Rd. (Tax Map G, Lot 4)
Date: October 23, 2025

- Confirm where stormwater is flowing around proposed addition (south easterly side of parcel).
- Specify single trench patch when finished for all utility connections.
- Show 10 feet separation between water and sewer using a dimension. Domestic line appears to be too close to sewer.
- 6" sewer needs to be run at a minimum 1% slope.
- Specify stainless steel tapping sleeve and conventional gate in lieu of anchor gate.

Police:

- No comments.

Inspection Services:

- Clarify addition use, accessible EV charger location, floor plan, means of egress, exit discharge.

Fire Department:

- No comments.

Business Development:

- Narrative states that the new 15,000 s.f. building will include both office and warehouse, but no floor plan provided. The building is architecturally very plain and gives the impression that the entire floor area will be warehouse. Adding some architectural features to the office area (windows, an entrance portico of different materials/colors, etc.) could visually set one personnel door apart as a "main" entrance. The location of personnel doors on the elevations and site plans do not appear to match. Please reconcile. Unclear whether references to "left" or "right" elevations are from perspective of building or viewer from the street, and are made worse by the architectural similarity of the building. A floor plan that labels each wall would assist with orientation.

Planning Board:

- Revise application to include the 6,200 s.f. addition
- Revise application's listed estimated value of construction

Next Steps: Revise plans per comments above and resubmit for a second TRC meeting.

Adjournment: J. Maxfield moved to adjourn the meeting at 10:50 a.m. Seconded by J. Burdin. Vote: U/A.

CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443 FAX: 603.749.7348

November 13, 2025

City of Dover
288 Central Avenue
Dover, NH 03820

Attn: Planning Board

Re: SITE-2025-0017: 14 Industrial Park Road, Tax Assessor's Map G, Lot 4
Response to Technical Review Committee Comments, dated October 23, 2025

Dear Planning Board:

In response to Technical Review Committee minutes – SITE-2025-0017, by TRC dated October 23, 2025, we submit the following responses in bold beneath the review comments in italic.

Planning:

- 1) *Reminder as applicable: Water and Sewer Investments Fees*
Acknowledged.
- 2) *Provide all letters to serve before PB submission. We do not need to have the requests submitted.*
Acknowledged, the letters from Unitil and Eversource are included in this submittal package.
- 3) *Proposed grading around the bioretention basin appears to be close to the wetlands- please explain how wetland impacts are being avoided.*
The grading has been revised to allow for a greater setback distance from the wetlands. Additionally, a double row of erosion control sock is proposed within the wetland buffer.
- 4) *Interconnectivity waiver needed as proposed.*
The application has been updated to include a waiver.
- 5) *Revise plans to include:*
 1. *Permit number: SITE-2025-0017*
The plans have been updated accordingly.
 2. *Shift building to minimize wetland impact*
The plans have been updated accordingly.
 3. *Fix typo on sheet 2 of renderings "decorative"*
The plans have been updated accordingly.

CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443 FAX: 603.749.7348

4. *Indicate existing parking lot lighting.*
The lighting plan has been updated to include the lighting on the existing lighting. There is currently no lighting within the existing parking lot.
5. *Parking lot interior landscaping 5% is required*
A waiver has been prepared for 5% interior landscaping requirement.
6. *Are there architectural renderings for addition?*
The plan set has been updated to include architectural drawings for the building addition.
7. *Clarify architecturals and plan so they match*
The plans have been updated accordingly.

Engineering:

1. General Comments:

- a) *Applicant and Contractor shall review the updated Dover Construction Guidelines and associated details from April 2025 prior to scheduling a Preconstruction meeting with City staff. The guidelines can be found on the City of Dover Website on the Engineering page. <https://www.dover.nh.gov/Assets/government/city-operations/1form/community-services/engineering/engineering-documents/Construction%20Guidelines.pdf>*
Acknowledged.
- b) *Will the existing OHE be relocated? If so, where? Are there existing easements across the parcel?*
There are no existing easements for the Overhead utility lines. The owner has coordinated with Eversource and they will be removed as part of the project this project.
- c) *Provide letter from NHDES regarding approval of abandoning the existing monitoring well.*
The applicant is coordinating with the testing company for approval. This will be provided as part of the final planning board submission.
- d) *Recommend reducing the curb cut on the street to reduce chance of vehicle conflicts and reduce stormwater entering property.*
Acknowledged, the curb cut has been in place since the existing building was constructed. The proposed building and associated site improvements have been designed to utilize the existing curb cut and to not impede on existing employee & truck/delivery traffic. Reducing the curb cut would impact both proposed and existing truck/delivery traffic. There are currently no known vehicle conflicts, and the owner does not want to change the existing curb cut.

CIVILWORKS NEW ENGLAND

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- e) *CS does not recommend approval of CUP for building footprint within wetland buffer.*

Acknowledged, the building footprint has been revised to remove the building footprint within the wetland buffer.

- f) *Confirm where existing roof drains flow.*

The plans have been updated to include the locations of the existing roof drains.

- g) *Confirm where stormwater is flowing around proposed addition (south easterly side of parcel).*

The grading plan has been updated accordingly.

- h) *Specify single trench patch when finished for all utility connections.*

The plans have been updated accordingly.

- i) *Show 10 feet separation between water and sewer using a dimension. Domestic line appears to be too close to sewer.*

The plans have been updated accordingly.

- j) *6" sewer needs to be run at a minimum 1% slope.*

The plans have been updated accordingly.

- k) *Specify stainless steel tapping sleeve and conventional gate in lieu of anchor gate.*

The plans have been updated accordingly.

Police:

1. *No comments.*

Inspection Services:

- a. *Clarify addition use*

The proposed use for the addition is warehouse space. The plans have been updated accordingly.

- b. *accessible EV charger location,*

The EV charger will be 2-port and will be located directly adjacent to the van accessible parking space.

- c. *floor plan,*

The plans have been updated to include a floor plan.

- d. *means of egress*

Both the proposed building and proposed warehouse addition include means of egress.

- e. *exit discharge.*

Both the proposed building and proposed warehouse addition include means of egress.

CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443 FAX: 603.749.7348

Fire Department:

1. *No comments.*

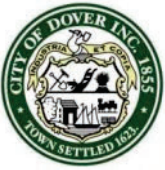
Business Development:

1. *Narrative states that the new 15,000 s.f. building will include both office and warehouse, but no floor plan provided. The building is architecturally very plain and gives the impression that the entire floor area will be warehouse. Adding some architectural features to the office area (windows, an entrance portico of different materials/colors, etc.) could visually set one personnel door apart as a "main" entrance. The location of personnel doors on the elevations and site plans do not appear to match. Please reconcile. Unclear whether references to "left" or "right" elevations are from perspective of building or viewer from the street, and are made worse by the architectural similarity of the building. A floor plan that labels each wall would assist with orientation.*

The plans have been updated accordingly.

Planning Board:

1. *Revise application to include the 6,200 s.f. addition*
The application package has been updated accordingly.
2. *Revise application's listed estimated value of construction*
The application has been updated accordingly.



City of Dover, New Hampshire

CONDITIONAL USE PERMIT APPLICATION

[Revision Date: October 19, 2020]

Office Use Only	Project #: _____	Date Received: _____
	Amount Paid: _____	Time Received: _____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Summit Land Development Telephone # (603) 749-2800

Address of Applicant: 340 Central Avenue, Suite 202 Dover, NH 03820

E-Mail Address: Sullivan@summitlanddev.com

Name of Property Owner (if different from applicant): 16 Industrial Park, LLC Telephone # 603-749-2800

Address of Property Owner: 340 Central Avenue, Suite 202 Dover, NH 03820

PROPERTY INFORMATION

Assessor's Map # G Lot(s) # 4

Address of Property: 14 Industrial Park Road

Zoning District(s) Commercial Manufacturing (CM) Overlay District(s) N/A

Existing Use of Property: Commercial/Light Manufacturing/Office

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

- | | | |
|---|---|--|
| ☐ Conservation District | ☐ RCM Use Overlay District | ☐ Gateway District |
| ☐ Groundwater Protection | ☐ Off-Street Parking and Loading | ☐ Alternative Treatment Center |
| ☒ Wetland Protection District | ☐ Central Business District | ☐ Heritage Residential District |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

The site design is for a new stand alone 14,560 sf warehouse building and a 6,200 sf warehouse addition to the
existing building. Site design elements associated with the new building and addition, including expanded paved
areas for additional parking, grading, utility and drainage improvements will result in a total wetland buffer impact
of 6,073 sf.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: EPA Construction General Permit

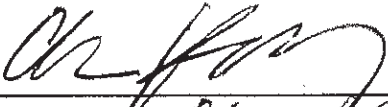
Name of Professional That Prepared Plans: Stephen J. Haight, PE - Civilworks New England

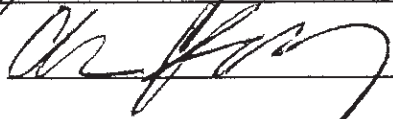
Address P.O. Box 1166 Dover, NH 03821 Telephone #: (603) 749-0443

Professional License #: NH PE #7978 E-mail address: shaight@civilworksne.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

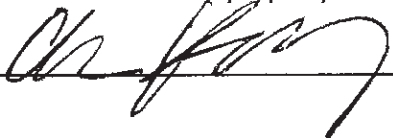
Signature of Property Owner:  Date: 10-2-25

Signature of Applicant (if different from owner):  Date: 10-2-25

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 10-2-25

**CITY OF DOVER CONDITIONAL USE
LIST OF ABUTTERS**

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	<u>MAILING ADDRESS</u>
G	4	16 Industrial Park, LLC	340 Central Ave, Suite 202 Dover, NH 03820

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	<u>MAILING ADDRESS</u>
John Sullivan	Summit Land Development, LLC	340 Central Ave, Suite 202 Dover, NH 03820

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	<u>MAILING ADDRESS</u>
Stephen J. Haight, PE	Civilworks New England	P.O. Box 1166 Dover, NH 03821
Kevin McEneaney, LLS	McEneaney Survey Associates	P.O. Box 1166 Dover, NH 03821

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	<u>MAILING ADDRESS</u>

PLANNING BOARD FEE SCHEDULE/INVOICE

(Revised July 24, 2023)

Below are the fees associated with plan review and are subject to a nonrefundable application fee to cover administrative expenses. Please complete the information below and provide payment with your application submittal. **Plan review fees shall be paid prior to technical review committee (TRC) being scheduled.** For plans not requiring TRC review, **fees are due 21 days prior** to the Planning Board meeting. Staff will coordinate abutter/notice fees, which will be invoiced and must be paid 28 hours before the Planning Board meeting for an application to be heard. Fees shall be paid by cash or check made payable to "City of Dover".

A. Plan Review Fees

1. Application fee for the following (SELECT ALL THAT APPLY):

- ☐ SUBDIVISION Application fee \$200.00 + \$150.00 x # _____ new lots created = \$ _____
- ☐ LOT LINE ADJUSTMENT Application fee \$200.00 + \$100.00 X # _____ of lots involved = \$ _____
- ☐ TRANSFER OF DEVELOPMENT RIGHTS Application fee \$200.00 = \$ _____
- ☐ SITE REVIEW – RESIDENTIAL Application fee \$200.00+ \$100.00 x # _____ per dwelling unit = \$ _____
- ☐ SITE REVIEW – NON-RESIDENTIAL Application fee \$200.00 + (not to exceed \$10,000)
 - ☐ New construction \$.15 sq. ft. x # _____ sq. ft. = \$ _____
 - ☐ Additions (new floor space) \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- ☐ MOTEL/HOTEL \$35.00 x # _____ per lodging unit = \$ _____
- ☐ CHANGE OF USE Application fee \$200.00 + (not to exceed \$5,000)
 - ☐ Existing floor spaces \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- ☒ CONDITIONAL USE PERMIT Application fee \$200.00 x # _____ 1 per Application = \$ 200.00
- ☐ GRAVEL PIT/ EXCAVATIONS
 - ☐ Application fee \$50.00 = \$ _____
 - ☐ Permit fee \$75.00 = \$ _____
- ☐ EXTENSIONS/AMENDMENTS/WAIVERS FOR AN APPROVED PLAN Application fee \$200.00 = \$ _____
- ☐ REQUEST FOR REZONING Application fee \$200.00 = \$ _____
- ☐ DRIVEWAY WAIVER Application fee \$200.00 = \$ _____
- ☐ **TOTAL IMPERVIOUS PAVED AREA** (for new development, roadways or additions to existing parking lots, (not to exceed \$10,000)) Application fee of \$200.00 is N/A if it is part of a Site Review or Subdivision Plan. \$200.00 + \$.07 per sq. ft. x # _____ sq. ft. = \$ _____

SUBTOTAL PLAN REVIEW FEE = \$ 200.00

AND

B. Abutter Notification/Mailing Labels - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will review the list for accuracy and provide to us the engineer, architect, licensed land surveyor (LLS), licensed landscape architect (LLA) and/or soil scientist whose professional seal appears on the plan with names and addresses for notices.

- ☐ Applicant & Owner, engineer, architect, LLS, LLA and/or soil scientist
 - ☐ Certified letters fee # _____ of x \$10.00 = \$ _____
- ☐ Certified letters fee: # of abutters _____ X \$10.00 = \$ _____
- ☐ First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X \$1.00 = \$ _____
- ☐ Creating/Printing Abutter Labels in triplicate per sheet _____ x \$10.00 = \$ _____

C. Foster's newspaper public notice fee \$120.00 x # _____ applications = \$ _____

SUBTOTAL = \$ _____

TOTAL INVOICE AMOUNT = \$ _____

PLAN REVIEW FEE COLLECTED/PAID = \$ _____

BALANCE DUE = \$ _____

The amount due must be paid 28 hours prior to the Planning Board Meeting, to be heard.

CONDITIONAL USE NARRATIVE
§170-28
WETLAND PROTECTION DISTRICT
CONDITIONAL USE APPROVAL REQUIREMENTS
for
Summit Land Development, LLC
Tax Map G, Lot 4
14 Industrial Park Road

F. Conditional use approval.

(1) Conditional use approval may be granted by the PLANNING BOARD (RSA 674:21II) after proper public notice and public hearing, for construction within the Wetland Protection District or buffer. Said construction may include but is not limited to a road or other accessway, utility right-of-way, communication lines, power lines and pipelines, structures, and parking lots provided that the proposed construction complies with the following standards:

- (a) Practicable Alternative: There is no practicable alternative that would have a less adverse impact on the area. **The site design will not impact any wetlands. The site design incorporates unique site characteristics including existing slope, depth to estimated seasonal high water, and soil type to minimize wetland buffer impacts and maximize stormwater treatment for pollutant removal. The site layout is designed to limit the wetland buffer impacts to the construction of the stormwater management system and associated grading. Additionally, the area disturbed within the wetland buffer will be loamed and seeded with a conservation mix.**
- (b) Avoidance: The potential impacts have been avoided to the maximum extent practicable. The APPLICANT will demonstrate by plan and example that the proposed construction represents the least impacting alternative. **There is a small wetland finger (122 sf) on-site that extends from a larger wetland complex along the ditch of the railroad. The proposed project includes 6,073± sf of wetland buffer impacts for the construction of the Bioretention Basin w/ISR and the associated grading. The site design incorporates the unique site characteristics including existing slopes, depth to estimated seasonal high water, and soil type to minimize wetland buffer impacts and maximize stormwater treatment for pollutant removal. The site is designed to provide the ability to treat the project site stormwater run-off from both proposed and existing impervious areas, while maintaining existing drainage ways from adjacent sites.**
- (c) Minimization: Any unavoidable impacts have been minimized. No reasonable Alternative to the proposed construction exists which does not impact a wetland, or which has less detrimental impact on a wetland. Design, construction, and maintenance methods will be prepared by a registered engineer to minimize detrimental impacts to the wetlands and include restoration of the site as nearly as possible to its original grade. **The proposed project includes 6,073± sf of wetland buffer impacts. All impacts have been minimized to the greatest extent practicable, including the use of 3:1 & 2:1 slope to help minimize grading within the wetland buffer. Increasing the slopes from 3:1 to 2:1 in the area of the wet extended detention pond and sediment detention basins is not allowed per Env-Wq 1508.03(e) and Env-Wq 1508.12(e).**

- (d) Mitigation: If the APPLICANT is required by State rules to prepare a compensatory mitigation plan the APPLICANT shall provide the Conservation Commission and PLANNING BOARD with one copy each of said plan for their review. **Mitigation is not required. There will be no impact on wetlands.**
- (e) Approval for the wetlands impact has been received from the NHDES Wetlands Bureau pursuant to Section G (3), below. **There will be no impact on wetlands.**

G. Specific provisions.

(1) Wetland Buffers.

(a) Buffers Established. Buffers are hereby established around and encircling all wetlands other than those that were created as legally permitted sedimentation/detention basins or roadside drainage ditches. The minimum width of the wetland buffers shall be fifty (50) feet horizontal distance as measured outward from the perimeter edge of the wetland. Wherever a permit to fill a wetland has been issued by either the New Hampshire Department of Environmental Services (NHDES) or the U.S. Army Corps of Engineers (USACOE), the perimeter of the wetland shall be deemed to be the new edge between the fill as placed in accordance with the permit and the remaining wetland. If there is no remaining wetland, there is no buffer. All other wetland edges shall be determined in accordance with Section D (1) above. **There will be no disturbance within the wetlands. A 50-foot wetland buffer is shown on the site plan, a portion of which will be impacted by the construction of the Bioretention Basin w/ISR, and the associated grading.**

(b) Natural Conditions to be Maintained within Buffers. Where wetland buffer disturbance is allowed pursuant to a state or federal permit, or a conditional use permit, restoration of the disturbed area is required. Restoration is defined as filling ruts or excavated areas with similar soils while maintaining original grade. Applications for a City of Dover BUILDING permit that includes a temporary disturbance of wetlands buffers, pursuant to Section G (1) (e) (iv) below, shall include a "Wetlands Buffer Encroachment and Restoration Plan." Said plan shall be submitted, reviewed, and approved by Building Inspector, in consultation with City staff, prior to the disturbance. Replanting to restore buffers shall be with native non-invasive species specified in the "Wetlands Buffer Encroachment and Restoration Plan". Implementation of the plan shall include the clear delineation of the boundaries of wetland buffers in the field using construction tape or other clear marking devise. Mowing to maintain an existing lawn or field within a wetland buffer area is allowed without a permit, as specified in Section G (1)(e), below, provided the roots of the vegetation are not disturbed and the ground is frozen or sufficiently dry to avoid making ruts. **The wetland buffer impact for this project will be primarily of a permanent nature as allowed by obtaining a Conditional Use Permit. Some areas being impacted by typical grading around the site will be restored as much as is practical as a maintained lawn area.**

(c) Certain Uses Prohibited in Buffers. The following uses and activities are prohibited within a wetland buffer: DOVER CODE P 170-107 (i) The establishment or expansion of salt storage, JUNKYARDS, resource recovery facilities, transfer stations, landfills, or solid or hazardous waste facilities; (ii) The BULK storage of chemicals, petroleum products, or toxic and hazardous materials; (iii) The dumping or disposal of snow and ice collected from roadways and parking LOTs. **Not applicable.**

(d) Uses Allowed Only with a Conditional Use Permit. The following uses and activities are allowed within a wetland buffer only if a conditional use permit is obtained in accordance with Section F above: (i) All uses not specifically prohibited in Section G (1) (c) above or specifically exempted in Section G (1) (e) below. (ii) The erection or construction of a BUILDING or STRUCTURE, excluding FENCES that meet the requirements of 170-33, or the construction of parking LOTs or loading areas. (iii) Timber harvesting, except as conducted in accordance with the terms and provisions of RSA 227-J, Timber Harvesting. (iv) The removal of stumps and roots (grubbing), the recontouring or grading of the land, or the placement of impervious surfaces or creation of storm water detention ponds. (v) The installation of water, sewer, or buried electrical or telecommunications cables. (vi) The installation of water supply wells. **A Conditional Use Permit is being requested to allow for a stormwater management system, and associated grading within the wetland buffer for this project.**

(e) Uses Allowed Without a Conditional Use Permit. The following uses and activities are allowed within a wetland buffer with the noted conditions: (i) Activities within wetlands jurisdictional areas that are allowed without a State of New Hampshire Dredge and Fill Permit, in accordance with NHDES Rules Env-Wt 308.01(a) and 308.02 – repair of an existing legal STRUCTURE; or successor rules. (ii) The removal of vegetation in accordance with NHDES Rules Env-Wt 303.05(b), or successor rules, provided the roots of the vegetation are ZONING P 170-108 not disturbed, and the ground is frozen or sufficiently dry to avoid making ruts. (iii) The installation of monitoring or test wells or geotechnical borings completed in accordance with NHDES Rules Env-Wt 309.02(i) or successor rules. (iv) Temporary disturbance of the wetland buffer to facilitate construction activities completed under a valid City of Dover BUILDING permit, provided the temporary disturbance is restored in accordance with Section G (1) (b) above. **Not applicable.**

(2) No septic tank or leach field may be constructed or enlarged closer than seventy-five (75) feet to any Wetland Protection District. In new subdivisions approved subsequent to adoption of this section, there must be sufficient LOT size to place a house, a state-approved septic system, where applicable, and a state-approved well, where applicable, without locating them in a wetland. This provision can be waived if conditional use approval is obtained from the PLANNING BOARD. **Not applicable.**

(3) A state dredge and fill application shall be submitted for any proposed change to a wetland (RSA 482-A). **Not applicable.**



October 1st, 2025

Mark Beaudry, PE
Senior Associate/ Senior Project Manager
Civil Works New England
181 Watson Road
Dover, New Hampshire

Natural Gas to Proposed Storage Facility at 14 Industrial Park Rd. in Dover, NH

Hello Mark.

Unitil/Northern Utilities Natural Gas Division has reviewed the requested site for Natural Gas service.

Unitil hereby confirms that natural gas is available for the proposed development at 14 Industrial Park Rd. at Tax Map G, Lot 4 in Dover, New Hampshire.

If you have any questions, please contact me at 603-264-2033.

Sincerely,

A handwritten signature in blue ink that reads "J. Wilk". The signature is stylized with a large, looped "J" and a cursive "Wilk".

Josh Wilk
Senior Business Development Rep



T 603.227.4628
M 603.264.2033
F 603.294.5264
Email wilkj@unitil.com



1700 Lafayette Road
Portsmouth, NH 03801

Trevor S Emmons
603-332-7515
Trevor.emmons@eversource.com

November 12, 2025

16 Industrial Park, LLC
340 Central Avenue, Suite 202
Dover NH 03820

Dear 16 Industrial Park, LLC,

I am responding to your request to confirm the availability of electric service for the proposed 14 Industrial Park Road, Dover, NH project being constructed for/by 16 Industrial Park, LLC.

The proposed project consists of (1) 15,000 square foot-warehouse building including 200 sq. ft. of unspecified office space. The proposed development will be constructed along Industrial Park Road.

The developer will be responsible for the installation of all underground/overhead facilities and infrastructure required to service the new building. The service will be as shown on the attached marked up Utility Plan. The proposed building service will be fed from Industrial Park Rd from pole location to be determined by Eversource Engineering and will need to be updated on utility plan. The developer will work with Eversource to obtain all necessary easements and licenses for the proposed underground/overhead facilities listed above.

This letter serves as confirmation that Eversource has sufficient capacity in the area to provide service to this proposed development. The cost of extending service to the aforementioned location and any associated infrastructure improvements necessary to provide service will be borne by the developer unless otherwise agreed upon.

The attached drawing titled "Proposed Warehouse Building, Sheet 8, Utility Plan" dated 10/02/25, shows transformer locations to service your proposed project.

Eversource will approve future locations not shown; assuming the final installed locations meet all clearances, physical protection, and access requirements as outlined in Eversource's "Information & Requirements For Electric Supply" (<https://www.eversource.com/content/docs/default-source/pdfs/requirements-for-electric-service-connections.pdf?sfvrsn=2>).

If you require additional information or I can be of further assistance please do not hesitate to contact me at our Portsmouth Office, 603-332-7515

Respectfully,

A handwritten signature in black ink, appearing to read "Trevor Emmons", written over a horizontal line.

Trevor Emmons
NH Eastern Regional Engineer, Eversource
cc: (via e-mail)

Thomas Boulter, Eastern Region Operations Manager, Eversource
Nickolai Kosko, Field Supervisor, Electric Design, Eversource

WAIVER REQUEST
for
SITE REVIEW APPLICATION
Tax Map G, Lot 4
14 Industrial Park Road
November 13, 2025

ARTICLE IV
Site Design and Development Criteria

§ 153-13. Site Development Plan

- A. *(12) A landscape plan that delineates the arrangement, species and dimensions of all existing and proposed landscaping materials. The landscape plan, in sufficient detail to indicate compliance with these regulations, shall be prepared by a professional landscape architect who is licensed by the State of New Hampshire. The licensed landscape architect shall sign the plan. The landscape plan shall be certified by the licensed landscape architect and include his/her State of New Hampshire license number.*

Requesting relief from the requirement to have a landscape plan certified by a New Hampshire Licensed Landscape Architect.

A site-specific landscape plan has been provided for this site located in the Commercial/Manufacturing (CM) District at 14 Industrial Park Road. The site proposes a 6,200-sf addition to the existing building, and the construction of a second 14,560 sf building. The current landscaping for the existing developed portion of the site will be maintained to the maximum extent possible. The site-specific landscape layout provided shows the existing trees located at the primary building entrance, with additional minor landscaping features being added for the new proposed development area, consistent with similar sites within this and other industrial park settings.

WAIVER REQUEST
for
SITE REVIEW APPLICATION
Tax Map G, Lot 4
14 Industrial Park Road
November 13, 2025

ARTICLE IV
Site Design and Development Criteria

§ 153-14. Site Development Design Criteria

J. Interconnections Between Parcels

(1) In order to reduce the number of vehicles entering and exiting arterial and collector roads, the provision of interconnecting driveways is required whenever feasible. These interconnecting driveways or service roads are provided to allow customers and employees to move from site to site without repeatedly using City streets.

(2) In the C, CM and IT Districts, an applicant shall integrate an interconnecting driveway into the overall traffic and pedestrian circulation of the subject site. Interconnecting driveways shall be provided to access abutting parcels. If an adjacent parcel(s) is vacant, the applicant shall grant an easement for future access. The easements shall be written to ensure that the interconnection(s) will remain open and will be adequately maintained. The cross-connections shall be located to encourage internal traffic between abutting properties and shall be adequately marked with directional signs.

(3) In recognition of the unique circumstances of some parcels of land, the Planning Board shall be permitted to vary the standards set forth in Subsection J(2) above. The Planning Board may approve projects that do not conform strictly to the interconnection standards above, provided that a finding is made by the Planning Board that the unique circumstances of the parcel make compliance unreasonable. Any deviation from the standards in Subsection J(2) above can only be considered after first receiving a written recommendation from the City Engineer.

We respectfully request relief from the requirement to provide interconnectivity between parcels.

The parcel is bound by Industrial Park Road to the north, Littleworth Road to the east, Boston & Maine Railroad tracks to the south, and a commercial lot to the west. The parcel is currently developed with a 58,156-sf light industrial/commercial building, associated parking area, and utility & drainage infrastructure. The proposed site design proposes to add a 14,560-sf light industrial/commercial building along the shared property line of the abutting commercial property. There is no practical location to provide interconnectivity between the lots. The areas on both lots along the shared property line are loading dock area for each.

Granting this waiver will not create unsafe conditions for the existing or the abutting parcel.

WAIVER REQUEST
for
SITE REVIEW APPLICATION
Tax Map G, Lot 4
14 Industrial Park Road
November 13, 2025

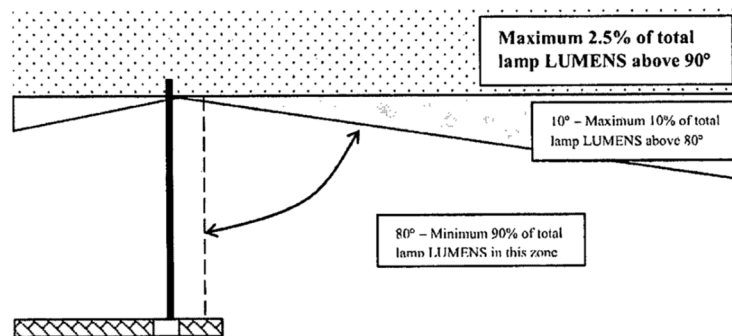
ARTICLE IV
Site Design and Development Criteria

§ 153-14. Site Development Design Criteria

E. Outdoor Lighting

(2) Parking lot lighting. Parking lot lighting shall be designed to provide the minimum lighting necessary to ensure adequate vision and safety in parking areas, and to not cause glare or direct illumination onto adjacent properties or streets.

(a) All lighting fixtures serving parking lots shall be cutoff fixtures as defined by the Illuminating Engineering Society of North America (IESNA) and illustrated below.



(b) Parking area lighting standards are as shown in the table below.

Zoning Districts C, CM, and IT

Mounting height (maximum)*	25 feet
Minimum illumination level (at darkest spot of the parking lot)	No less than 0.3 footcandle; no more than 0.5 footcandle
Uniformity ratio**	6:1

* Mounting height is the vertical distance between the surface being illuminated and the bottom of the lighting fixture.

** Uniformity ratio is the ratio of average illumination to minimum illumination.

We respectfully request relief to allow the existing parking lot lighting levels to remain.

The proposed building will have building lighting and will enhance the existing lighting levels currently on site. There are no changes proposed to the existing parking area.

The project site is currently developed with a 58,156 sf Light industrial/commercial building, associated parking area, and utility & drainage infrastructure. The proposed site design maintains the existing developed portion of the parcel while adding a new building, with additional parking along the building, and grading, drainage, & utility improvements associated with the new building. Additionally, the proposed project includes a 6,200-sf warehouse addition to the existing building.

The proposed parking spaces provided as part of this design are designed in accordance with the Site Plan Regulations and sufficient lighting has been provided via wall packs affixed to the building.

Granting this waiver is in general conformance with the site plan regulations.

WAIVER REQUEST
for
SITE REVIEW APPLICATION
Tax Map G, Lot 4
14 Industrial Park Road
November 13, 2025

ARTICLE IV
Site Design and Development Criteria

§ 153-14. Site Development Design Criteria

G. Landscaping. In order to separate parking areas from abutting streets, to provide areas for snow disposal, to break up expanses of vehicles and pavement, to provide summer shade on pavement areas, to provide general beautification of parking facilities, and to reduce stormwater impacts, the following landscaping standards are required for non-residential development.

(2) Interior landscaping.

(a) In addition to the perimeter landscaping required in § 153-17C, landscaping requirements for the interior of parking lots are as follows:

Minimum Interior Parking Lot Landscaping Requirements

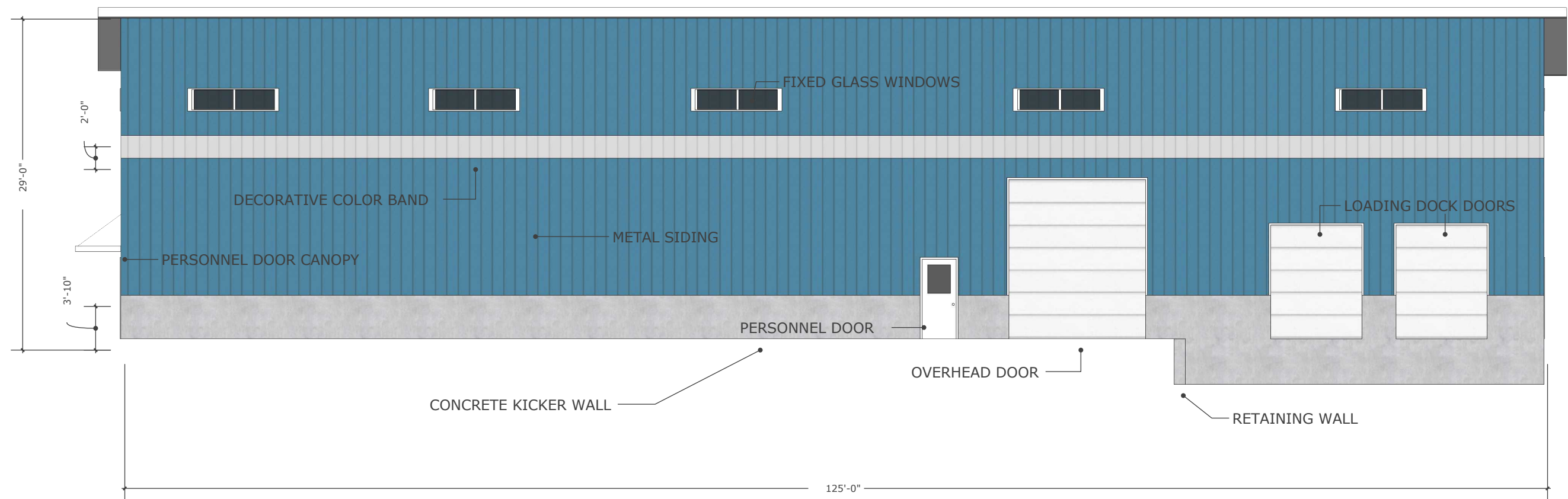
Number of Parking Spaces in Lot	Minimum Percent of Interior Landscaping
0 to 20 spaces	Not required
21 to 50 spaces	5%
51 to 200 spaces	8%
Greater than 200 spaces	10%

We respectfully request relief from providing 5% of landscaping within the interior of the existing parking lot.

The proposed project proposes to add an additional building to the site and an addition to the existing building. The project proposes 13 new parking spaces for the proposed building which will be located along the sides of the proposed building. Based on the number of spaces being proposed (>20) interior landscape areas are not required.

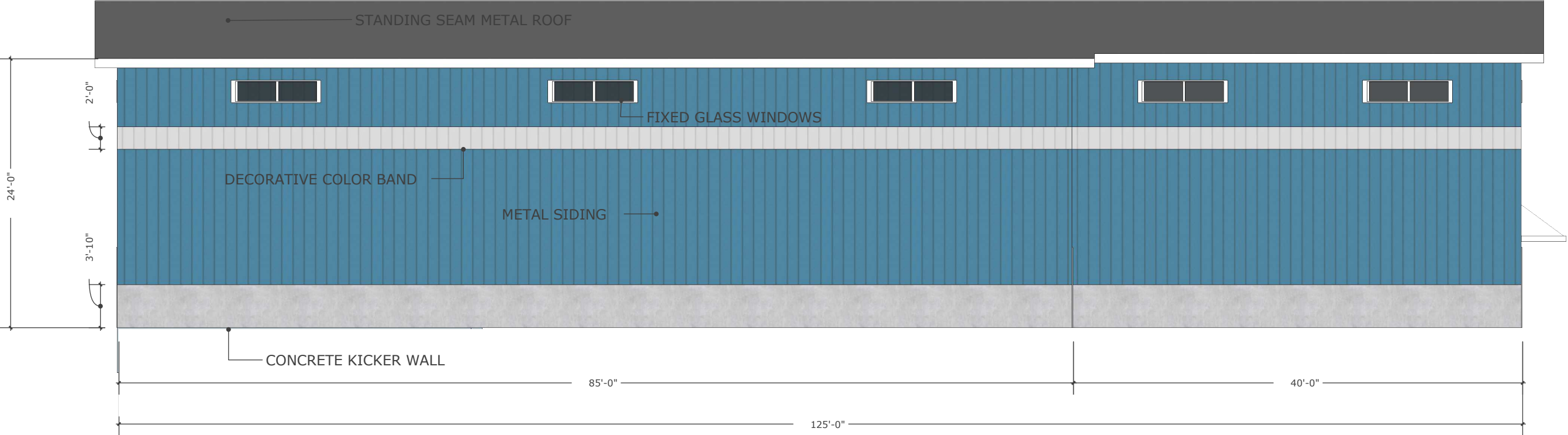
The existing parking lot was established when the existing building was constructed and is paved with no landscape islands. Requiring internal planting areas will impact the existing flow of truck traffic and parking on the site as well as traffic and access for the proposed building. The proposed project has been designed to not impact the existing infrastructure and traffic flow throughout the site.

Granting this waiver is in general conformance with the site plan regulations.

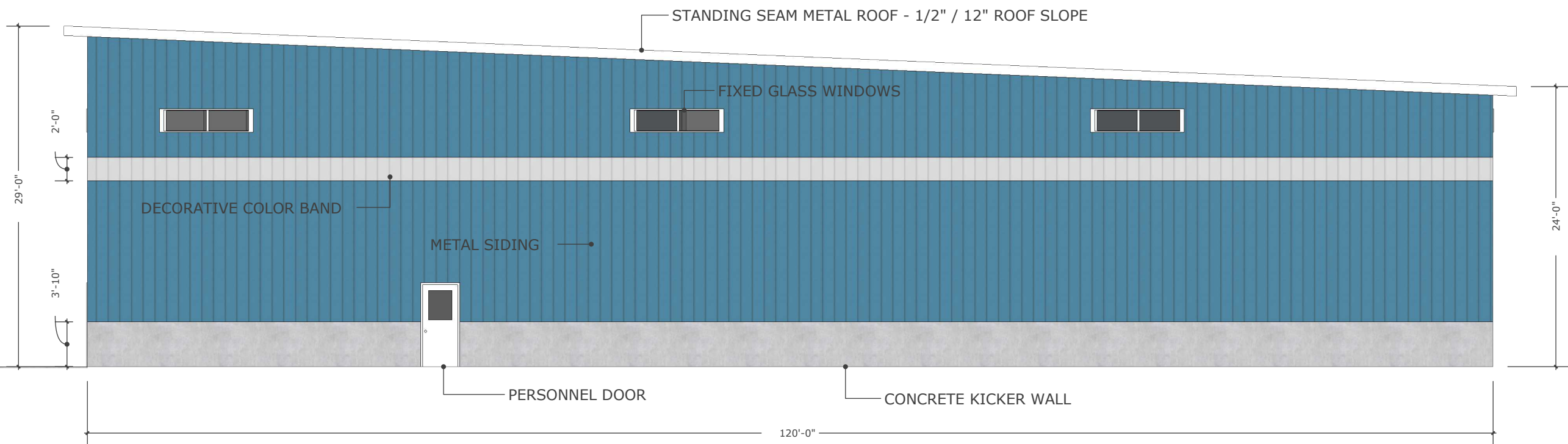


Front Sidewall Elevations (NORTH)

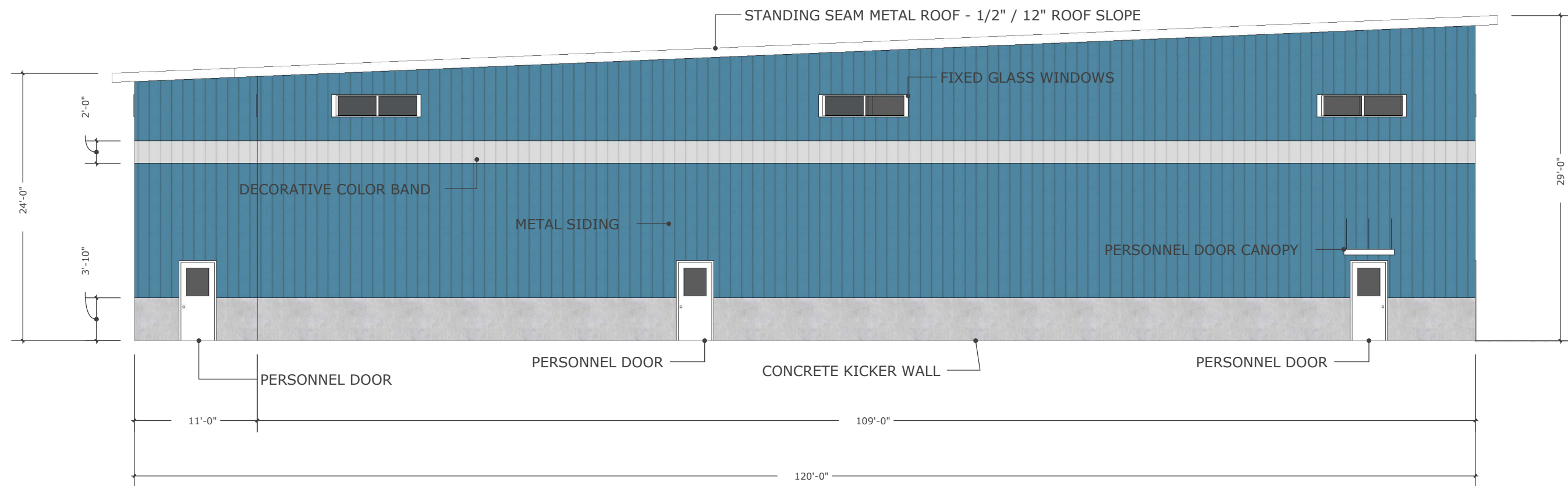
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Back Sidewall Elevations (SOUTH)

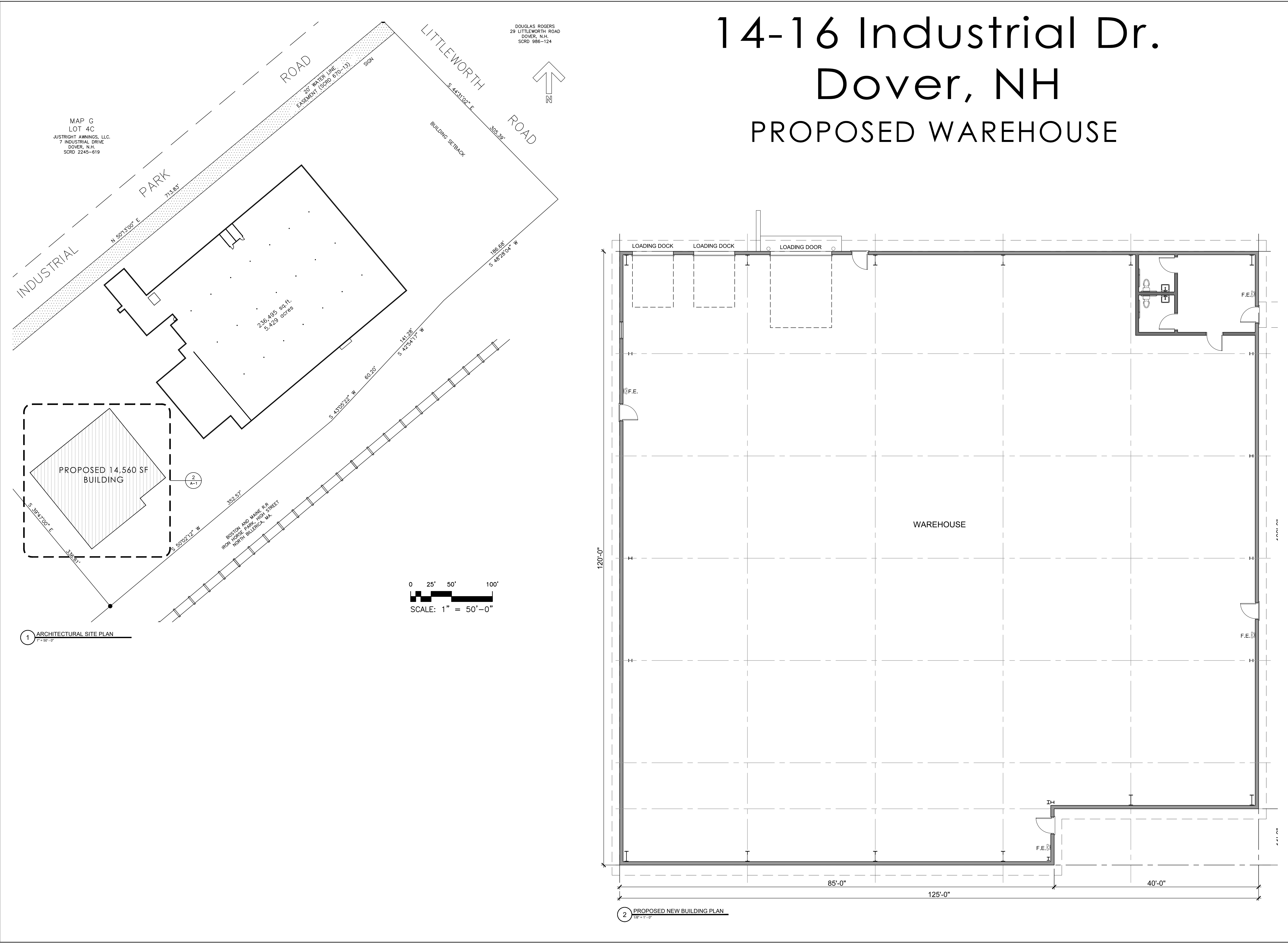


Right Endwall Elevations (WEST)



Left Endwall Elevations (EAST)

A
04



14-16 Industrial Dr. Dover, NH

PROPOSED WAREHOUSE



340 Central Ave. - Suite 202 - Dover, NH 03803
603.749.2800

ARCHITECT:

PORTONE ARCHITECTS

959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

REVISION HISTORY:

#	DATE	ISSUANCE

SEAL:

SCHEMATIC DESIGN

NOT FOR CONSTRUCTION

USE DISCLAIMER:
COPYRIGHT © BY PORTONE ARCHITECTS, INC. 2025
NO RE-USE WITHOUT PERMISSION.

LOCUS MAP:

PROJECT NAME:

14-16 INDUSTRIAL DR.

PROPOSED BUILDING

DRAWING TITLE:

**ARCHITECTURAL SITE
PLAN & PROPOSED
BUILDING FLOOR PLAN**

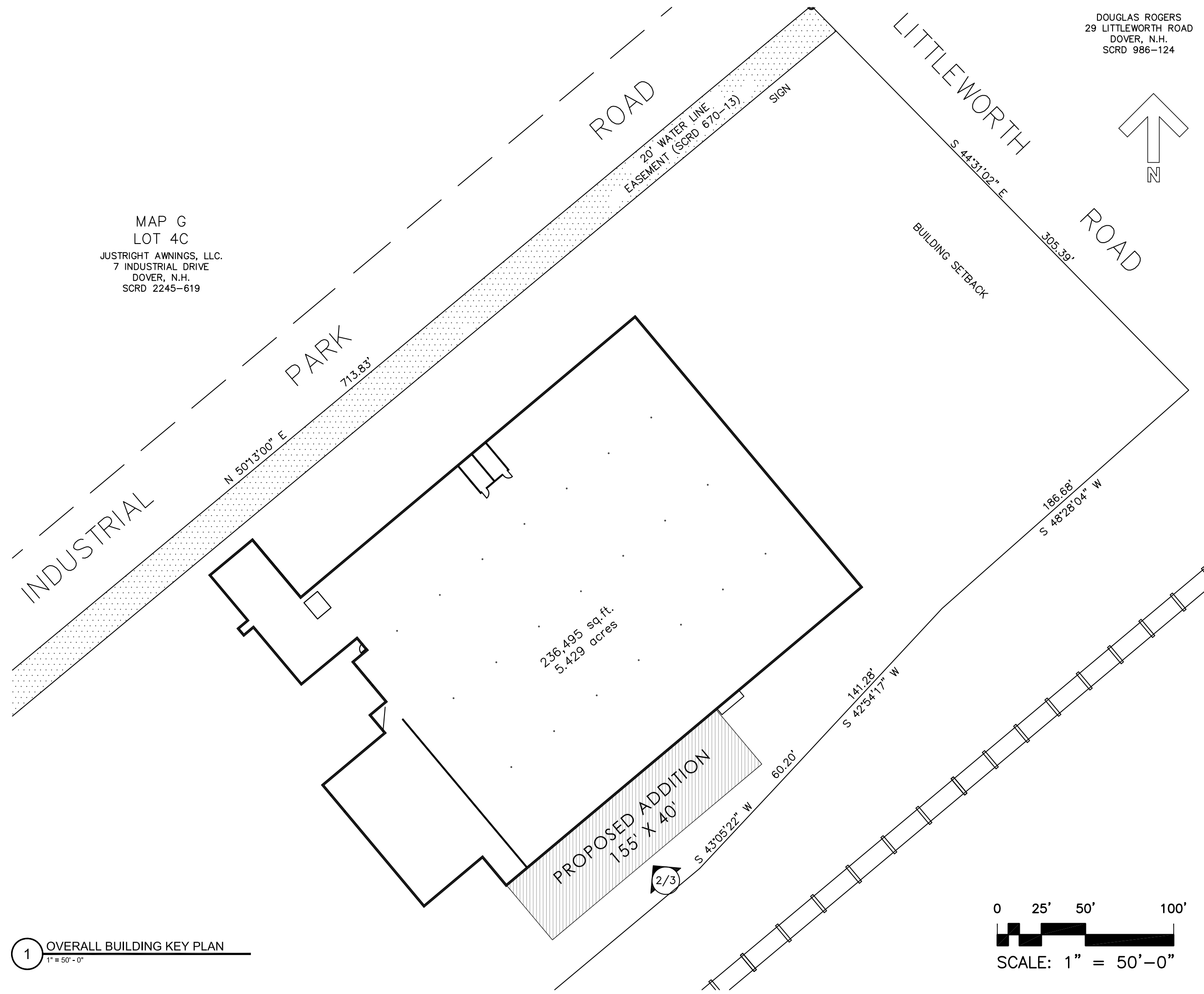
PROJECT No.: 25-00

DATE: NOV. 5, 2025

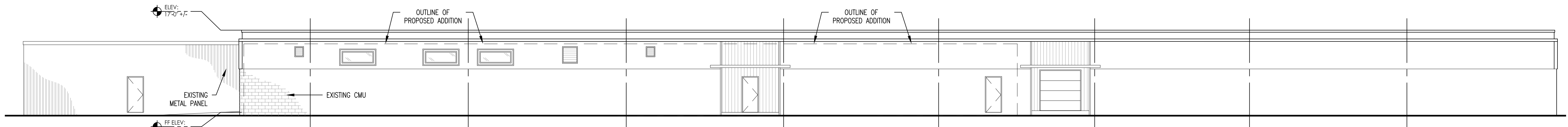
DRAWING SCALE: AS NOTED

SHEET NUMBER:

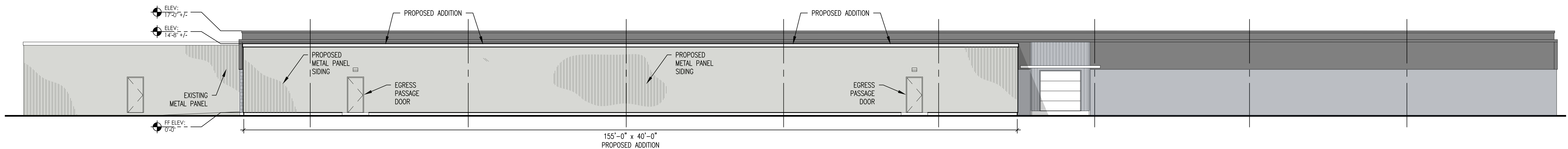
A-1



1 OVERALL BUILDING KEY PLAN
1" = 50'-0"



2 EXISTING EAST ELEVATION
3/32" = 1'-0"



3 PROPOSED EAST ELEVATION
3/32" = 1'-0"

14-16 Industrial Dr. Dover, NH

PROPOSED ADDITION 155' X 40'

OWNER:



ARCHITECT:



959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

REVISION HISTORY:

#	DATE	ISSUANCE

SEAL:

SCHEMATIC DESIGN

**NOT FOR
CONSTRUCTION**

USE DISCLAIMER:

COPYRIGHT © BY PORTONE ARCHITECTS, INC. 2025
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LOCUS MAP:

PROJECT NAME:

14-16 INDUSTRIAL DR.

PROPOSED ADDITION

DRAWING TITLE:

**ARCHITECTURAL SITE
PLAN & EXTERIOR EAST
ELEVATION**

PROJECT NO.:

25-00

DATE:

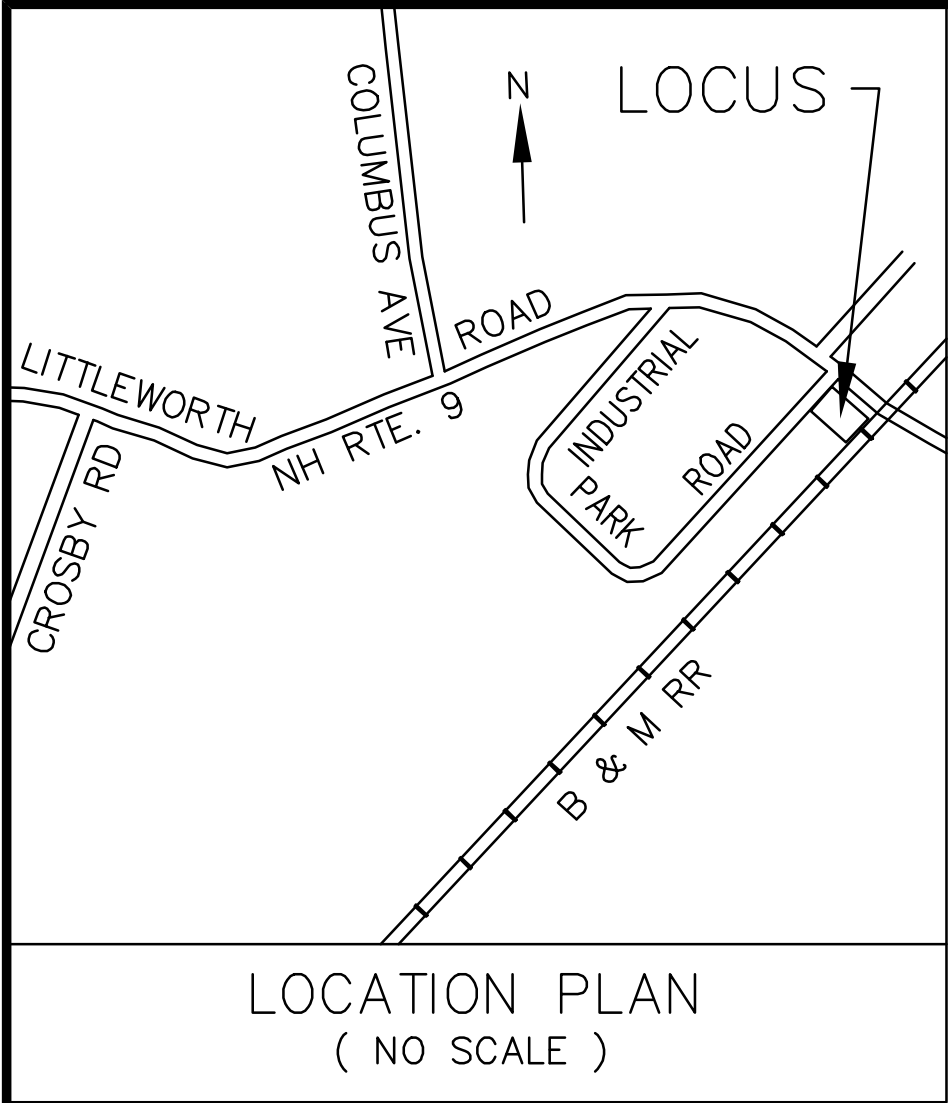
NOV. 5, 2025

DRAWING SCALE:

AS NOTED

SHEET NUMBER:

A-0



SITE PLAN FOR A 14,560 S.F. LIGHT INDUSTRIAL/COMMERCIAL & A 6,200 S.F. WAREHOUSE BUILDING ADDITION

TAX MAP G, LOT 4-0
14 INDUSTRIAL PARK ROAD
DOVER, NH
OCTOBER 2, 2025
REVISED: NOVEMBER 13, 2025

OWNER

16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
SUITE 202
DOVER, NH 03820

DATE

APPLICANT

SUMMITT LAND DEVELOPMENT, LLC
340 CENTRAL AVENUE
SUITE 202
DOVER, NH 03820

DATE

SITE CIVIL
ENGINEER



LAND SURVEYOR

MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND
P.O. BOX 1166
DOVER, NH 03821
(603) 742-0911

ARCHITECT

T.W. DESIGNS, LLC
JOHN M. TUTTLE AIA, LEED AP
254 DRAKE HILL ROAD
STRAFFORD, NH 03884
(603) 664-2181

PERMIT SUMMARY/ WAIVER SUMMARY:

1. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY: N/A
2. LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT OR CONDITIONAL USE PERMITS GRANTED BY THE PLANNING BOARD FOR THE PROPOSED USE OR STRUCTURE, INCLUDING THE CASE NUMBER AND DATE OF DECISION AND ANY CONDITIONS.

SITE PLAN: SITE-2025-0017 PENDING

CONDITIONAL USE PERMIT: COND-2025-XXXX PENDING

3. WAIVERS REQUESTED: THE PLANNING BOARD HAS FOUND THE CRITERIA OF CHAPTER 153-21 HAVE BEEN MET AND HAVE APPROVED THE FOLLOWING WAIVERS:

A WAIVER REQUEST FROM THE SITE REVIEW REGULATIONS 153-13.A.(12), TO ALLOW FOR THE LANDSCAPE PLAN NOT TO BE STAMPED BY A LLA.

A WAIVER REQUEST FROM THE SITE REVIEW REGULATIONS 153-14.G.(2)(a), TO ALLOW FOR LESS THAN 5% OF INTERIOR LANDSCAPING IN THE EXISTING PARKING LOT WHERE 5% OR GREATER IS REQUIRED.

A WAIVER REQUEST FROM THE SITE REVIEW REGULATIONS 153-14.E.(2)(a)(b), TO ALLOW THE EXISTING PARKING LOT TO NOT MEET CURRENT LIGHTING REQUIREMENTS.

A WAIVER REQUEST FROM THE SITE REVIEW REGULATIONS 153-14.J.(1)(2)(3), TO ALLOW THE SITE DESIGN TO NOT INCLUDE INTERCONNECTIVITY BETWEEN PARCELS WHERE IT IS REQUIRED PER SITE PLAN REGULATIONS.

SHEET INDEX

COVER SHEET
NEIGHBORHOOD PLAN
EXISTING CONDITIONS PLAN (BY MCENEANEY SURVEY)
NOTE SHEET
DEMOLITION PLAN
SITE PLAN
GRADING, DRAINAGE, & EROSION CONTROL PLAN
UTILITY PLAN
EROSION CONTROL NOTES
EROSION CONTROL DETAILS
DETAIL SHEETS
LIGHTING PLAN
LIGHTING DETAILS
DOVER LADDER TRUCK MOVEMENT PLAN
WETLAND BUFFER IMPACT EXHIBIT
LANDSCAPE PLAN

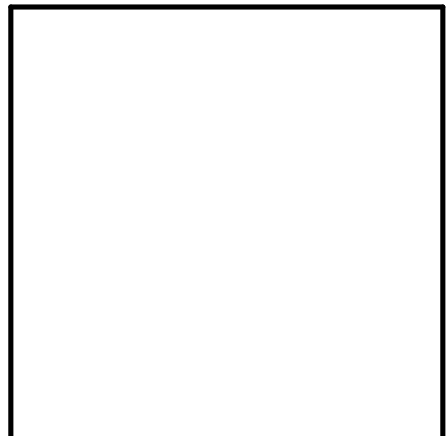
SHEET

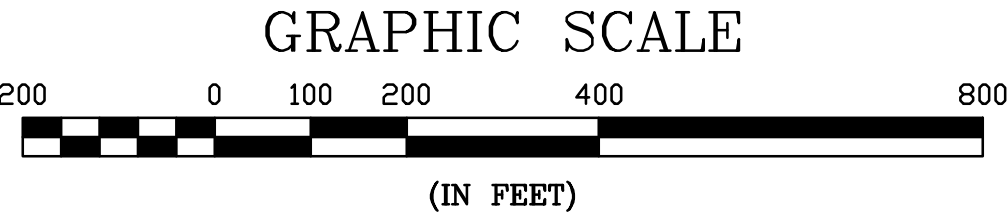
1
2
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10 - 11
12 - 16
17
18
19
EX-1
L-1

ARCHITECTURAL PLANS

PROPOSED BUILDING EXTERIOR ELEVATION VIEWS
PROPOSED BUILDING FLOOR PLAN
PROPOSED ADDITION EXTERIOR EAST ELEVATION

A.01 - A.04
A-1
A-0





ABUTTERS LIST (WITHIN 200 FT)		
TAX MAP	LOT NO.	NAME & ADDRESS
	G 4-1-0	MJLARE, LLC 65 BUCKS HILL ROAD DURHAM, NH 03824
	G 4-0-0	16 INDUSTRIAL PARK, LLC 340 CENTRAL AVE SUITE 202 DOVER, NH 03820
	G 4-C-1	R&R BERSTEIN HOLDINGS LLC 29 INDUSTRIAL PARK ROAD DOVER, NH 03820
	G 4-B-0	CAMH LLC 35 INDUSTRIAL PARK ROAD DOVER, NH 03820
	G 4-B-1	BOND ENTERPRISES LLC 174 ESTES ROAD ROCHESTER, NH 03867
	G 3-B-0	85 INDUSTRIAL PARK II LLC 210 COMMERCE DRIVE SUITE 300 PORTSMOUTH, NH 03801
	G 5-0-0	BOSTON & MAINE RR IRON HORSE PARK 500 WATER STREET J-910 JACKSONVILLE, FL 32202
	H 31-0-0	SOUSANE RUTH K & QUINIAN NANCY K 30 LITTLEWORTH ROAD DOVER, NH 03820
	G 4-C-0	R&L REALTY, LLC 7 INDUSTRIAL PARK DRIVE DOVER, NH 03820
	G 4-A-0	KAY DUANE D & KAY MARY M 131 COLUMBUS AVENUE DOVER, NH 03820
	G 4-A-1	BEARINGS INC 6920 POINT INVERNESS WAY STE 301 FORT WAYNE, IN 46804
	G 6-0-0	29 LITTLEWORTH ROAD, LLC C/O NORTHERN POOL & SPA 291 HAROLD DOW HIGHWAY ELIOT, ME 03903

PLANNING FILE NO.: SITE-2025-0017

NEIGHBORHOOD PLAN

14,560 SF LIGHT INDUSTRIAL/COMMERCIAL & 6,200 SF WAREHOUSE ADDITION
14 INDUSTRIAL PARK ROAD
DOVER, NH 03820

16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NH 03820

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

DATE: 10-2-25

SCALE: 1"=200'

DRAWN BY: WEJ

DESIGN BY: JRG

APPROVED BY: SJH

PROJECT NO: 25114

FILE: SITE.dwg

NO.

1

PER TRC COMMENTS

SJH

11-13-25

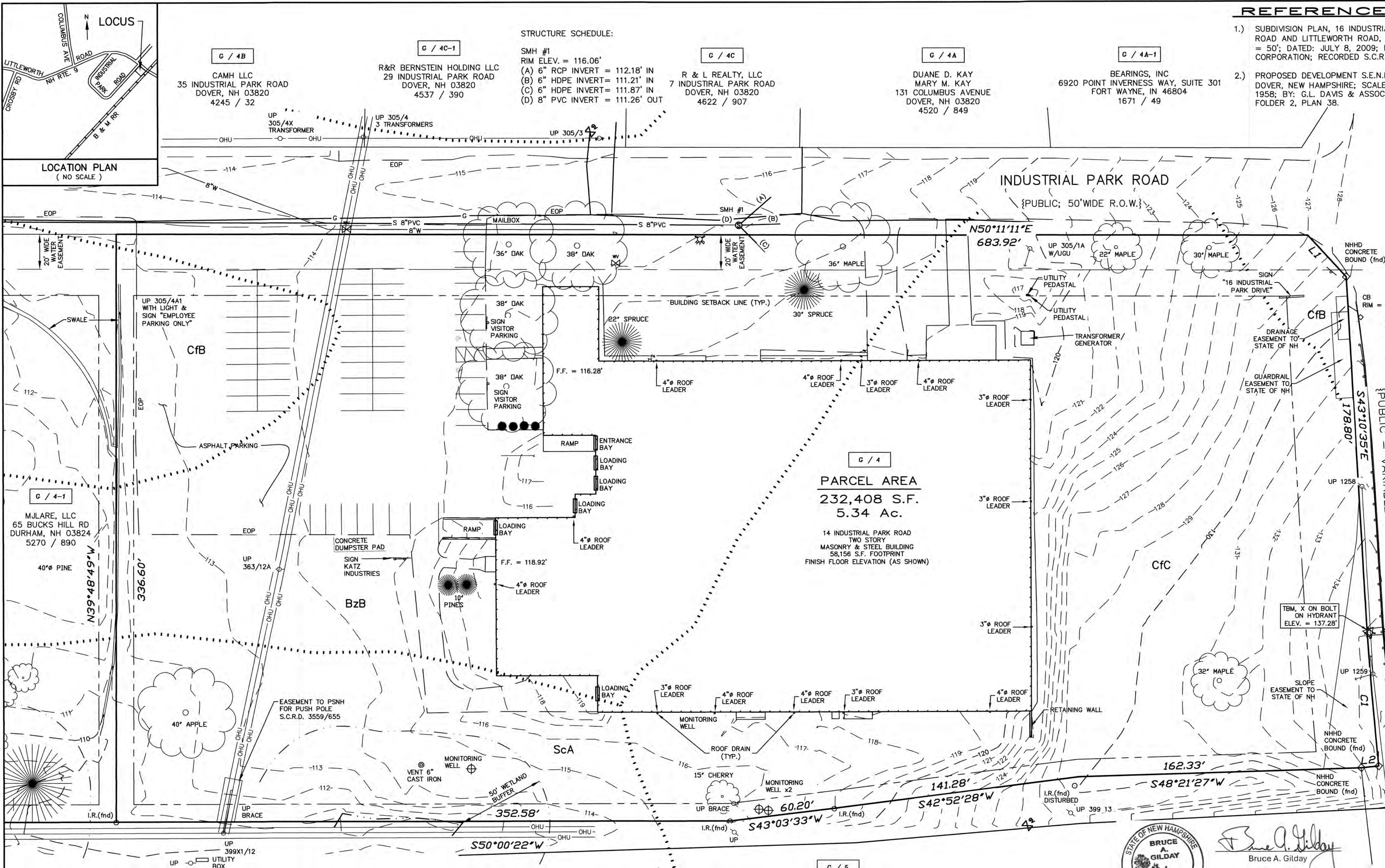
DATE

APPD

REVISION

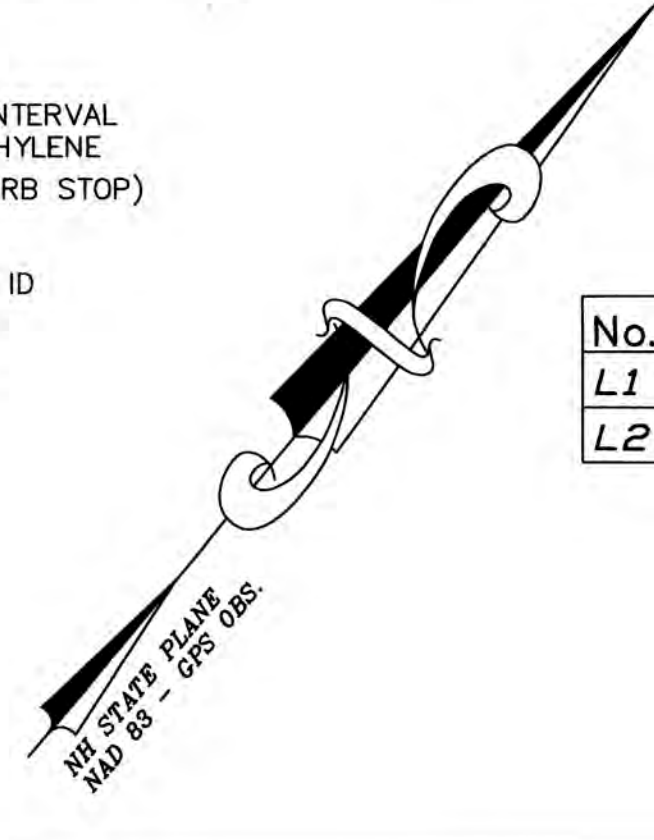
CIVILWORKS NEW ENGLAND

181 Watson Road, PO Box 1166
Dover, NH 03821
603.749.0443



LEGEND				
—G—	GAS	—GAS MAIN AND / OR SERVICE	—56—	CONTOUR LINE — 2' INTERVAL
—UGU—	UGU	UNDERGROUND UTILITIES (POWER, TELECOMMUNICATIONS, CABLE TELEVISION)	HDPE	HIGH DENSITY POLYETHYLENE
—OHU—	OHU	OVERHEAD ELECTRIC LINE	WSO	WATER SHUT-OFF (CURB STOP)
—UP—	UP	UTILITY POLE	HYD	FIRE HYDRANT
—INV—	INV	INVERT	WV	WATER GATE VALVE
—RIM—	RIM	STRUCTURE RIM	SMH	SEWER MANHOLE AND ID
N —247,351.744	NORTHING		CB	CATCH BASIN AND ID
E —1,199,437.985	EASTING		S.C.R.D.	STRAFFORD COUNTY REGISTER OF DEEDS
	ELEV.		—	SOIL BOUNDARY
			—	SOIL TYPE
			—	STORCH

NO.	DATE	DESCRIPTION	BY	CHK
MSA 24-2654 REVISIONS				
25114	EXIST COND	24-12	11-75	
PROJECT NO	TYPE	FIELDBOOK & PAGES		



No.	Bearing	Distance
L1	S82°43'19"E	32.61'
L2	S44°19'10"W	10.17'

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	02°30'15"	2329.06	101.79	101.78	S44°25'42"E

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

REFERENCE PLANS:

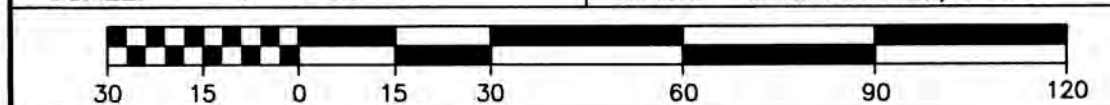
- SUBDIVISION PLAN, 16 INDUSTRIAL PARK, LLC., 16 INDUSTRIAL PARK ROAD AND LITTLEWORTH ROAD, DOVER, NEW HAMPSHIRE; SCALE: 1" = 50'; DATED: JULY 8, 2009; BY: TRITECH ENGINEERING CORPORATION; RECORDED S.C.R.D. PLAN 98-5.
- PROPOSED DEVELOPMENT S.E.N.H. INDUSTRIAL PARK PROPERTY LINES, DOVER, NEW HAMPSHIRE; SCALE: 1" = 100'; DATED: MARCH 31, 1958; BY: G.L. DAVIS & ASSOCIATES; RECORDED S.C.R.D. POCKET 6, FOLDER 2, PLAN 38.

NOTES:

- OWNER OF RECORD:
16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOLUME 5190, PAGE 36
S.C.R.D. VOLUME 5189, PAGE 1003
- G / 4** - DENOTES TAX MAP AND PARCEL NUMBER.
- PARCEL AREA = 232,408 S.F. / 5.34 Ac.
- THE INTENT OF THIS PLAN IS TO DEPICT THE PARCEL BOUNDARY AND EXISTING SITE CONDITIONS AS OF OCTOBER 10, 2025.
- ZONING DISTRICT: COMMERCIAL/MANUFACTURING (CM)
DIMENSIONAL REQUIREMENTS:
MINIMUM LOT SIZE = 20,000 S.F.
MAXIMUM LOT COVERAGE = 50 PERCENT
MINIMUM FRONTAGE = 100 FEET
BUILDING SETBACK REQUIREMENTS:
FRONT SETBACK = 35 FEET
SIDE SETBACK = 10 FEET
REAR SETBACK = 10 FEET
MAXIMUM BUILDING HEIGHT = 50 FEET
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP 33017C0320E, EFFECTIVE DATE 9/30/2015.
- BASIS OF BEARING IS NH STATE PLANE (NAD83) AND VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATION DATED OCTOBER 28, 2024.
- PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCNEANEY SURVEY ASSOCIATES OF NEW ENGLAND ON OCTOBER 28-31, 2024 WITH AN ERROR OF CLOSURE NOT GREATER THAN 1 IN 10,000.
- THE IMPROVEMENTS AND UTILITIES SHOWN ARE FROM OBSERVATIONS MADE IN THE FIELD OR REFERENCE PLANS. LOCATIONS OF UNDERGROUND UTILITIES NOT MARKED ON THE SURFACE WERE NOT LOCATED. ALL VISIBLE UTILITIES ARE SHOWN.
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
- THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.
- THE SOIL TYPES ON THE SITE ARE:
BzB BUXTON SILT LOAM, 3 TO 8 PERCENT SLOPES
CfB CHARLTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
CfC CHARLTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
ScA SCANTIC SILT LOAM, 0 TO 3 PERCENT SLOPES
THE SOURCE FOR THE SOIL TYPE DATA IS USDA NRCS WEB SOIL SURVEY
<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>
- WETLANDS SHOWN WERE DELINEATED BY BRUCE A. GILDAY, N.H.C.W.S. #088; N.H. C.S.S. #012 OF B A G LAND CONSULTANTS, ON AUGUST 14, 2025 IN ACCORDANCE WITH THE 1987 CORPS. OF ENGINEERS WETLANDS DELINEATION MANUAL AND LOCATED BY THIS OFFICE.

EXISTING CONDITIONS PLAN
PREPARED FOR
16 INDUSTRIAL PARK, LLC
TAX MAP G, LOT No. 4
14 INDUSTRIAL PARK ROAD
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

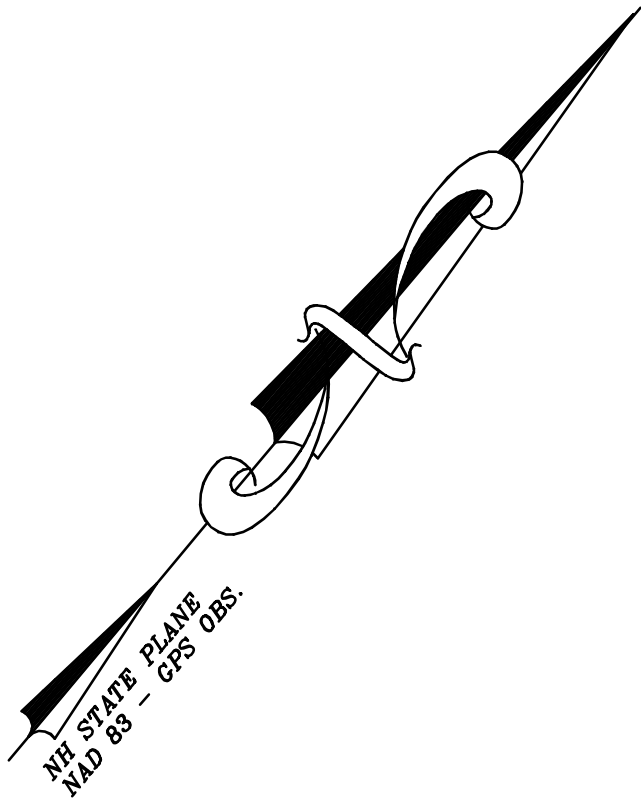
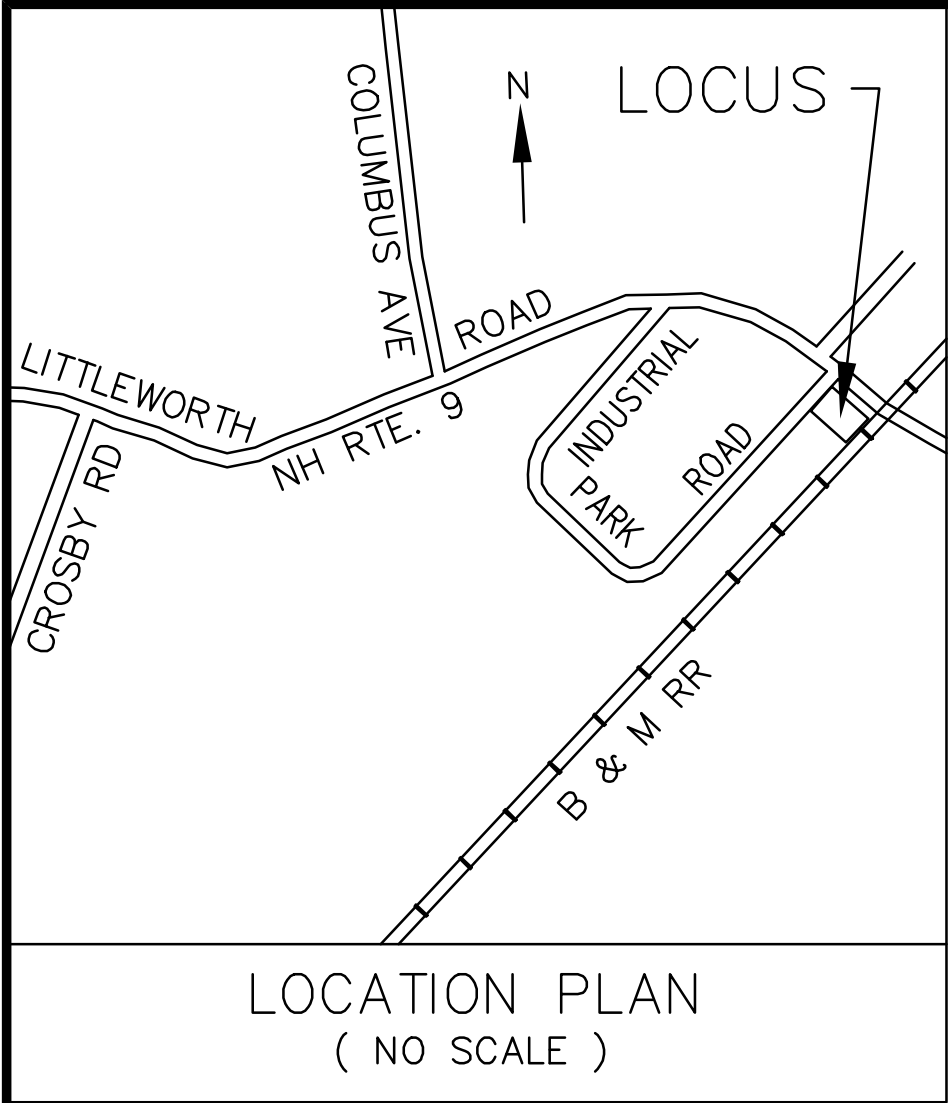
DRAWN BY: **RJM** FILE: MSA\2654\0\24-2654.EC1
SCALE: 1" = 30' DATE: NOVEMBER 7, 2025



McNeaney
Survey
Associates
of NEW ENGLAND
P.O. Box 1166 — 181 WATSON ROAD
DOVER, NH 03820 (603) 742-0911
SURVEYING — PLANNING — CONSULTING

DOVER NOTES:

- OWNER OF RECORD: 36 INDUSTRIAL PARK, LLC
1340 CENTRAL AVENUE
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOLUME 5190, PAGE 36
S.C.R.D. VOLUME 5189, PAGE 1003
2. G / 4 - DENOTES TAX MAP AND PARCEL NUMBER.
3. PARCEL AREA = 232.408 S.F. / 5.34 Ac.
4. THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A NEW 14,560 S.F. BUILDING AND A 6,200 S.F. BUILDING ADDITION ON THE EXISTING BUILDING. ALONG WITH GRADING & DRAINAGE IMPROVEMENTS, AND UNDERGROUND UTILITY SERVICE IMPROVEMENTS.
5. ZONING DISTRICT: COMMERCIAL/MANUFACTURING (CM)
DIMENSIONAL REQUIREMENTS:
- | | REQUIRED | EXISTING | PROPOSED |
|----------------------|-------------|--------------|--------------|
| MINIMUM LOT | 20,000 S.F. | 232,408 S.F. | 232,408 S.F. |
| MAXIMUM LOT COVERAGE | 50% | 25% | 34% |
| MINIMUM FRONTAGE | 100 FEET | 683.9 FEET | 683.9 FEET |
- BUILDING SETBACK REQUIREMENTS:
- | | | | |
|-------------------------|---------|------------|------------|
| FRONT SETBACK | 35 FEET | 29.83 FEET | 29.83 FEET |
| SIDE SETBACK | 10 FEET | 18.8 FEET | 11.1 FEET |
| REAR SETBACK | 10 FEET | 4.7 FEET | 12.6 FEET |
| MAXIMUM BUILDING HEIGHT | 50 FEET | <50 FEET | <50 FEET |
6. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP 33017C0320E, EFFECTIVE DATE 9/30/2015.
7. BASIS OF BEARING IS NH STATE PLANE (NAD83) AND VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATION DATED OCTOBER 28, 2024.
8. PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCNEANEY SURVEY ASSOCIATES OF NEW ENGLAND ON OCTOBER 28-31, 2024 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.
9. THE IMPROVEMENTS AND UTILITIES SHOWN ARE FROM OBSERVATIONS MADE IN THE FIELD OR REFERENCE PLANS. LOCATIONS OF UNDERGROUND UTILITIES NOT MARKED ON THE SURFACE WERE NOT LOCATED. ALL VISIBLE UTILITIES ARE SHOWN.
10. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DISSAFE 1-888-344-7233.
11. THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.
12. THE SOIL TYPES ON THE SITE ARE:
B2B SUTTON SILT LOAM, 3 TO 8 PERCENT SLOPES
C1B CHARLTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
C1C CHARLTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
SCa SCANTING SILT LOAM, 0 TO 3 PERCENT SLOPES
THE SOURCE FOR THE SOIL TYPE DATA IS USDA NRCS WEB SOIL SURVEY
<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>
13. WETLANDS SHOWN WERE DELINEATED BY BRUCE A. GILDAY, N.H.C.W.S. #088; N.H. C.S.S. #012. A 24 HOUR DELINEATION WAS MADE IN ACCORDANCE WITH THE AGREEMENT WITH THE 1987 COURSE OF ENGINEERS WETLANDS DELINEATION MANUAL AND LOCATED BY THIS OFFICE.
14. AS-BUILT PLANS OF THE SITE PLAN SHALL BE SUBMITTED ON PAPER AND IN DIGITAL FORMAT AUTOCAD DWG, AUTOCAD DXF OR ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
15. THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED.
16. THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
17. AS-BUILT CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE CITY OF DOVER COMMUNITY SERVICES REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
18. EROSION CONTROL NOTES INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM STRIP RATE FOR DISTURBED AREAS, SEEDING RATES, SEED MIXTURES, AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
19. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
20. ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SO BOTTOMS.
21. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED TO THE CITY OF DOVER PRIOR TO ANY CONSTRUCTION. A CONSTRUCTION SIGN SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
22. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
23. SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM, SATURDAY 9 AM-12 PM. CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR PLANNING DIRECTOR. WORK PRECLUDED ON SUNDAYS AND FEDERAL HOLIDAYS.
24. BUILDING ADDRESSES (INCLUDING APT/UNIT NUMBERS, IF APPLICABLE) SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
25. THE PROPOSED USE FOR THE SITE IS A 14,560 S.F. LIGHT INDUSTRIAL/COMMERCIAL BUILDING AND A 6,200 S.F. BUILDING ADDITION FOR WAREHOUSE SPACE.
26. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY: (SEE PROJECT VARIANCE/PERMIT SECTION)

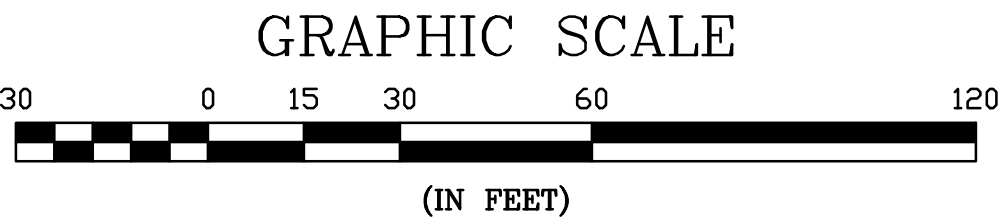
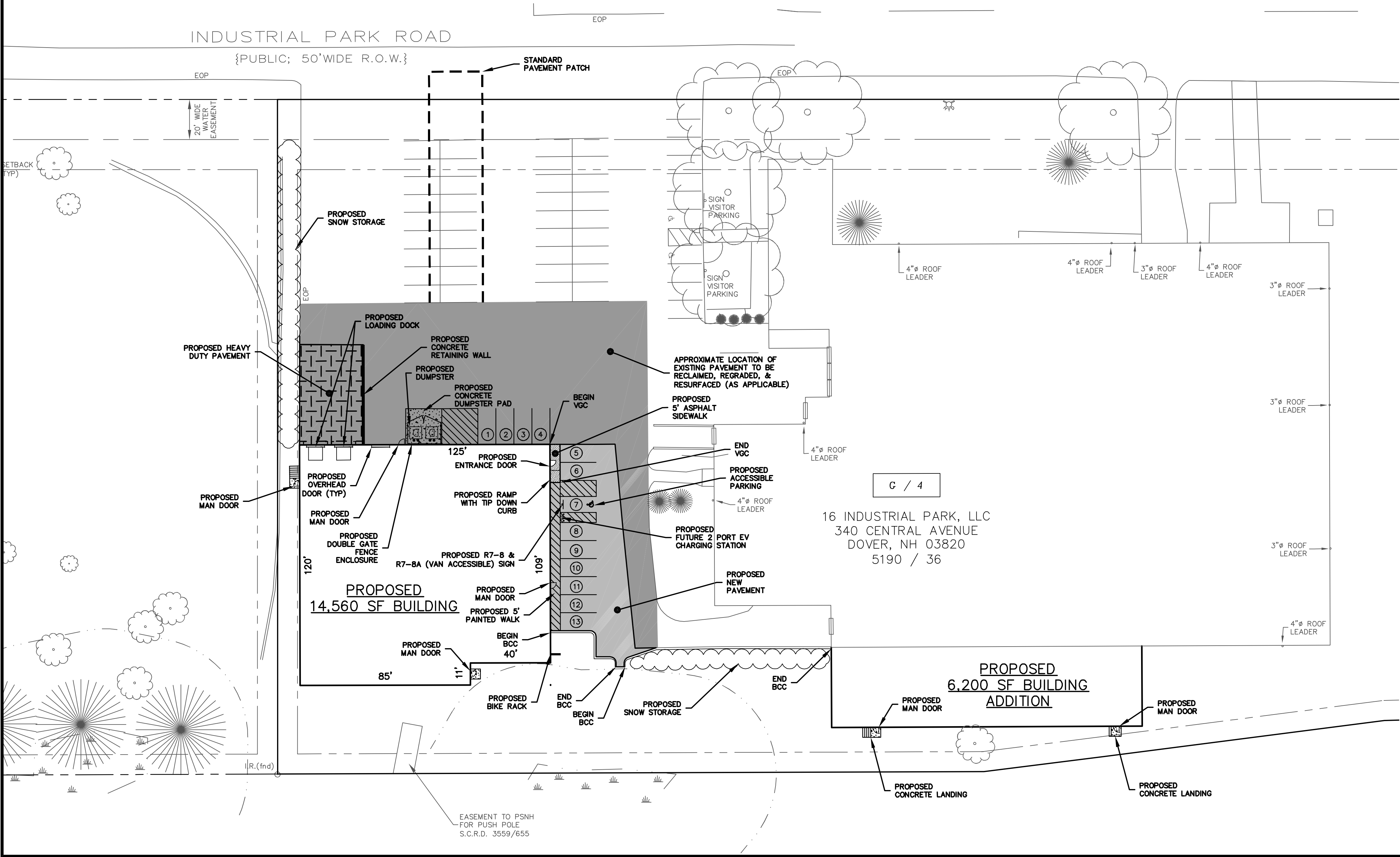


SITE PARKING CALCULATIONS
COMMERCIAL MANUFACTURING (CM) DISTRICT

USES:	MAXIMUM	PROPOSED
OFFICE: 1 SPACE/300 S.F. 200 S.F. x 1 / 300 S.F.=0.67	1	1
WAREHOUSE: 1 SPACE/800 S.F. 20,560 S.F. x 1 / 800 S.F.=25.7	26	12
TOTAL	27	13
ACCESSIBLE PARKING	1 (VAN)	1 (VAN)

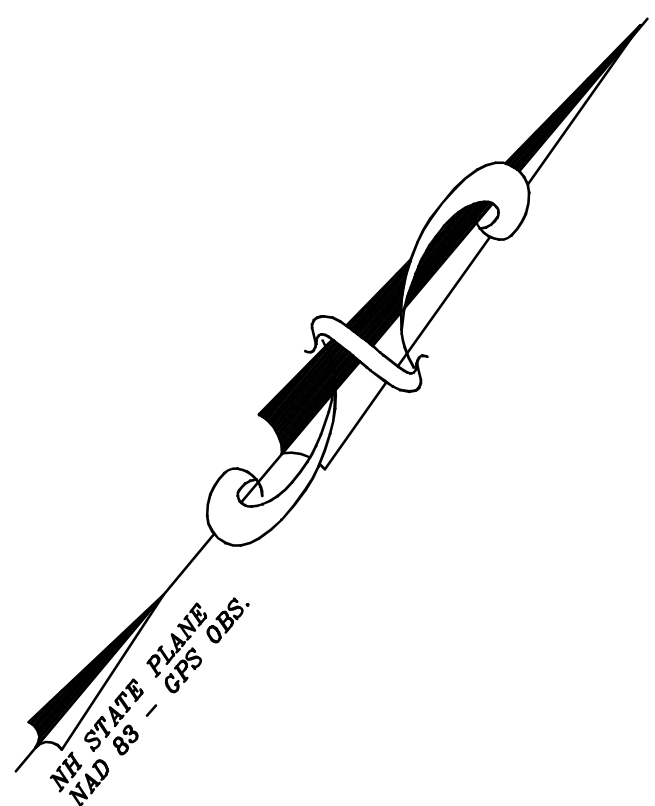
SNOW STORAGE CALCULATIONS
3,710 S.F. PAVEMENT $\frac{1 \text{ S.F. STORAGE}}{10 \text{ S.F. PAVEMENT}} = \pm 371 \text{ S.F.}$
SNOW STORAGE AREA PROVIDED $\pm 2,366.14 \text{ S.F.}$

RIM =
112.78
CB



PLANNING FILE NO.: SITE-2025-0017

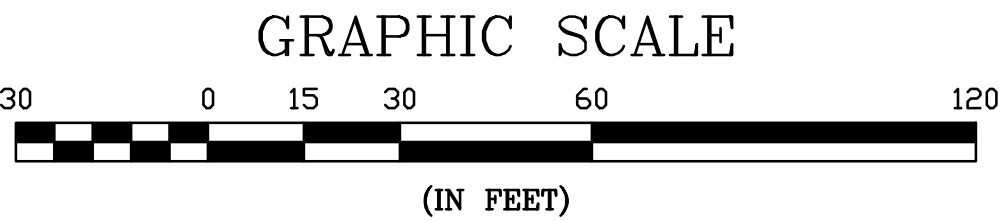
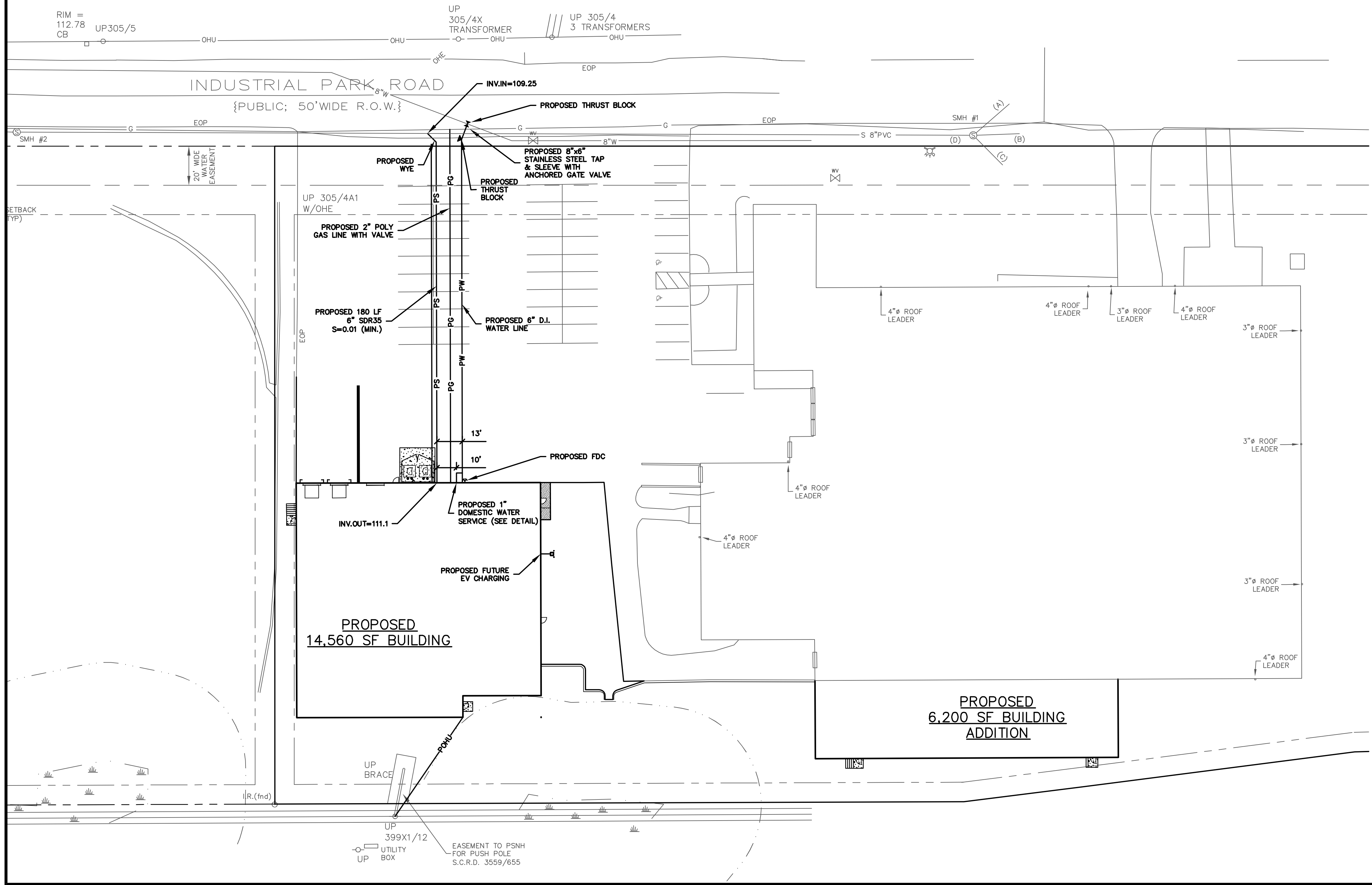
NOT FOR CONSTRUCTION FOR PERMIT USE ONLY		
	181 Watson Road, PO Box 1166 Dover, New Hampshire 03821 603.749.0443	
	DATE: 10-2-25	NO.
	SCALE: 1" = 30'	NO.
	DRAWN BY: WEJ	NO.
DESIGN BY: JRG	NO.	
APPROVED BY: JH	NO.	
PROJECT NO: 25114	NO.	
FILE: SITE.dwg	NO.	
PER TRC COMMENTS	REVISION	DATE
1		11-13-25
16 INDUSTRIAL PARK, LLC 340 CENTRAL AVENUE DOVER, NH 03820		
14,560 SF LIGHT INDUSTRIAL/COMMERCIAL & 6,200 SF WAREHOUSE ADDITION 14 INDUSTRIAL PARK ROAD DOVER, NH 03820		
6		



EXISTING SEWER STRUCTURE SCHEDULE:

SMH #1
RIM ELEV. = 116.06'
(A) 6" RCP INVERT = 112.18' IN
(B) 6" HDPE INVERT = 111.21' IN
(C) 6" HDPE INVERT = 111.87' IN
(D) 8" PVC INVERT = 111.26' OUT

SMH #2
RIM ELEV. = 112.62'
(B) 8" PVC INVERT = 107.45' IN
(C) 8" PVC INVERT = 107.30' OUT



PLANNING FILE NO.: SITE-2025-0017

[illegible]

UTILITY PLAN

**14,560 SF LIGHT
INDUSTRIAL/COMMERCIAL &
6,200 SF WAREHOUSE ADDITION
14 INDUSTRIAL PARK ROAD
DOVER, NH 03820**

**16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NH 03820**

8

1. THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A NEW 14,560 S.F. BUILDING AND A 6,200 S.F. BUILDING ADDITION ON THE EXISTING BUILDING, ALONG WITH GRADING & DRAINAGE IMPROVEMENTS, AND UNDERGROUND UTILITY SERVICE IMPROVEMENTS.

A 14,560 S.F. LIGHT INDUSTRIAL/COMMERCIAL & LATITUDE N43° 11' 09"
6,200 S.F. WAREHOUSE ADDITION LONGITUDE W70° 54' 00"
TAX MAP G, LOT 4-0
14 INDUSTRIAL DRIVE
DOVER, NH
DISTURBED AREA
±53,717 S.F..

1. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY TIME BEFORE DISTURBED AREAS ARE STABILIZED.

1. CONTRACTOR SHALL PREPARE THE SWPPP, FILE FOR AND OBTAIN THE NOI A MINIMUM OF 2 WEEKS PRIOR TO COMMENCEMENT OF SITE WORK.
2. EROSION TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S PRIOR TO EARTH MOVING ACTIVITIES.
3. ALL EROSION CONTROL AND PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCING EARTH MOVING OPERATIONS.
4. SELECTIVE DEMOLITION.
5. REGRADE SITE TO SUBGRADE.
6. TEMPORARY WATER DIVERSION (SWALES, BASINS) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
7. SWALES (AS APPLICABLE) SHALL BE CONSTRUCTED EARLY ON IN THE CONSTRUCTION SEQUENCE AND BEFORE ROUGH GRADING OF THE SITE AND ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. INSTALL DRAINAGE STRUCTURES AND CONTROLS.
9. INSTALL FOUNDATION FOOTINGS AND WALLS.
10. INSTALL UTILITIES.
11. PLACE GRAVELS AND FINE GRADE.
12. STABILIZE ROADWAYS AND PARKING AREAS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
13. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDDED (AS APPLICABLE) WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
14. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
15. IN ALL CASES THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION AND IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
16. ALL TEMPORARY EROSION CONTROL MEASURES AND ALL DISTURBED AREAS ARE STABILIZED REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND FILE THE EPA - N.O.T.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED.

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

1. INSTALLATION

- a. USE SILT BARRIER AS PERMETER CONTROLS, PARTICULARLY AT THE LOWER OR DOWN SLOPE EDGE OF A DISTURBED AREA.
 - b. LEAVE A MINIMUM ADVANCE BETWEEN TOE AND SLOPE OF SILT BARRIER.
 - c. TRENCH IN THE SILT BARRIER ON THE UPHILL SIDE (6 INCHES DEEP BY 6 INCHES WIDE).
 - d. INSTALL STAKES ON THE DOWNHILL SIDE OF THE SILT BARRIER.
 - e. CURVE THE END OF THE SILT BARRIER UP-GRADIENT TO HELP IT CONTAIN RUNOFF.
2. SEQUENCE OF INSTALLATION
- a. SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
3. MAINTENANCE
- a. SILT BARRIERS SHOULD BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
 - b. SILT BARRIERS HAVE A USEFUL LIFE OF ONE SEASON, ON LONGER CONSTRUCTION PROJECTS, SILT BARRIERS SHOULD BE REPLACED PERIODICALLY TO MAINTAIN EFFECTIVENESS.
 - c. REMOVE SEDIMENT WHEN IT REACHES ONE-THIRD (1/3) THE HEIGHT OF THE SILT BARRIER.
 - d. REPLACE THE SILT BARRIERS WHERE THEY ARE TORN, WORN, OR OTHERWISE DAMAGED AND MONITOR PERFORMANCE TO ENSURE EFFECTIVE PERFORMANCE.
 - e. RETRENCH OR REPLACE ANY SILT BARRIER THAT IS NOT PROPERLY ANCHORED TO THE GROUND.
- f. IF THERE IS EVIDENCE OF END FLOW ON PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER LOCATING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDIMENT TRAPS.
- g. SILT BARRIERS SHOULD BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE EDGES OF THE BARRIERS, THE BARRIERS SHOULD BE REPLACED WITH LARGE VOLUMES OF WATER BEHIND THEM.
 - h. IF THE SILT BARRIERS SHOULD BE REPLACED WITH A TEMPORARY CHECK DAM.

1. TIMING

- a. APPLY MULCH PRIOR TO ANY STORM EVENT. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS. IN OTHER AREAS, WHERE THERE IS A RAIN RANGE FROM 1 TO 30 DAYS OF INACTIVITY ON A AREA, THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. PROFESSIONAL JUDGEMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON AND YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE RAIN RANGE FROM 1 TO 30 DAYS OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.
- c. WITHIN 100 FEET OF RIVERS, STREAMS, WETLANDS, AND IN LAKE AND POND WATERSHEDS, THE TIME PERIOD OF WHICH MULCHING SHOULD TAKE OCCUR SHOULD BE NO GREATER THAN SEVEN (7) DAYS. THIS SEVEN DAY LIMIT SHOULD BE REDUCED FURTHER DURING WET WEATHER PERIODS.
2. APPLICATION RATE
- a. MULCH SHALL BE APPLIED AT A RATE OF BETWEEN 1.5 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 100 SQ. FEET.
- b. GUIDELINES FOR WINTER MULCH APPLICATION. WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 150-200 POUNDS OF HAY OR STRAW PER ACRE WITH ABOUT 4 INCHES IN DEPTH. A TACKIFIER MAY BE ADDED TO THE MULCH.
3. MAINTENANCE
- a. ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINFORMS. CHECK FOR SIGNS OF EROSION OR DISPLACEMENT OF THE MULCH. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.
- b. NETS MUST BE INSPECTED AFTER RAIN EVENTS FOR DISLOCATION OR FAILURE AND SHOULD BE REPAIRED AS NECESSARY.
- c. INSPECTIONS SHOULD TAKE PLACE UNTIL THE SITE IS ESTABLISHED.
- d. EROSION CONTROL MATS/MULCH USED FOR TEMPORARY STABILIZATION SHOULD BE LEFT IN PLACE. VEGETATION ADDS STABILITY AND SHOULD BE PROMOTED.

1. SEEDBED PREPARATION

- a. STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
 - b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
 - c. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - i) APPLY FERTILIZER AT A RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER OR EQUIVALENT.
 - ii) APPLY LIMESTONE AT A RATE OF 3 TONS PER ACRE OR 138 POUNDS PER 1,000 SQUARE FEET.
2. SEEDING
- a. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CRILPACKER TYPE SEEDER OR HYDROSEEDER (SUMMARY INCLUDING SEED AND FERTILIZER) WITH A SEEDING DEPTH FROM QUARTER (1/4) TO A HALF (1/2) INCH.
 - b. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
 - c. TEMPORARY SEEDING BETWEEN MAY 15TH AND AUGUST 15TH SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE.
 - d. VEGETATED GRASS COVERING 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15TH.
3. MAINTENANCE
- a. TEMPORARY SEEDING SHALL BE INSPECTED PERIODICALLY, AT A MINIMUM, 85% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER FABRICS, CHECK DAMS, ETC.).

1. BEDDING - STONES LARGER THAN 2 INCHES, TRASH, ROOTS, AND OTHER DEBRIS INTERFERING WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA SHOULD BE REMOVED. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF 4" TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL.

2. FERTILIZER
- a. LIME AND FERTILIZER SHOULD BE WORKED INTO THE SOIL TO A DEPTH OF 4 INCHES USING A DISC, SPRING TOWH THARROW, OR OTHER SUITABLE EQUIPMENT PRIOR TO OR AT THE SAME TIME OF SEEDING.
 - b. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE OF WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER.
 - c. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE @ 138 LBS. PER 1,000 S.F.
LOW PHOSPHATE (N-P205-K20) FERTILIZER @ 13.8 LBS. PER 1,000 S.F.
3. SEED MIXTURE (RECOMMENDED)
- RATE:
- | TYPE | LBS. PER ACRE | LBS. PER 1,000 S.F. |
|------------------|---------------|---------------------|
| TALL FESCUE | 20 | 0.45 |
| CREeping RED | 20 | 0.45 |
| FESCUE | | |
| BIRDFOOT TREFOIL | 8 | 0.20 |
| TOTAL | 48 | 1.10 |
4. SEEDING
- a. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST LIGULE FROST.
 - b. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER) WITH A SEEDING DEPTH FROM A QUARTER (1/4) TO A HALF (1/2) INCH.
 - c. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED SHOULD BE ACHIEVED PRIOR TO OCTOBER 15TH. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.
5. HYDROSEEDING
- a. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. THE USE OF STRAW MULCH ON CRITICAL AREAS IS PREFERRED SINCE IT GRANTS BETTER SLOPE PROTECTION BY USING ADHESIVE MATERIALS.
 - b. SLOPES MUST BE NO STEEPER THAN 2 TO 1 (2 FEET HORIZONTALLY TO 1 FOOT VERTICALLY).
 - c. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
6. MAINTENANCE
- a. PERMANENT SEEDED AREAS SHOULD BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION, INSPECTIONS, MAINTENANCE, AND CORRECTIVE ACTIONS SHOULD CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.
 - b. SEEDED AREAS SHOULD BE MOWED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION, WITH MOWING HEIGHT AND FREQUENCY DEPENDENT ON TYPE OF GRASS COVER.
 - c. BASED ON INSPECTION, AREAS SHOULD BE RESEEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
 - d. IF EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS RESIDED WITH OTHER TEMPORARY MEASURES USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.
 - e. AT A MINIMUM, 85% OF THE SEED SHOULD BE COVERED BY VEGETATION.

1. SPECIFICATIONS

- a. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE BARRIER SHOULD BE LESS THAN ONE ACRE.
- b. ANY RESULTANT PONDING OF STORMWATER MUST NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.
3. INSTALLATION
 - a. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED AND BEFORE LAND-DISTURBANCE ACTIVITIES BEGIN IN AREAS WITH EXISTING STORM DRAIN SYSTEMS.
 - b. PROTECT ALL INLETS THAT COULD RECEIVE STORMWATER FROM YOUR CONSTRUCTION PROJECT.
 - c. USE IN CONJUNCTION WITH OTHER EROSION PREVENTION AND SEDIMENT CONTROL BMPs.
 - d. DESIGN YOUR INLET PROTECTION TO HANDLE THE VOLUME OF WATER FROM THE AREA BEING DRAINED. ENSURE THAT THE DESIGN IS SIZED APPROPRIATELY.
3. MAINTENANCE
 - a. INSPECT INLETS BARRIERS FREQUENTLY, BEFORE AND AFTER EACH RAINFALL EVENT AND REPAIR WHEN NECESSARY.
 - b. SEDIMENT SHOULD BE REMOVED AND THE STORM DRAIN SEDIMENT BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE BARRIER.
 - c. REMOVED SEDIMENT SHOULD BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - d. PATCH STRIPS, SIDEWALKS, AND OTHER PAVED AREAS REGULARLY.
 - e. ALL CATCH BASINS AND STORM DRAIN INLETS MUST BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED

AS INSTALLED IN THE SEQUENCE OF MAJOR ACTIVITIES THE SILT BARRIERS SHALL BE INDICATED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED AND MULCH TREATMENT. FOURTEEN (14) DAYS AFTER THE LAST DISTURBANCE, ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.

g. WASTE MATERIALS

- a. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A CONTAINER OR CONTAINERS AND NO WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- b. HAZARDOUS WASTE
a. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS. BY THE MAINTENANCE SITE PERSONNEL WILL BE INSTRUCTED IN THE PRACTICES BY THE SUPERINTENDENT.
- c. SANITARY WASTE
a. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

THE PROJECT PROPONENT IS RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES DURING CONSTRUCTION AND THE PROPERTY OWNER IS RESPONSIBLE AFTER CONSTRUCTION IS COMPLETE.

1. CATCH BASINS & STORMWATER TREATMENT STRUCTURES SHOULD BE INSPECTED ON A MONTHLY BASIS AND/OR AFTER A MAJOR RAINFALL EVENT TO ASSURE THAT DEBRIS OR SEDIMENTS DO NOT REDUCE THE EFFECTIVENESS OF THE SYSTEM.

A. MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL SANITARY EXPOSURE OF MATERIALS AND SUBSTANCE DURING CONSTRUCTION TO STORMWATER RUNOFF:

GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES THAT WILL BE FOLLOWED ON SITE DURING

1. THE CONSTRUCTION PROJECT:
 - a. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
 - b. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - d. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
 - e. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - f. WHENEVER FEASIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
2. HAZARDOUS PRODUCTS:
 - a. THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
 - b. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
 - c. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
 - d. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

1. PETROLEUM PRODUCTS:
 - a. ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED, ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
2. FERTILIZERS:
 - a. FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
3. PAINTS:
 - a. ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
4. CONCRETE TRUCKS:
 - a. CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA ON SITE.

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF CLEANUP MATERIALS AND TOOLS.
- b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- c. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- d. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OF LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- f. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT OCCURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
- g. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

THE PROJECT PROPONENT IS REQUIRED TO MANAGE CONSTRUCTION TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO CONTROLLING INVASIVE SPECIES AND CONTROLLING FUGITIVE DUST IN ACCORDANCE WITH ENV-A 1002.

THE RULE, AGR 3800, STATES: NO PERSON SHALL COLLECT, TRANSPORT, IMPORT, EXPORT, MOVE, BUY SELL, DISTRIBUTE, PROPAGATE OR TRANSPLANT ANY LIVING AND VABLE PORTION OF ANY PLANT SPECIES, WHICH INCLUDED ALL OF THEIR CULTIVARS AND VARIETIES, LISTED IN TABLE 3800.1, NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST". A COMPLETE COPY OF THE RULES CAN BE ACCESSED ON THE INTERNET AT [HTTP://AGRICULTURE.NH.GOV/TOPICS/PLANTS_INSECTS.HTM](http://AGRICULTURE.NH.GOV/TOPICS/PLANTS_INSECTS.HTM).

- a. ANY PERSON ENGAGED IN ANY ACTIVITY WITHIN THE STATE EMITS FUGITIVE DUST, OTHER THAN THOSE LISTED IN ENV-A 1002.02 (b), SHALL TAKE PRECAUTIONS THROUGHOUT THE DURATION OF THE ACTIVITY IN ORDER TO PREVENT, ABATE, AND CONTROL THE EMISSION OF FUGITIVE DUST.
- b. PRECAUTIONS REQUIRED BY (a) ABOVE, SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- i) THE USE OF WATER OR HYDROPHILIC MATERIAL ON OPERATIONS OR SURFACES, OR BOTH;
 - ii) THE APPLICATION OF ASPHALT, WATER, OR HYDROPHILIC MATERIAL, OR TARPS OR OTHER SUCH COVERS TO MATERIAL STOCKPILES;
 - iii) THE USE OF HOODS, FANS, FABRIC FILTERS, OR OTHER DEVICES TO ENCLOSE AND VENT AREAS WHERE MATERIALS PRONE TO PRODUCING FUGITIVE DUST ARE HANDLED;
 - iv) THE USE OF CONTAINMENT METHODS FOR SANDBLASTING OR SIMILAR OPERATIONS; AND
 - v) THE USE OF VACUUMS OR OTHER SUCTION DEVICES TO COLLECT AIRBORNE PARTICULATE MATTER.

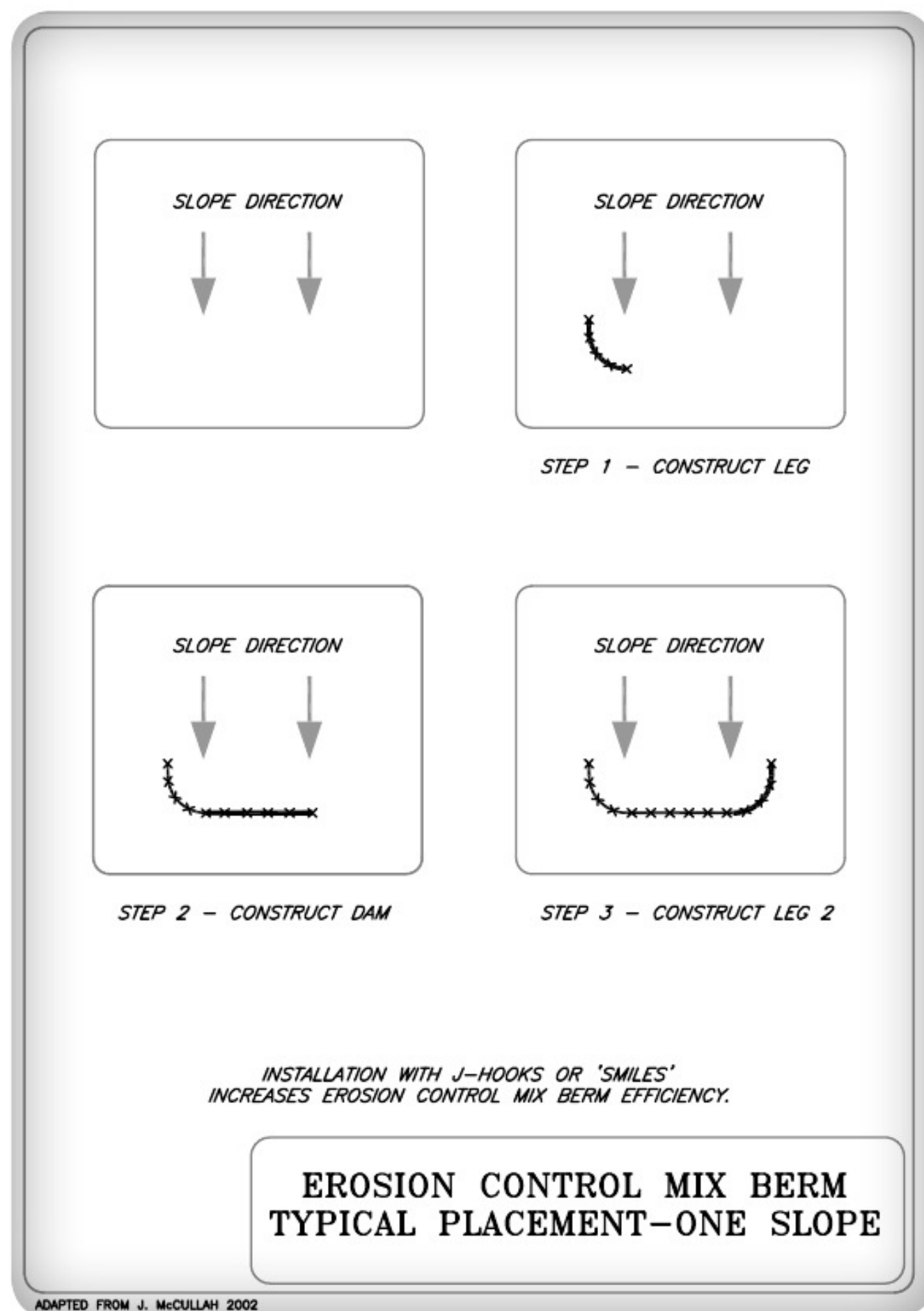
ALL SITE IMPROVEMENTS WHICH REQUIRE BLASTING OF LAND SHALL MEET THE FOLLOWING REQUIREMENTS PRIOR TO ANY BLASTING OCCURRING.

1. THE APPLICANT SHALL PREPARE A PRE-BLAST SURVEY OF ALL STRUCTURES WITHIN FIVE HUNDRED (500) FEET OF THE EXTERNAL BOUNDARIES OF THE PROPOSED LOT TO BE DEVELOPED. THIS SURVEY, ALONG WITH A MONITORING PLAN, SHALL BE ON FILE WITH THE DOWER FIRE AND RESCUE DIVISION. THE DOWER FIRE AND RESCUE DIVISION MAY REQUIRE A PRE-BLAST SURVEY OF ALL STRUCTURES WITHIN ONE THOUSAND (1000) FEET.
2. THE APPLICANT SHALL HOLD A NEIGHBORHOOD MEETING TO REVIEW THE BLASTING PLAN AND PRE-BLAST SURVEY, WITH REPRESENTATIVES OF THE FIRE AND RESCUE AND THE BLASTING COMPANY. THE MEETING SHALL BE PRIOR TO THE PRE-BLAST SURVEY WITHIN ONE THOUSAND (1000) FEET OF THE EXTERNAL BOUNDARY OF THE PROJECT PARCEL. SHALL BE NOTIFIED BY THE CERTIFIED MAIL (PAID FOR BY THE APPLICANT) OF THE MEETING NO LESS THAN TEN (10) DAYS PRIOR TO THE MEETING AND NO MORE THAN FIFTEEN (15) DAYS PRIOR TO THE MEETING. THE NOTICE SHALL STATE THE TIME AND DATE OF THE BLASTING AND CONTAIN A MAP SHOWING THE BLASTING AREA, THE 1,000-FOOT-RADIUS AREA, AND THE AREA, AND THE AREA.
3. PERMIT HOLDERS SHALL BE IN COMPLIANCE WITH NFPA 495, EXPLOSIVE MATERIALS CODE, IN ADDITION TO ALL OTHER ORDINANCES AND CODES SET FORTH IN THE CITY OF DOVER CODE, § 153-14A, STORMWATER MANAGEMENT, EROSION CONTROL AND FLOOD HAZARDS, OF THIS CHAPTER. AND THE CITY OF DOVER FIRE PREVENTION CODE, WHICH SPECIFICALLY PROHIBITS THE OVERSTOCK STORAGE OF EXPLOSIVES OR BULBING AGENTS. ALL STORAGE MAGAZINES SHALL BE LOCKED IN THE OPEN POSITION AT THE END OF THE DAY'S OPERATION FOR EASY INSPECTION BY CITY OFFICIALS.
4. BLASTING PERMITS MAY BE OBTAINED BY CALLING THE DOVER FIRE AND RESCUE DURING NORMAL BUSINESS HOURS. THE PERMITS ARE ONLY ACTIVE FOR THE DATES AND TIME SPECIFIED ON THE PERMIT.
5. PERMIT HOLDERS SHALL HOLD INSURANCE AGAINST CLAIMS FOR DAMAGES FOR PERSONAL INJURY AND PROPERTY WHICH MAY ARISE FROM THE PERFORMANCE OF THE WORK.
6. THE PERIODS OF PERMIT SHALL BE DURING THE FOLLOWING TIMES AND DATES: NO LATER THAN 6:00PM, MONDAY THROUGH FRIDAY, EXCLUDING FEDERAL HOLIDAYS.

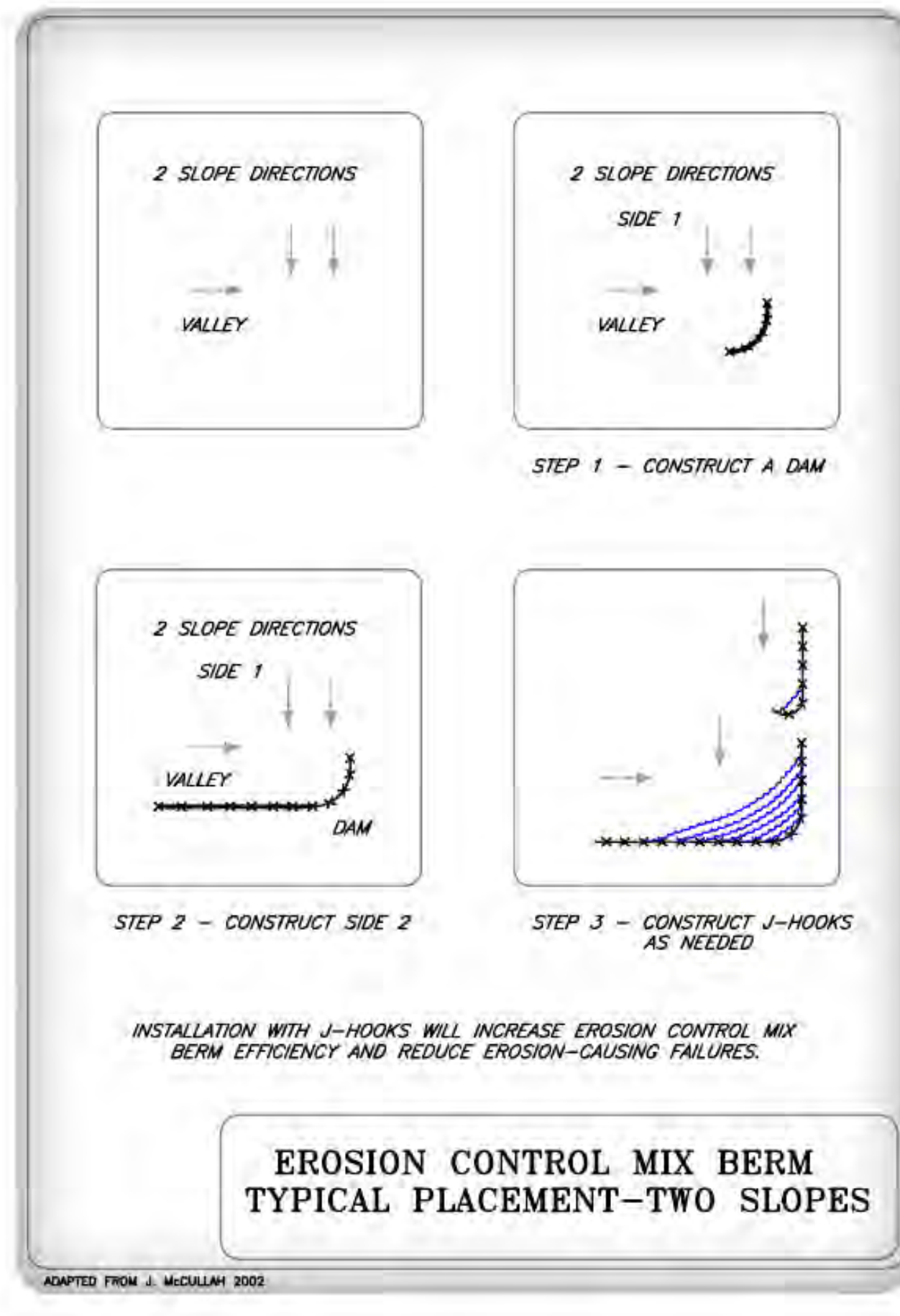
1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS AND MULCH SHALL BE COMPLETED BEFORE ANY SIGNIFICANT SNOW OR ICE ACCUMULATION OCCURS. SEEDING AND MULCHING SHALL BE COMPLETED BY OCTOBER 15TH ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT.
2. ALL DITCHES & SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH SHALL BE STABILIZED BY SEEDING AND MULCHING AFTER OCTOBER 15TH SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD AND PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS NOT COMPLETED BY THE END OF THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

DATE:	10-2-25							
SCALE:	NO SCALE							
DRAWN BY:	WEJ							
DESIGN BY:	JRG							
APPROVED BY:	SJH							
PROJECT NO.:	28114	1						
FILE SITE:	dwg	NO.						
		PER TRC COMMENTS						
		REVISION						
		APP'D DATE						
		DATE						

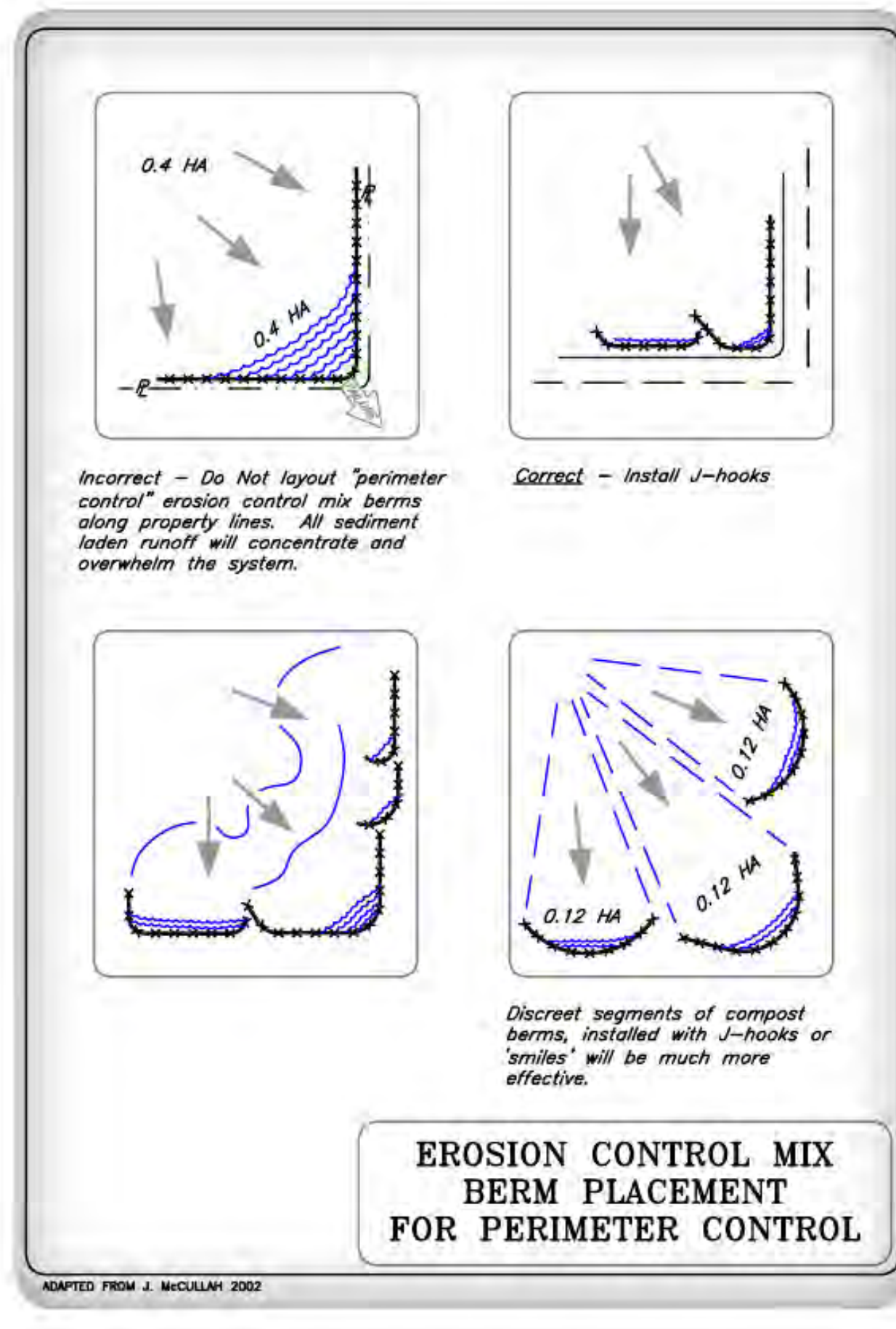
EROSION CONTROL NOTES		
9	14,560 SF LIGHT INDUSTRIAL/COMMERCIAL & 6,200 SF WAREHOUSE ADDITION 14 INDUSTRIAL PARK ROAD DOVER, NH 03820	16 INDUSTRIAL PARK, LLC 340 CENTRAL AVENUE DOVER, NH 03820



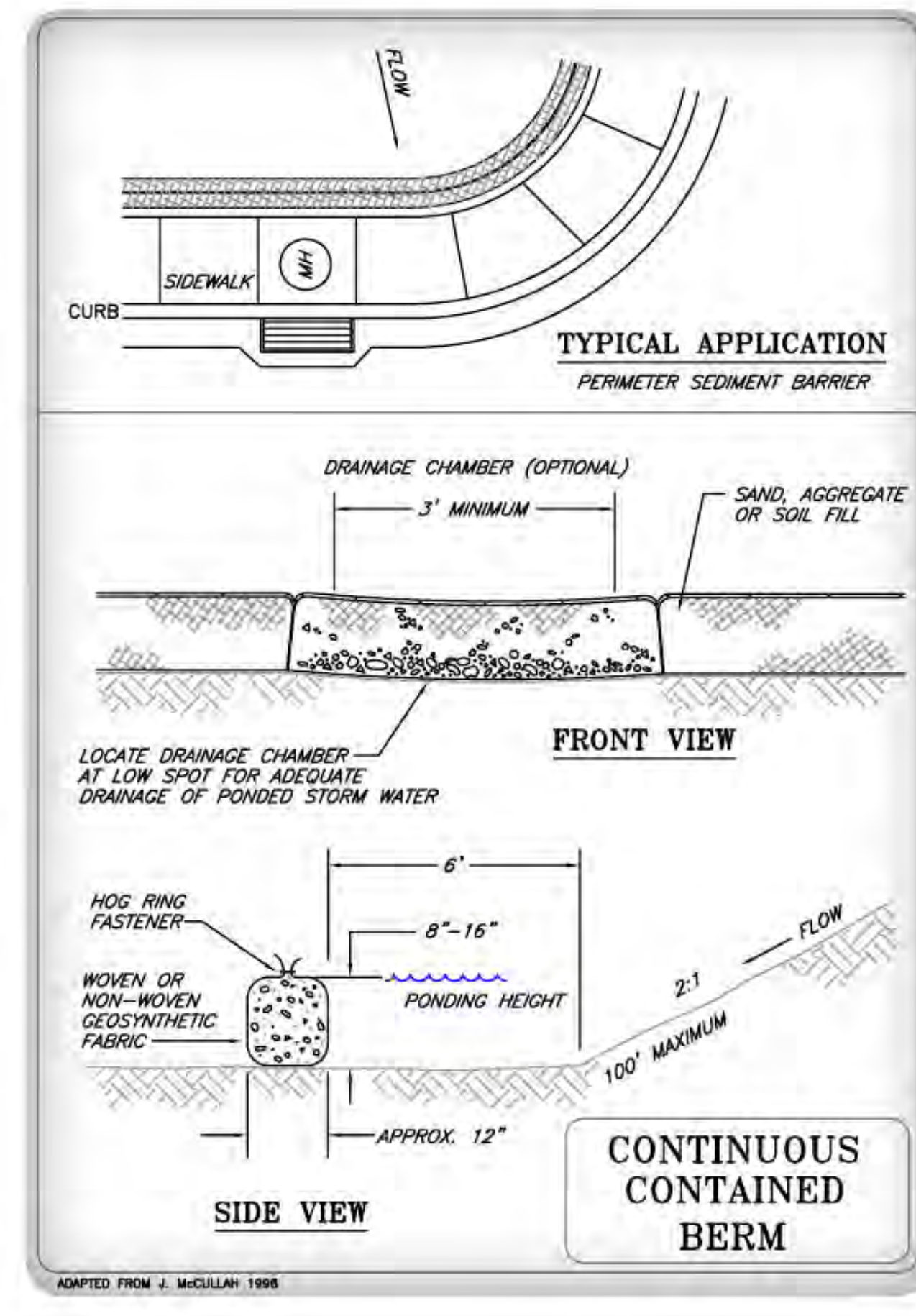
DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3



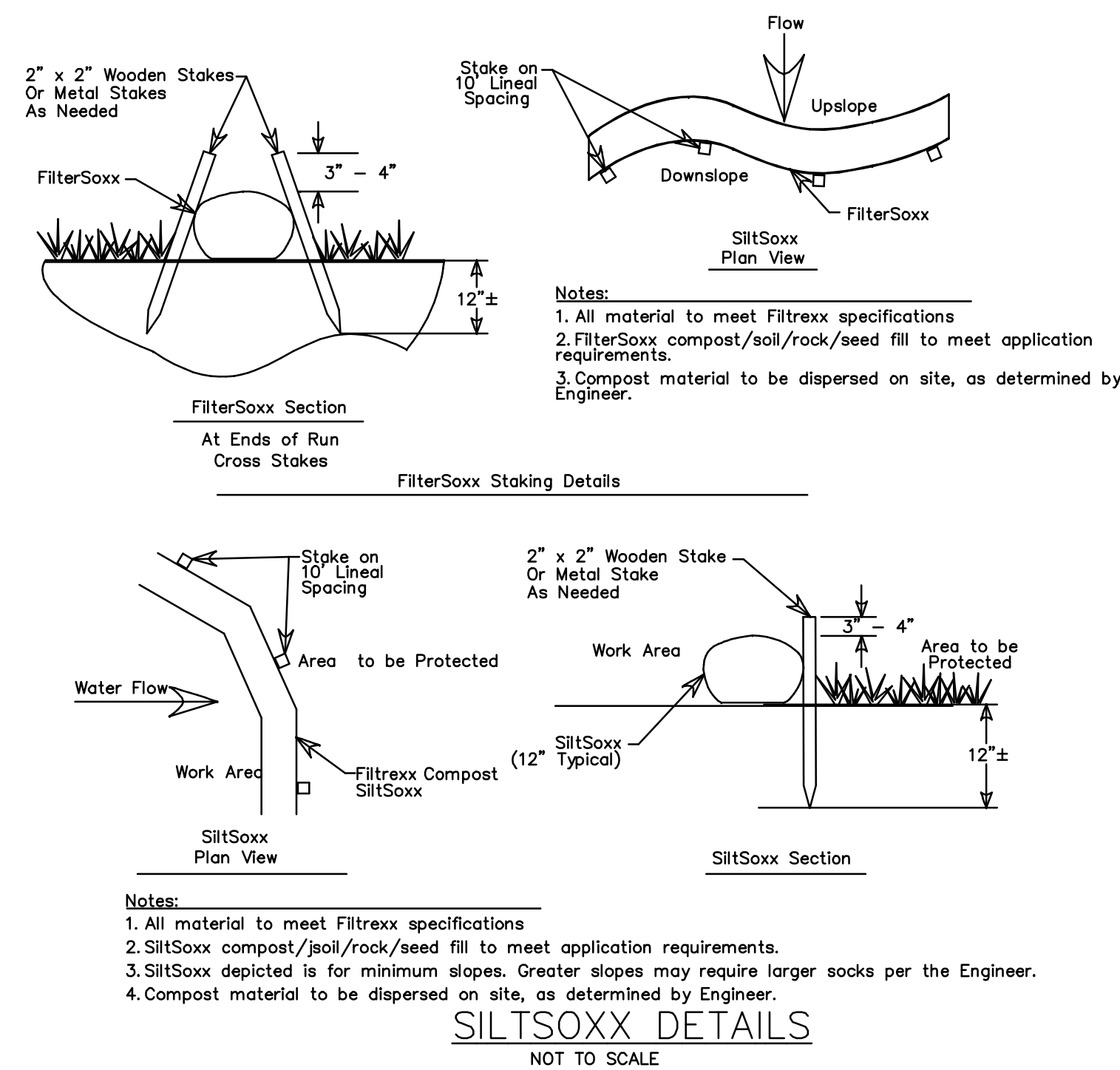
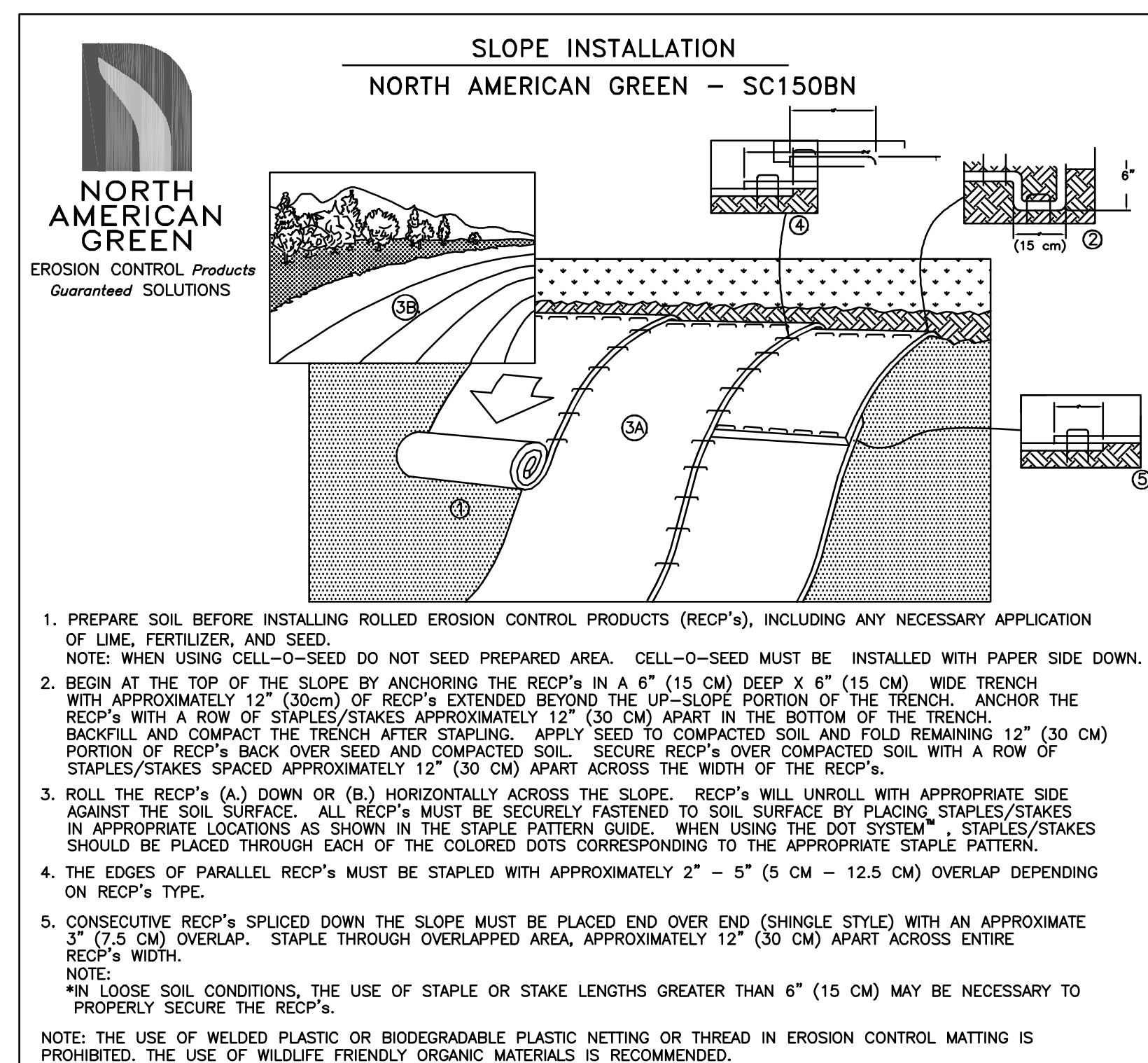
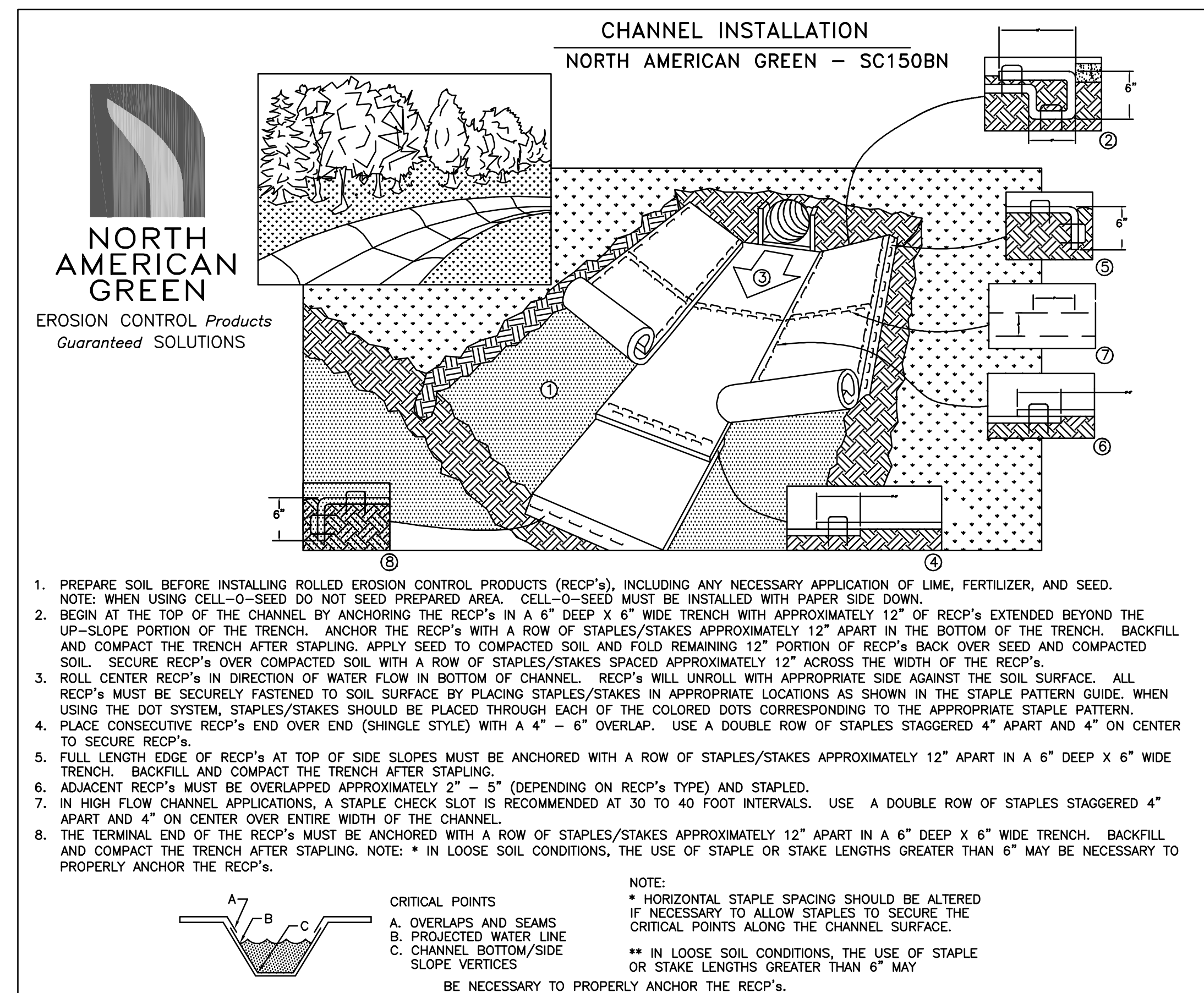
DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3

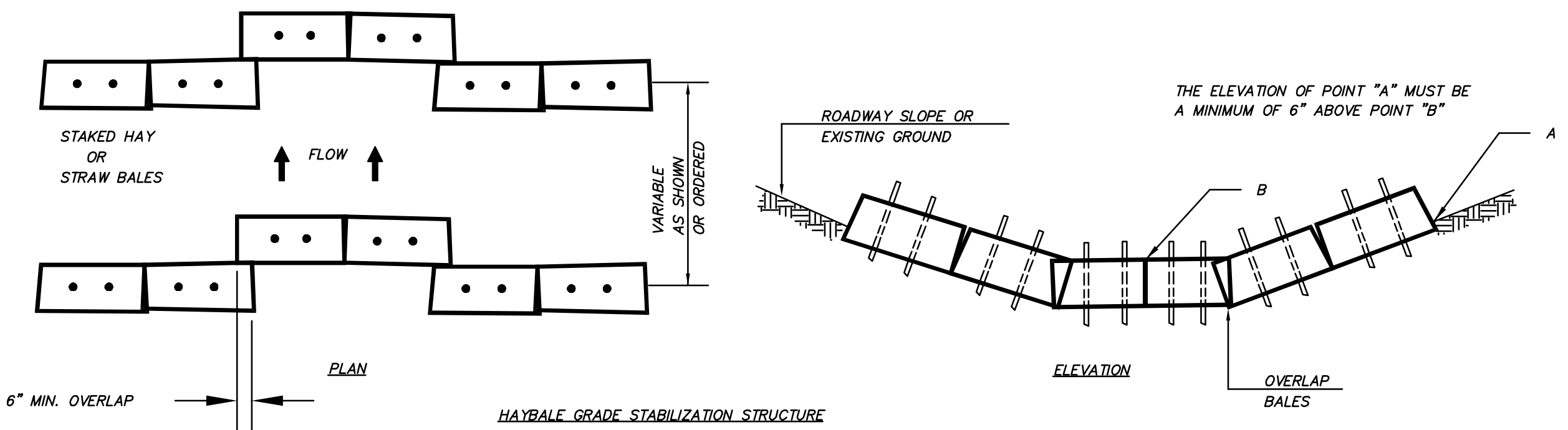


DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3

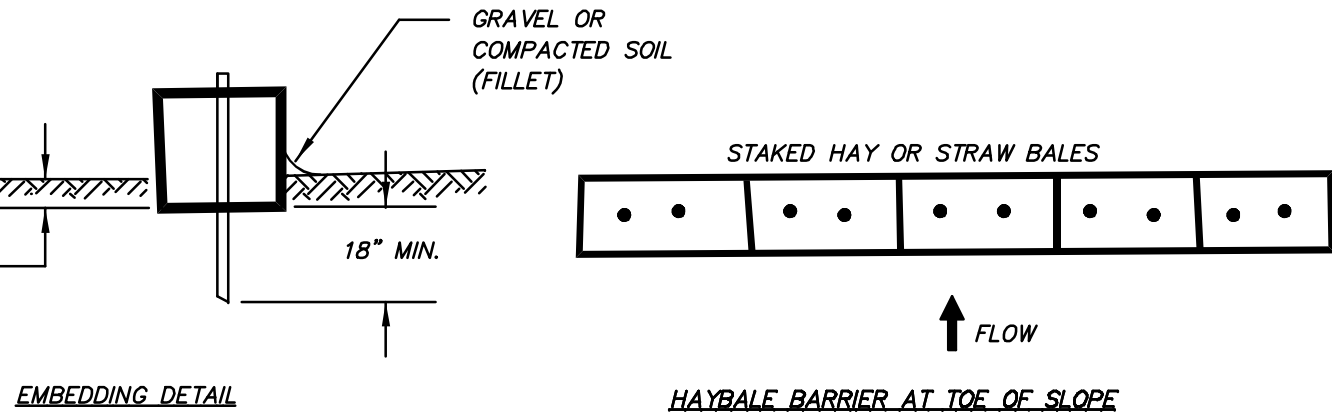


DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3



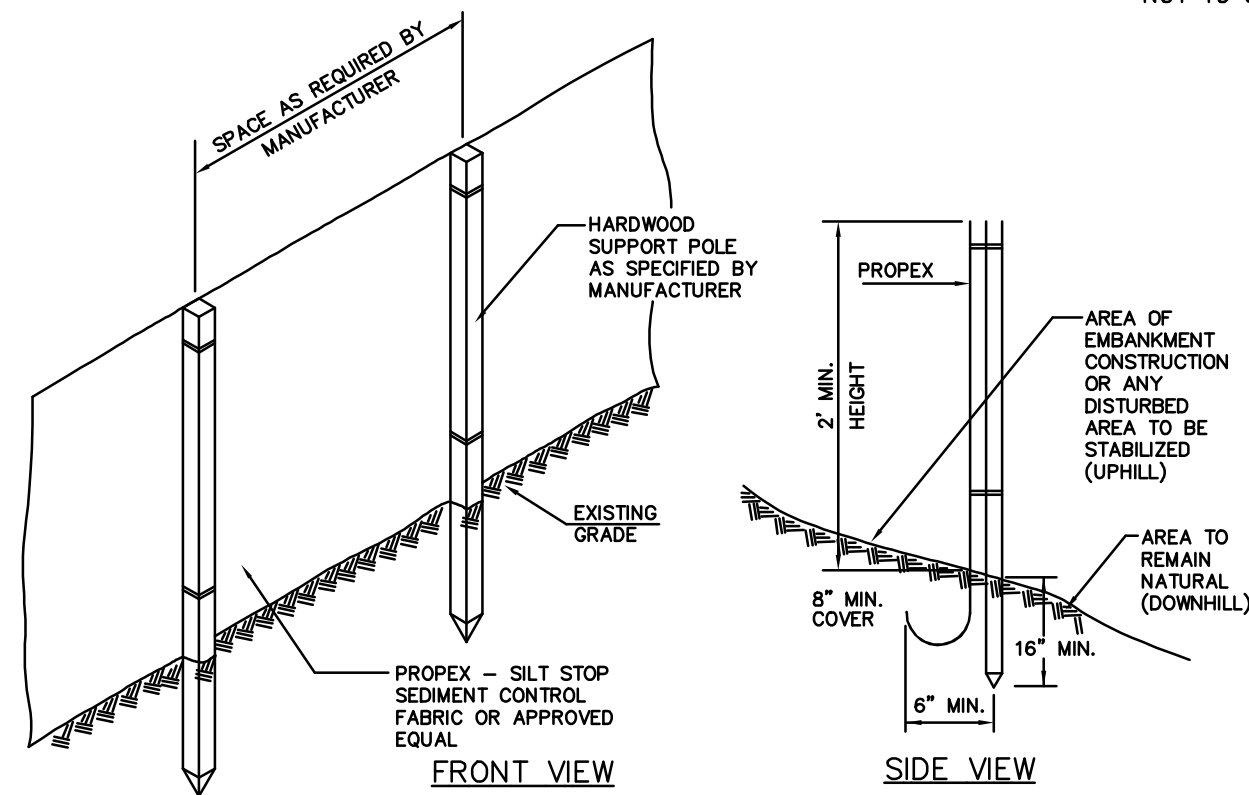


1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY 2" x 2" STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
6. REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENT PRIOR TO REMOVING HAYBALES.



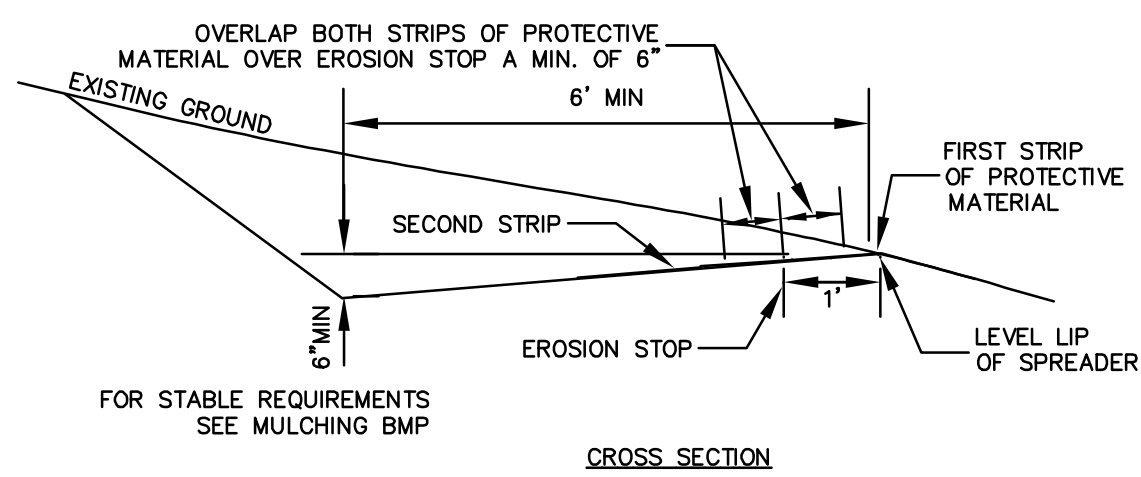
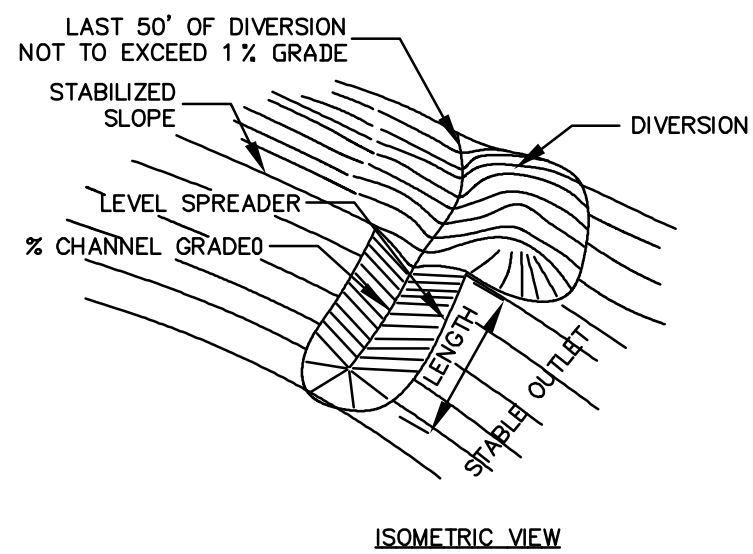
HAYBALE NOTES AND DETAILS

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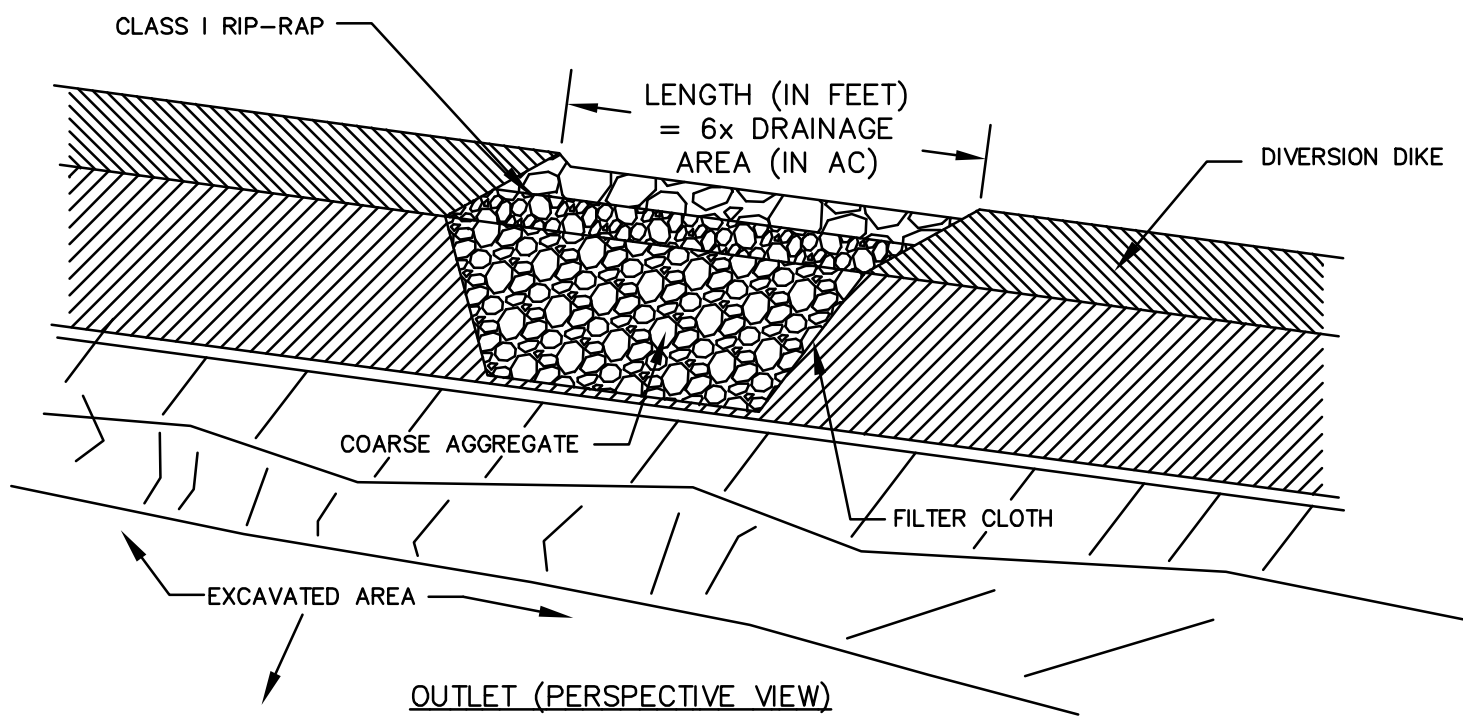
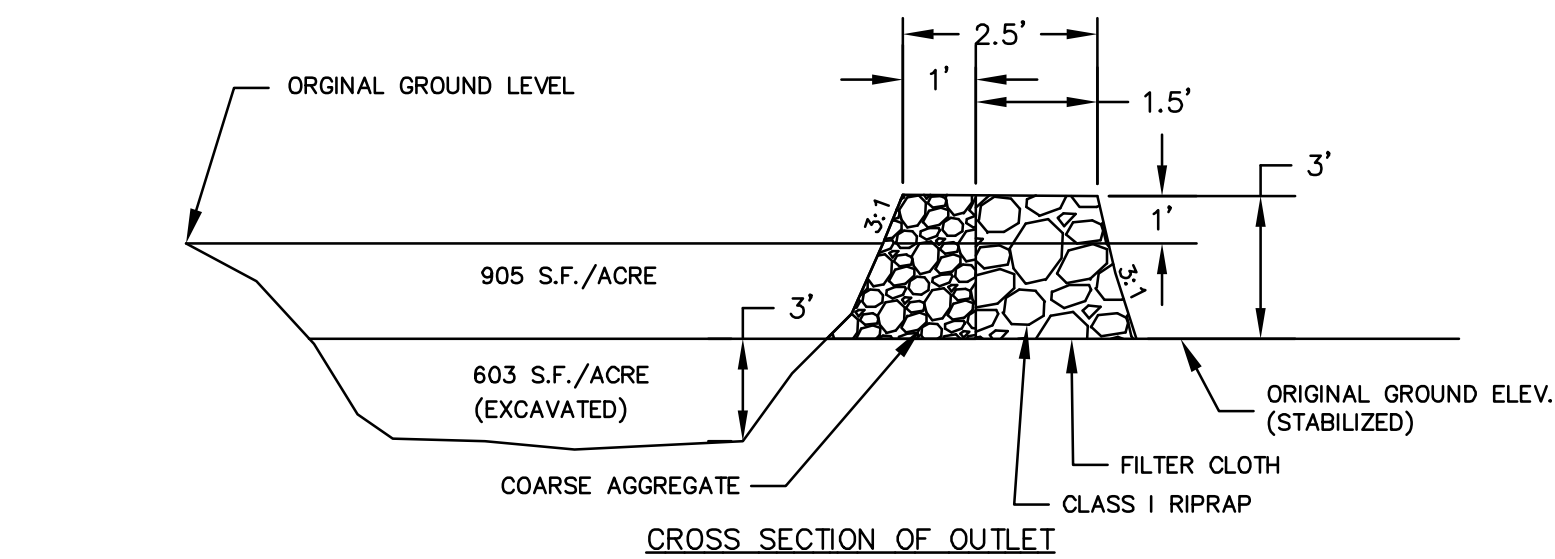
SILT FENCE DETAIL

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LEVEL SPREADER DETAIL

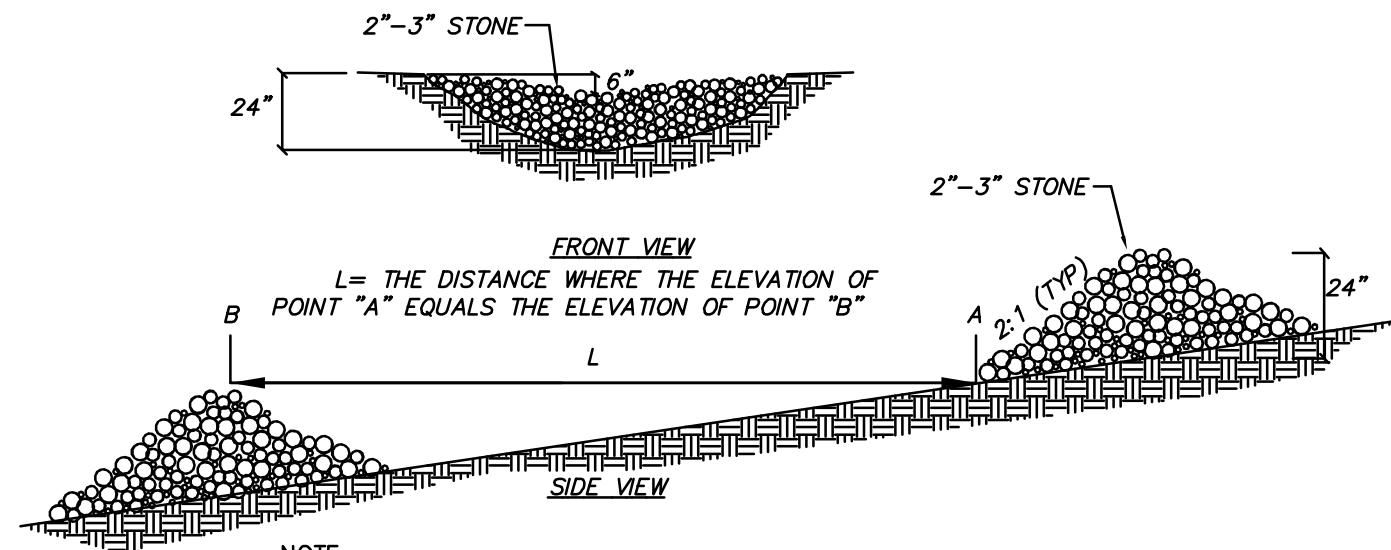
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- NOTES:
1. COARSE AGGREGATE SHALL MEET NHDOT 304.5 SPECIFICATIONS AND SHALL NOT CONTAIN MORE THAN 5% FINES PASSING THE #200 SIEVE.
 2. FILTER CLOTH SHALL BE MIRAFI 700X OR APPROVED EQUAL.
 3. CLASS I RIPRAP SHALL MEET NHDOT 583 SS SPECIFICATIONS.
 4. THE MAXIMUM CONTRIBUTING AREA TO THE TRAP SHALL BE LESS THAN 5 AC.
 5. THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
 6. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

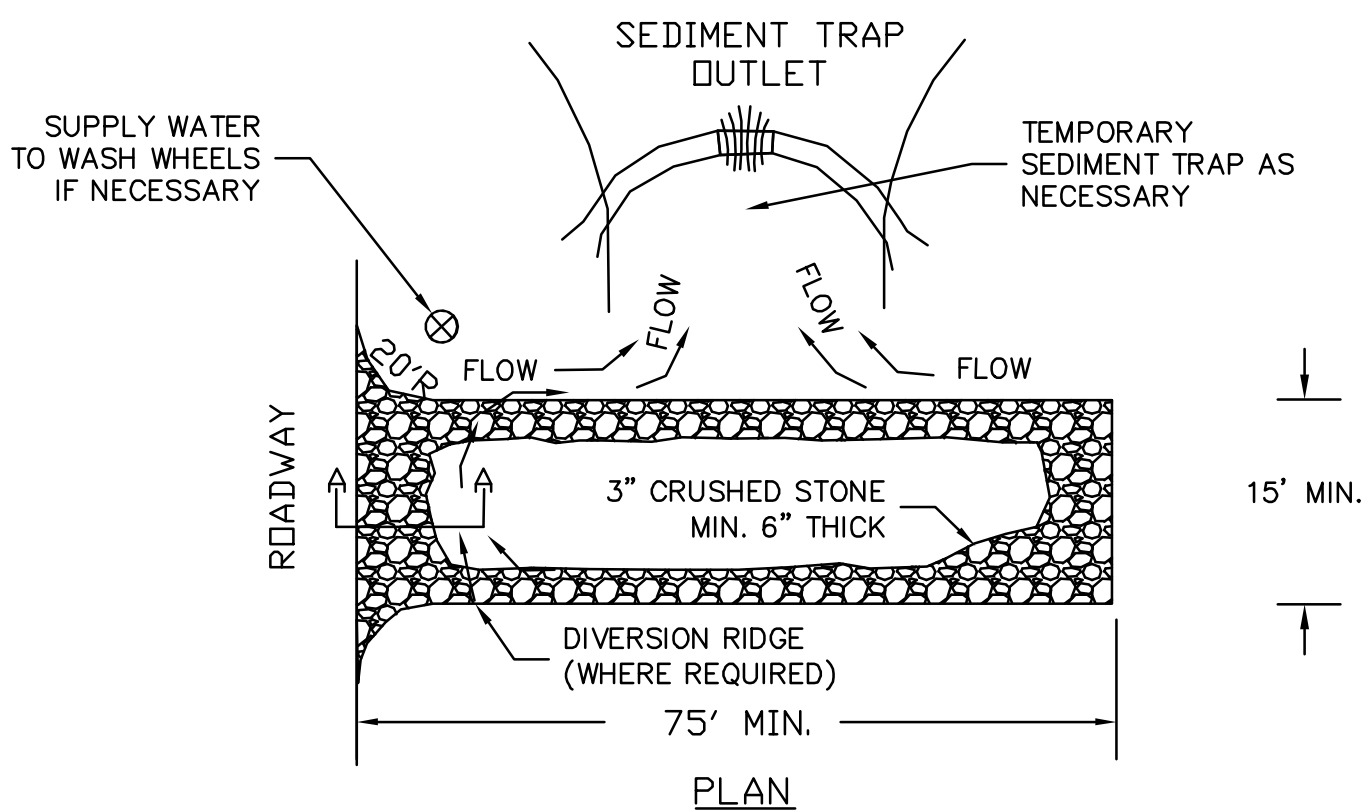
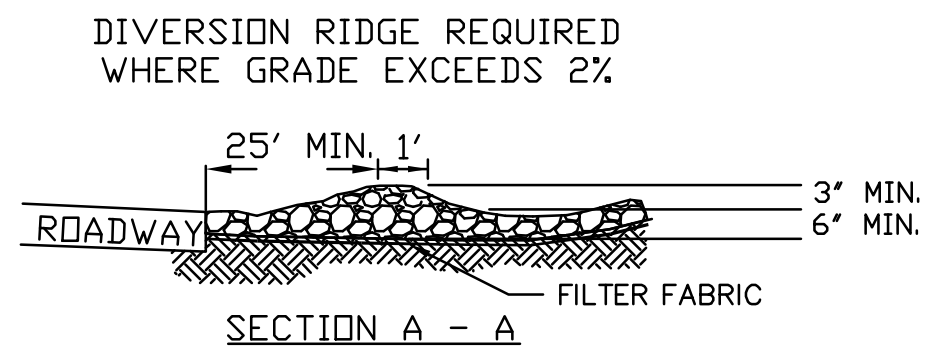
TEMPORARY SEDIMENT TRAP

NOT TO SCALE



STONE CHECK DAM

NOT TO SCALE



GENERAL NOTES:

1. A STABILIZED CONSTRUCTION ENTRANCE/EXIT CONSISTS OF A PAD OF STONE AGGREGATE PLACED ON A GEOTEXTILE FILTER FABRIC, LOCATED AT ANY POINT WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE TO AN EXISTING ACCESS ROAD WAY OR OTHER PAVED SURFACE. ITS PURPOSE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES. THIS HELPS PROTECT RECEIVING WATERS FROM SEDIMENT CARRIED BY STORM WATER RUNOFF FROM ROADS.
2. ONLY CONSTRUCTION TRAFFIC LEAVING THE SITE IS REQUIRED TO USE THE TEMPORARY STABILIZED EXIT. CONSIDER PROVIDING A SEPARATE, UNPROTECTED ENTRANCE FOR TRAFFIC ENTERING THE SITE. THIS WILL INCREASE THE LONGEVITY OF THE STABILIZED EXIT BY ELIMINATING HEAVY LOADS ENTERING THE SITE AND REDUCING THE TOTAL TRAFFIC OVER THE DEVICE.
3. LOCATE THE CONSTRUCTION ENTRANCES AND EXITS, A MINIMUM OF 100 FEET FROM INTERSECTIONS, TO LIMIT SEDIMENT LEAVING THE SITE AND TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES THAT HAVE STEEP GRADES AND ENTRANCES AT CURVES IN ROADS.
4. THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.

SPECIFICATIONS (TEMPORARY CONSTRUCTION ENTRANCE/EXITS SHOULD MEET THE FOLLOWING REQUIREMENTS).

1. STONE SIZE MINIMUM: USE SHOULD BE 3" CRUSHED STONE.
2. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET.
3. THE MINIMUM WIDTH OF THE PAD SHOULD BE 15 FEET OR THE WIDTH OF THE ENTRANCE, WHICHEVER IS GREATER.
4. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
5. THE PAD SHOULD BE AT LEAST 6" THICK.
6. A GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
7. THE PAD SHOULD BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
8. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.

- MAINTENANCE REQUIREMENTS (THE ENTRANCE/EXIT SHOULD BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT).
1. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHOULD BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHOULD THEN BE RECONSTRUCTED.
 2. THE CONTRACTOR SHOULD SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
 3. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WHEEL WASHING IS REQUIRED, IT SHOULD BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

TEMPORARY CONSTRUCTION ENTRANCE/EXIT

NOT TO SCALE

PLANNING FILE NO.: SITE-2025-0017

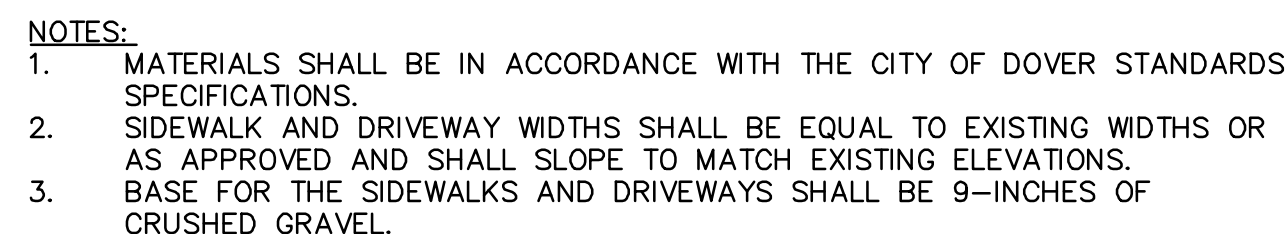
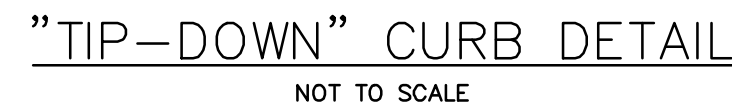
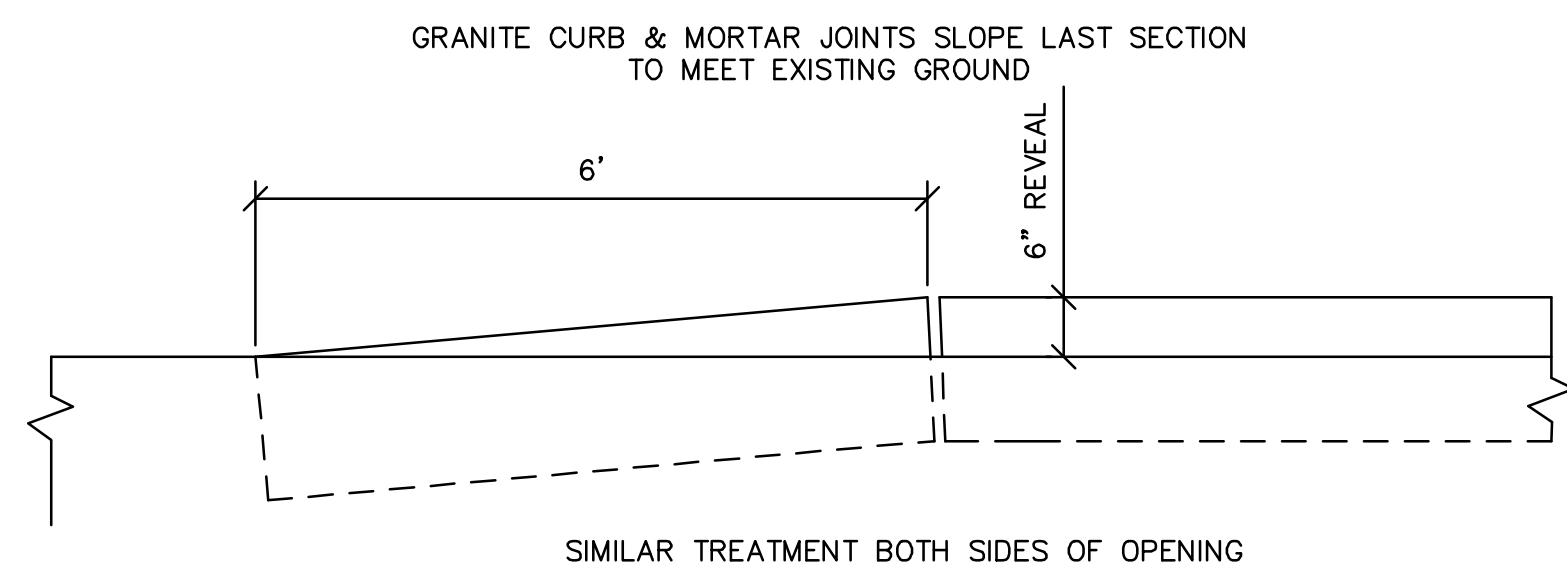
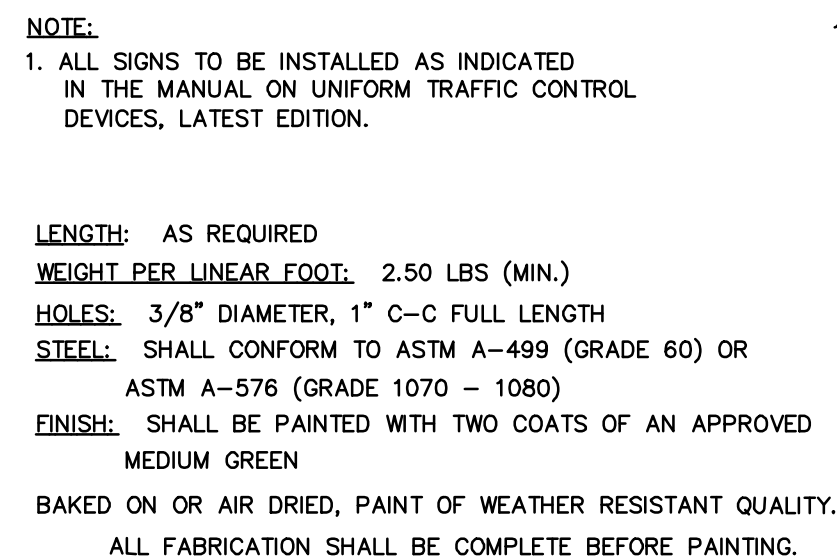
EROSION CONTROL DETAILS

14,560 SF LIGHT INDUSTRIAL/COMMERCIAL & 6,200 SF WAREHOUSE ADDITION
14 INDUSTRIAL PARK ROAD
DOVER, NH 03820

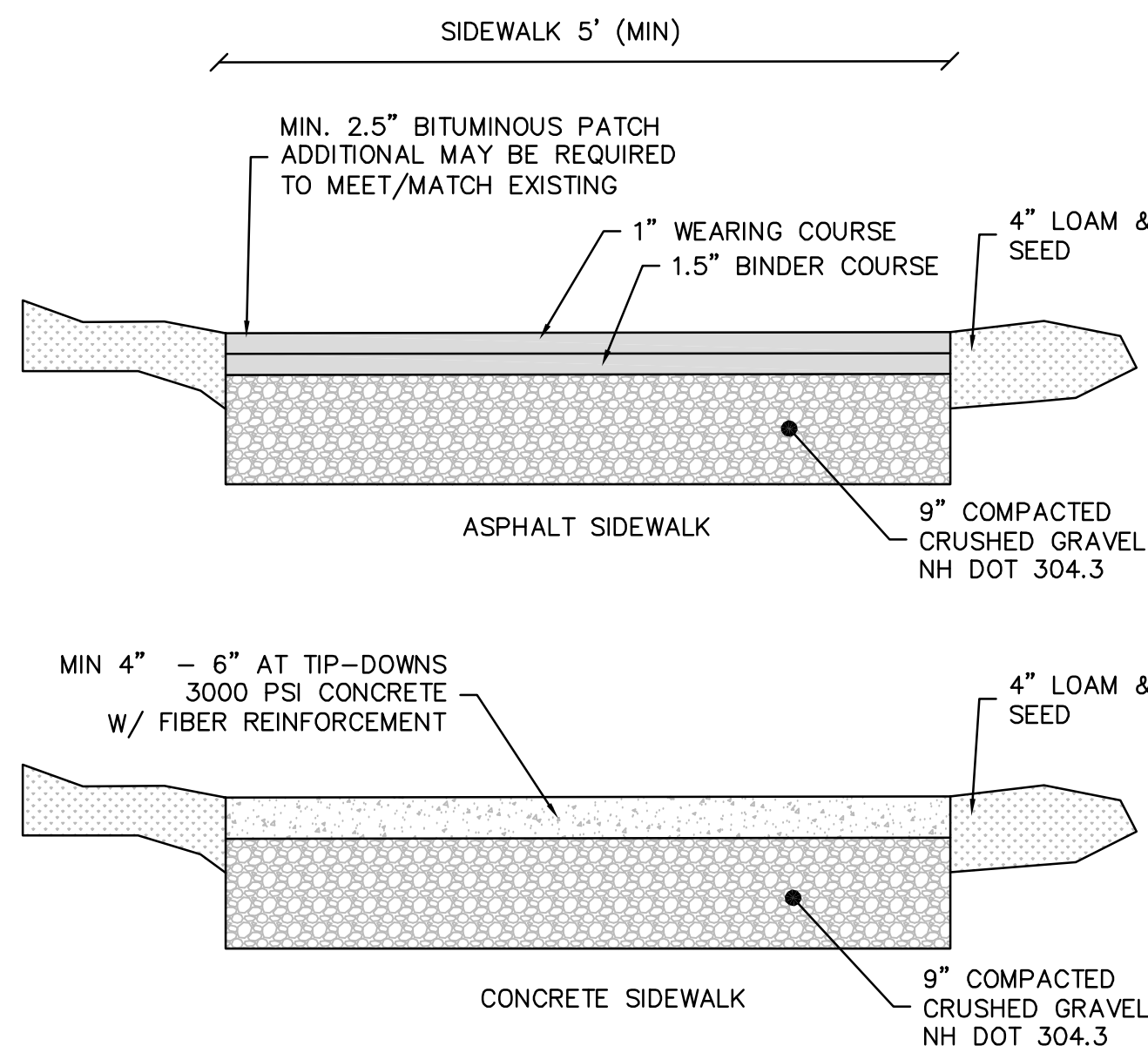
16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NH 03820

11

DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	FILE	TRC	COMMENTS	REVISION	DATE	APPD
10-2-25	NO SCALE	WEJ	JRG	BYJH	2514	SITE.dwg	1			11-13-25	



CITY OF DOVER D-6
ASPHALT & CONCRETE SIDEWALK
NOT TO SCALE

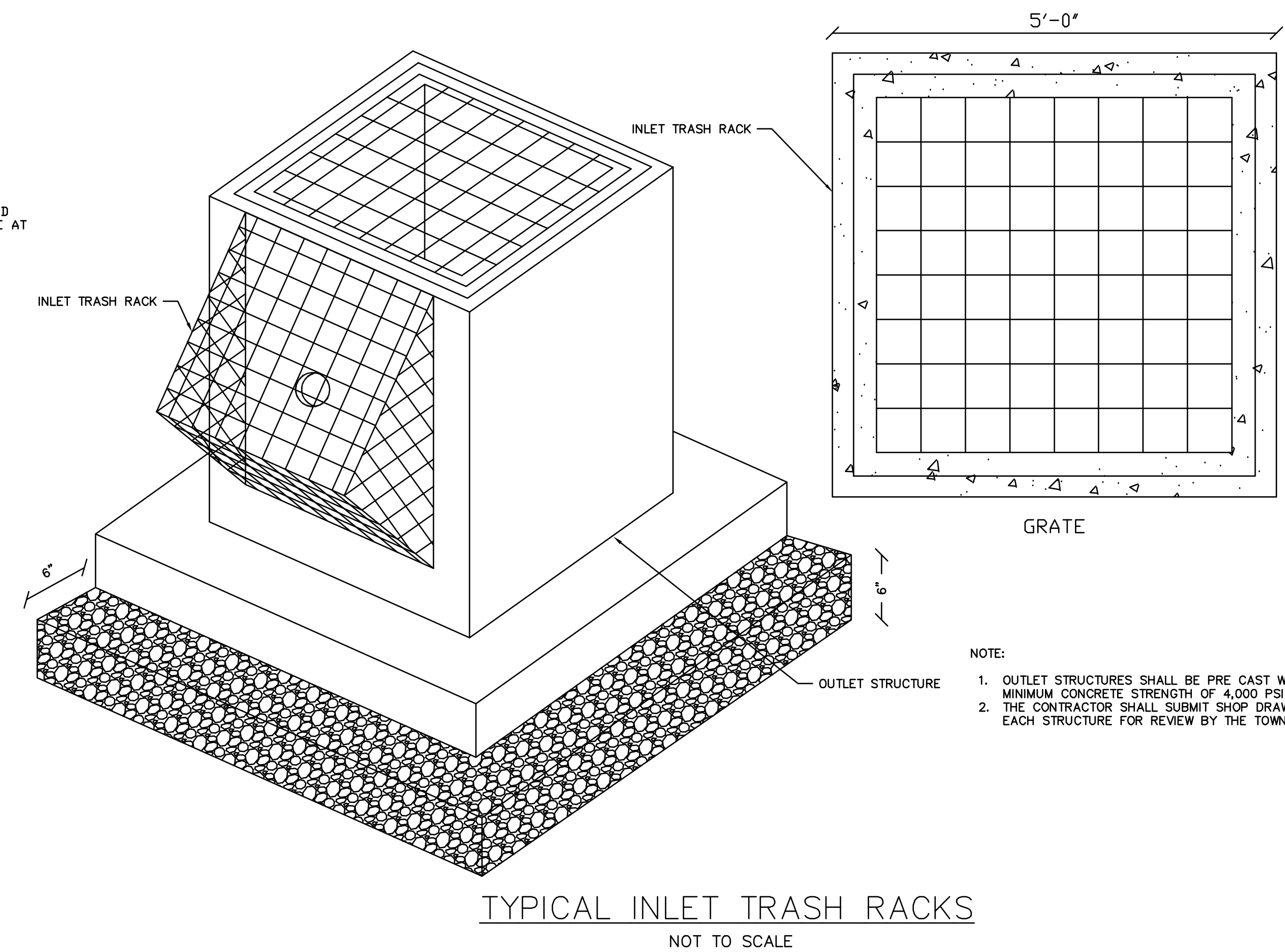


NOTES:

1. MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF DOVER STANDARDS SPECIFICATIONS.
2. SIDEWALK AND DRIVEWAY WIDTHS SHALL BE EQUAL TO EXISTING WIDTHS OR AS APPROVED AND SHALL SLOPE TO MATCH EXISTING ELEVATIONS.
3. BASE FOR THE SIDEWALKS AND DRIVEWAYS SHALL BE 9-INCHES OF CRUSHED GRAVEL.

CITY OF DOVER D-6
ASPHALT & CONCRETE SIDEWALK
NOT TO SCALE

[illegible]



OUTLET FROM	W1(FT)	W2(FT)	L(FT)	D (FT)	DSO(IN)	CHANNEL TYPE
BID W/ISR	3	18	15	1	6	NON-DEFINED
RD1	3	8	13	1	6	NON-DEFINED
RD2	3	9	15	1	6	NON-DEFINED
RAINGUARDIAN	5	5	10	1	6	NON-DEFINED

Technical drawings of a stone filter bed, showing a Plan view and a Section view.

Plan View: Shows a trapezoidal stone bed. The top width is labeled $W1$ and the bottom width is labeled $W2$. The bed is composed of **STONE**. The end sections are labeled **END SECTION OR MORTAR RUBBLE MASONRY WALL**.

Section View: Shows a cross-section of the stone bed. The length of the bed is labeled L and the depth is labeled D . The bed is composed of **STONE**. The end sections are labeled **END SECTION OR MORTAR RUBBLE MASONRY WALL**. Below the stone bed is a **FILTER FABRIC MIRAFI 700X OR APPROVED EQUAL**. The slope is indicated as **SLOPE = 0%**.

STONE GRADATION	
% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100	1.5 TO 2.0 D50
85	1.3 TO 1.8 D50
50	1.0 TO 1.5 D50
15	0.3 TO 0.5 D50

INV. ELEV.=114.50

ELEVATION VIEW - INLET

INV. ELEV.=113.87

ELEVATION VIEW - OUTLET

RAIN GUARDIAN FORTRESS

DEVELOPED BY:

ANOKA
CONSERVATION
DISTRICT

U.S. EIGHT NORTH - 654124

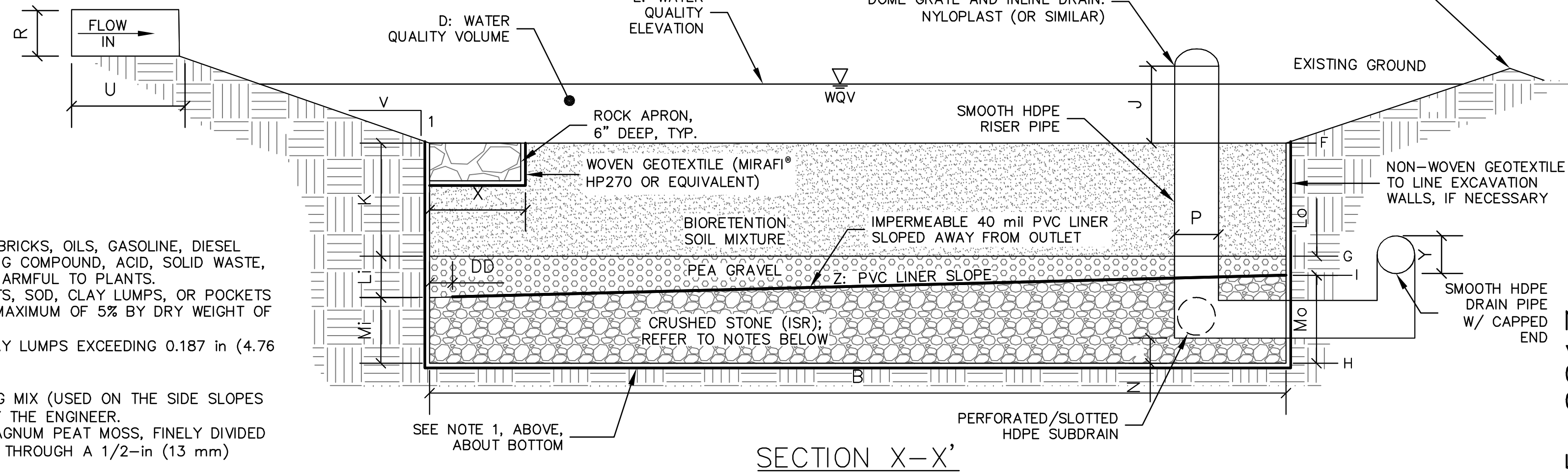
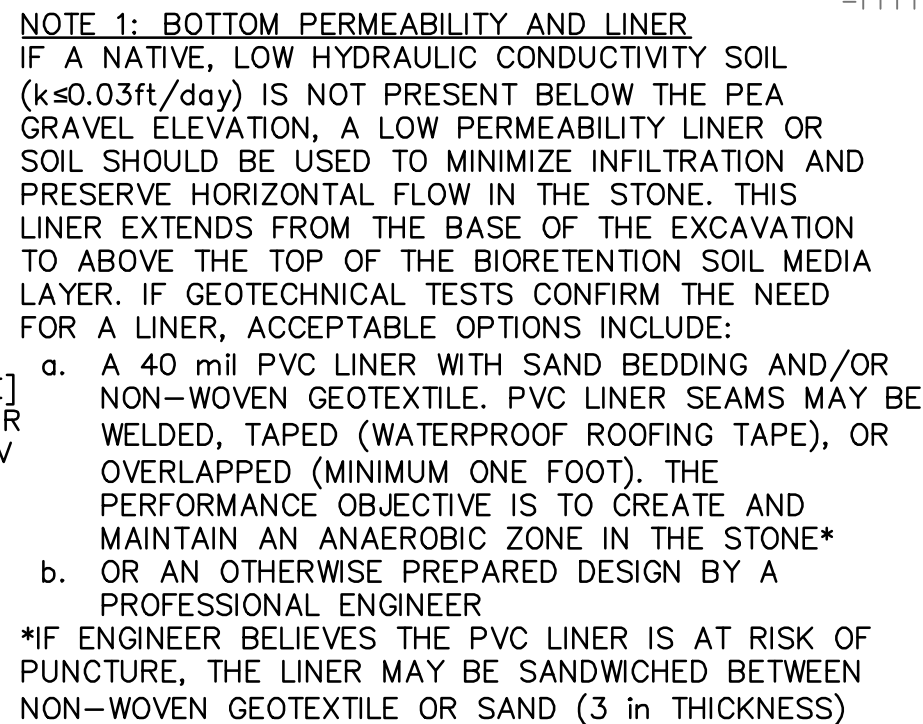
FERGUSON
WATERWORKS

FOR ADDITIONAL INFORMATION PLEASE CONTACT:
FERGUSON WATERWORKS,
1-800-443-3636, www.ferguson.com

DRAWING
JKB
 DATE
6/22/2022
 SHEET NO
1 of 1

1 of 1

**16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NH 03820**



PARTICLE SIZE
DISTRIBUTION OF
IRON FILINGS

SIEVE #	% PASSING
50	100
100	85
200	15
<200	0-5

ACCEPTABLE PARTICLE SIZE DISTRIBUTION OF FINAL BIORETENTION SOIL MIX				
MEDIA TYPE	SIEVE #	SIZE (in)	SIZE (mm)	% PASSING
COARSE SAND	4	0.187	4.76	100
MEDIUM SAND	10	0.079	2.00	95
FINE SAND	40	0.017	0.42	40-15
SILTS	200	0.003	0.075	10-20
CLAYS	<200	PAN	PAN	0-5

BIORETENTION SOIL MEDIA COMPONENTS:

- AMOUNTS MIXED BY TOTAL VOLUME
- 60-85% - SAND (0.5 TO 2.0 mm) (SEE SPECS ABOVE)
- 15-25% - LOAM OR TOPSOIL
- 3-8% - ORGANIC MATTER
- 0-5% - WATER TREATMENT RESIDUALS OR IRON FILINGS*

*THE FILTER MEDIA MUST BE AMENDED WITH 0.5% IRON FILINGS OR 5% WATER TREATMENT RESIDUALS. AS WELL THE IRON FILINGS SHALL NOT BE MIXED INTO THE TOP 4". THE AMENDED MATERIAL SHALL BE SIZED ACCORDING TO USACE FILTER CRITERIA FOR STABILITY. SEE IRON FILING PARTICLE SIZE DISTRIBUTION

INTERNAL STORAGE RESERVOIR (ISR) NOTES:

- THE HYBRID BIORETENTION SYSTEM HARBORS AN ANAEROBIC INTERNAL STORAGE RESERVOIR FOR NITROGEN REMOVAL.
- THE ISR IS SEPARATED BY AN IMPERMEABLE PVC LINER BETWEEN THE PEA GRAVEL AND CRUSHED STONE LAYERS.
- THE PVC LINER SLOPES FROM THE OUTLET TOWARDS THE INLET TO MAXIMIZE STORAGE RETENTION AND PROVIDE EXTRA TREATMENT/FILTER TIME VIA PLUG FLOW THROUGH CRUSHED STONE.
- DESIGN GUIDELINES FOR THE SUBSURFACE GRAVEL WETLAND SPECIFICATIONS (UNHSC, 2016) IDENTIFIED THAT THE WATER VOLUME IN THE ISR BE AT LEAST 0.26*WQV [WATER QUALITY VOLUME], OR 26% OF THE WQV.
- PVC LINER THICKNESS OF 40 TO 60 MIL, PREFERABLY SEAMLESS. IF SEAMS ARE UNAVOIDABLE, THE SEAMS SHOULD BE SEALED.

BIORETENTION SYSTEM DESIGN METRICS				
ID	DESIGN PARAMETER	MIN	BIO 1	UNITS
A	SYSTEM FLOOR WIDTH		10	FT
B	SYSTEM FLOOR LENGTH		175	FT
C	BIORETENTION FOOTPRINT AREA		2,110	SF
D	WATER QUALITY VOLUME		3,894	CF
E	WQV ELEVATION		114.17	FT
F	SYSTEM FLOOR ELEVATION		113.00	FT
G	BOTTOM BSM ELEVATION		111.5	FT
H	BOTTOM STONE ELEVATION		110.0	FT
I	TOP STONE/OUTLET INVERT ELEVATION		111.25	FT
J	PONDING DEPTH BELOW LOWEST INV.		1.20	FT
K	BSM MEDIA DEPTH	18	18	IN
Li	INLET END PEA GRAVEL DEPTH		6	IN
Lo	OUTLET END PEA GRAVEL DEPTH	3	3	IN
Mi	INLET END CRUSHED STONE DEPTH		12	IN
Mo	OUTLET END CRUSHED STONE DEPTH	14	15	IN
N	SUBDRAIN DEPTH ABOVE BOTTOM	4	4	IN
O	PERFORATED SUBDRAIN DIAMETER	6	6	IN

BIORETENTION SYSTEM DESIGN METRICS				
ID	DESIGN PARAMETER	MIN	BIO 1	UNITS
P	RISER PIPE DIAMETER	6	12	IN
Q	OUTLET PIPE DIAMETER	6	12	IN
R	INFLOW PIPE DIAMETER		N/A	IN
S	PERFORATED SUBDRAIN LENGTH		8	FT
T	OUTLET PIPE LENGTH		40	FT
U	INFLOW PIPE LENGTH		N/A	FT
V	SLOPE GRADE (RUN PER 1ft RISE)		3	FT
W	ROCK APRON WIDTH		5	FT
X	ROCK APRON LENGTH		10	FT
Y	SMOOTH LINED HDPE PIPE DIAMETER		6	IN
Z	PVC LINER SLOPE		0.32	%
AA	OUTLET PIPE SLOPE		0.63	%
BB	CLEAN-OUT RISER DIAMETER		6	IN
CC	CLEAN-OUT RISER ELEVATION		114.25	FT
DD	PVC LINER GAP	0.1*B	17.5	FT
EE	OUTLET PIPE ORIFICE DIAMETER		1.25	IN
FF	RISER ELEVATION		114.20	FT
GG	TOP OF BERM		115.10	FT

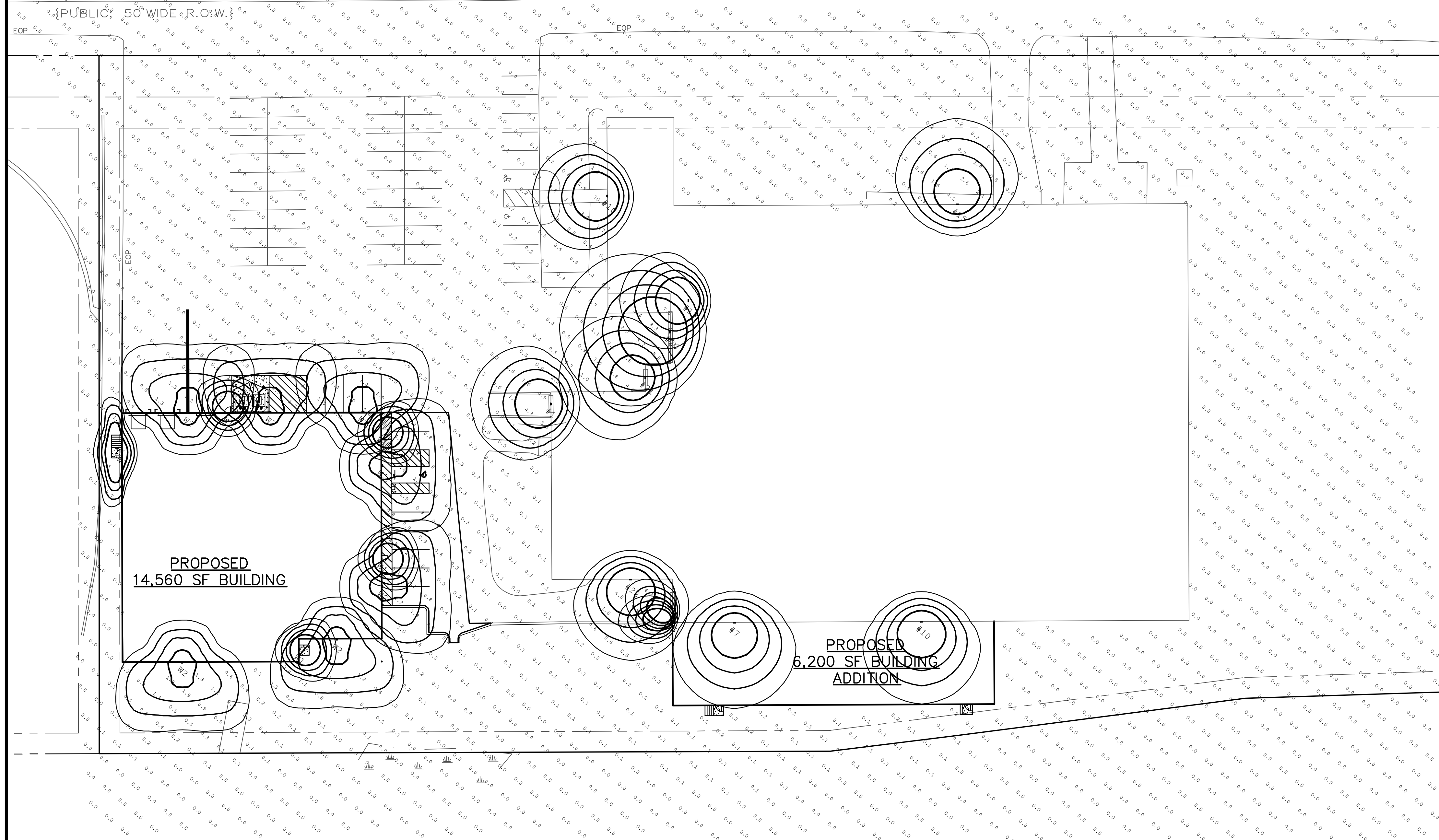
BIORETENTION BASIN W/ISR
NOT TO SCALE

NOTES:

1. FOR FULL BIORETENTION STORMWATER SYSTEM SPECIFICATIONS, PLEASE REFER TO THE UNH STORMWATER CENTER'S BIORETENTION SPECIFICATIONS PUBLICATION, DATED FEBRUARY 2017, FOUND AT:
https://www.unh.edu/unhsc/sites/default/files/media/unhsc_bsm_spec_2-28-17_0.pdf
 2. SYSTEM FOOTPRINT NEED NOT BE RECTANGULAR, ANY SHAPE IS POSSIBLE. THESE DETAILS USE THE RECTANGULAR SHAPE AS AN EXAMPLE.
 3. THESE DETAILS ARE NOT TO SCALE; FOR DIMENSIONS AND SPECIFICATIONS, REFERENCE EACH LETTER TO THE TABLE OF METRICS.
 4. BIORETENTION SOIL MIX SHALL NOT BE PLACED UNTIL AFTER ENGINEERING APPROVAL AND INSPECTION OF SUBGRADE.
 5. BIORETENTION SYSTEM IS RECOMMENDED TO HAVE PRETREATMENT (FOREBAY, SWALE, OR OTHER APPROVED STRUCTURE). PRETREATMENT IS REQUIRED FOR PROJECTS REQUIRING ALTERATION OF TERRAIN (AOT) PERMITTING.
 6. PLANT THE SYSTEM AS SPECIFIED; AT A MINIMUM, SEED THE SYSTEM FLOOR AND SIDE SLOPES WITH RYE GRASS MIXTURE CONTAINING PERENNIAL AND WINTER RYES, AT A RATE SPECIFIED BY THE MANUFACTURER. STABILIZE THE SLOPES WITH STRAW TO A DEPTH OF 1".
 7. GENERAL CONSTRUCTION GUIDELINES:
 - 7.1. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, ASPHALT/CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, ACID, SOLID WASTE, ROOFING COMPOUND, SOLID WASTE, OR ACID HAS BEEN DEPOSITED IN PLANTING SOIL (BIORETENTION MEDIA OR LOAM ON SIDE SLOPES).
 - 7.2. PROCEED WITH PLACEMENT OF ANY SUBSURFACE MATERIALS ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
 - 7.3. COMPACT EACH BLENDED LIFT OF BIORETENTION SOIL MEDIA TO 75% OF MAXIMUM STANDARD PROCTOR DENSITY ACCORDING TO ASTM D698.
 - 7.4. GRADE SOIL MEDIA TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
 - 7.5. LIGHTLY COMPACT FINISHED FLOOR ELEVATION AND FINISHED SLOPES USING THE BUCKET OF AN EXCAVATOR, NON-MOTORIZED ROLLER, HAND TAMP, OR OTHER MEANS, THEN ROUGHEN SURFACE WITH A RAKE TO LOOSEN SOILS BEFORE SEEDING.
 - 7.6. DO NOT COMPACT THE SUBGRADE AT THE BOTTOM OF EXCAVATION UNLESS PERMEABILITY EXCEEDS 1×10^{-5} cm/s
 8. BIORETENTION SOIL MEDIA (BSM) MIXTURE SPECIFICATIONS:
 - 8.1. STICKS AND ROOTS SHOULD BE MINIMIZED IN THE BSM MIXTURE, AND PREFERABLY LIMITED TO NOTHING LARGER THAN 4.76 mm (0.187 in).
 - 8.2. DEBRIS AND OTHER FOREIGN MATERIALS SHOULD BE MINIMIZED.
 - 8.3. ORGANIC MATTER SHOULD MAKE UP A MINIMUM OF 3% BY VOLUME AND A MAXIMUM 8% BY VOLUME OF THE BSM.
 - 8.4. BSM MIXTURE SHOULD HAVE A SOIL REACTION pH OF 6 TO 7.
 - 8.5. CATION EXCHANGE CAPACITY (CEC) OF BSM SHOULD BE A MINIMUM OF 10 meq PFR 100 ml AT A pH OF 7.0.
 9. IF BSM IS PURCHASED FROM A MANUFACTURER, BSM MIXTURE SHALL NOT CONTAIN THE FOLLOWING:
 - 9.1. UNACCEPTABLE MATERIALS: CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS,
 - 9.2. CEMENT, PLASTER, BUILDING DEBRIS, ASPHALT, BRICKS, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, ACID, SOLID WASTE, OR OTHER EXTRANEOUS MATERIALS THAT ARE HARMFUL TO PLANTS.
 - 9.3. UNSUITABLE MATERIALS: STONES, ROOTS, PLANTS, SOD, CLAY LUMPS, OR POCKETS OF COARSE SAND THAT EXCEEDS A COMBINED MAXIMUM OF 5% BY DRY WEIGHT OF THE MANUFACTURED SOIL.
 - 9.4. LARGE MATERIALS: STONES, CLODS, ROOTS, CLAY LUMPS EXCEEDING 0.187 in (4.76 mm) IN ANY DIMENSION.
 - 9.5. ORGANIC SOIL AMENDMENTS:
 - 10.1. NO COMPOST SHOULD BE USED IN THE PLANTING MIX (USED ON THE SIDE SLOPES AND SURROUNDING AREA) UNLESS SPECIFIED BY THE ENGINEER.
 - 10.1. SPHAGNUM PEAT: PARTIALLY DECOMPOSED SPHAGNUM PEAT MOSS, FINELY DIVIDED OR OF GRANULAR TEXTURE WITH 100% PASSING THROUGH A 1/2-in (13 mm) SIEVE, WITH A pH OF 3.4 TO 4.8.
 - 10.2. WOOD DERIVATIVES: SHREDDED WOOD, WOOD CHIPS, GROUND BARK, OR WOOD WASTE; OF UNIFORM TEXTURE AND FREE OF STONES, STICKS, SOIL, OR TOXIC MATERIAL.
 11. THE CRUSHED STONE LAYER SHOULD CONSIST OF AASHTO #5 STONE (3/4-in).
 12. THE VOLUME OF WATER CONTAINED ABOVE THE BSM ELEVATION AND BELOW THE HIGH FLOW SPILLWAY IS STATISTICALLY DESIGNED TO HOLD A SPECIFIC RUNOFF VOLUME.



{PUBLIC, 50' WIDE R.O.W.}



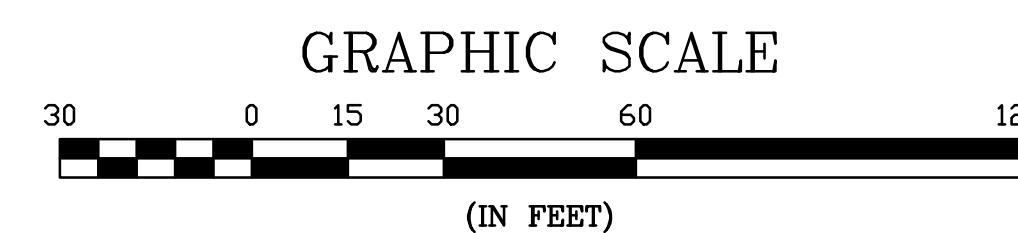
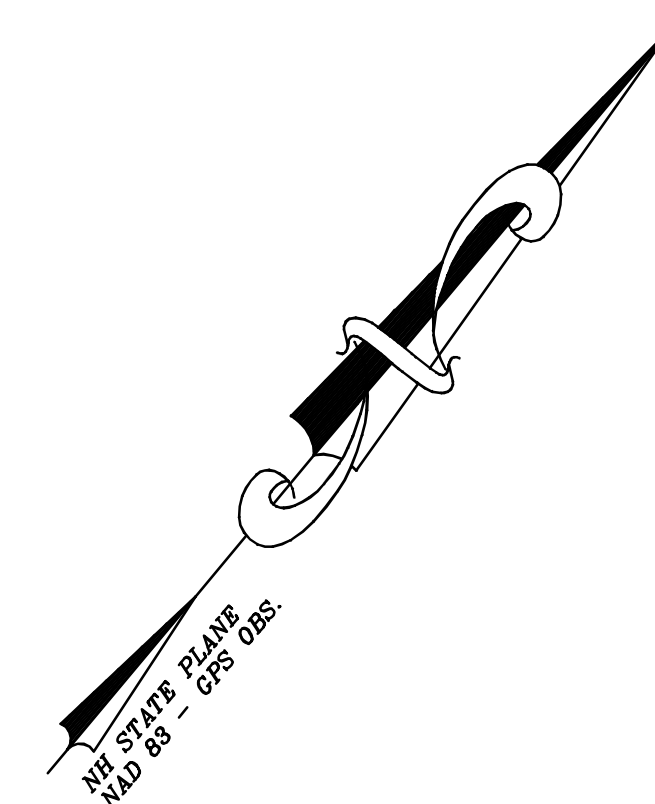
PROPOSED
14,560 SF BUILDING

PROPOSED
6,200 SF BUILDING
ADDITION

PARKING SPACES

Illuminance (Fc)
Average = 1.70
Maximum = 5.1
Minimum = 0.7
Avg/Min Ratio = 2.43
Max/Min Ratio = 7.29

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Tag
	1	#1	Single	EXISTING HID COMMERCIAL WALL LIGHT	MOUNTED 11FT 10IN AFG
	1	#10	Single	EXISTING LED COMMERCIAL WALL LIGHT	MOUNTED 12FT 10IN AFG
	1	#15	Single	EXISTING LED COMMERCIAL WALL LIGHT	MOUNTED 14FT 9IN AFG
	1	#16	Single	EXISTING LED COMMERCIAL WALL LIGHT	MOUNTED 9FT 6IN AFG
	1	#19	Single	EXISTING LED COMMERCIAL WALL LIGHT	MOUNTED 7FT 4IN AFG
	1	#20	Single	EXISTING LED COMMERCIAL WALL LIGHT	MOUNTED 14FT 4IN AFG
	1	#21	Single	EXISTING HID COMMERCIAL WALL LIGHT	MOUNTED 15FT 3IN AFG
	1	#22	Single	EXISTING LED COMMERCIAL WALL LIGHT	MOUNTED 12FT 2IN AFG
	2	#5	Single	EXISTING RESIDENTIAL SECURITY FLOOD LIGHT	MOUNTED 7.5' AFG
	1	#7	Single	EXISTING LED COMMERCIAL WALL LIGHT	MOUNTED 14FT 10IN AFG
	4	W1	Single	WPSLS-1L-30-CXX	WALL MOUNTED 8.5' AFG
	7	W2	Single	XWS-LED-3L-SIL-FT-UNV-30-70CRI-CXX	WALL MOUNTED 12' AFG
	1	W3	Single	EOF1MV3KBZPAC	ABOVE DOOR



PLANNING FILE NO.: SITE-2025-0017

LIGHTING PLAN

**14,560 SF LIGHT
INDUSTRIAL/COMMERCIAL &
6,200 SF WAREHOUSE ADDITION
14 INDUSTRIAL PARK ROAD
DOVER, NH 03820**

**16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NH 03820**

[illegible]

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

CNE

CIVILWORKS NEW ENGLAND



CIVIL & WATERFRONT ENGINEERING

181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.749.0443



Catalog # : _____ Project : _____ Type : _____

Prepared By : _____ Date : _____

Mirada Small Silicone (XWS SIL)

Outdoor Wall Sconce



OVERVIEW	
Lumen Package (lm)	1,000 - 8,000
Wattage Range (W)	10 - 61
Efficacy Range (LPW)	126 - 162
Weight lbs (kg)	10 (4.5)
Control Options	IMSET, ALB, ALS, PCL

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Extended housing available with 1/2" threaded hubs for surface conduit and rated wire.
- Standard luminaire shipping weight: TBD lbs in carton.
- Max luminaire shipping weight: 12 lbs in carton (20 lbs w/EH option)

Optical System

- State-of-the-Art one piece silicone optic provides industry leading optical control while also acting as an integrated gasket reducing system complexity and improving fixture reliability.
- Proprietary silicone retractor optics provide exceptional coverage and uniformity in distribution types 2, 3, and FT.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- 5000K, 4000K, 3500K, 3000K, and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber with peak intensity at 610nm.
- 70 or 80CRI Minimum.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.

- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion (THD): <20%
- Operating temperature: -40°C to 40°C (-40°F to +104°F)
- Power factor (PF): >.90
- Input power stays constant over life.
- Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-eficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
- Optional Integral emergency battery pack provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/Indicator button is installed on the housing for ease of maintenance. The fixture delivers 1500 lumens during emergency mode.

Controls

- Integral passive Infrared Bluetooth™ motion sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app. Updates and modifications to the control strategy are easily implemented via an intuitive app.
- The ALBMRxLR utilizing an external antenna for long range communications allows for Bluetooth Mesh wireless up to 100' from node to node. Ensures reliable wireless communications for applications where only wall-mount fixture product is being utilized.

Installation

- Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
- 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for installing/servicing.
- Optional terminal block accepts up to 12 ga wire.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP65 rated luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPMa bracket) or wall mounted.
- IK08 rated luminaire per IEC 66262 mechanical impact code.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.



LSI Industries Inc. 10000 Alliance Rd., Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com
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SPEC.1021.C.0625



Catalog # : _____ Project : _____ Type : _____

Prepared By : _____ Date : _____

Slim Wall Pack (WPSLS)

Small LED Slim Wall Pack



OVERVIEW	
Lumen Package (lm)	1,000 - 4,000
Wattage Range (W)	12 - 40
Efficacy Range (LPW)	98 - 122
Weight lbs (kg)	3.8 (1.7)

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rigid Precision Die cast-aluminum housing for durability and consistency.
- Vertical fins serve as a heat sink and resist accumulation of dust and debris.
- The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
- Luminaire hinges open from the bottom to prevent leakage.
- Luminaire is proudly manufactured and tested in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

Optical System

- High-performance Chip On Board (COB) LEDs behind clear tempered glass for maximum light output.
- 3000K | 4000K | 5000K color temperatures.
- Minimum CRI of 71.
- Zero uplight.

Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Power factor: > .85
- Input power stays constant over life.
- Driver Off-State Power is 0 watts.
- Chip On Board (COB) LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5kV surge rating
- Operating temperature: -40°C to +50°C (-40°F to +122°F).

Controls

- Optional 120V electronic button Photocontrol.
- Apertures for field or factory installed photocontrol.

Installation

- Surface mounts direct to J-box or wall.
- Features a bubble level and removable hinged face frame for ease of installation.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on optional Button Photocell.

Listings

- Listed to UL 1598 and UL 8750.
- American Recovery and Reinvestment Act Funding Compliant.
- CSA Listed
- RoHS Compliant.
- State of California Title 24.
- Suitable For Wet Locations.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.



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SPEC.1025.A.0424

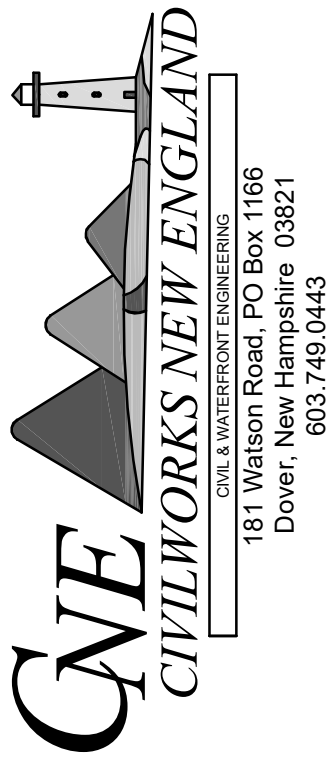
LIGHTING DETAILS

14,560 SF LIGHT
INDUSTRIAL/COMMERCIAL &
6,200 SF WAREHOUSE ADDITION
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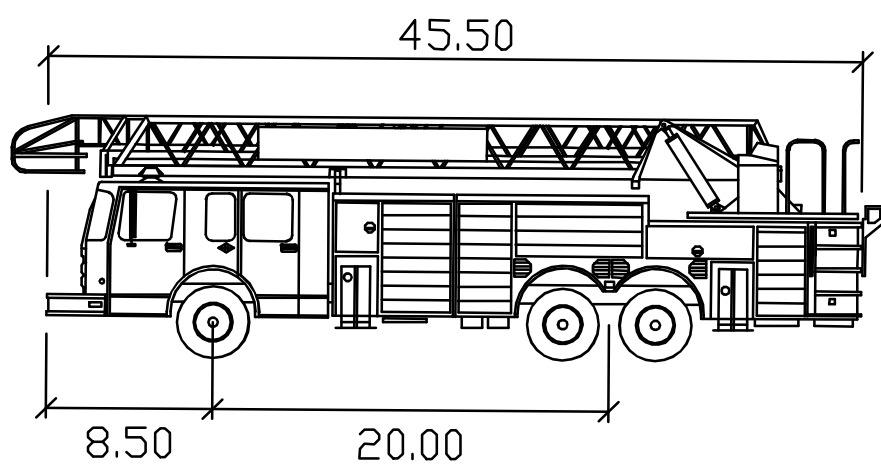
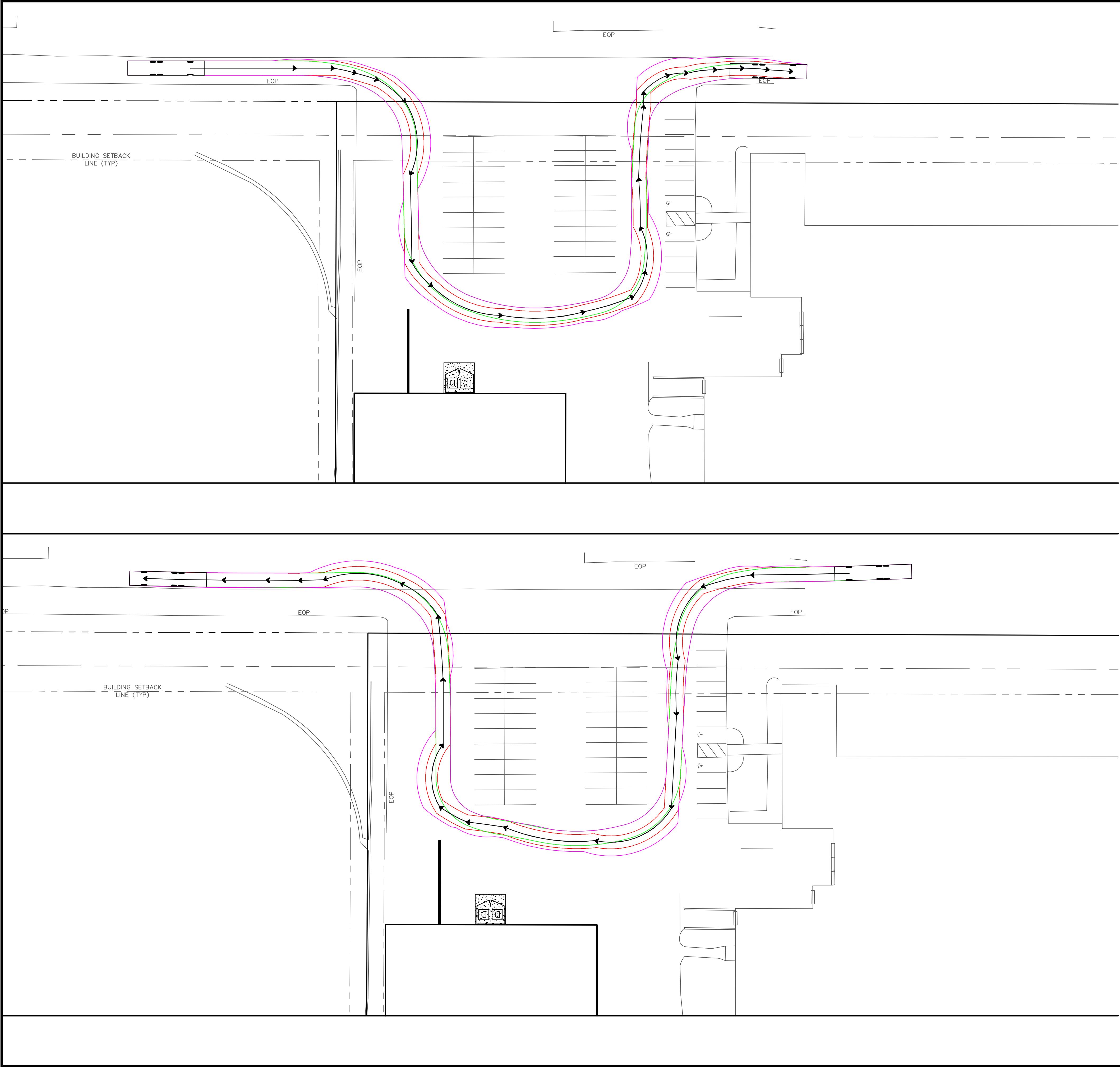
16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NH 03820

18

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

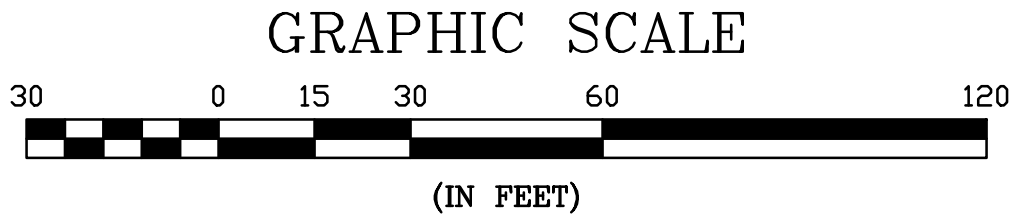
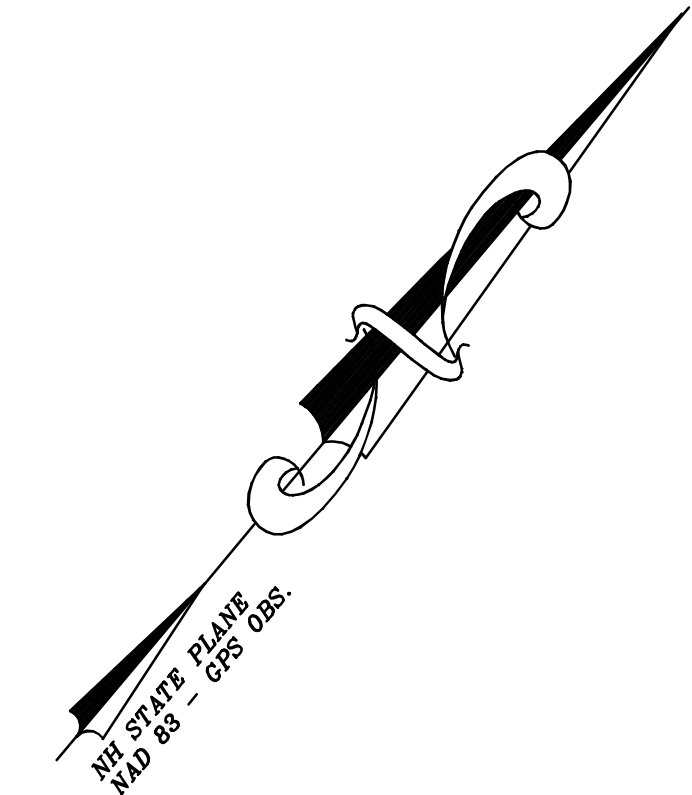


DATE: 10-2-25	SCALE: NO SCALE	DRAWN BY: WEJ	DESIGN BY: JRG	APPROVED BY: SJH	PROJECT NO: 25114	FILE: SITE.dwg	NO.	REVISION	APPD	DATE
							1	PER TRC COMMENTS		



Dover ladder

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 44.0



PLANNING FILE NO.: SITE-2025-0017

DOVER LADDER TRUCK MOVEMENT PLAN

14,560 SF LIGHT INDUSTRIAL/COMMERCIAL & 6,200 SF WAREHOUSE ADDITION
14 INDUSTRIAL PARK ROAD
DOVER, NH 03820

16 INDUSTRIAL PARK, LLC
340 CENTRAL AVENUE
DOVER, NH 03820

DATE: 10-2-25
SCALE: 1" = 30'
DRAWN BY: WEJ
DESIGN BY: JRG
APPROVED BY: SJH
PROJECT NO: 25114
FILE: SITE.dwg

NO.

1

PER TRC COMMENTS

REVISION

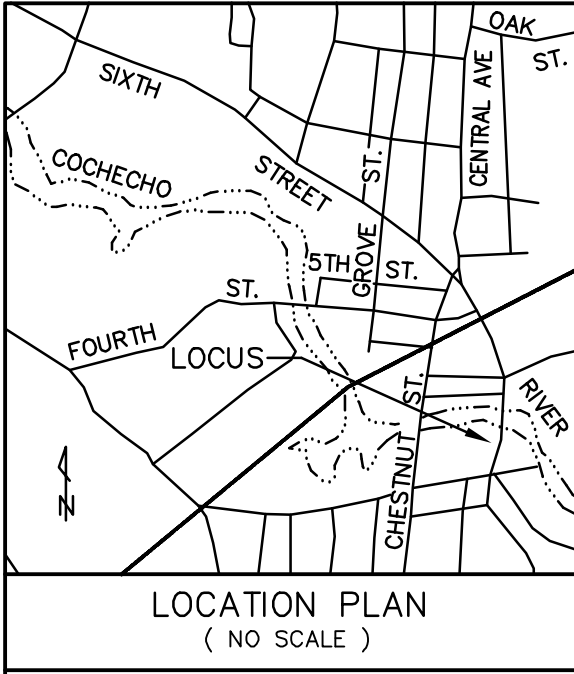
APPD

DATE

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

CIVILWORKS NEW ENGLAND
181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.749.0443

LANDSCAPE PLAN				NOT FOR CONSTRUCTION FOR PERMIT USE ONLY								
L-1	14,560 SF LIGHT INDUSTRIAL/COMMERCIAL & 6,200 SF WAREHOUSE ADDITION 14 INDUSTRIAL PARK ROAD DOVER, NH 03820	16 INDUSTRIAL PARK, LLC 340 CENTRAL AVENUE DOVER, NH 03820		DATE: 10-2-25								 Civil & Waterfront Engineering 181 Watson Road, PO Box 1166 Dover, New Hampshire 03821 603.748.0443
				SCALE: 1" = 30'								
				DRAWN BY: WEJ								
				DESIGN BY: JRG								
				APPROVED BY: SJH								
				PROJECT NO.: 25114	1	PER TRC COMMENTS	SJH	11-13-25				
				FILE: SITE.dwg	NO.	REVISION	APP'D	DATE				

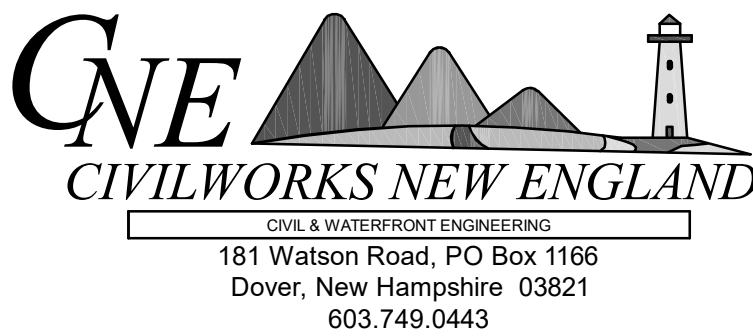


SITE PLAN FOR MIXED USE DEVELOPMENT

TAX MAP 2, LOT 79 & 80
376 & 378 CENTRAL AVE
DOVER, NH
OCTOBER 1, 2025
REVISED: OCTOBER 21, 2025

OWNER/APPLICANT AIREY ROW ON CENTRAL, LLC
P.O. BOX 4241
PORTSMOUTH, NH 03801

SITE CIVIL ENGINEER



LAND SURVEYOR MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND
P.O. BOX 1166
181 WATSON ROAD
DOVER, NH 03821
(603) 742-0911

ARCHITECT T.W. DESIGNS, LLC
JOHN M. TUTTLE AIA, LEED AP
254 DRAKE HILL ROAD
STRAFFORD, NH 03884
(603) 664-2181

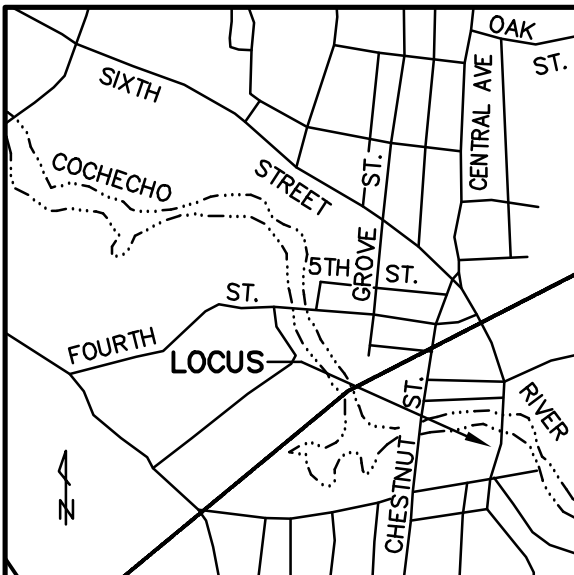
DATE

<u>SHEET INDEX</u>	<u>SHEET</u>
COVER SHEET	1
NEIGHBORHOOD PLAN	2
EXISTING CONDITIONS PLAN (BY MCENEANEY SURVEY)	3
NOTE SHEET	4
SITE PLAN	5
EROSION CONTROL NOTES	6
EROSION CONTROL DETAILS	7 - 8
DETAIL SHEETS	9 - 10
LIGHTING PLAN	11

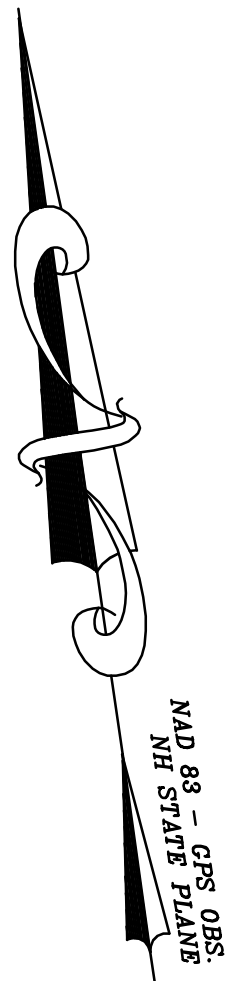
<u>ARCHITECTURAL PLANS</u>	
TRC COVER SHEET	A0
BASEMENT PLAN	A1
FIRST FLOOR PLAN	A2
SECOND FLOOR PLAN	A3
THIRD FLOOR PLAN	A4
FORTH FLOOR PLAN	A5
ROOF PLAN	A6
EXTERIOR ELEVATION	A7
EXTERIOR ELEVATION	A8
EXTERIOR ELEVATION	A9

- PROJECT VARIANCE / PERMIT SUMMARY:
1. FEDERAL AND STATE PERMITS ARE NOT APPLICABLE.
2. LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT OR CONDITIONAL USE PERMITS GRANTED BY THE PLANNING BOARD FOR THE PROPOSED USE OR STRUCTURE, INCLUDING THE CASE NUMBER AND DATE OF DECISION AND ANY CONDITIONS.
- ZONING VARIANCE:
- SITE PLAN:
- CONDITIONAL USE PERMIT:
3. WAIVERS REQUESTED: THE PLANNING BOARD HAS FOUND THE CRITERIA OF CHAPTER 153-21 HAVE BEEN MET AND HAVE APPROVED THE FOLLOWING WAIVERS:
- a. A WAIVER REQUEST FROM THE SITE REVIEW REGULATIONS 153-13. A. (12) - LANDSCAPE PLAN (PENDING)
- b. A WAIVER REQUEST FROM SITE REVIEW REGULATION 157-10D - TRAFFIC STUDY (PENDING)

PLANNING FILE NO.: SITE-2025-0014



LOCATION PLAN
(NO SCALE)



ADDITIONAL ABUTTERS LIST

- | | | |
|-----------|---|---|
| 2 / 50-1 | - | GILLIAN P. CUSACK REVOCABLE LIVING TRUST, GILLIAN P. CUSACK TRUSTEE, 392 CENTRAL AVENUE, UNIT #1, DOVER, NH 03820, BOOK 4614, PAGE 628. |
| 2 / 50-2 | - | PAVILLION PROPERTIES LLC, 9 OVERLOOK DRIVE, DOVER, NH 03820, BOOK 4944, PAGE 909. |
| 2 / 50-3 | - | EMILY K. BAUMEN, 102 CAPE NEDDICK ROAD, YORK, MA 03909, BOOK 4507, PAGE 917. |
| 2 / 50-4 | - | STEVEN A. SMESTAD, P.O. BOX 4333, PORTSMOUTH, NH 03801, BOOK 3229, PAGE 619. |
| 2 / 50-5 | - | EDWARD WILLIAMS, 3 WALDRON COURT, DOVER, NH 03820, BOOK 3764, PAGE 559. |
| 2 / 50-6 | - | MICHAEL DORROW. 388 CENTRAL AVENUE, UNIT #6, DOVER, NH 03820, BOOK 5189, PAGE 1008. |
| 2 / 50-7 | - | PATRICK G. WILLIAMS, 392 CENTRAL AVENUE, UNIT #7, DOVER, NH 03820, BOOK 5082, PAGE 236. |
| 2 / 50-8 | - | LOLITE PROPERTIES LLC, 388 CENTRAL AVENUE, DOVER, NH 03820, BOOK 5075, PAGE 732. |
| 2 / 50-9 | - | LOLITE PROPERTIES LLC, 388 CENTRAL AVENUE, DOVER, NH 03820, BOOK 5075, PAGE 732. |
| 2 / 50-10 | - | LOLITE PROPERTIES LLC, 388 CENTRAL AVENUE, DOVER, NH 03820, BOOK 5075, PAGE 734. |

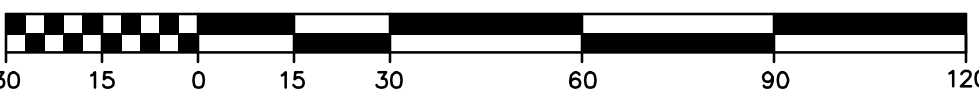
LEGEND

- | | | |
|--------|---|------------------------------------|
| 2 / 50 | - | DENOTES TAX MAP AND PARCEL NUMBER. |
|--------|---|------------------------------------|

PLANNING FILE NO.: SITE-2025-0014

NEIGHBORHOOD PLAN
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DRAWN BY: JJJ	FILE: P25116\DWG\25116 - EC
SCALE: 1" = 30'	DATE: OCTOBER 21, 2025

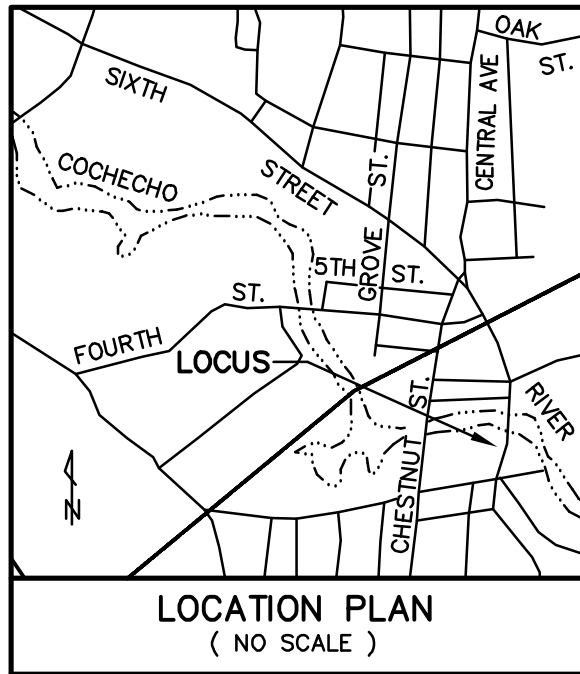


McGneaney
Survey
Associates
of NEW ENGLAND

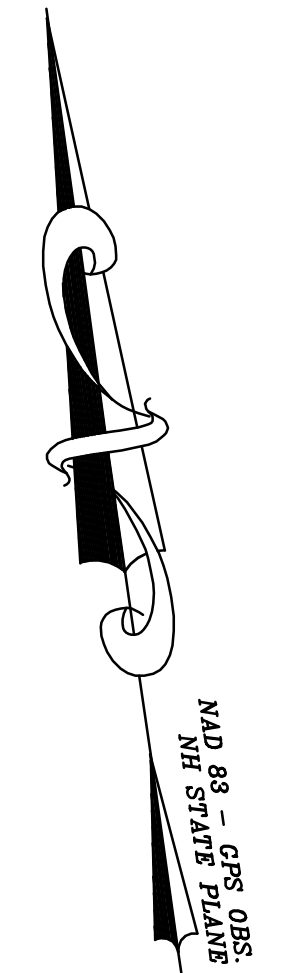
P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

NO.	DATE	DESCRIPTION	BY	CHK	
REVISIONS					
25116	NEIGHBORHOOD	25-06	68-72		
PROJECT NO	TYPE	FIELDBOOK	& PAGES		



LOCATION PLAN
(NO SCALE)



STRUCTURE SCHEDULE:

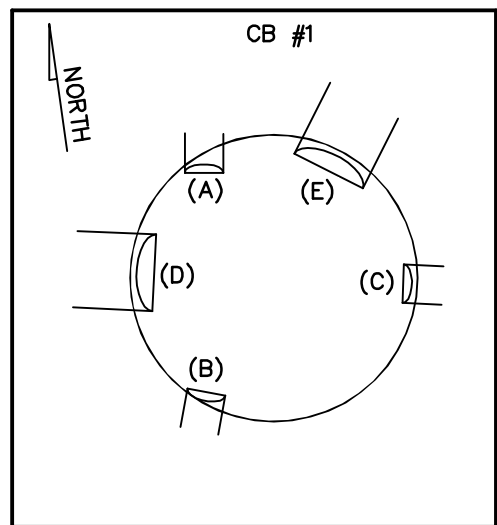
DMH #1
RIM ELEV. = 48.59'
12" RCP = 43.85' INVERT IN
15" HDPE = 44.43' INVERT IN
15" HDPE = 43.81' INVERT OUT

DMH #2
RIM ELEV. = 49.55'
6" RCP = 44.87' INVERT IN
6" DIP = 42.22' INVERT IN
12" RCP = 42.49' INVERT IN
15" RCP = 42.48' INVERT IN
15" HDPE = 45.25' INVERT IN
15" HDPE = 45.37' INVERT IN
24" CMP = 40.77' INVERT OUT

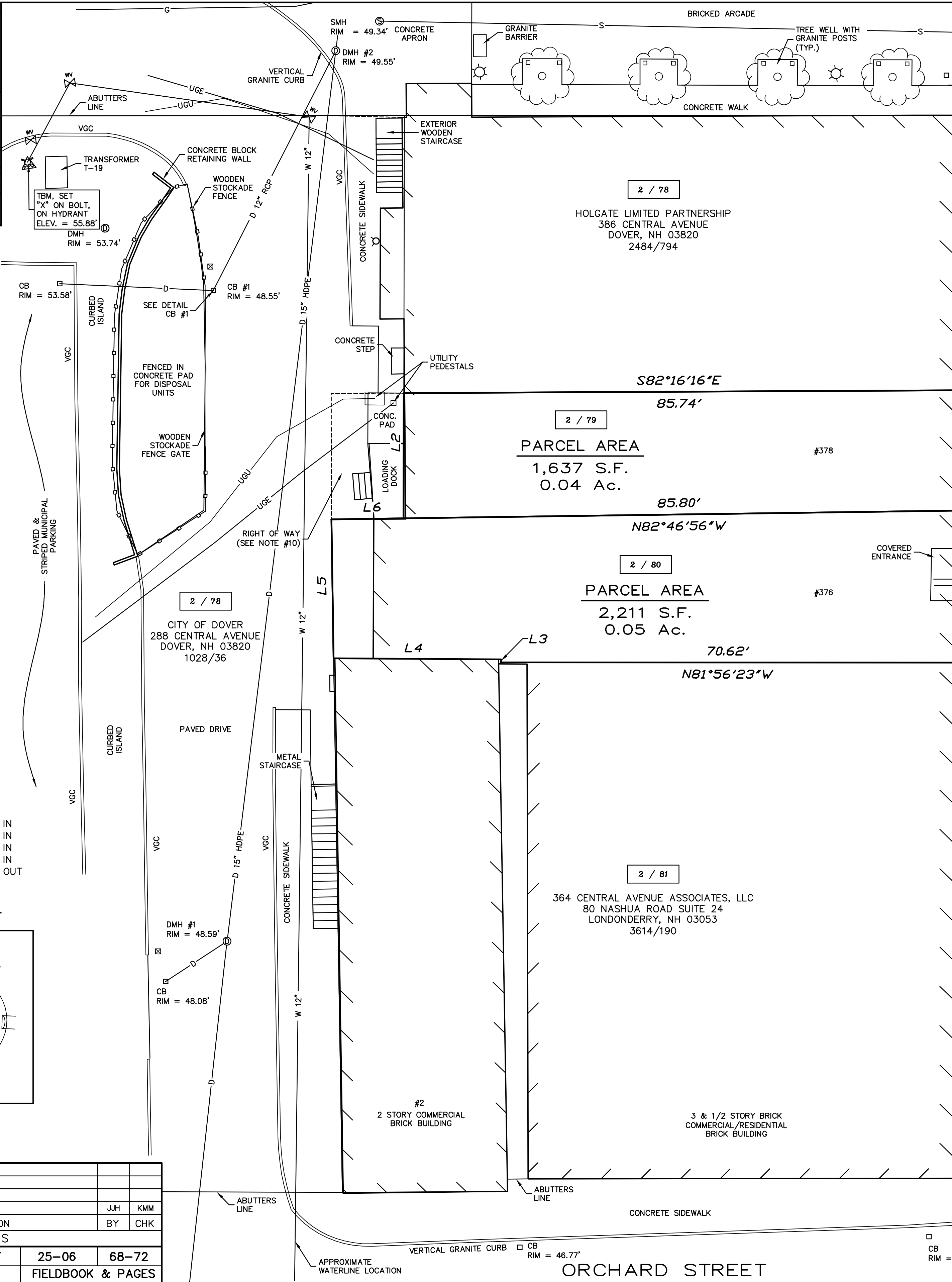
CB #1 (SEE DETAIL)
RIM ELEV. = 48.55'
(A) 6" DIP = 43.93' INVERT IN
(B) 6" DIP = 44.09' INVERT IN
(C) 6" RCP = 45.27' INVERT IN
(D) 12" RCP = 45.08' INVERT IN
(E) 12" RCP = 42.92' INVERT OUT

DETAIL CB #1

NOT TO SCALE



NO.	DATE	DESCRIPTION	BY	CHK
1	10/20/25	REVISE PER TRC COMMENTS	JJH	KMM
REVISIONS				
25116	E.C. & BNDY	25-06	68-72	
PROJECT NO	TYPE	FIELDBOOK	& PAGES	



REFERENCE PLANS:

- PLAN OF LAND PREPARED FOR CITY OF DOVER, NH PROPERTY KNOWN AS THE ORCHARD STREET PARKING LOT TAX MAP 2, LOT No.83 ORCHARD & CHESTNUT STREETS CITY OF DOVER COUNTY OF STRAFFORD STATE OF NEW HAMPSHIRE BY MCENEANEY SURVEY, INC. DATED: MAY 19, 2011; SCALE: 1" = 30'; NOT RECORDED.
- DISPOSITION PLAN OF LAND - PARCEL M/3/1, PARCEL C/3/5 - DOWNTOWN DOVER NO. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 30'; DATED: JANUARY 4, 1979; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 19-44.

No.	Bearing	Distance
L1	S07°59'51"W	18.71'
L2	N08°07'58"E	19.47'
L3	N07°18'26"E	0.45'
L4	N81°34'27"W	26.05'
L5	N07°04'44"E	21.62'
L6	S82°55'16"E	11.24'
L7	S07°59'51"W	23.69'

2 / 35A
VARNEY BROOK LANDS, LLC
375 CENTRAL AVE DOVER, LLC
340 CENTRAL AVENUE #202
DOVER, NH 03820
4503/348

CENTRAL AVENUE
{PUBLIC; VARIABLE WIDTH R.O.W.}

LEGEND

- DECIDUOUS TREE
- GAS VALVE
- CATCH BASIN
- LIGHT POST
- WATER GATE VALVE
- UNDERGROUND ELECTRIC
- UNDERGROUND UTILITIES
- UNDERGROUND GAS
- UTILITY PULL BOX
- DRAIN MANHOLE
- SEWER MANHOLE
- REINFORCED CONCRETE PIPE
- PVC
- POLYVINYL CHLORIDE PIPE
- HDPE
- HIGH-DENSITY POLYETHYLENE
- CORRUGATED METAL PIPE
- DIP
- DUCTILE IRON PIPE
- CMP
- ELEVATION
- S.F.
- ACRE
- (TYP.)
- TYPICAL
- MORE OR LESS
- DIAMETER
- S.C.R.D. - STRAFFORD COUNTY
- REGISTRY OF DEEDS
- FIRE DEPARTMENT CONNECTION
- VGC - VERTICAL GRANITE CURB

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

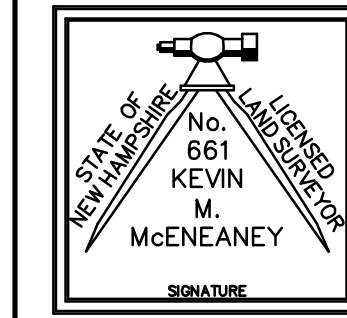
NOTES:

- OWNER OF RECORD:
2 / 79
&
2 / 80
AIREY ROW ON CENTRAL LLC
P.O. BOX 4241
PORTSMOUTH, NEW HAMPSHIRE 03801
S.C.R.D. VOLUME 5262, PAGE 551
- 2 / 79 - DENOTES TAX MAP AND PARCEL NUMBER.
- PARCEL AREAS
2 / 79 = 1,637 S.F. / 0.04 Ac.
2 / 80 = 2,211 S.F. / 0.05 Ac.
- THE INTENT OF THIS PLAN IS TO DEPICT THE PARCEL BOUNDARY AND EXISTING SITE CONDITIONS AS OF JULY 30, 2025.
- ZONING DISTRICT:
CENTRAL BUSINESS DISTRICT - GENERAL (CBD-G)
DIMENSIONAL REQUIREMENTS:
MINIMUM LOT SIZE = N/A
MINIMUM LOT COVERAGE = 75 PERCENT
FRONTAGE BUILD-OUT = 70 PERCENT MINIMUM
BUILDING SETBACK REQUIREMENTS:
FRONT PRIMARY BUILD-TO LINE = (1)*
FRONT SECONDARY BUILD-TO LINE = (1)*
SIDE SETBACK = 0' MIN. - 24' MAXIMUM
REAR SETBACK = 10' MINIMUM
MAXIMUM BUILDING HEIGHT = 5 STORY MAXIMUM, 2 STORY MINIMUM
(1)* - THE PROPERTY OWNER SHALL CALCULATE THE AVERAGE FRONT SETBACKS OF ALL LOTS WITHIN THE SAME ZONE LOCATED ON THE SAME SIDE OF THE STREET, 250 FEET IN EACH DIRECTION FROM THE CENTER OF THE FRONT LOT LINE. THIS FRONT SETBACK DIMENSION SHALL BE CONSIDERED TO BE A BUILD-TO LINE. STRUCTURES MAY BE CONSTRUCTED WITHIN 5 FEET PLUS OR MINUS OF THE AVERAGE. PORCHES OR STEPS MAY BE LOCATED AN ADDITIONAL 5 FEET BEYOND THE FRONT FACADE OF THE STRUCTURE. EXPANSIONS TO EXISTING STRUCTURES SHALL BE SUBJECT TO A MINIMUM SETBACK EQUAL TO THE CALCULATED AVERAGE SETBACK MINUS 5 FEET.
- THE SUBJECT PARCEL IS WITHIN THE SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD, ZONE AE (BASE FLOOD ELEVATIONS DETERMINED); AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 33017C0330E; EFFECTIVE DATE SEPTEMBER 30, 2015.
- BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED JULY 30, 2025. VERTICAL DATUM IS NAVD83 BASED ON GPS OBSERVATION DATED JULY 30, 2025.
- PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND ON DURING JULY 30, 2025 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.
- THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.
- SUBJECT PARCEL IS IN BENEFIT TO A RIGHT OF WAY AS RECORDED S.C.R.D. BOOK 1024, PAGE 323.

PLANNING FILE NO.: SITE-2025-0014

EXISTING CONDITIONS PLAN
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY OF DOVER
COUNTY OF STRAFFORD
STATE OF NEW HAMPSHIRE

DRAWN BY: JJH
SCALE: 1" = 10'
FILE: P25116\DWG\25116 - EC
DATE: AUGUST 28, 2025

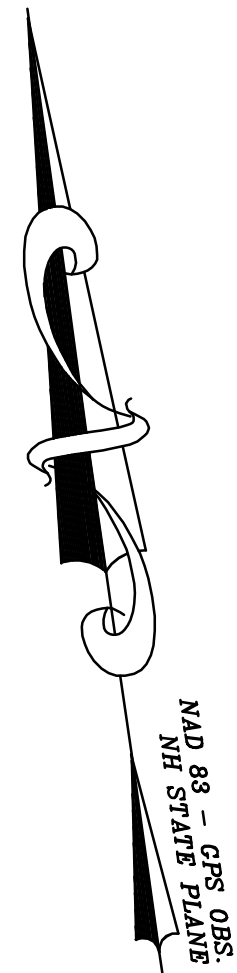
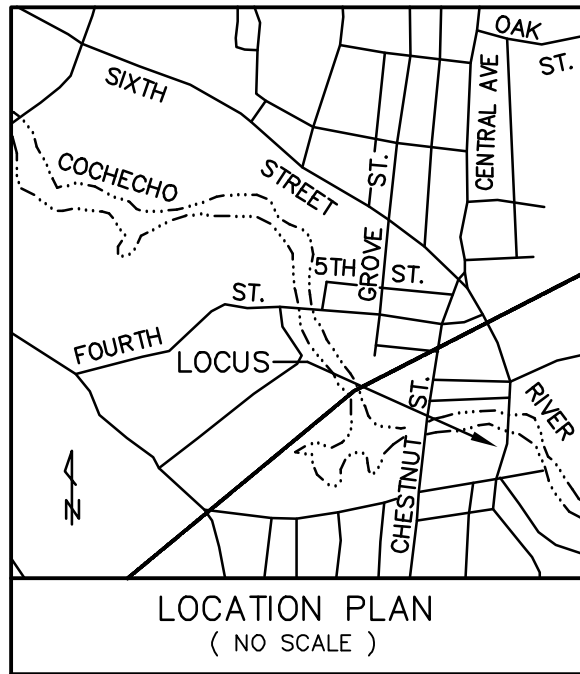


McEneaney
Survey
Associates
of NEW ENGLAND

P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

10/27/2025 16:39:26 File: P:\25116 - 376 Central Avenue Dover, NH\Airey ROW\CVL\DWG\25116-SITE.dwg Layout: SITE PLAN



STRUCTURE SCHEDULE:

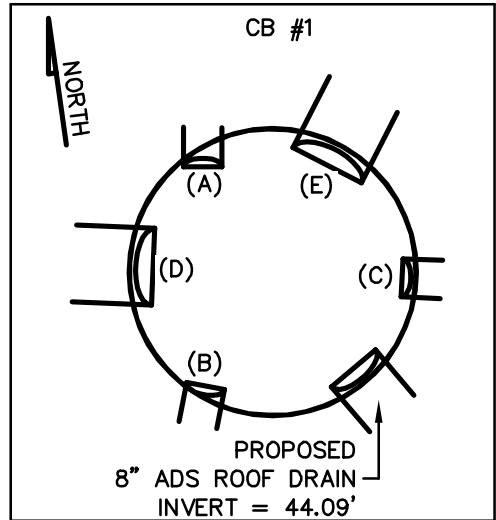
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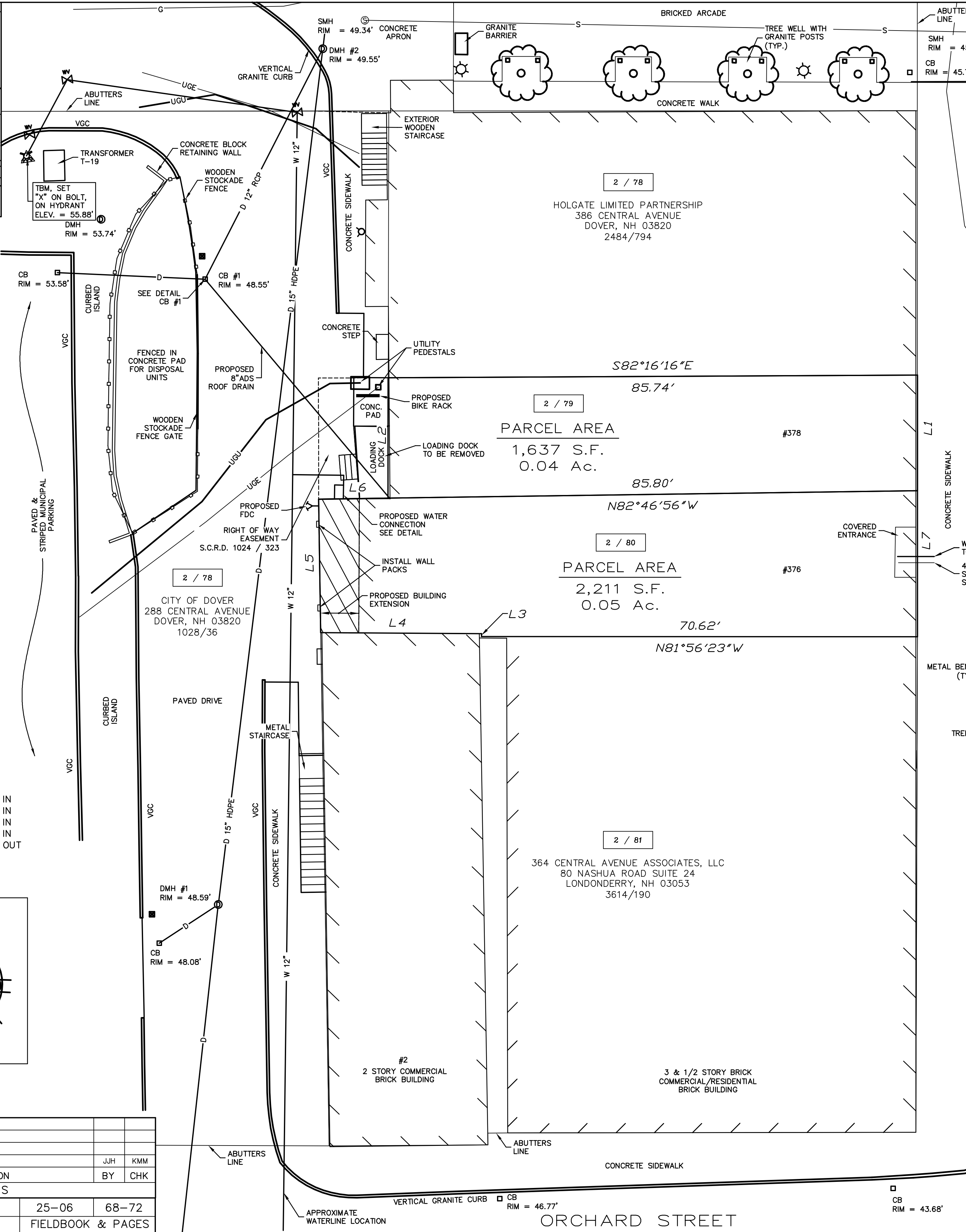
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DETAIL CB #1

NOT TO SCALE



NO.	DATE	DESCRIPTION	BY	CHK
1	10/20/25	REVISE PER TRC COMMENTS	JJH	KMM
REVISIONS				
25116	SITE	25-06	68-72	
PROJECT NO	TYPE	FIELDBOOK	& PAGES	



SITE PARKING CALCULATIONS

COMMERCIAL MANUFACTURING (CM) DISTRICT

USES:	MAXIMUM	PROPOSED
RETAIL: 2,151 S.F.	8	0
15 APTS.:	15	15
TOTAL	23	15

2 / 35A
VARNEY BROOK LANDS, LLC
375 CENTRAL AVE DOVER, LLC
340 CENTRAL AVENUE #202
DOVER, NH 03820
4503/348

2 / 35
VARNEY BROOK LANDS, LLC
375 CENTRAL AVE DOVER, LLC
340 CENTRAL AVENUE #202
DOVER, NH 03820
4503/348

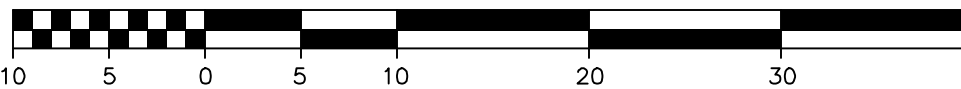
LEGEND

- DECIDUOUS TREE
- GAS VALVE
- CATCH BASIN
- LIGHT POST
- WATER GATE VALVE
- UNDERGROUND ELECTRIC
- UNDERGROUND UTILITIES
- UNDERGROUND GAS
- UTILITY PEDESTAL
- DRAIN MANHOLE
- SEWER MANHOLE
- REINFORCED CONCRETE PIPE
- PVC - POLYVINYL CHLORIDE PIPE
- HDPE - HIGH-DENSITY POLYETHYLENE
- CMP - CORRUGATED METAL PIPE
- DIP - DUCTILE IRON PIPE
- ELEV. - ELEVATION
- S.F. - SQUARE FEET
- Ac. - ACRE
- (TYP.) - TYPICAL
- MORE OR LESS
- DIAMETER
- S.C.R.D. - STRAFFORD COUNTY
- REGISTRY OF DEEDS
- FIRE DEPARTMENT CONNECTION

PLANNING FILE NO.: SITE-2025-0014

SITE PLAN
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DRAWN BY: JJH FILE: P25116\CVL\DWG\25116-SITE
SCALE: 1" = 10' DATE: OCTOBER 20, 2025



Mcneaney
Survey
Associates
of NEW ENGLAND

P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

DESCRIPTION

1. THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE IMPROVEMENTS TO A MULTI-USE BUILDING WITH 15 RESIDENTIAL UNITS & 4 COMMERCIAL UNITS.

PROJECT NAME AND LOCATION

AIREY ROW ON CENTRAL, LLC
376 & 378 CENTRAL AVE
DOVER, NH 03820

LATITUDE N . . "
LONGITUDE W . . "

DISTURBED AREA

± S.F.

NOTES:

1. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.

SEQUENCE OF MAJOR ACTIVITIES

1. CONTRACTOR SHALL PREPARE THE SWPPP, FILE FOR AND OBTAIN THE NOI A MINIMUM OF 2 WEEKS PRIOR TO COMMENCEMENT OF SITE WORK.
2. PLACE TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S PRIOR TO EARTH MOVING ACTIVITIES.
3. ALL EROSION CONTROL AND PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCING EARTH MOVING OPERATIONS.
4. SELECTIVE DEMOLITION.
5. REGRADE SITE TO SUBGRADE.
6. TEMPORARY WATER DIVERSION (SWALES, BASINS) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
7. SWALES AND PONDS (AS APPLICABLE) SHALL BE CONSTRUCTED EARLY ON IN THE CONSTRUCTION SEQUENCE AND BEFORE ROUGH GRADING OF THE SITE AND ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. INSTALL DRAINAGE STRUCTURES AND CONTROLS.
9. INSTALL FOUNDATION FOOTINGS AND WALLS.
10. INSTALL UTILITIES.
11. PLACE GRAVELS AND FINE GRADE.
12. STABILIZE ROADWAYS AND PARKING AREAS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
13. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED (AS APPLICABLE) WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
14. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
15. IN ALL CASES THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION AND IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
16. WHEN ALL SITE WORK IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND FILE THE EPA - N.O.T.

DEFINITIONS

- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED.
1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

INSTALLATION, MAINTENANCE, AND INSPECTION PROCEDURES OF EROSION AND SEDIMENT CONTROLS

A. SILT BARRIER

1. INSTALLATION
a. USE SILT BARRIER AS PERIMETER CONTROLS, PARTICULARLY AT THE LOWER OR DOWN SLOPE EDGE OF A DISTURBED AREA
b. LEAVE SPACE FOR MAINTENANCE BETWEEN TOE AND SLOPE OF SILT BARRIER.
c. TRENCH IN THE SILT BARRIER ON THE UPHILL SIDE (6 INCHES DEEP BY 6 INCHES WIDE).
d. INSTALL STAKES ON THE DOWNHILL SIDE OF THE SILT BARRIER.
e. CURVE THE END OF THE SILT BARRIER UP-GRADIENT TO HELP IT CONTAIN RUNOFF.
2. SEQUENCE OF INSTALLATION
a. SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF CONTRIBUTING DRAINAGE AREA ABOVE THEM.
3. MAINTENANCE
a. SILT BARRIERS SHOULD BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
b. SILT BARRIERS HAVE A USEFUL LIFE OF ONE SEASON. ON LONGER CONSTRUCTION PROJECTS, SILT BARRIERS SHOULD BE REPLACED PERIODICALLY TO MAINTAIN EFFECTIVENESS.
c. REMOVE SEDIMENT WHEN IT REACHES ONE-THIRD (1/3) THE HEIGHT OF THE SILT BARRIER.
d. REPLACE THE SILT BARRIERS WHERE THEY ARE TORN, WORN, OR OTHERWISE DAMAGED AND MONITOR PERFORMANCE TO ENSURE EFFECTIVE PERFORMANCE.
e. RETRENCH OR REPLACE ANY SILT BARRIER THAT IS NOT PROPERLY ANCHORED TO THE GROUND.
f. IF THERE IS EVIDENCE OF END FLOW ON PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER REPLACING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDIMENT TRAPS.
g. SILT BARRIERS SHOULD BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SILT BARRIERS SHOULD BE REPLACED WITH A TEMPORARY CHECK DAM.
B. MULCHING
1. TIMING
a. APPLY MULCH PRIOR TO ANY STORM EVENT. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.
b. IN OTHER AREAS, THE TIME PERIOD CAN RANGE FROM 14 TO 30 DAYS OF INACTIVITY ON A AREA. THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. PROFESSIONAL JUDGEMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.
c. WITHIN 100 FEET OF RIVERS, STREAMS, WETLANDS, AND IN LAKE AND POND WATERSHEDS, THE TIME PERIOD OF WHICH MULCHING SHOULD TAKE OCCUR SHOULD BE NO GREATER THAN SEVEN (7) DAYS. THIS SEVEN DAY LIMIT SHOULD BE REDUCED FURTHER DURING WET WEATHER PERIODS.
2. APPLICATION RATE
a. MULCH SHALL BE APPLIED AT A RATE OF BETWEEN 1.5 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1000 SQUARE FEET.
b. GUIDELINES FOR WINTER MULCH APPLICATION. WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 150-200 POUNDS OF HAY OR STRAW PER ACRE WITH ABOUT 4 INCHES IN DEPTH. A TACKIFIER MAY BE ADDED TO THE MULCH.
3. MAINTENANCE
a. ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS. CHECK FOR SIGNS OF EROSION OR DISPLACEMENT OF THE MULCH. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.
b. NETS MUST BE INSPECTED AFTER RAIN EVENTS FOR DISLOCATION OR FAILURE AND SHOULD BE REPAIRED AS NECESSARY.
c. INSPECTIONS SHOULD TAKE PLACE UNTIL THE SITE IS ESTABLISHED.
d. EROSION CONTROL MIX MULCH USED FOR TEMPORARY STABILIZATION SHOULD BE LEFT IN PLACE. VEGETATION ADDS STABILITY AND SHOULD BE PROMOTED.

C. TEMPORARY SEEDING

1. SEEDED PREPARATION
a. STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
c. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS.
i) APPLY FERTILIZER AT A RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER OR EQUIVALENT.
ii) APPLY LIMESTONE AT A RATE OF 3 TONS PER ACRE OR 138 POUNDS PER 1,000 SQUARE FEET.
2. SEEDING
a. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SUMMARY INCLUDING SEED AND FERTILIZER) WITH A SEEDING DEPTH FROM A QUARTER (1/4) TO A HALF (1/2) INCH.
b. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
c. TEMPORARY SEEDING BETWEEN MAY 15TH AND AUGUST 15TH SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE.
d. VEGETATED GROWTH COVERING 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15TH.
3. MAINTENANCE
a. TEMPORARY SEEDING SHALL BE INSPECTED PERIODICALLY. AT A MINIMUM, 85% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER FABRICS, CHECK DAMS, ETC.).

D. PERMANENT SEEDING

1. BEDDING - STONES LARGER THAN 2 INCHES, TRASH, ROOTS, AND OTHER DEBRIS INTERFERING WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA SHOULD BE REMOVED. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF 4" TO PREPARE A SEEDED AND MIX FERTILIZER INTO THE SOIL.
2. FERTILIZER
a. LIME AND FERTILIZER SHOULD BE WORKED INTO THE SOIL TO A DEPTH OF 4 INCHES USING A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT PRIOR TO OR AT THE SAME TIME OF SEEDING.
b. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER.
c. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE @ 138 LBS. PER 1,000 S.F.
LOW PHOSPHATE (N-P205-K20) FERTILIZER @ 13.8 LBS. PER 1,000 S.F.
3. SEED MIXTURE (RECOMMENDED)
RATE:
TYPE LBS. PER ACRE LBS. PER 1,000 S.F.
TALL FESCUE 20 0.45
CREEPING RED 20 0.45
FESCUE 8 0.20
BIRDSFOOT TREFOL 48 1.10
TOTAL
4. SEEDING
a. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST.
b. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER) WITH A SEEDING DEPTH FROM A QUARTER (1/4) TO A HALF (1/2) INCH.
c. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED SHOULD BE ACHIEVED PRIOR TO OCTOBER 15TH. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.
5. HYDROSEEDING
a. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. THE USE OF STRAW MULCH ON CRITICAL AREAS IS PREFERRED SINCE IT GRANTS BETTER SLOPE PROTECTION BY USING ADHESIVE MATERIALS.
b. SLOPES MUST BE NO STEEPER THAN 2 TO 1 (2 FEET HORIZONTALLY TO 1 FOOT VERTICALLY).
c. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
6. MAINTENANCE
a. PERMANENT SEEDED AREAS SHOULD BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION, INSPECTIONS, MAINTENANCE, AND CORRECTIVE ACTIONS SHOULD CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.
b. SEEDED AREAS SHOULD BE MOWED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION, WITH MOWING HEIGHT AND FREQUENCY DEPENDENT ON TYPE OF GRASS COVER.
c. BASED ON INSPECTION, AREAS SHOULD BE RESEEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
d. IF EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS RESEEDED. WITH OTHER TEMPORARY MEASURES USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.
e. AT A MINIMUM, 85% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION.

E. STORM DRAIN INLET PROTECTION

1. SPECIFICATIONS
a. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE BARRIER SHOULD BE LESS THAN ONE ACRE.
b. ANY RESULTANT PONDING OF STORMWATER MUST NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.
2. INSTALLATION
a. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED AND BEFORE LAND-DISTURBANCE ACTIVITIES BEGIN IN AREAS WITH EXISTING STORM DRAIN SYSTEMS.
b. PROTECT ALL INLETS THAT COULD RECEIVE STORMWATER FROM YOUR CONSTRUCTION PROJECT.
c. USE IN CONJUNCTION WITH OTHER EROSION PREVENTION AND SEDIMENT CONTROL BMPs.
d. DESIGN YOUR INLET PROTECTION TO HANDLE THE VOLUME OF WATER FROM THE AREA BEING DRAINED. ENSURE THAT THE DESIGN IS SIZED APPROPRIATELY.
3. MAINTENANCE
a. INSPECT INLETS BARRIERS FREQUENTLY, BEFORE AND AFTER EACH RAINFALL EVENT AND REPAIR WHEN NECESSARY.
b. SEDIMENT SHOULD BE REMOVED AND THE STORM DRAIN SEDIMENT BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE BARRIER.
c. REMOVED SEDIMENT SHOULD BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
d. SWEEP STREETS, SIDEWALKS, AND OTHER PAVED AREAS REGULARLY.
e. ALL CATCH BASINS AND STORM DRAIN INLETS MUST BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.

WASTE DISPOSAL

- a. WASTE MATERIALS
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
b. HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
c. SANITARY WASTE
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES

THE PROJECT PROPONENT IS RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES DURING CONSTRUCTION AND THE PROPERTY OWNER IS RESPONSIBLE AFTER CONSTRUCTION IS COMPLETE.

CATCH BASINS & STORMWATER TREATMENT STRUCTURES

HAZARDOUS MATERIALS AND/OR AFTER A MAJOR RAINFALL EVENT TO ASSURE THAT DEBRIS OR OTHER MATERIALS ARE NOT PRESENT. THE FOLLOWING PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL SANITARY EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES THAT WILL BE FOLLOWED ON SITE DURING

1. THE CONSTRUCTION PROJECT:
a. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
b. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
d. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
e. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
f. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
2. HAZARDOUS PRODUCTS:
a. THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
b. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
c. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
d. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

- B. PRODUCT SPECIFICATION PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
1. PETROLEUM PRODUCTS:
a. ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
2. FERTILIZERS:
a. FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
3. PAINTS:
a. ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
4. CONCRETE TRUCKS:
a. CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA ON SITE.

- C. SPILL CONTROL PRACTICES
IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
c. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
d. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OF LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
f. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT OCCURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
g. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

THE PROJECT PROPONENT IS REQUIRED TO MANAGE CONSTRUCTION TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO CONTROLLING INVASIVE SPECIES AND CONTROLLING FUGITIVE DUST IN ACCORDANCE WITH ENV-A 1002.

AGR 3800 PROHIBITED INVASIVE PLANT SPECIES RULES

THE RULE, AGR 3800, STATES: NO PERSON SHALL COLLECT, TRANSPORT, IMPORT, EXPORT, MOVE, BUY SELL, DISTRIBUTE, PROPAGATE OR TRANSPLANT ANY LIVING AND VIABLE PORTION OF ANY PLANT SPECIES, WHICH INCLUDED ALL OF THEIR CULTIVARS AND VARIETIES, LISTED IN TABLE 3800.1, NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST. A COMPLETE COPY OF THE RULES CAN BE ACCESSED ON THE INTERNET AT
HTTP://AGRICULTURE.NH.GOV/TOPICS/PLANTS_INSECTS.HTM.

ENV-A 1002 FUGITIVE DUST: PRECAUTIONS TO PREVENT, ABATE, AND CONTROL FUGITIVE DUST.

- a. ANY PERSON ENGAGED IN ANY ACTIVITY WITHIN THE STATE EMITS FUGITIVE DUST, OTHER THAN THOSE LISTED IN ENV-A 1002.02 (b), SHALL TAKE PRECAUTIONS THROUGHOUT THE DURATION OF THE ACTIVITY IN ORDER TO PREVENT, ABATE, AND CONTROL THE EMISSION OF FUGITIVE DUST.
b. PRECAUTIONS REQUIRED BY (a) ABOVE, SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
i) THE USE OF WATER OR HYDROPHILIC MATERIAL ON OPERATIONS OR SURFACES, OR BOTH.
ii) THE APPLICATION OF ASPHALT, WATER, OR HYDROPHILIC MATERIAL, OR TARPS OR OTHER SUCH COVERS TO MATERIAL STOCKPILES;
iii) THE USE OF HOODS, FANS, FABRIC FILTERS, OR OTHER DEVICES TO ENCLOSE AND VENT AREAS WHERE MATERIALS PRONE TO PRODUCING FUGITIVE DUST ARE HANDLED;
iv) THE USE OF CONTAINMENT METHODS FOR SANDBLASTING OR SIMILAR OPERATIONS; AND
v) THE USE OF VACUUMS OR OTHER SUCTION DEVICES TO COLLECT AIRBORNE PARTICULATE MATTER.

WINTER CONSTRUCTION NOTES

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT.
2. ALL DITCHES & SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD AND PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

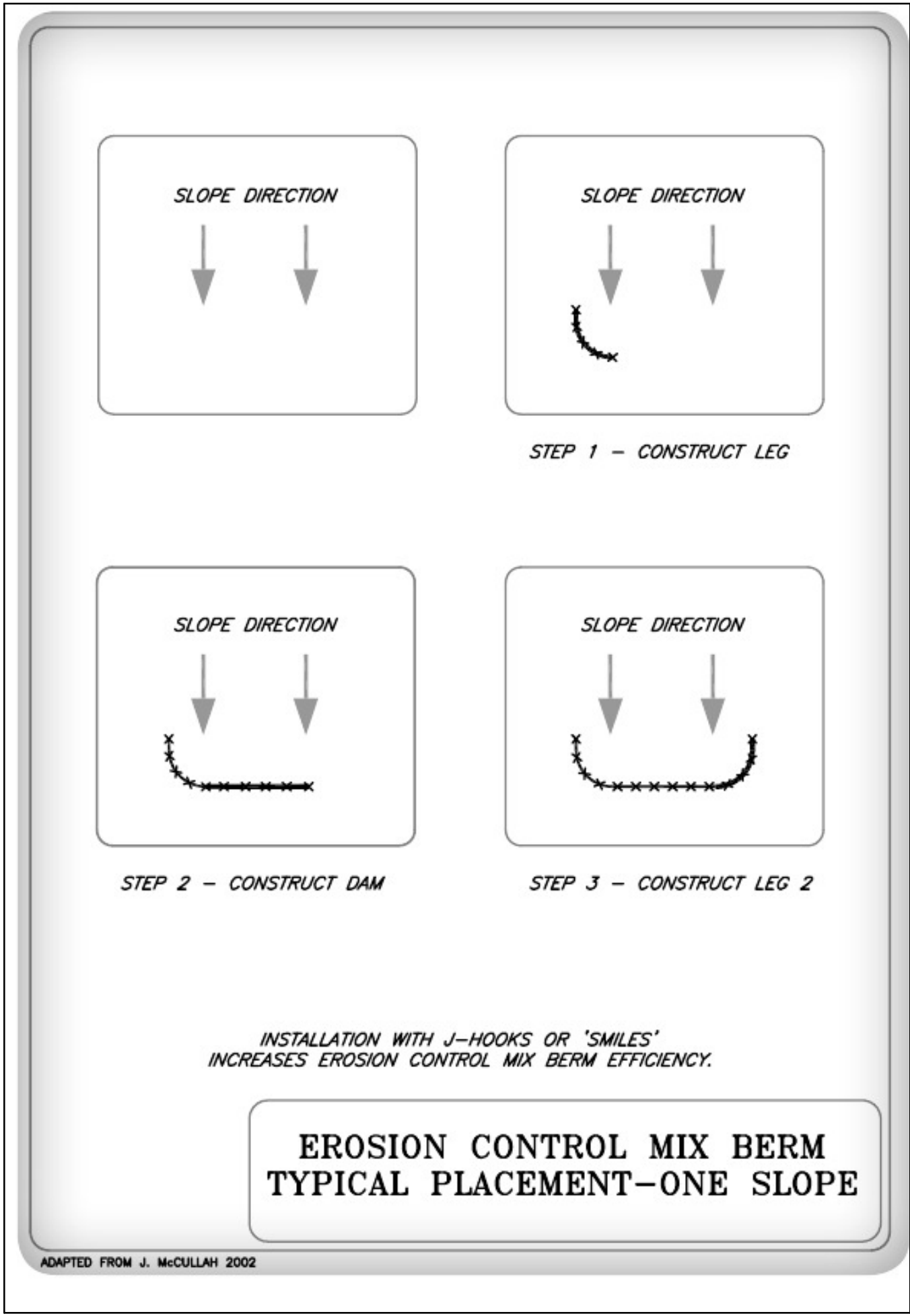
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EROSION CONTROL NOTES
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY OF DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

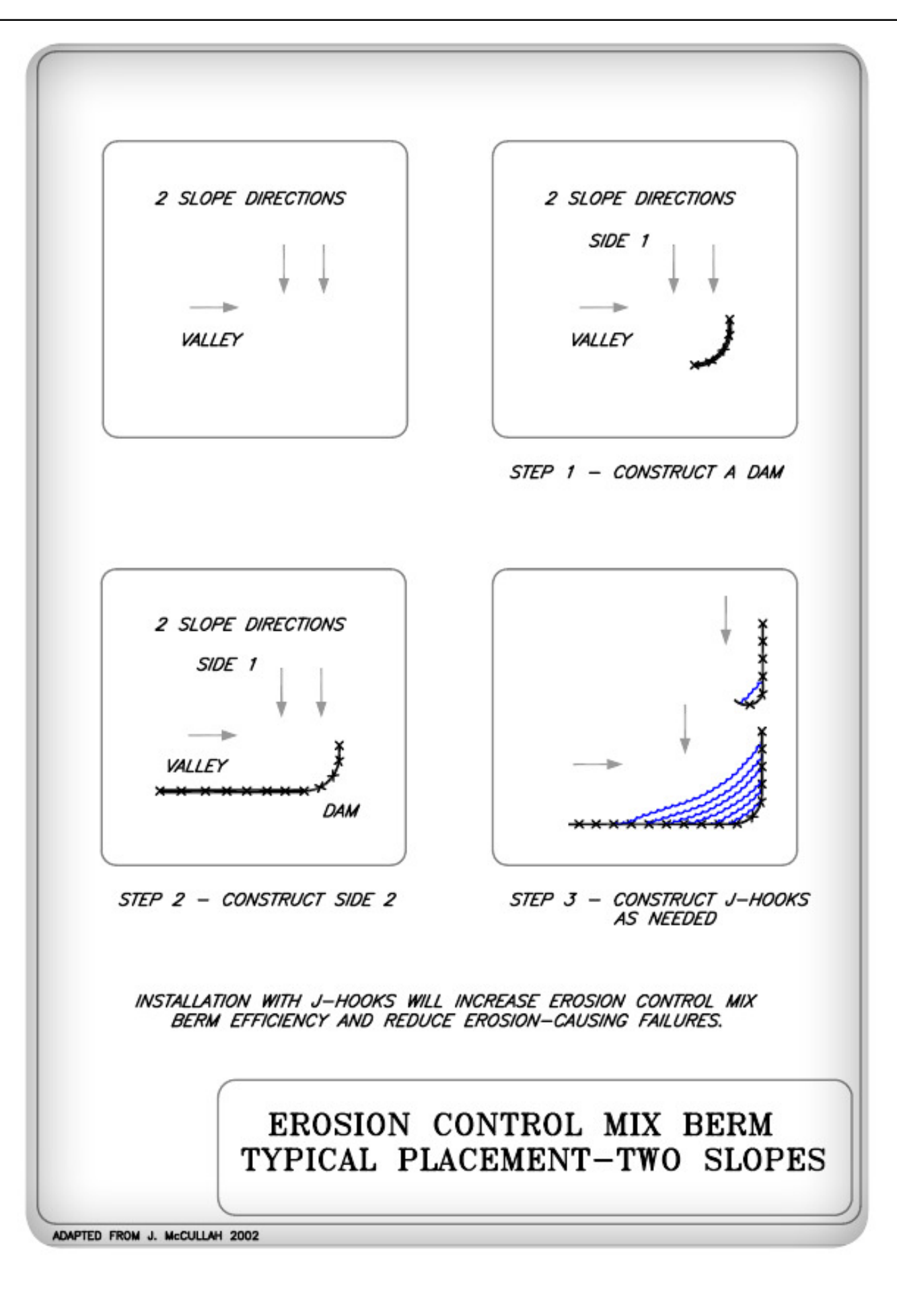
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SCALE: DATE: OCTOBER 20, 2025

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*A*ssociates
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P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-0911

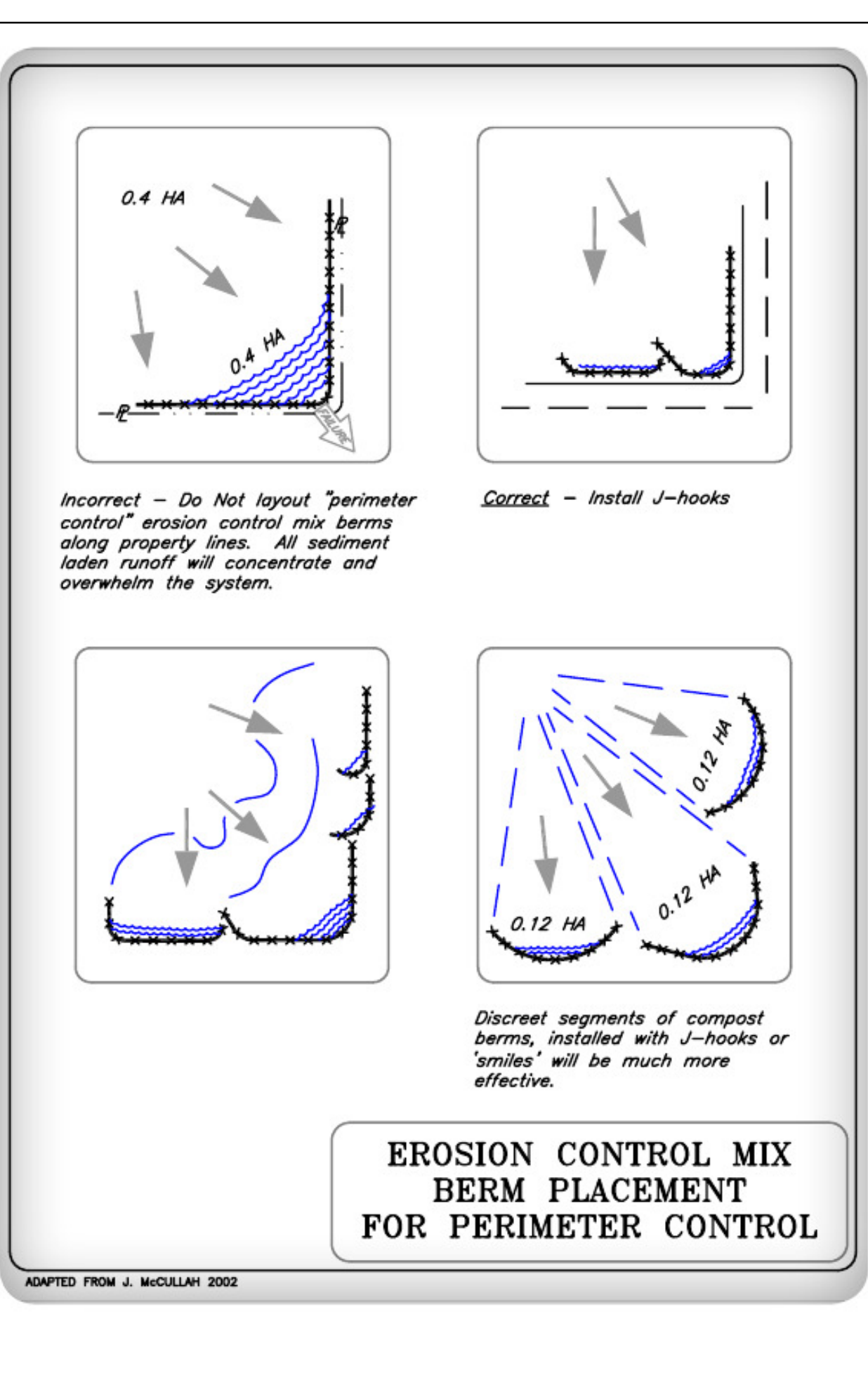
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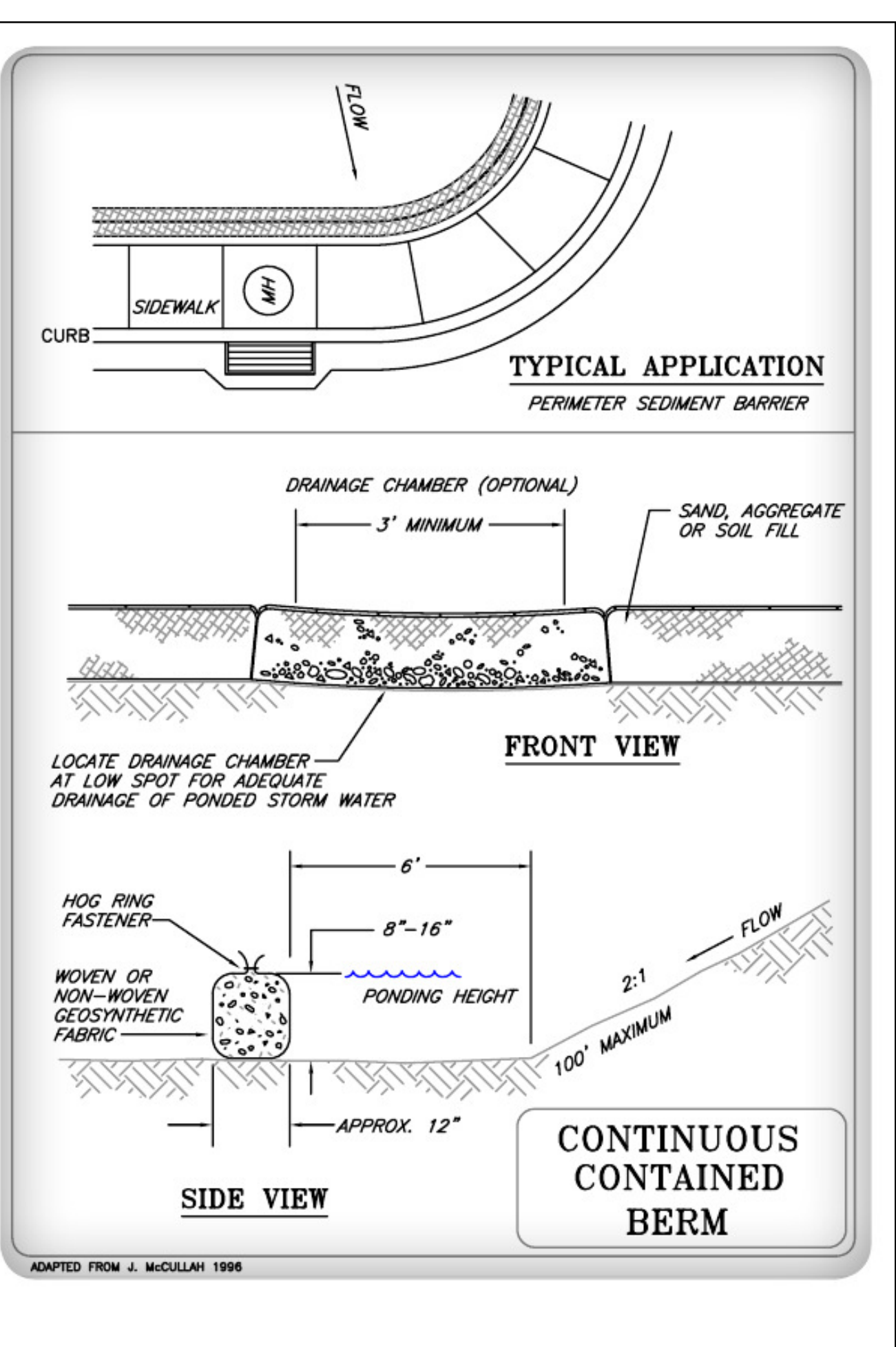
DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3



DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3

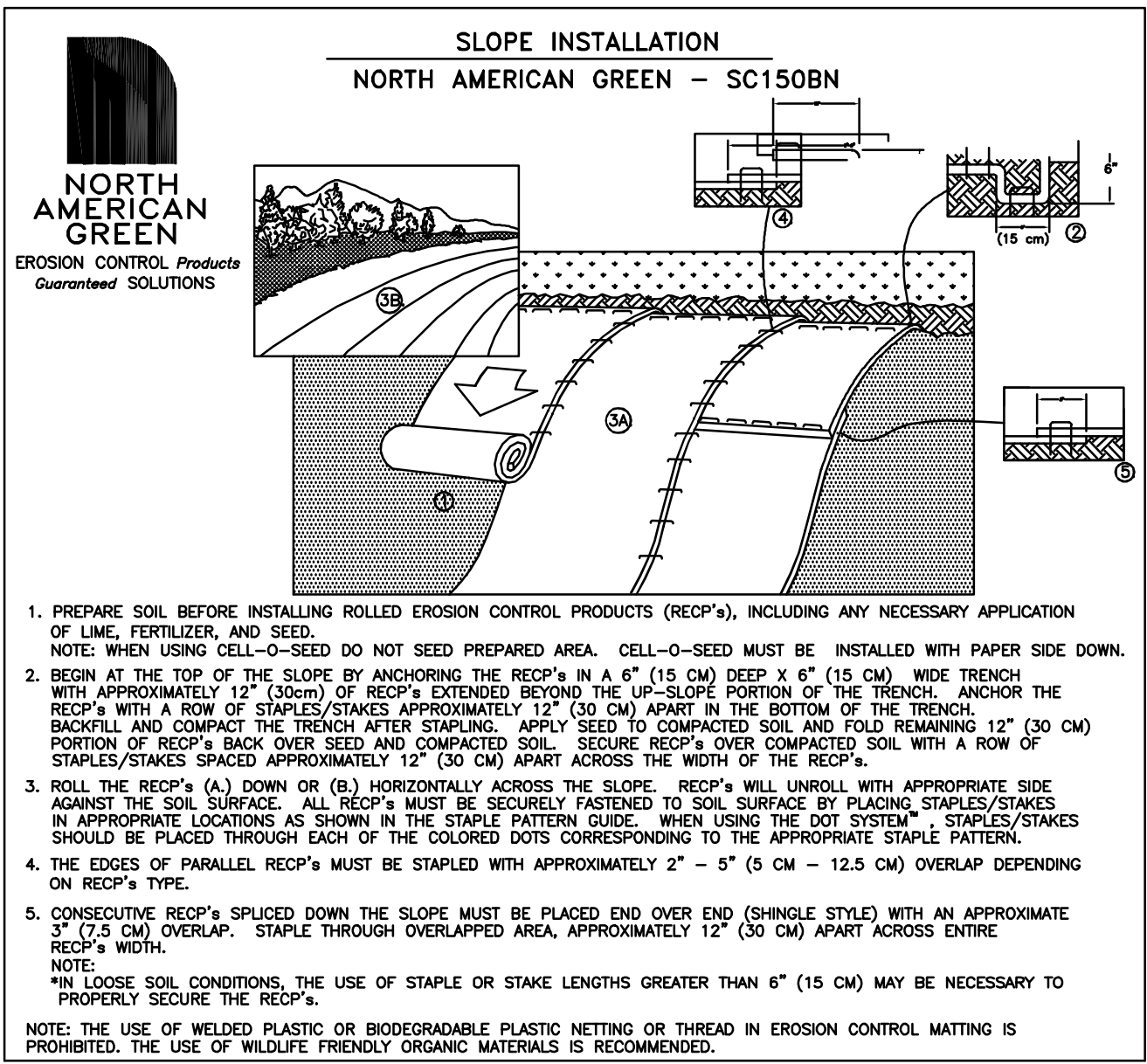
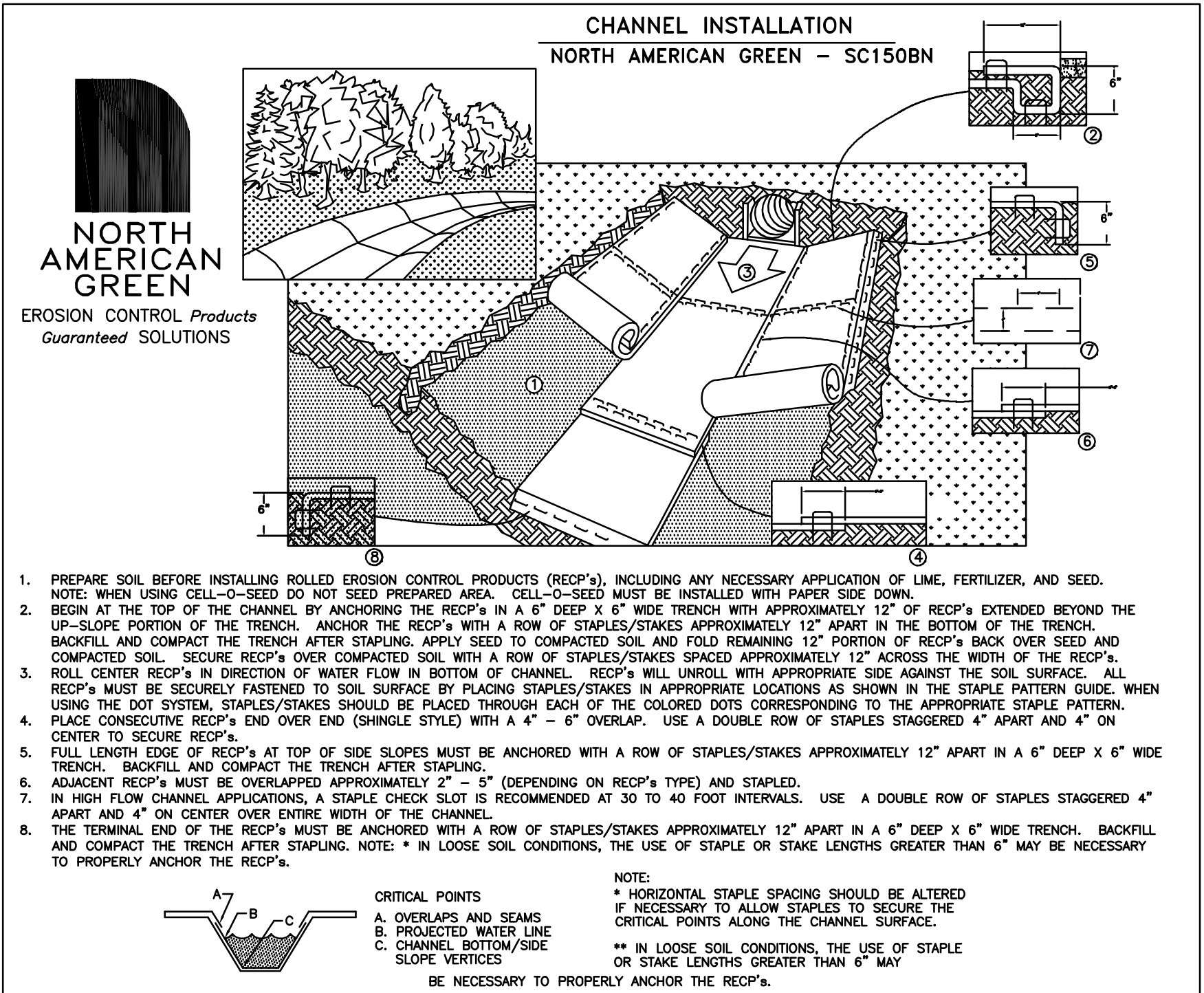


DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3



DETAIL FROM NHDES STORMWATER MANUAL VOLUME 3

1	10/20/25	REVISE PER TRC COMMENTS		JJH	KMM
NO.	DATE	DESCRIPTION		BY	CHK
CNE		REVISIONS			
PROJ	TYPE	FB	PAGES		
PROJECT NO	TYPE	FIELDBOOK	& PAGES		



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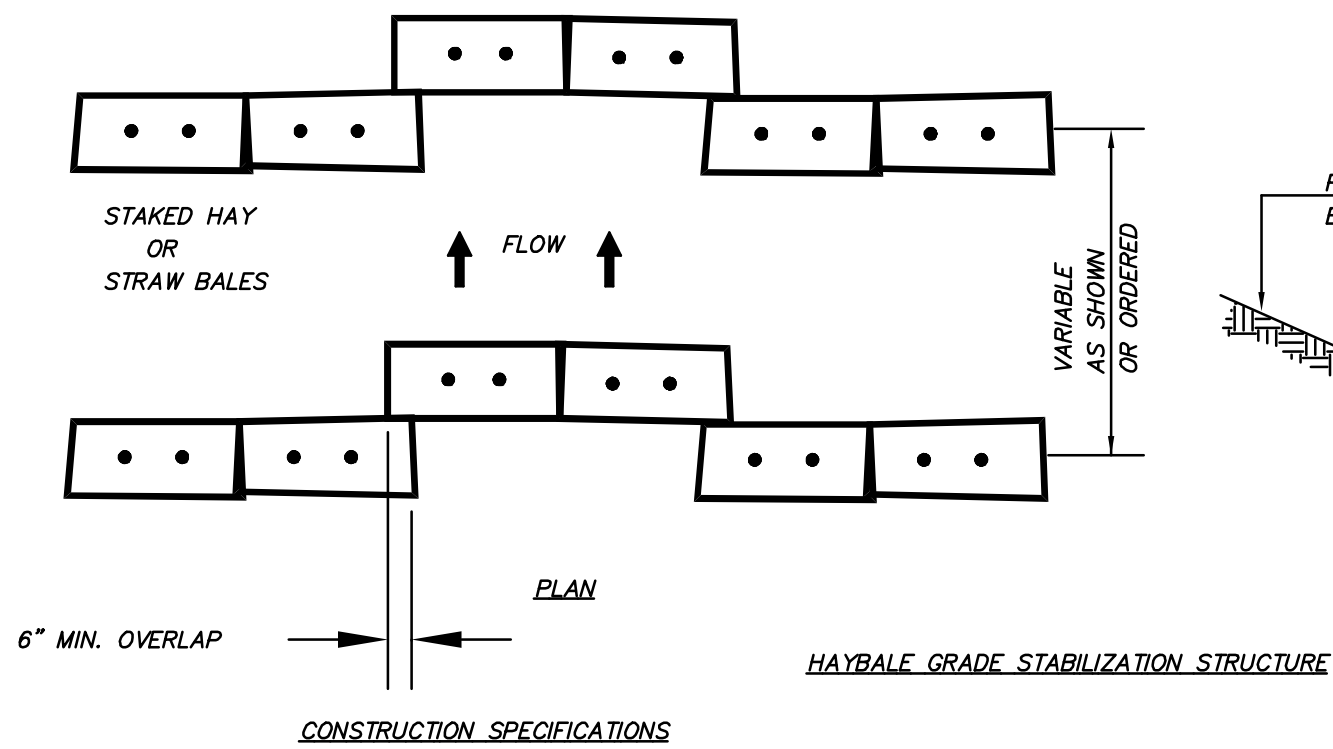
EROSION CONTROL DETAILS
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

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SCALE: 1" = 10'
FILE: FILE
DATE: 10-20-25

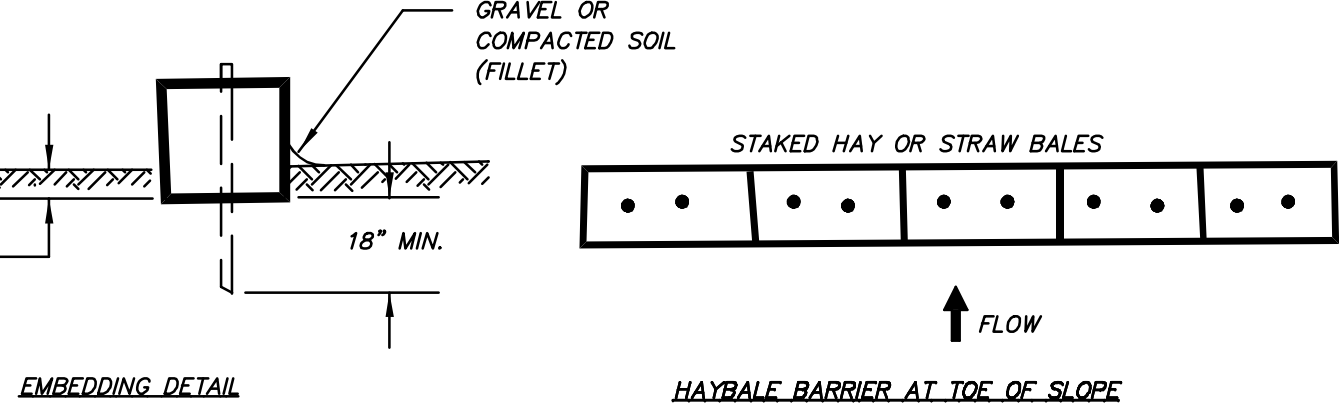
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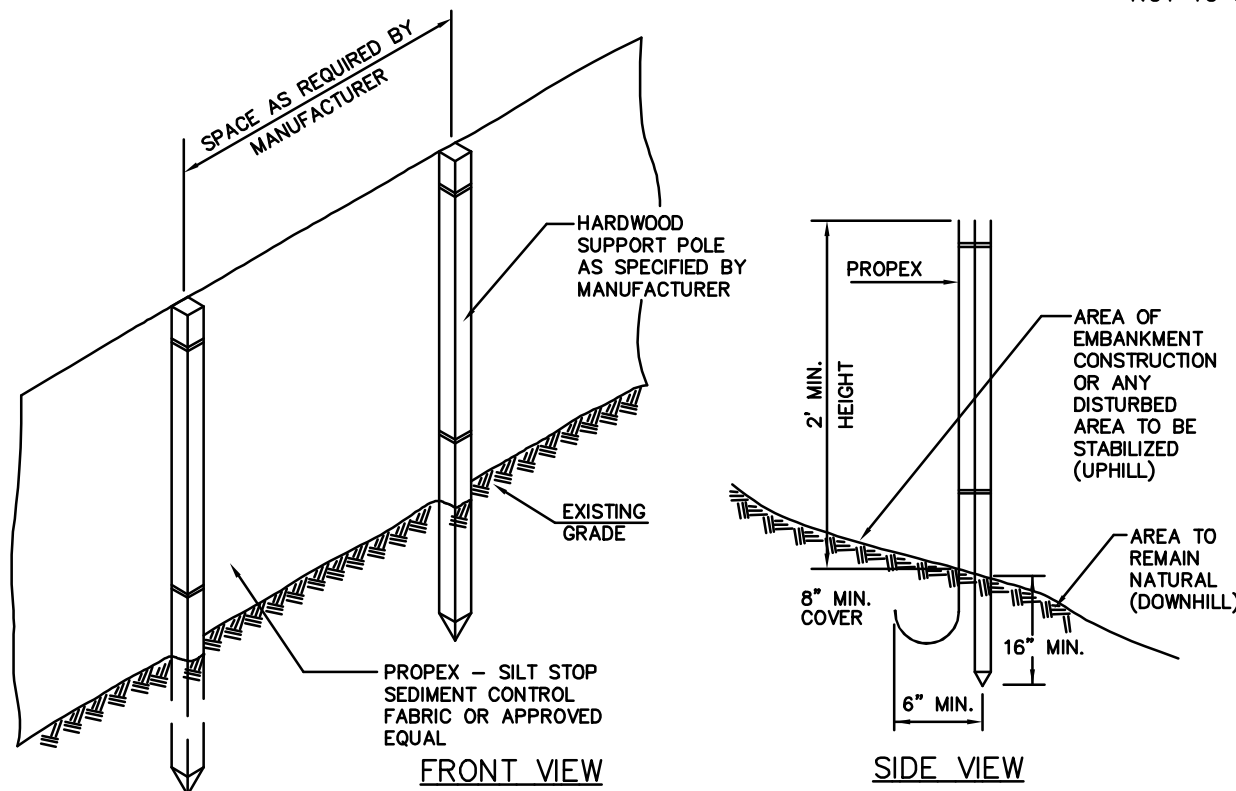


- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY 2" x 2" STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENT PRIOR TO REMOVING HAYBALES.



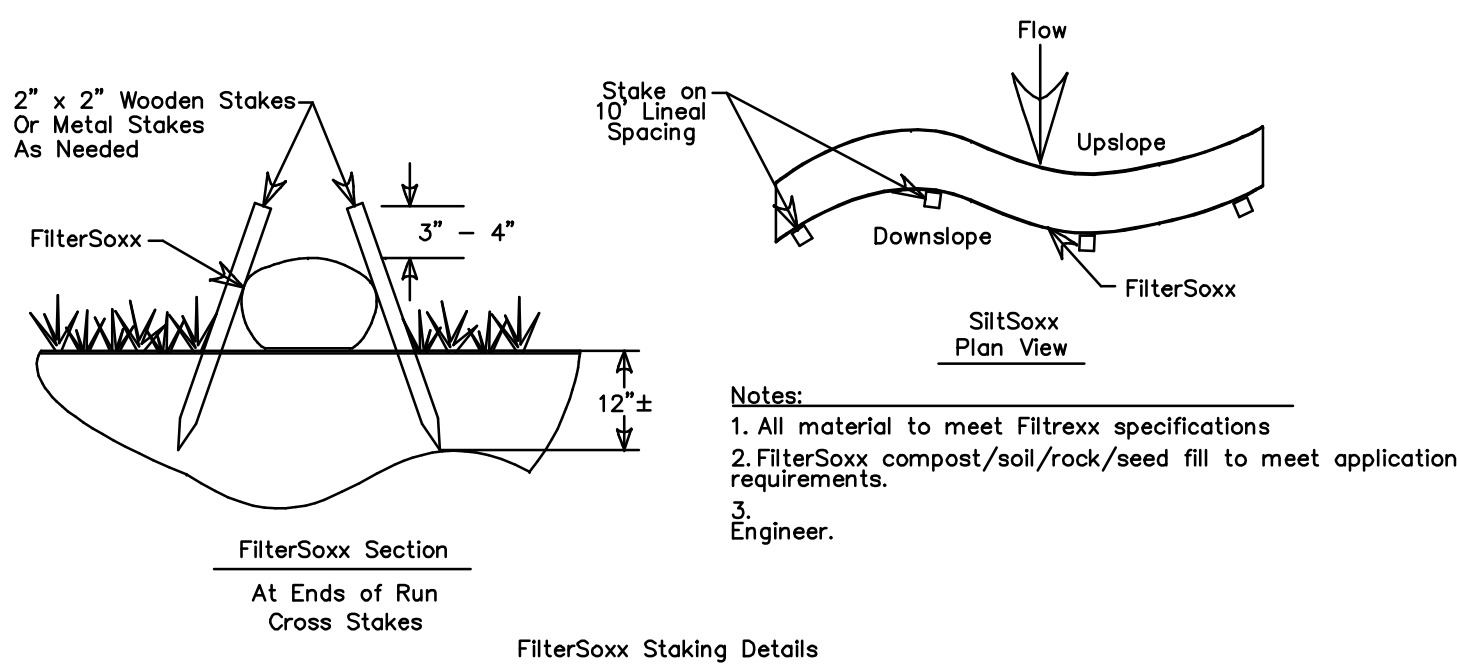
HAYBALE NOTES AND DETAILS

NOT TO SCALE

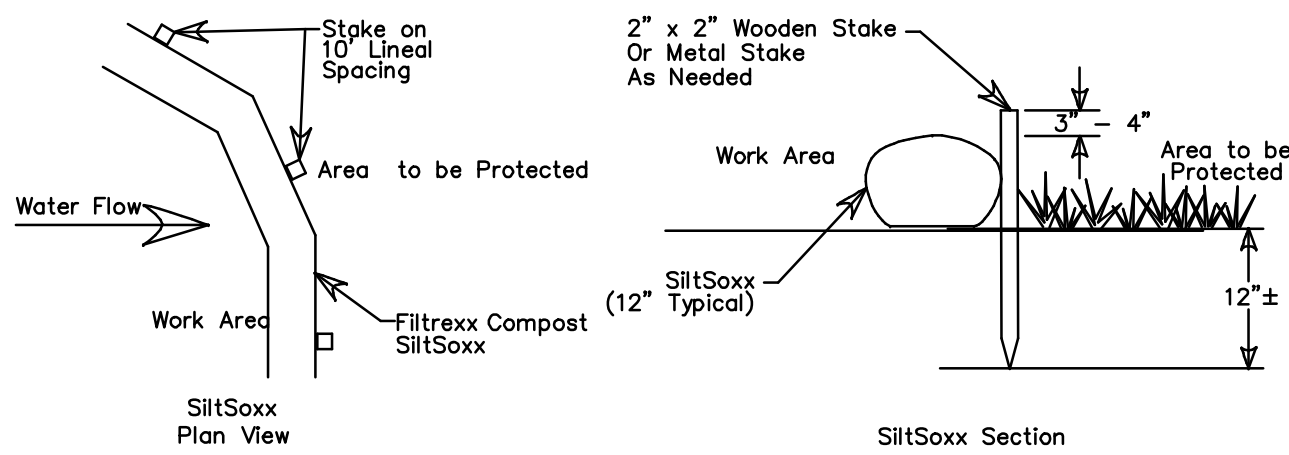


SILT FENCE DETAIL

NOT TO SCALE



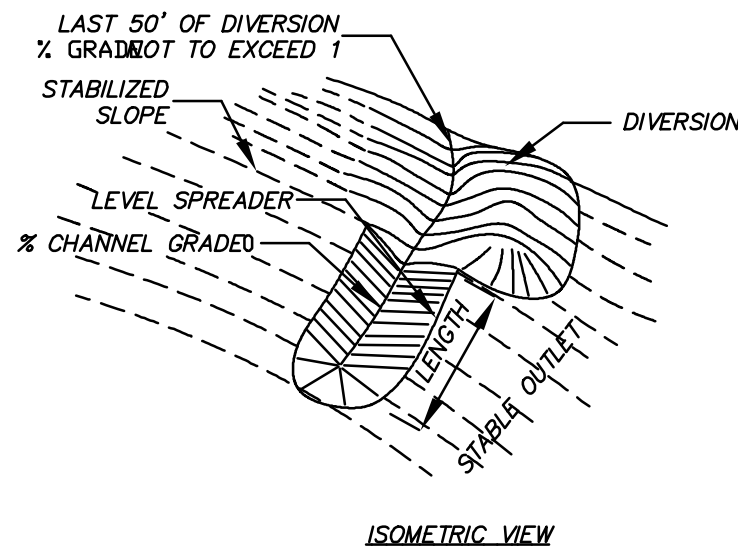
- Notes:
- All material to meet Filtrex specifications
 - FilterSoxx compost/soil/rock/seed fill to meet application requirements.
 - Engineer.



- Notes:
- All material to meet Filtrex specifications
 - SiltSoxx compost/soil/rock/seed fill to meet application requirements.
 - SiltSoxx depicted is for minimum slopes. Greater slopes may require larger socks per the Engineer.
 - Compost material to be dispersed on site, as determined by Engineer.

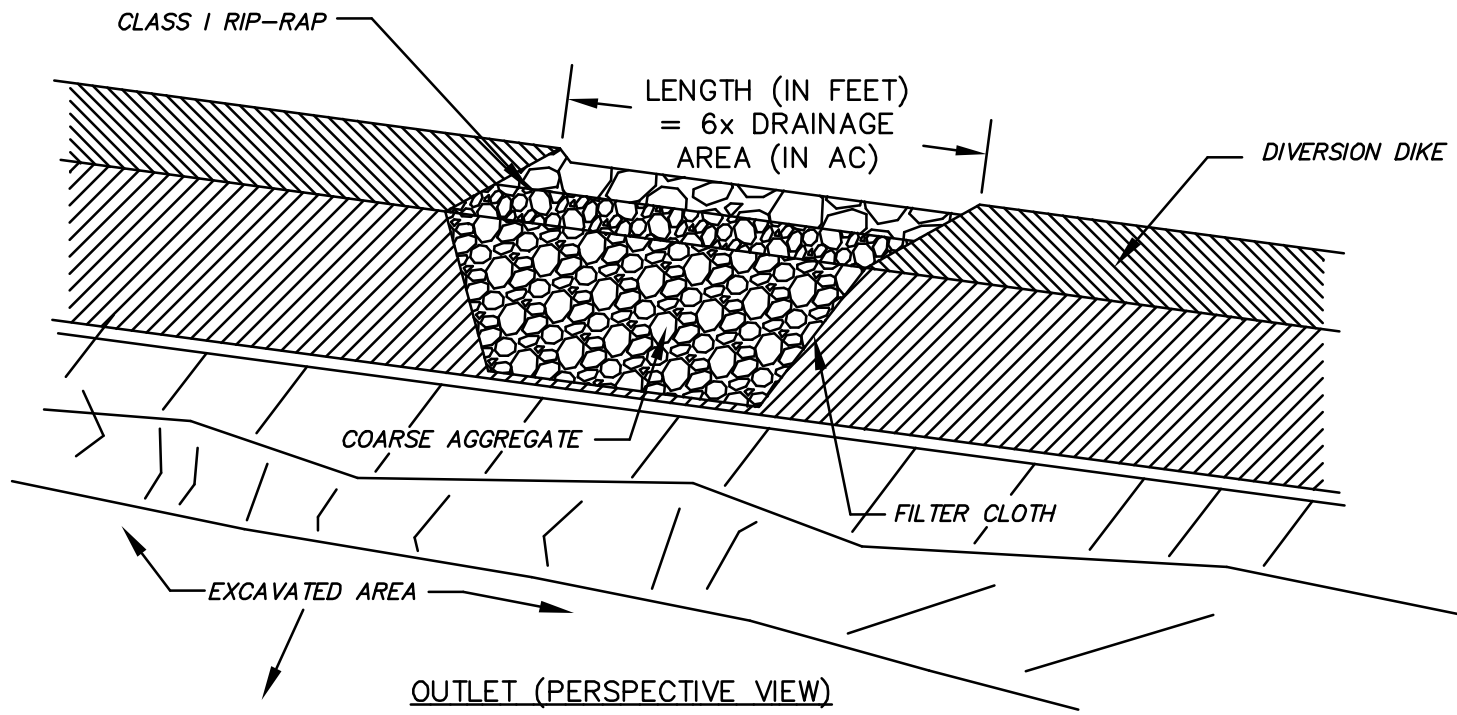
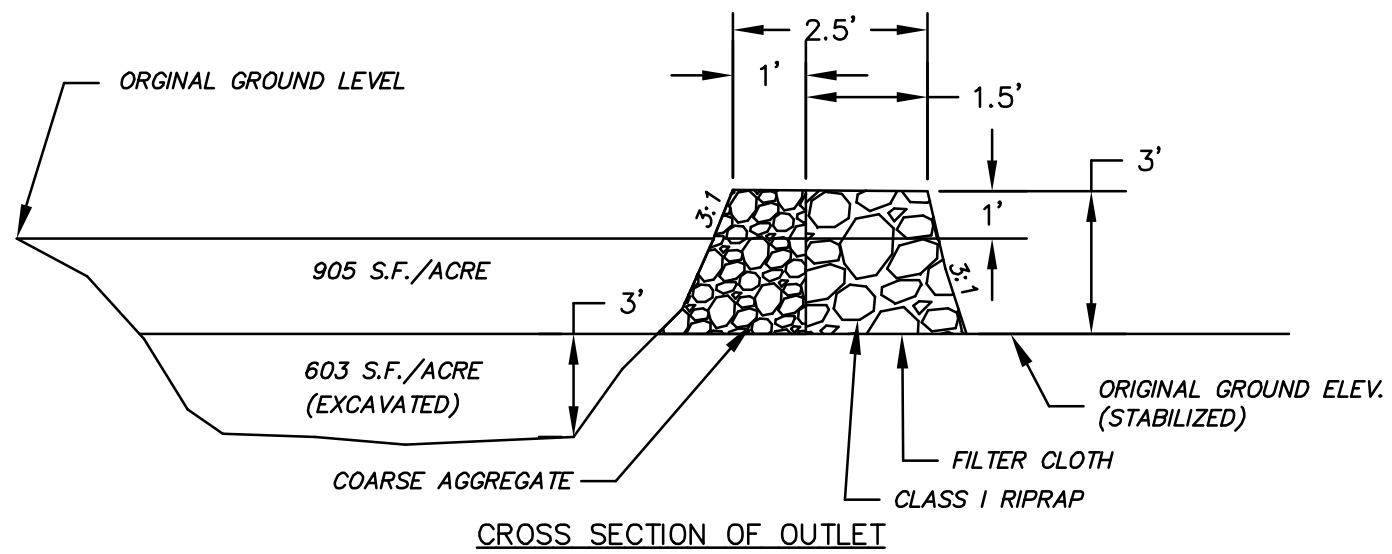
SILTSoxx DETAILS

NOT TO SCALE



LEVEL SPREADER DETAIL

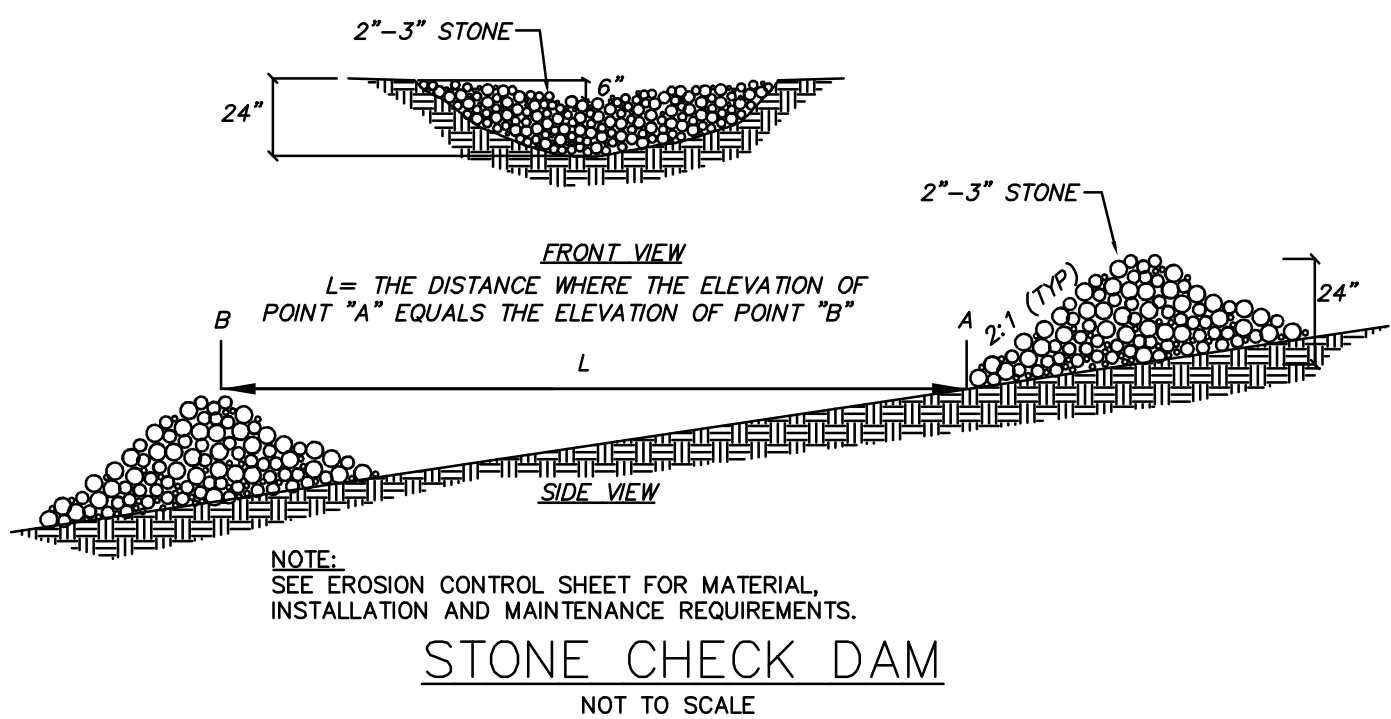
NOT TO SCALE



- NOTES:
- COARSE AGGREGATE SHALL MEET NHDOT 304.5 SPECIFICATIONS AND SHALL NOT CONTAIN MORE THAN 5% FINES PASSING THE #200 SIEVE.
 - FILTER CLOTH SHALL BE MIRAFI 700X OR APPROVED EQUAL.
 - CLASS I RIPRAP SHALL MEET NHDOT S83 SS SPECIFICATIONS.
 - THE MAXIMUM CONTRIBUTING AREA TO THE TRAP SHALL BE LESS THAN 5 AC.
 - THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
 - MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

TEMPORARY SEDIMENT TRAP

NOT TO SCALE



STONE CHECK DAM

NOT TO SCALE

PLANNING FILE NO.: SITE-2025-0014

EROSION CONTROL DETAILS
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

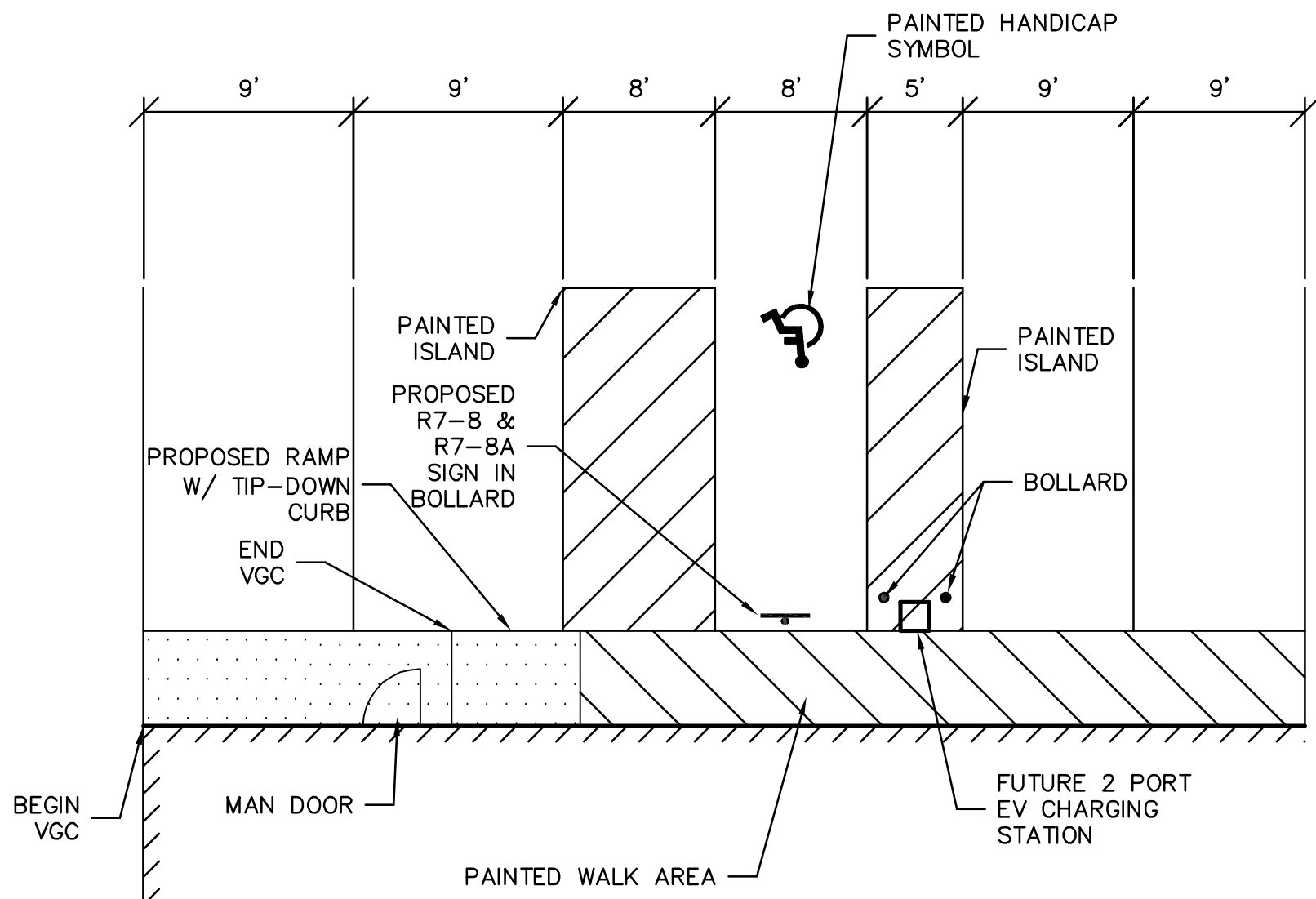
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SCALE: 1" = 10' DATE: 10-20-25



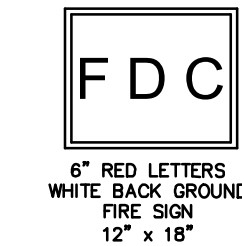
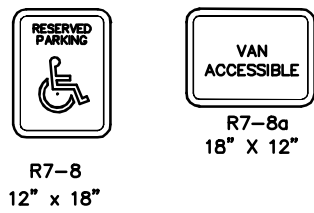
McGneaney
Survey
Associates
of NEW ENGLAND
P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

1	10/20/25	REVISE PER TRC COMMENTS	JJH	KMM	
NO.	DATE	DESCRIPTION	BY	CHK	
CNE		REVISIONS			
PROJ	TYPE	FB	PAGES		
PROJECT NO	TYPE	FIELDBOOK	& PAGES		



ACCESSIBLE PARKING LAYOUT
NOT TO SCALE



NOTE:
1. ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

LENGTH: AS REQUIRED

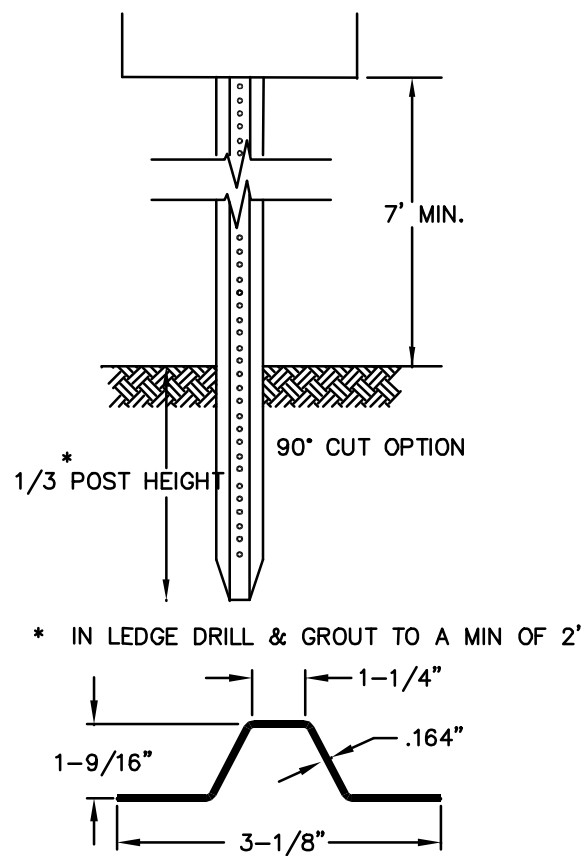
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)

HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH

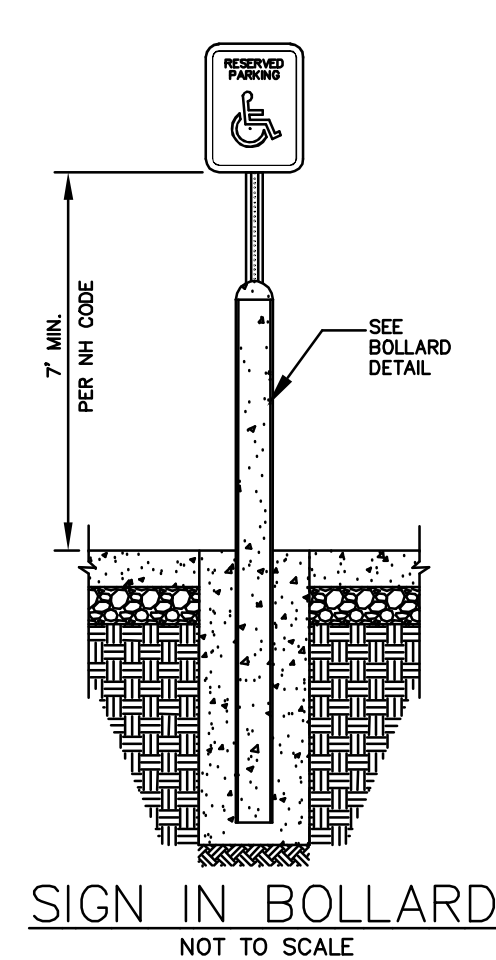
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)

FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN

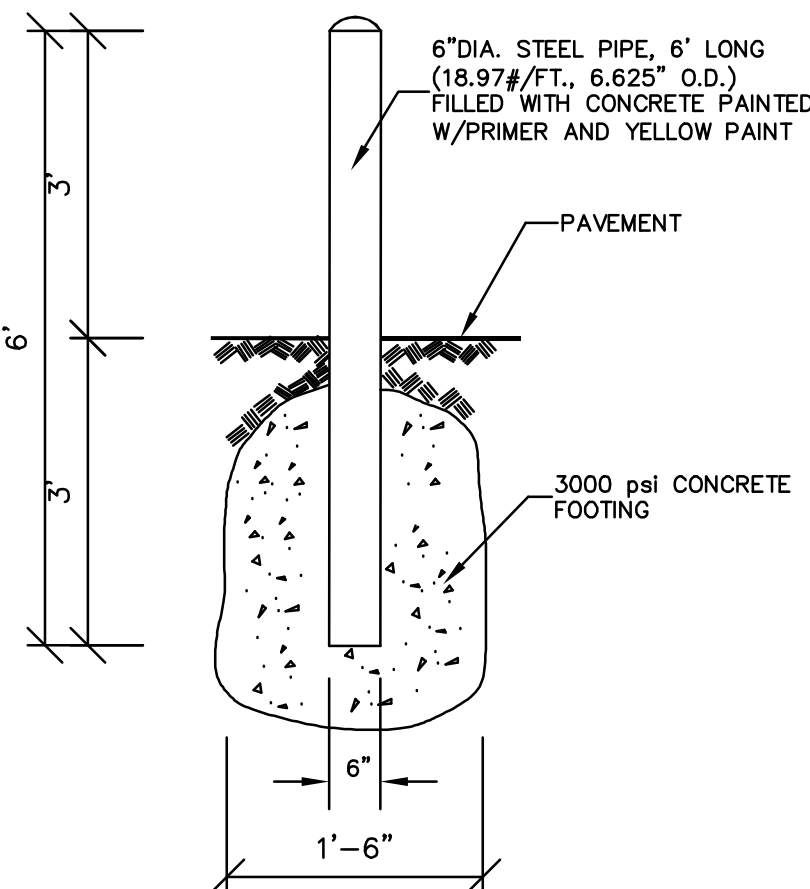
BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.



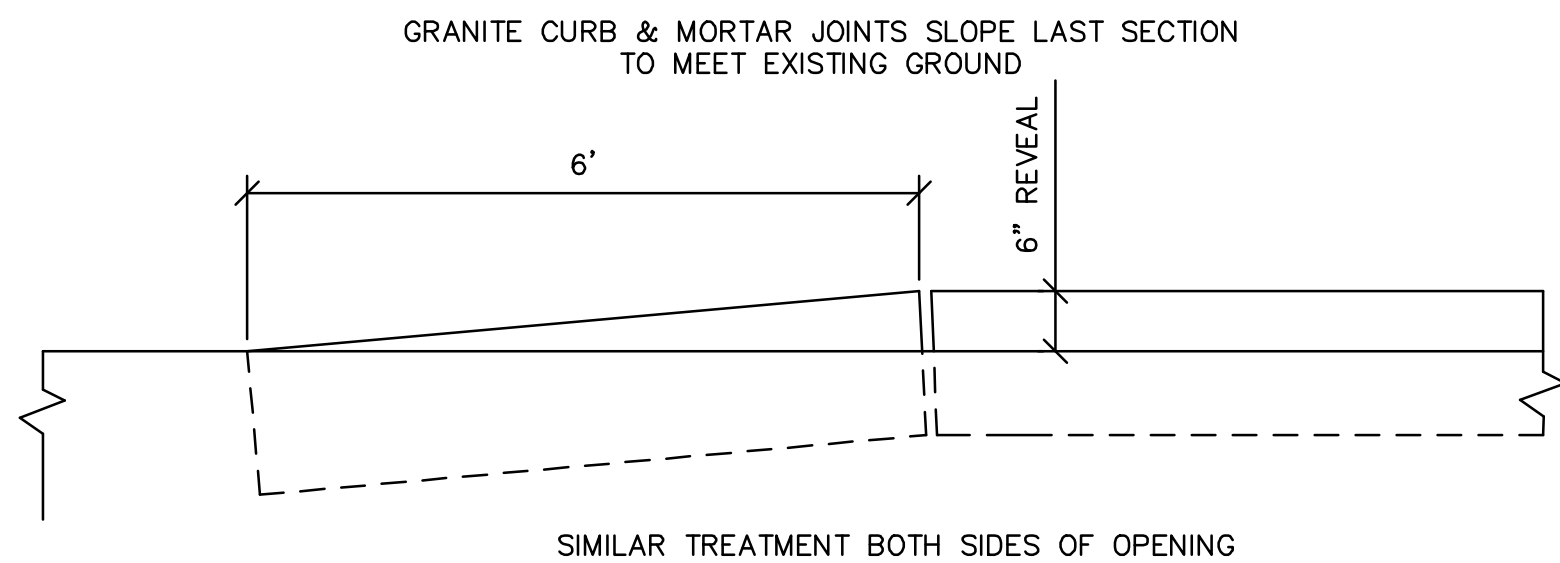
SIGN LEGEND & SIGN POST
NOT TO SCALE



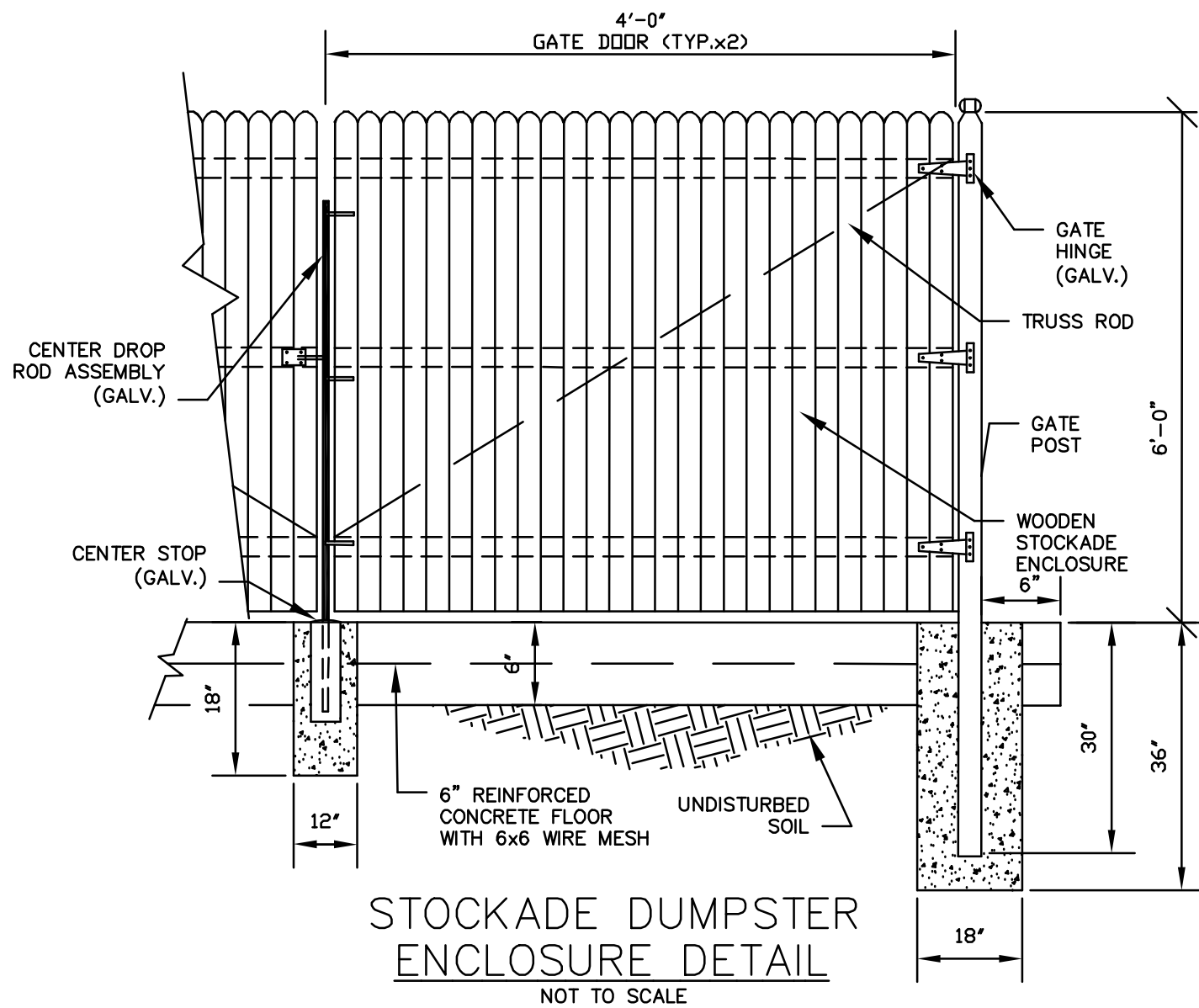
SIGN IN BOLLARD
NOT TO SCALE



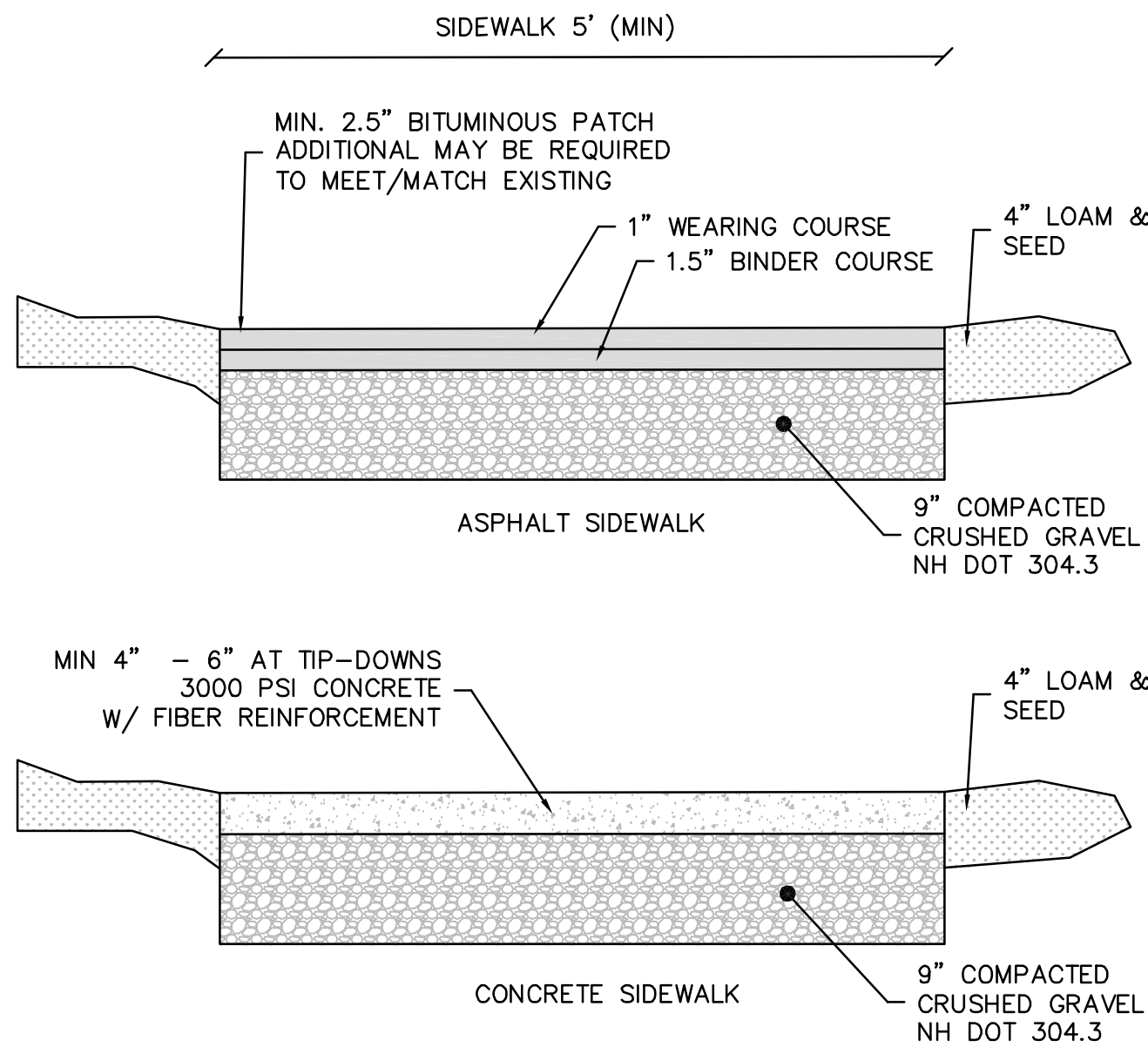
BOLLARD DETAIL
NOT TO SCALE



"TIP-DOWN" CURB DETAIL
NOT TO SCALE

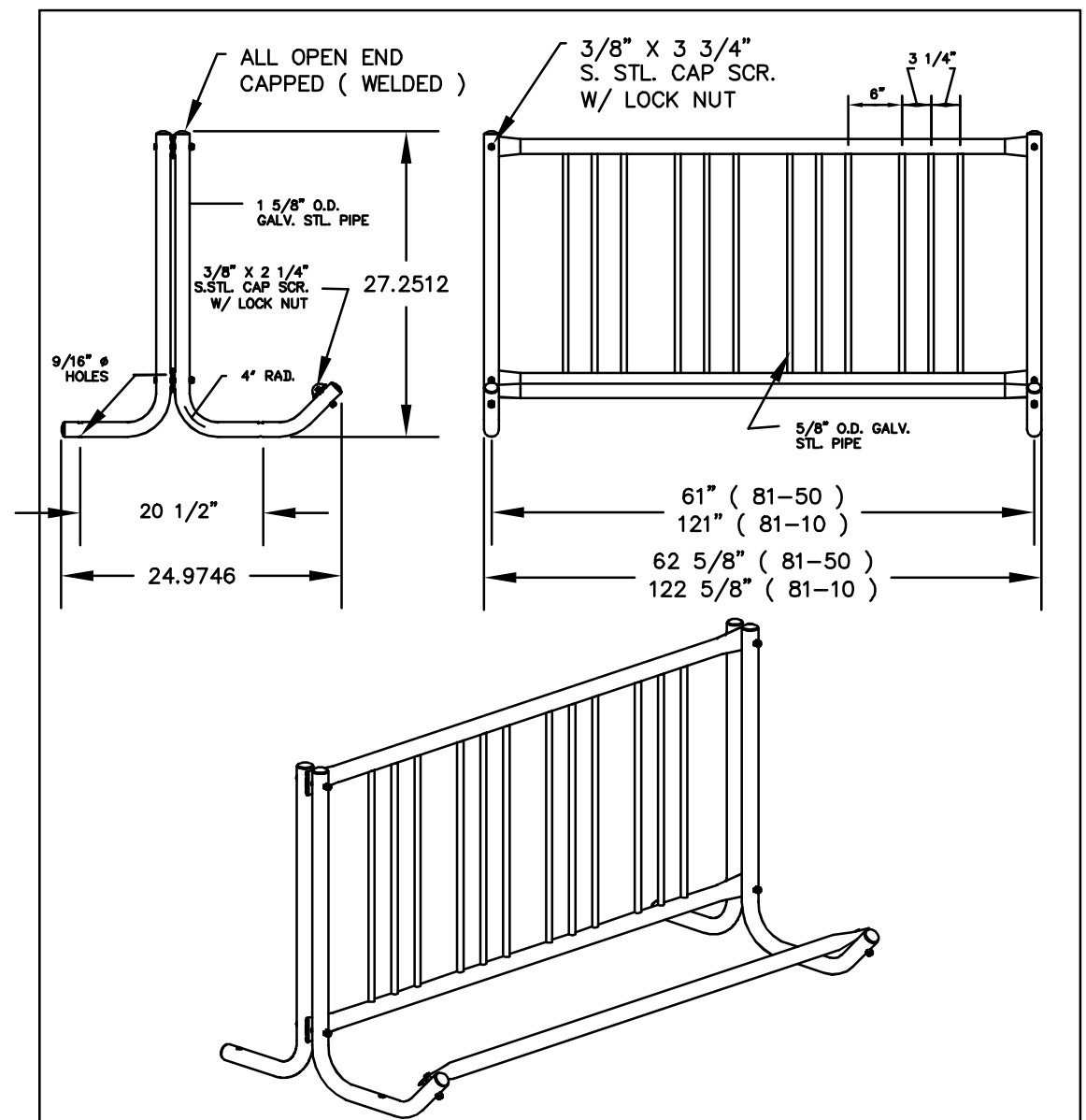


STOCKADE DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



NOTES:
1. MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF DOVER STANDARDS SPECIFICATIONS.
2. SIDEWALK AND DRIVEWAY WIDTHS SHALL BE EQUAL TO EXISTING WIDTHS OR AS APPROVED AND SHALL SLOPE TO MATCH EXISTING ELEVATIONS.
3. BASE FOR THE SIDEWALKS AND DRIVEWAYS SHALL BE 9-INCHES OF CRUSHED GRAVEL.

CITY OF DOVER D-6
ASPHALT & CONCRETE SIDEWALK
NOT TO SCALE



NOTES:
1.) ALL STL. MEMBERS GALVANIZED. WELDS COATED WITH ZINC-RICH FINISH.
2.) 1/2\"/>

SCALE: NONE	TITLE: SINGLE-SIDE ENTRY BIKE RACK
DATE DRAWN: 3/22/24	REV: C
DRAWN BY: JDC	DRAWING NUMBER: 81 SERIES
DATE REV: 7/9/22	REV. BY: JDC

BIKE RACK DETAIL
NOT TO SCALE

Catalog #:

Project:

Type:

Prepared By:

Date:

Slim Wall Pack (WPSLS)

Small LED Slim Wall Pack

OVERVIEW	
Lumen Package (lm)	1,000 - 4,000
Wattage Range (W)	12 - 40
Efficacy Range (LPW)	98 - 122
Weight lbs (kg)	3.8 (1.7)

QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rigid Precision Die cast-aluminum housing for durability and consistency.
- Vertical fins serve as a heat sink and resist accumulation of dust and debris.
- The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
- Luminaire hinges open from the bottom to prevent leakage.
- Luminaire is proudly manufactured and tested in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Power factor: >.85
- Input power stays constant over life.
- Driver Off-State Power is 0 watts.
- Chip On Board (COB) LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver, complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5kV surge rating
- Operating temperature: -40°C to +50°C (-40°F to +122°F).

Optical System

- High-performance Chip On Board (COB) LEDs behind clear tempered glass for maximum light output.
- 3000K | 4000K | 5000K color temperatures.
- Minimum CRI of 71.
- Zero uplight.

Installation

- Surface mounts direct to J-box or wall.
- Features a bubble level and removable hinged face frame for ease of installation.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on optional Button Photocell.

Listings

- Listed to UL 1598 and UL 8750.
- American Recovery and Reinvestment Act Funding Compliant.
- CSA Listed.
- RoHS Compliant.
- State of California Title 24.
- Suitable For Wet Locations.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/DPL to confirm which versions are qualified.

Controls

- Optional 120V electronic button Photocontrol.
- Apertures for field or factory installed photocontrol.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com

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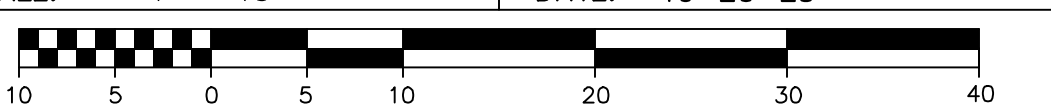
Page 1/3 Rev. 04/10/24

SPEC1025-A-0424

PLANNING FILE NO.: SITE-2025-0014

DETAIL SHEET
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY OF DOVER
COUNTY OF STRAFFORD
STATE OF NEW HAMPSHIRE

DRAWN BY: CAD	FILE: FILE
SCALE: 1" = 10'	DATE: 10-20-25

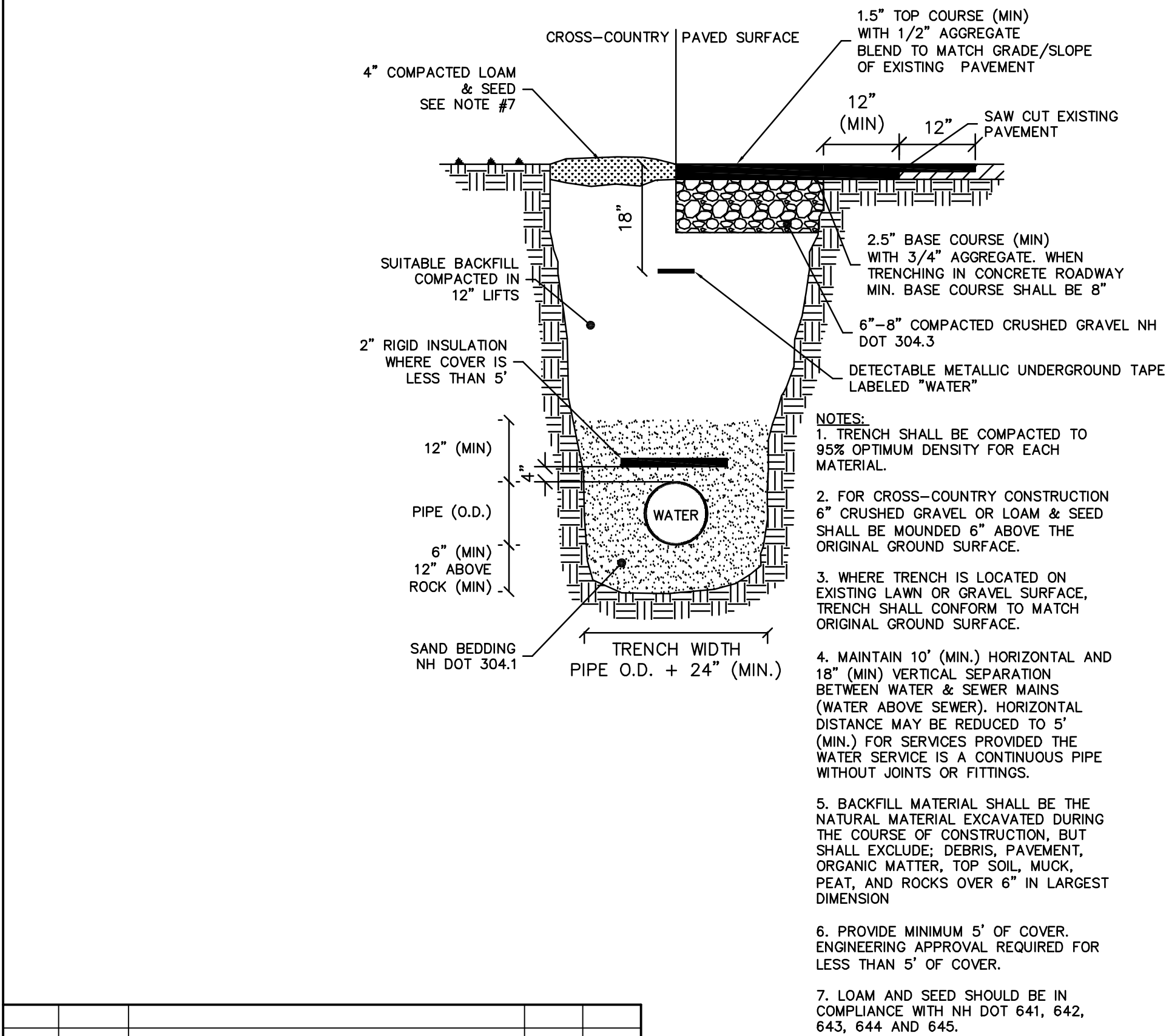
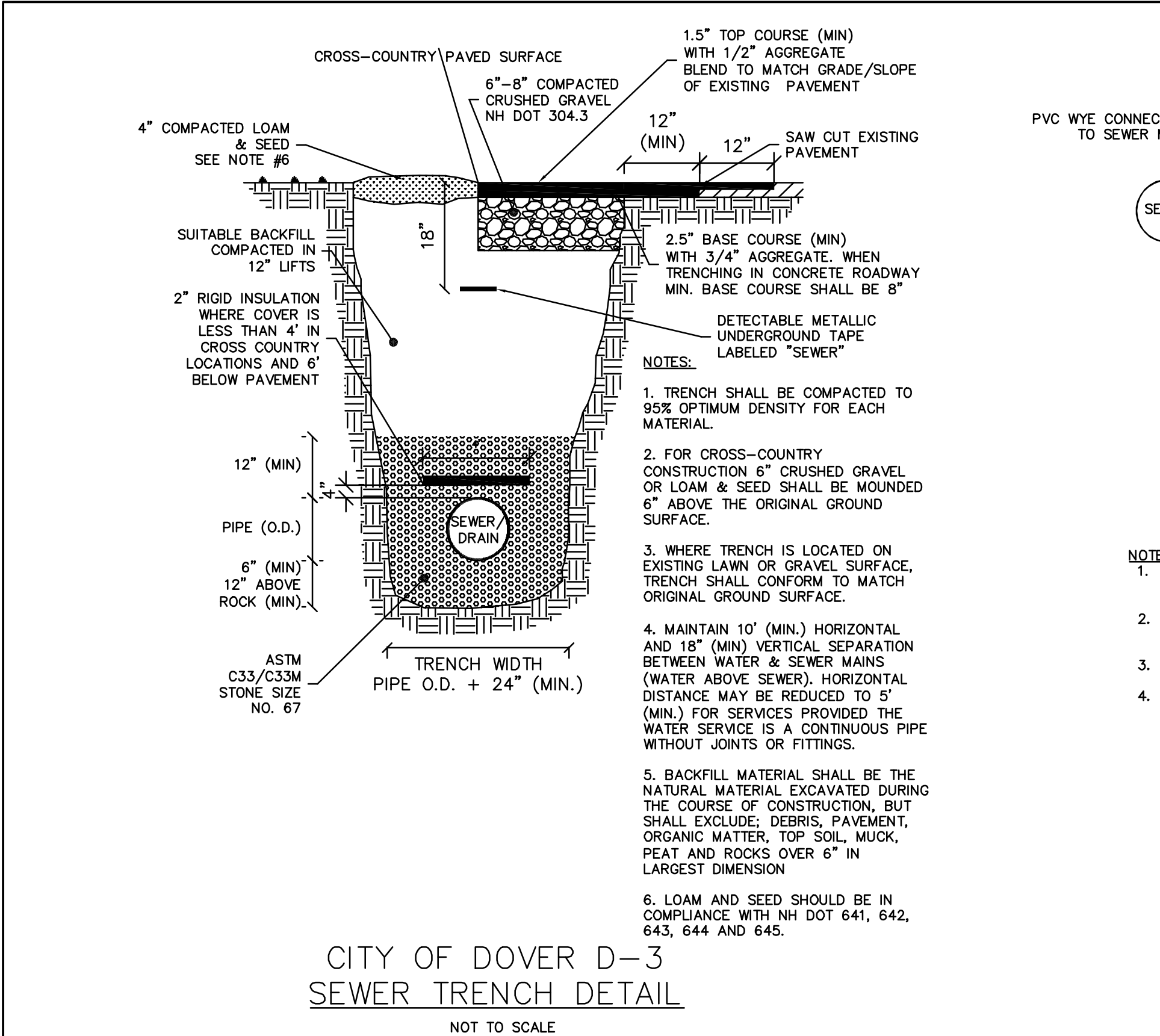


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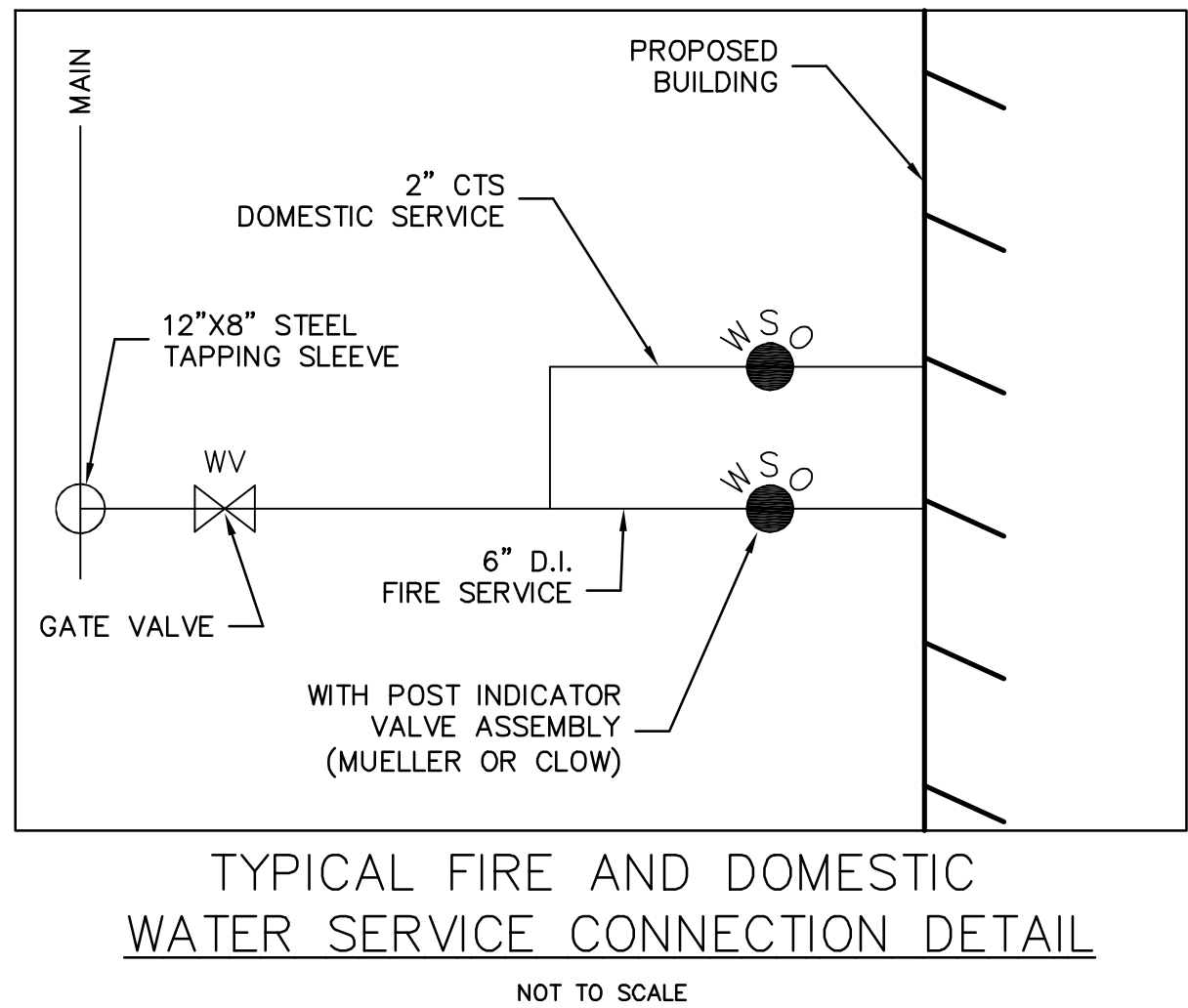
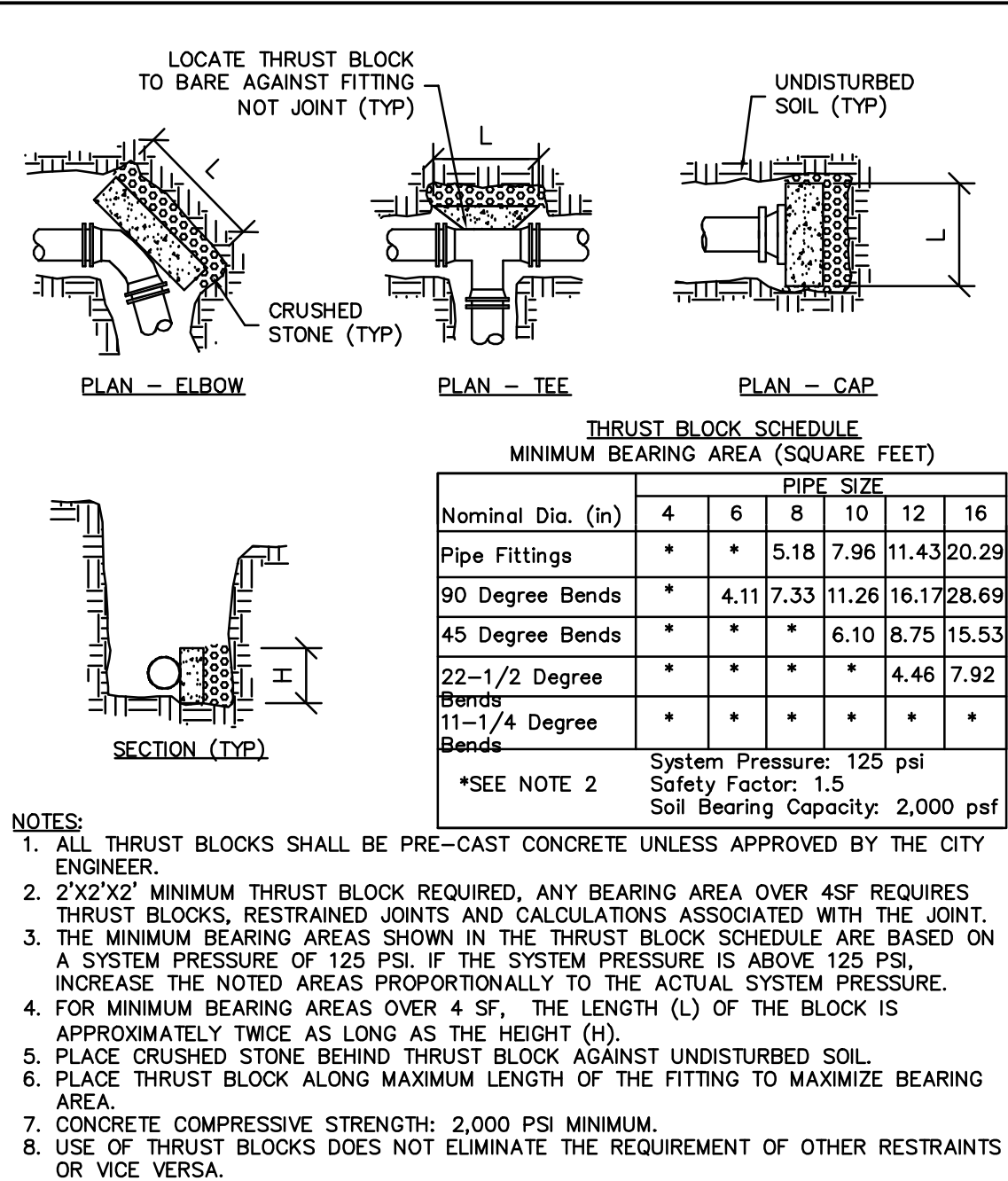
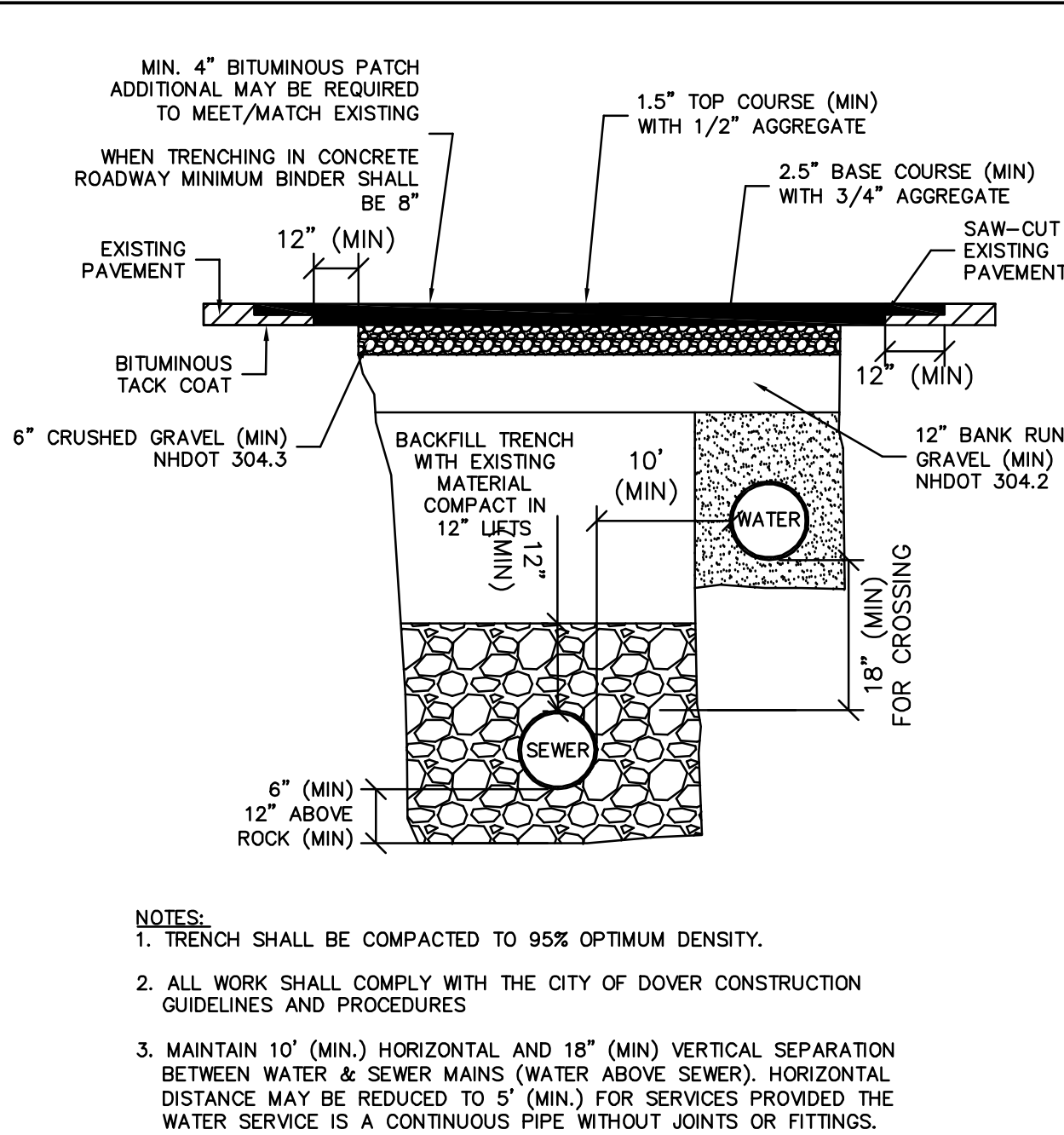
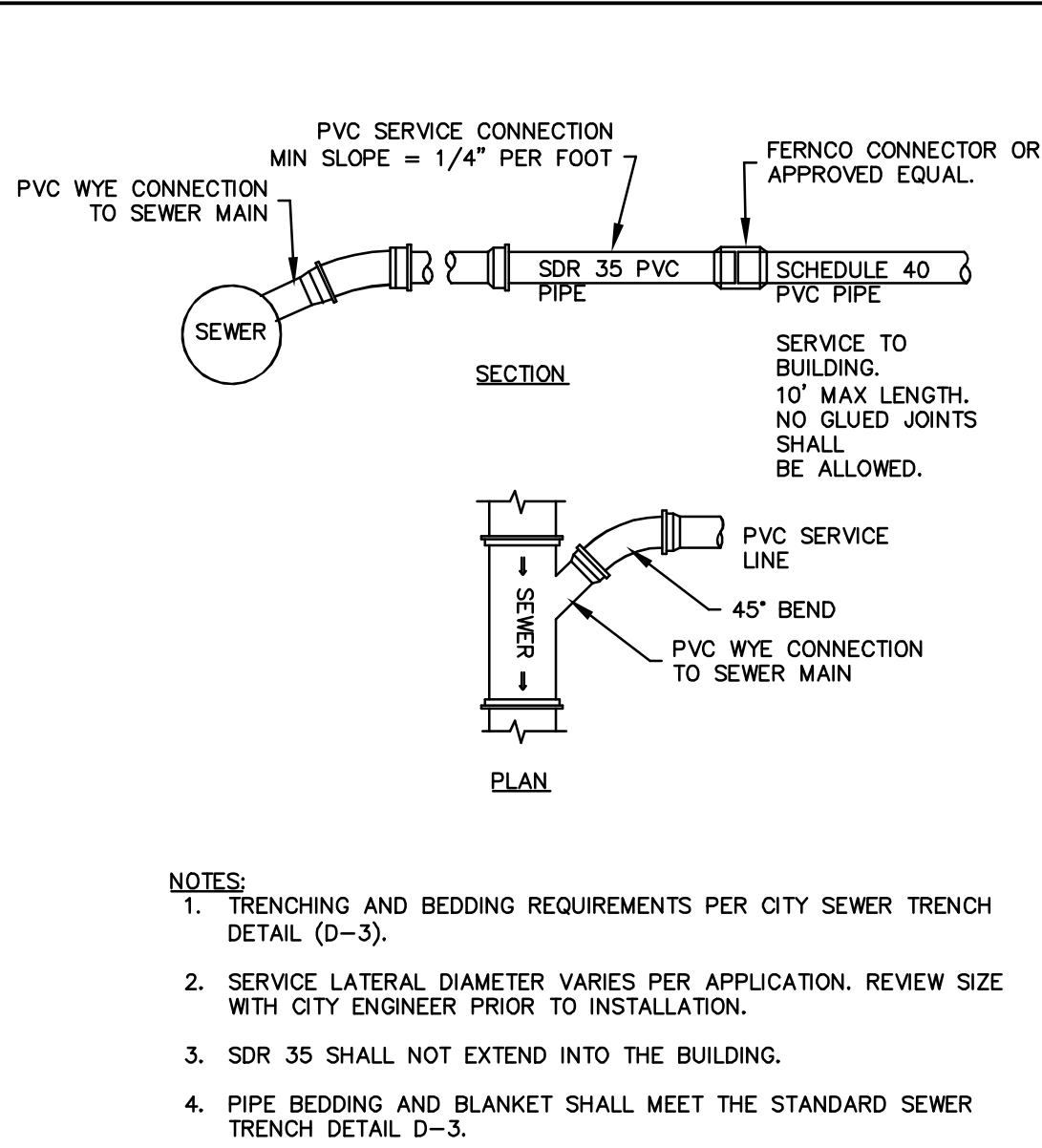
P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

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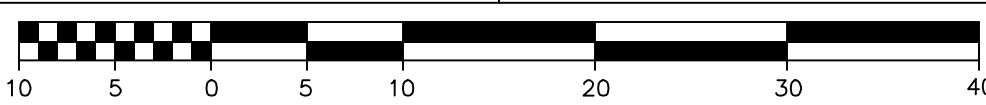
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NO.	DATE	DESCRIPTION	BY	CHK	
CNE		REVISIONS			
PROJ	TYPE	FB	PAGES		
PROJECT NO	TYPE	FIELDBOOK	& PAGES		



PLANNING FILE NO.: SITE-2025-0014

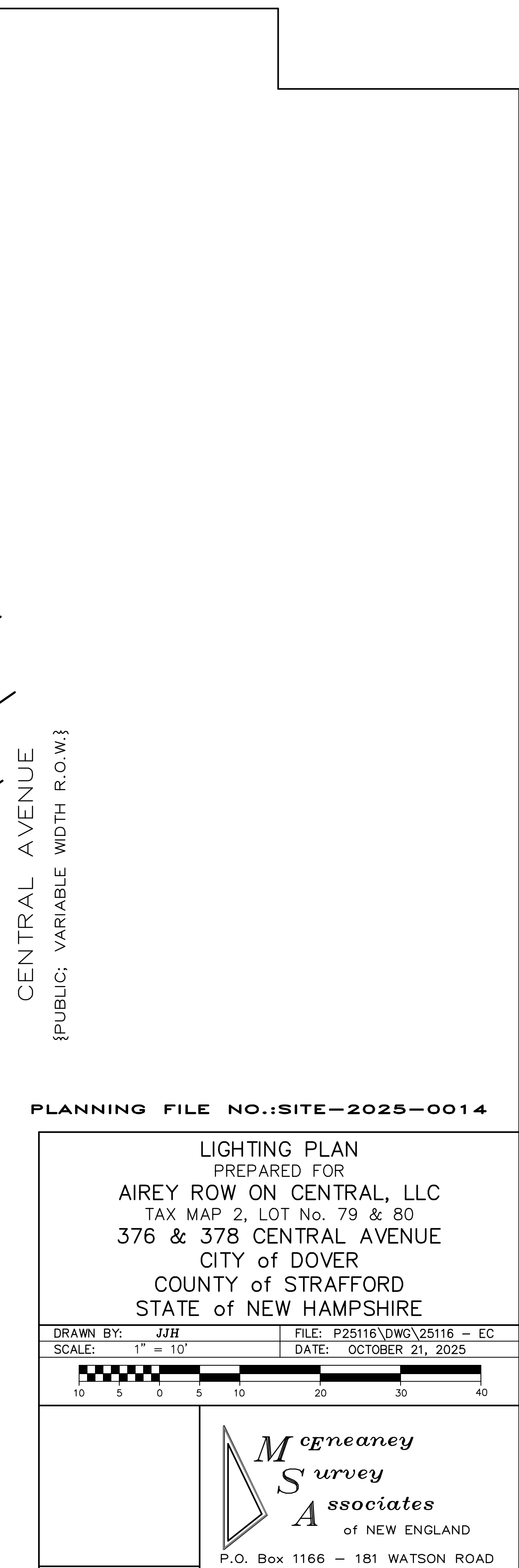
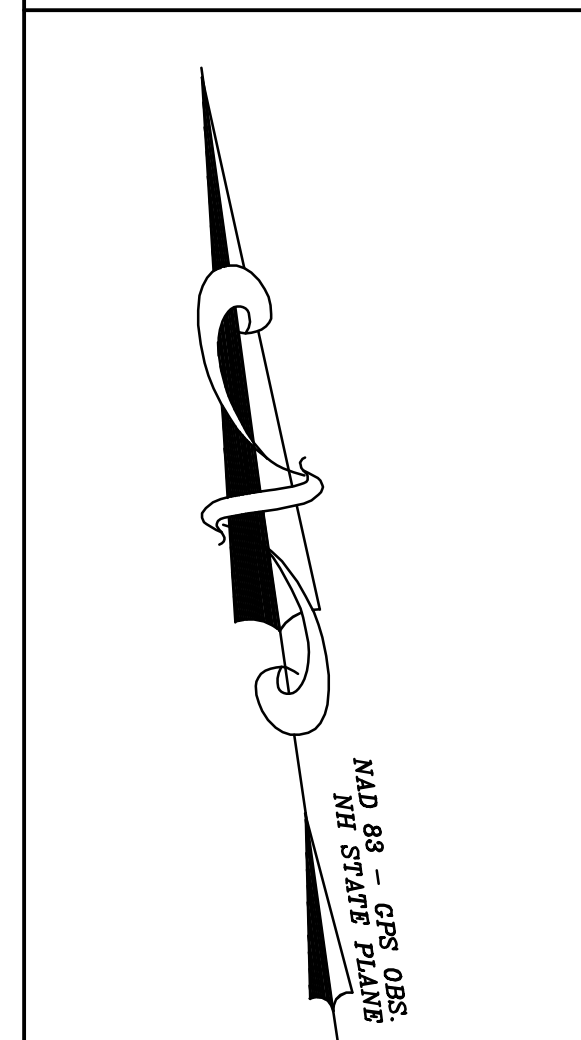
DETAIL SHEET
PREPARED FOR
AIREY ROW ON CENTRAL, LLC
TAX MAP 2, LOT No. 79 & 80
376 & 378 CENTRAL AVENUE
CITY OF DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

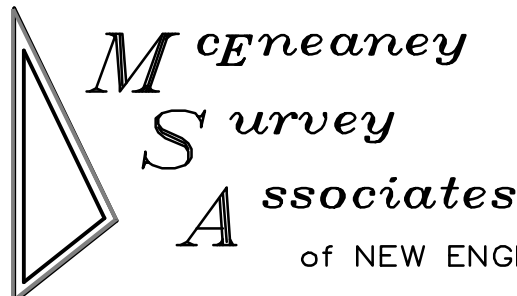
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Associates
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DOVER, NH 03821 (603) 742-0911

SURVEYING - PLANNING - CONSULTING



LIGHTING PLAN PREPARED FOR AIREY ROW ON CENTRAL, LLC TAX MAP 2, LOT No. 79 & 80 376 & 378 CENTRAL AVENUE CITY of DOVER COUNTY of STRAFFORD STATE of NEW HAMPSHIRE	
DRAWN BY: JJH	FILE: P25116\DWG\25116 - EC
SCALE: 1" = 10'	DATE: OCTOBER 21, 2025
	
	P.O. Box 1166 — 181 WATSON ROAD DOVER, NH 03821 (603) 742-0911
SURVEYING — LIGHTING — CONSULTING	



PROPOSED CENTRAL AVE. - RENDERING



PROPOSED WALDRON CT. - RENDERING

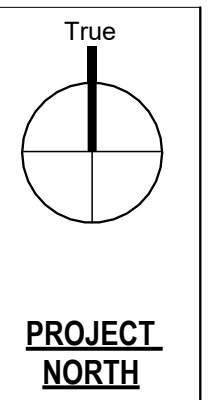
THE OVERARCHING DESIGN INTENT IS REMOVE A PARTIAL TWO-STORY STRUCTURE FROM THE BACK OF THE EXISTING HISTORIC BUILDING AND REPLACE IT WITH A NEW FOUR-STORY ADDITION TO THE REAR OF THE EXISTING FOUR-STORY STRUCTURE, ACCOMMODATING APPROXIMATELY 15 APARTMENT UNITS ACROSS THE SECOND, THIRD, AND A NEWLY EXPANDED FOURTH FLOOR—ACHIEVED THROUGH THE INTEGRATION OF ENLARGED ROOF DORMERS WITHIN THE EXISTING ATTIC VOLUME.

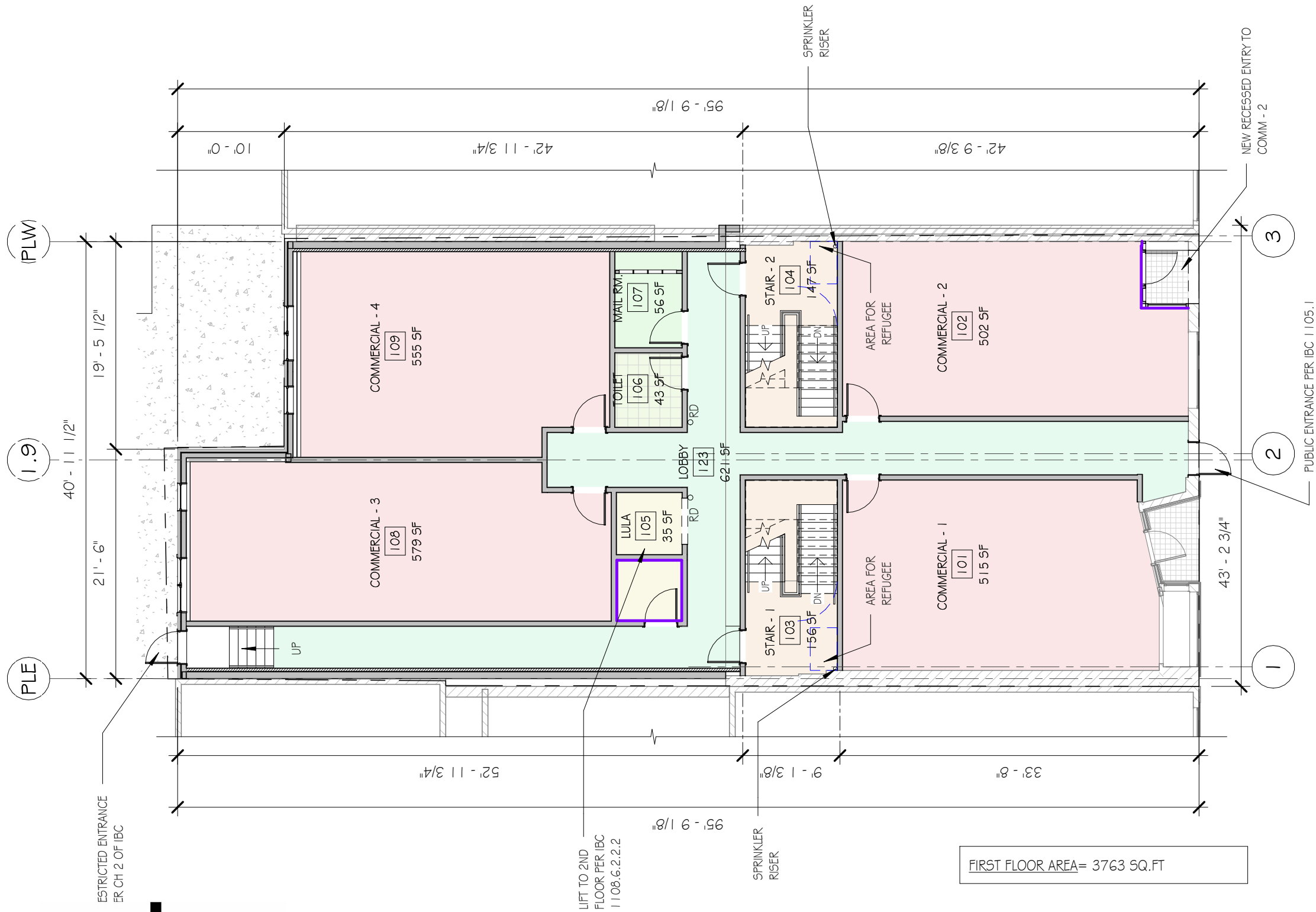
THE GROUND LEVEL / 1ST FLOOR WILL BE DEVELOPED INTO COMMERCIAL RENTAL UNITS COORDINATED WITH THE VERTICAL EGRESS SYSTEMS SERVING THE UPPER RESIDENTIAL FLOORS.

THE PROPOSED REAR ADDITION WILL MEASURE APPROXIMATELY 40 FEET IN DEPTH AND ALIGN WITH THE FULL ROUGHLY 42-FOOT WIDTH OF THE EXISTING BUILDING FOOTPRINT. DUE TO THE PROXIMITY OF NEIGHBORING STRUCTURES AND ADJACENT PROPERTY LINES, FIRE-RATED WALL ASSEMBLIES WILL BE REQUIRED.



A1





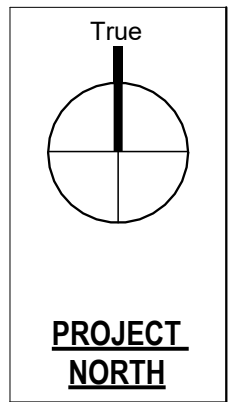
FIRST FLOOR PLAN

Airey Row LLC

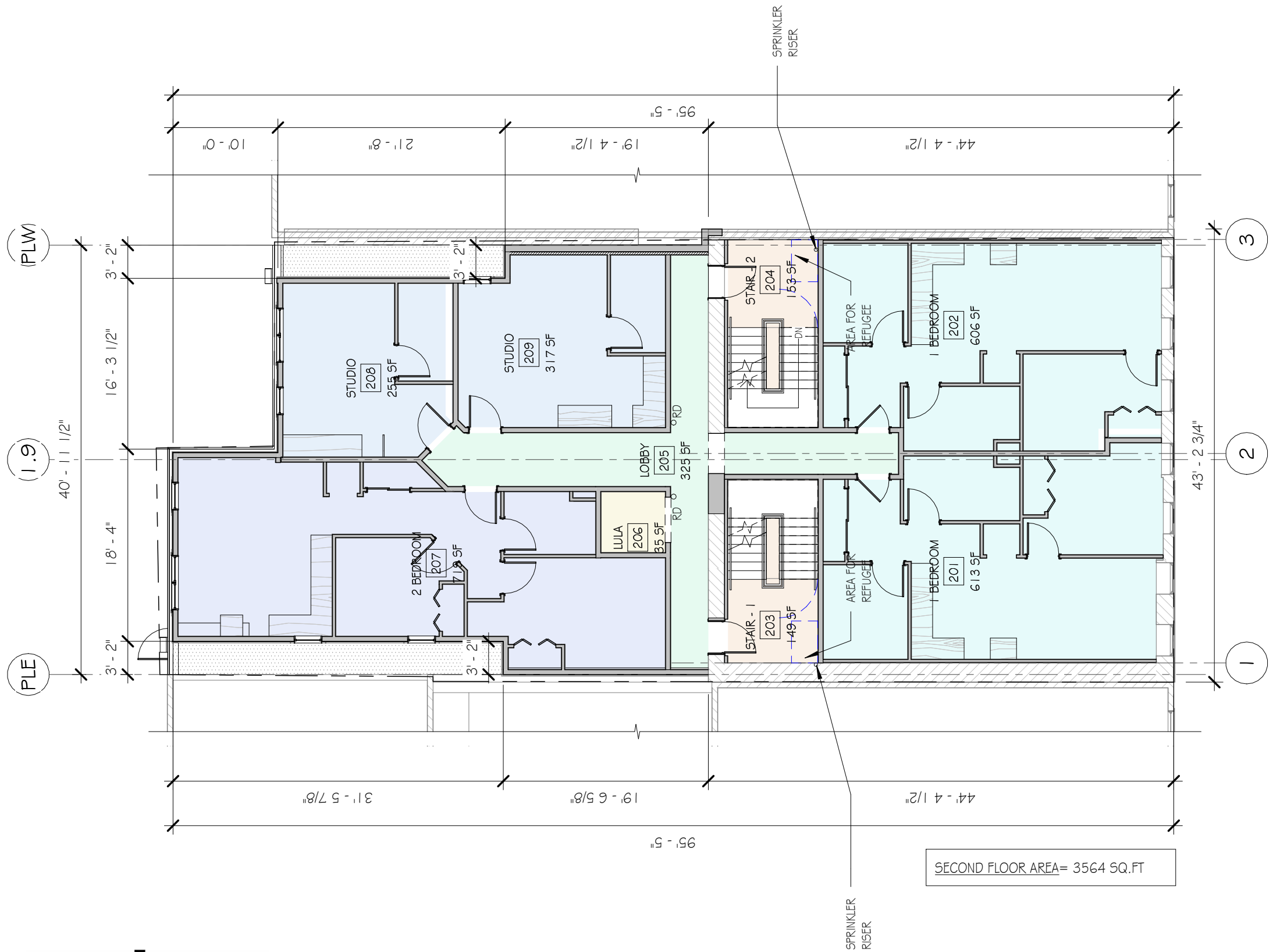
UNIT MATRIX				
COLOR	NAME	# OF	BATHROOM COUNT	SQUARE FOOTAGE
	2 BDRM.	3	3	2202 s.f.
	1 BDRM.	6	6	3709 s.f.
	STUDIO	6	6	1716 s.f.

UNIT COUNT PER FLOOR				
FL.	2 BD.	1 BD.	STUDIO	#
1ST	0	0	0	0
2ND	1	2	2	5
3RD	1	2	2	5
4TH	1	2	2	5
TOTAL	3	6	6	15

Area Matrix First And Second Floor		
Name	Number	Area
FIRST FLOOR		
COMMERCIAL - 1	101	515 SF
COMMERCIAL - 2	102	502 SF
STAIR - 1	103	156 SF
STAIR - 2	104	147 SF
LULA	105	35 SF
TOILET	106	43 SF
MAIL RM.	107	56 SF
COMMERCIAL - 3	108	579 SF
COMMERCIAL - 4	109	555 SF
LULA MECH.	110	34 SF
LOBBY	123	621 SF
SECOND FLOOR		
1 BEDROOM	201	613 SF
1 BEDROOM	202	606 SF
STAIR - 1	203	149 SF
STAIR - 2	204	153 SF
LOBBY	205	325 SF
LULA	206	35 SF
2 BEDROOM	207	719 SF
STUDIO	208	255 SF
STUDIO	209	317 SF



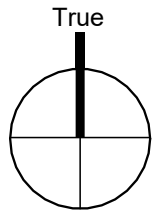
As indicated
NFC: 10/20/25
PROGRESS SET



UNIT MATRIX				
COLOR	NAME	# OF	BATHROOM COUNT	SQUARE FOOTAGE
	2 BDRM.	3	3	2202 s.f.
	1 BDRM.	6	6	3709 s.f.
	STUDIO	6	6	1716 s.f.

UNIT COUNT PER FLOOR				
FL.	2 BD.	1 BD.	STUDIO	#
1ST	0	0	0	0
2ND	1	2	2	5
3RD	1	2	2	5
4TH	1	2	2	5
TOTAL	3	6	6	15

Area Matrix Second Floor		
Name	Number	Area
SECOND FLOOR		
1 BEDROOM	201	613 SF
1 BEDROOM	202	606 SF
STAIR - 1	203	149 SF
STAIR - 2	204	153 SF
LOBBY	205	325 SF
LULA	206	35 SF
2 BEDROOM	207	719 SF
STUDIO	208	255 SF
STUDIO	209	317 SF



PROJECT
NORTH

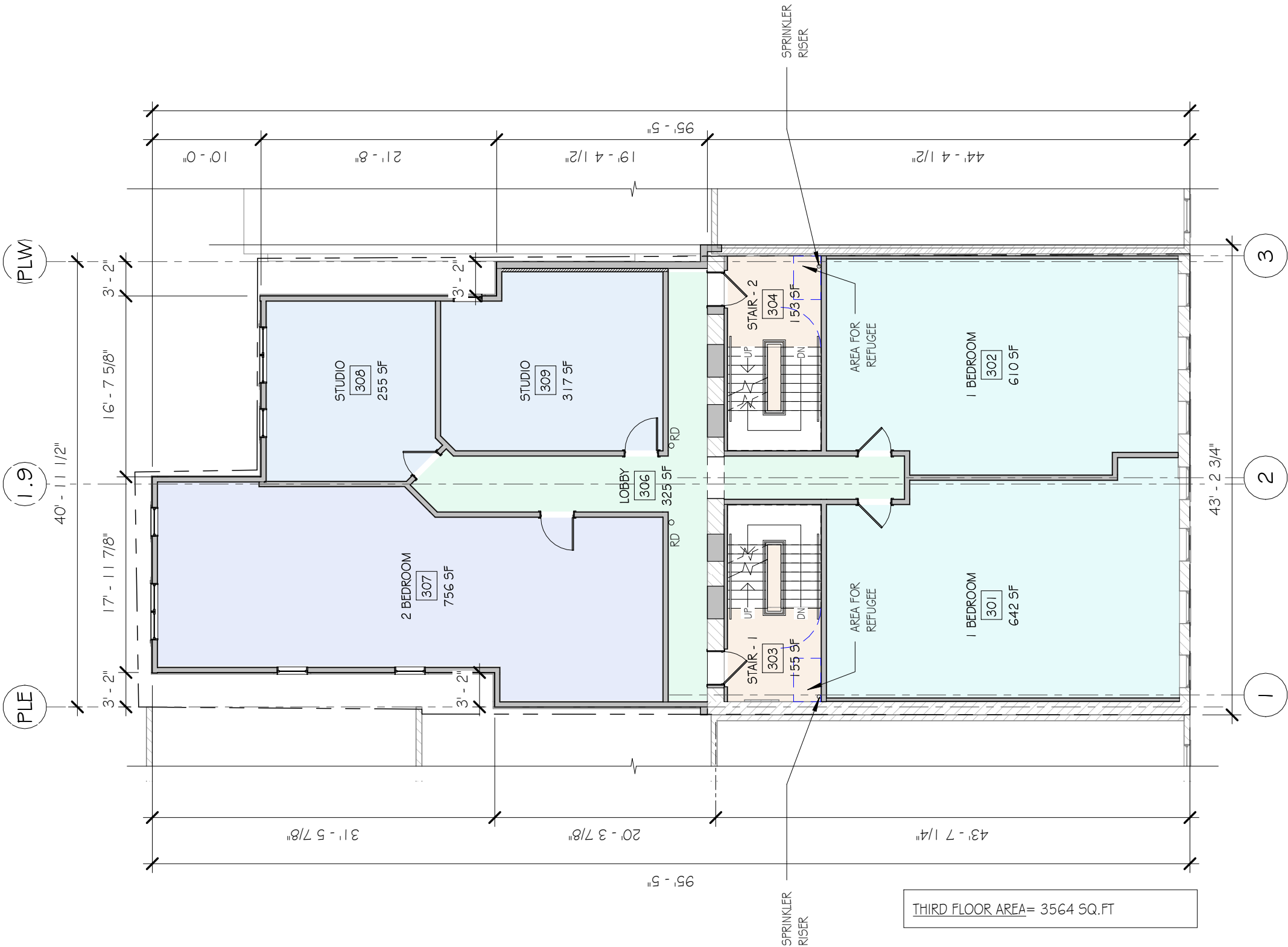
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NFC: 10/20/25
PROGRESS SET

A3



SECOND FLOOR PLAN

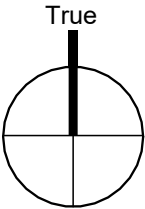
Airey Row LLC



UNIT MATRIX				
COLOR	NAME	# OF	BATHROOM COUNT	SQUARE FOOTAGE
	2 BDRM.	3	3	2202 s.f.
	1 BDRM.	6	6	3709 s.f.
	STUDIO	6	6	1716 s.f.

UNIT COUNT PER FLOOR				
FL.	2 BD.	1 BD.	STUDIO	#
1ST	0	0	0	0
2ND	1	2	2	5
3RD	1	2	2	5
4TH	1	2	2	5
TOTAL	3	6	6	15

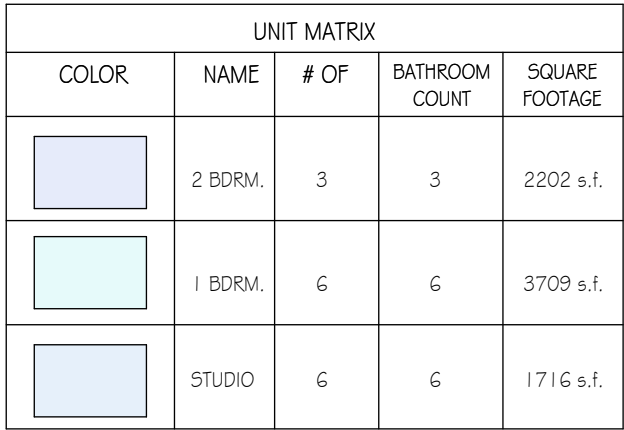
Area Matrix Third Floor		
Name	Number	Area
THIRD FLOOR		
1 BEDROOM	301	642 SF
1 BEDROOM	302	610 SF
STAIR - 1	303	155 SF
STAIR - 2	304	153 SF
LOBBY	306	325 SF
2 BEDROOM	307	756 SF
STUDIO	308	255 SF
STUDIO	309	317 SF



PROJECT
NORTH

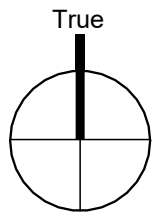
As indicated
NFC: 10/20/25
PROGRESS SET

A4



UNIT COUNT PER FLOOR				
FL.	2 BD.	1 BD.	STUDIO	#
1ST	0	0	0	0
2ND	1	2	2	5
3RD	1	2	2	5
4TH	1	2	2	5
TOTAL	3	6	6	15

Area Matrix Fourth Floor		
Name	Number	Area
FOURTH FLOOR		
1 BEDROOM	401	643 SF
1 BEDROOM	402	607 SF
STAIR - 1	403	158 SF
STAIR - 2	404	153 SF
LOBBY	405	375 SF
2 BEDROOM	407	756 SF
STUDIO	408	255 SF
STUDIO	409	317 SF



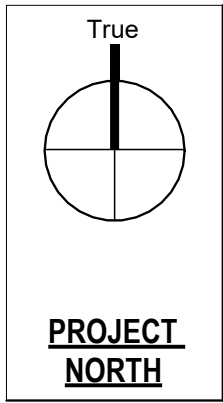
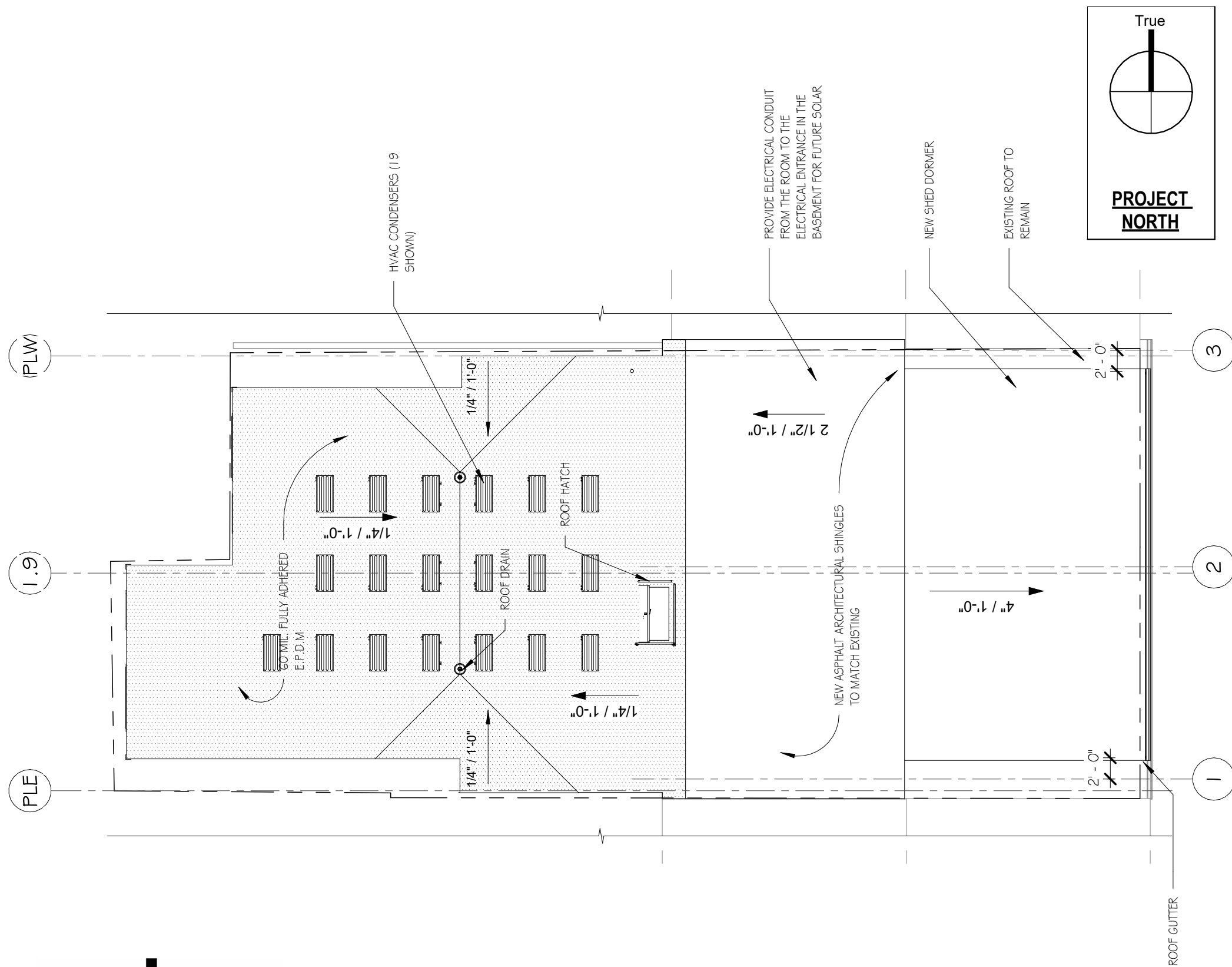
PROJECT
NORTH

As indicated
NFC: 10/20/25
PROGRESS SET

A5

FOURTH FLOOR PLAN

Airey Row LLC



① ROOF PLAN
3/32" = 1'-0"

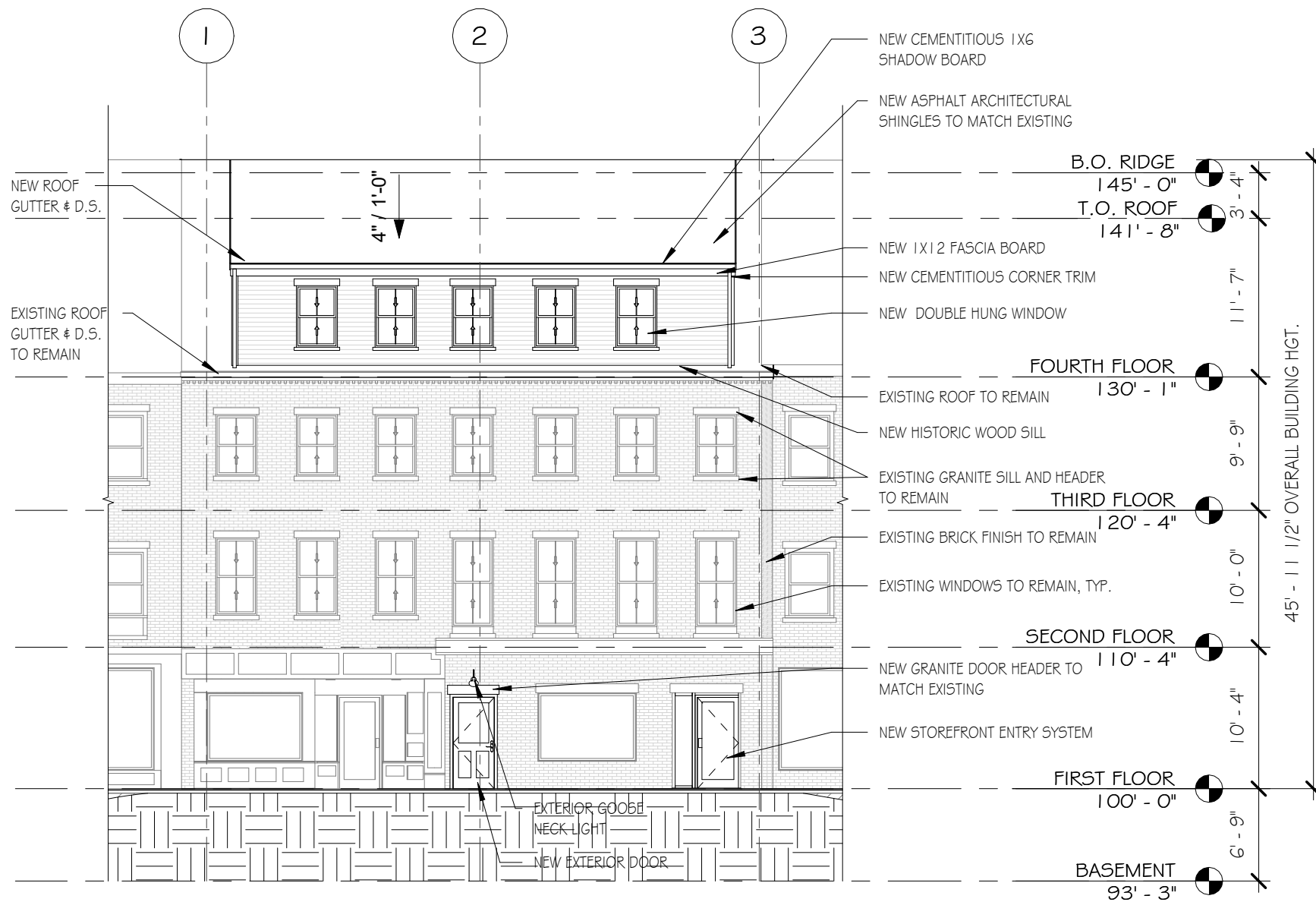


② EXTERIOR VIEW - BACK ALLEY

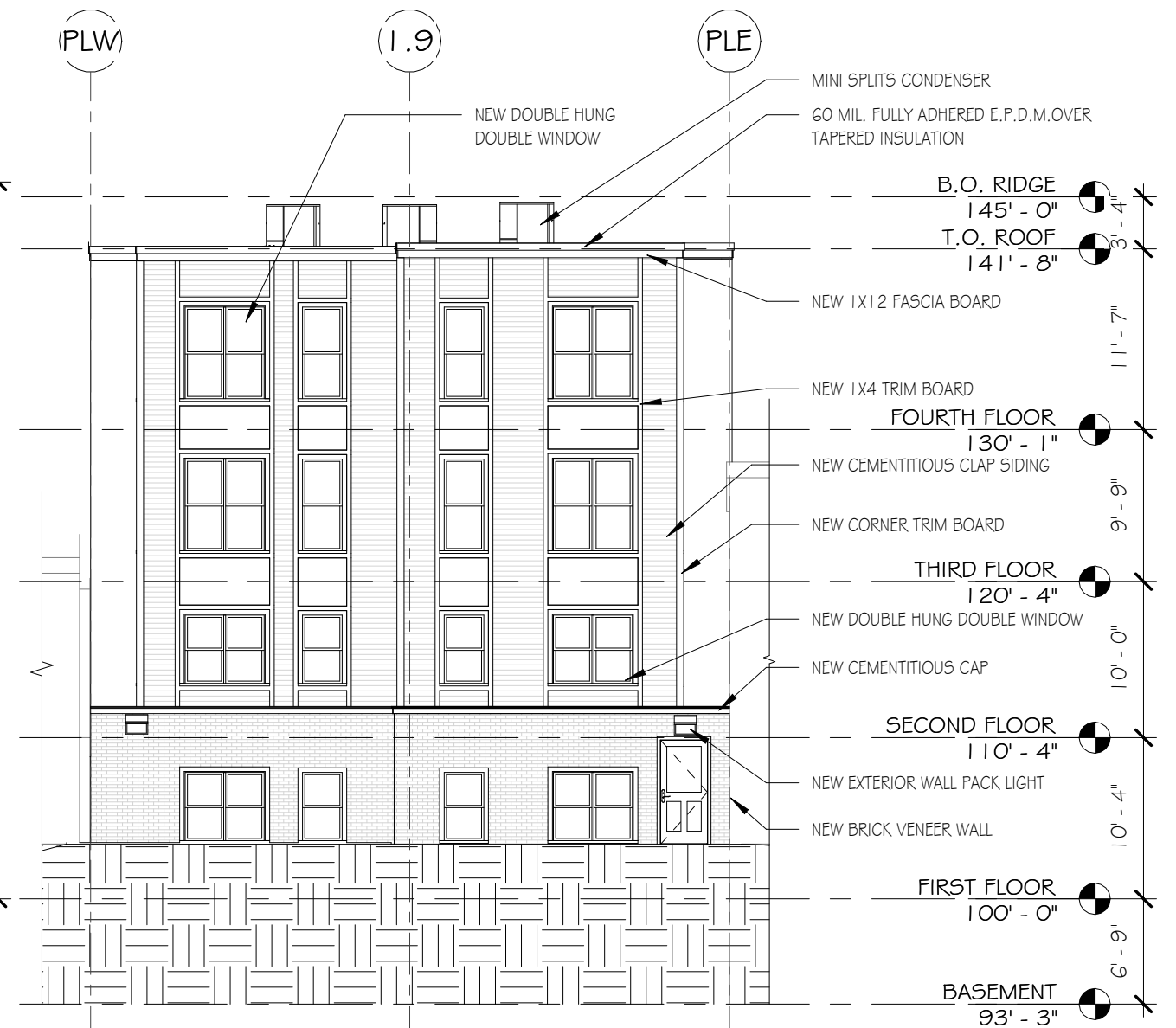


③ EXTERIOR VIEW - CENTRAL AVE

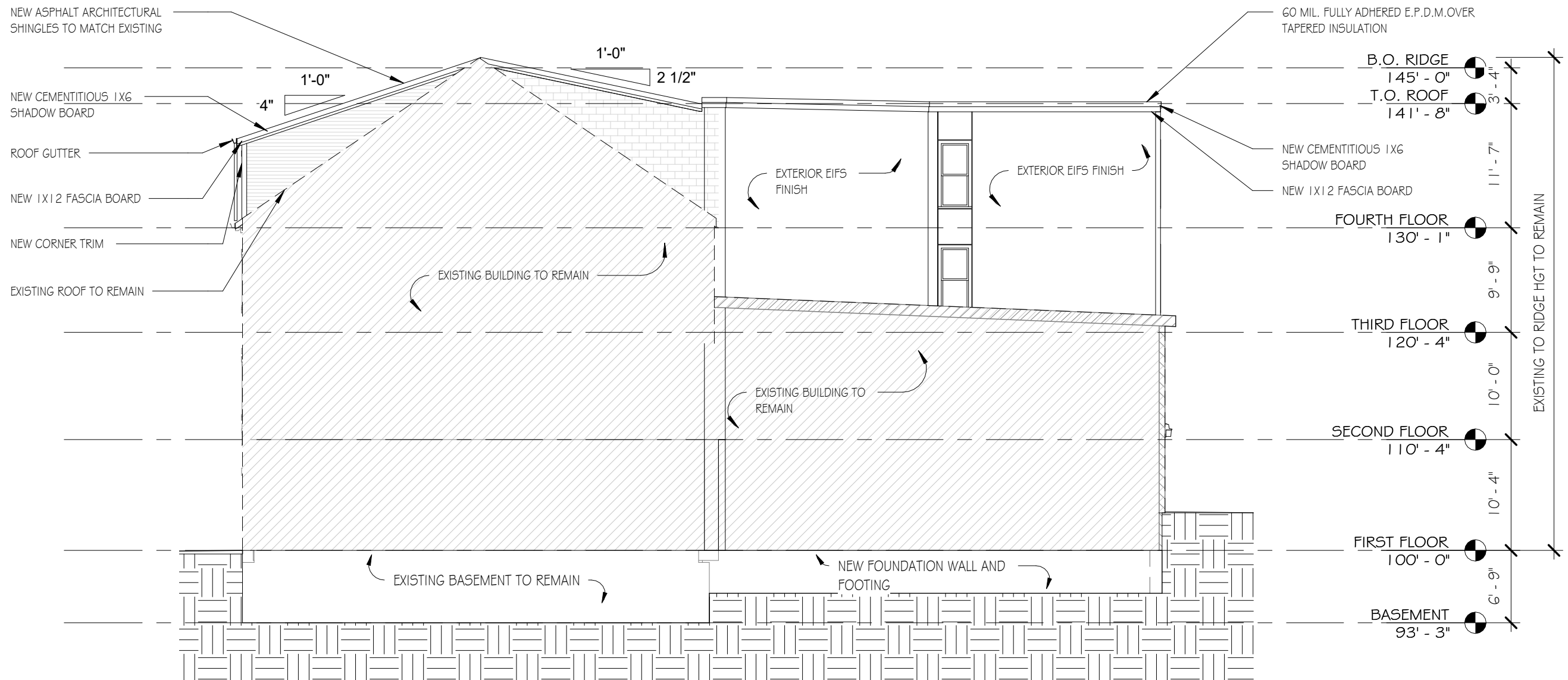
3/32" = 1'-0"
NFC: 10/20/25
PROGRESS SET



② FRONT ELEVATION - CENTRAL AVE
3/32" = 1'-0"



① BACK ELEVATION - WALDRON CT.
3/32" = 1'-0"



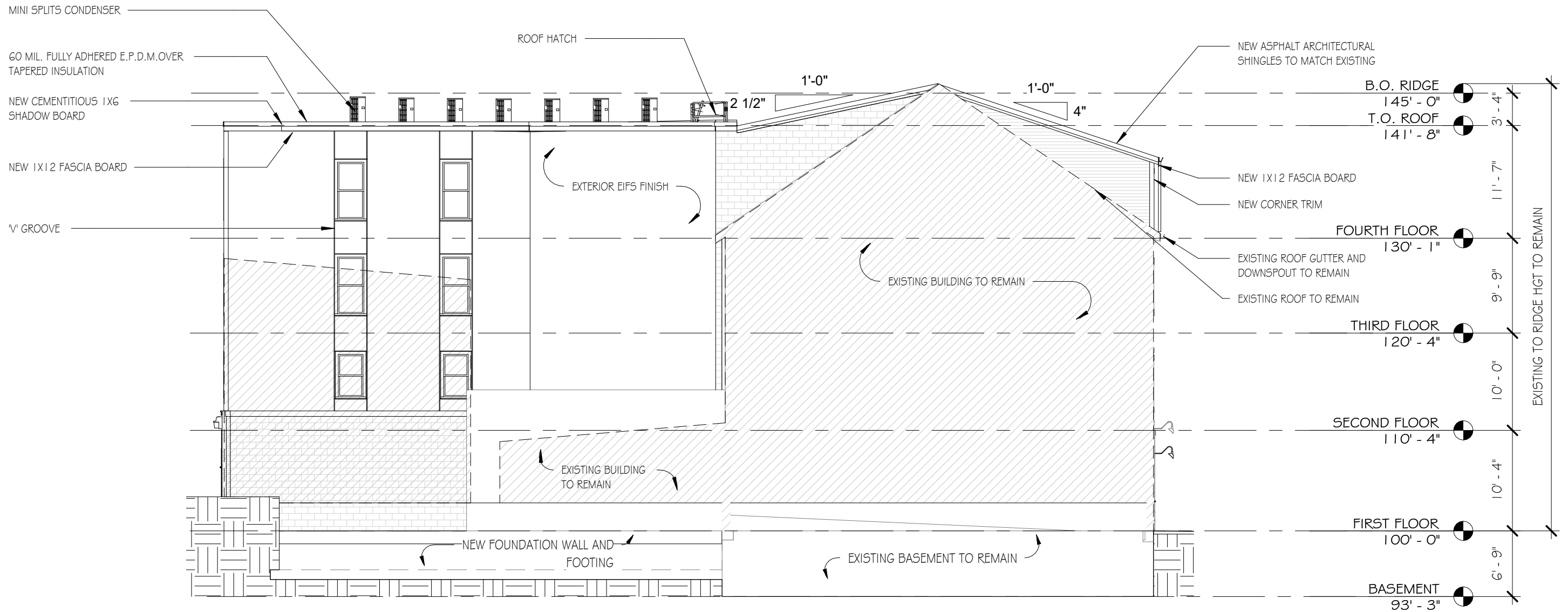
① RIGHT ELEVATION
3/32" = 1'-0"

EXTERIOR ELEVATION

Airey Row LLC

3/32" = 1'-0"
NFC: 10/20/25
PROGRESS SET

A8



① LEFT ELEVATION
3/32" = 1'-0"

EXTERIOR ELEVATION

Airey Row LLC

3/32" = 1'-0"
NFC: 10/20/25
PROGRESS SET