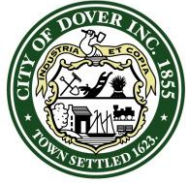


CITY OF DOVER

DOVER CONSERVATION COMMISSION – AGENDA

Meeting Type: Regular Meeting
Meeting Location: City Council Conference Room - 288 Central Avenue Dover NH
Meeting Date: **Monday, July 13, 2026**
Meeting Time: **5:30 pm**

1. CALL TO ORDER AND ROLL CALL
2. CITIZEN’S FORUM
3. APPROVAL OF THE PRIOR MEETING MINUTES – June 8, 2026
4. OLD BUSINESS
 - A. Smith Well Lot Access Update
 - B. Willand Pond Update
5. NEW BUSINESS
 - A. Letter of Support to construct and replace the Bellamy Road Bridge with grant funds from FHWA National Culvert Removal, Replacement, and Restoration Grant Program (Culvert AOP Grant) in collaboration with NHDES. Proposed project will replace the 17 ft wide culvert with a 50 ft wide bridge. This project is designed to restore 5.2 river miles of aquatic connectivity in the Bellamy River for the benefit the anadromous, river herring. The Conservation Commission previously provided a Letter of Support for the first grant for the design in December of 2022.
 - B. Meet the Strafford County Commissioner
 - C. Ash Tree Update: Consideration and Selection of Contractor for Comprehensive Plan.
6. REPORT FROM THE CHAIR
 - A. Review of Correspondence Received from NH Department of Environmental Services
7. OTHER BUSINESS
8. ADJOURNMENT



CITY OF DOVER

DOVER CONSERVATION COMMISSION – MINUTES

Meeting Type: Regular Meeting
Meeting Location: City Council Conference Room - 288 Central Avenue, Dover, NH
Meeting Date: Monday June 8, 2026
Meeting Time: **5:30 pm**

MEMBERS PRESENT: Bill Hunt (Chair), Steve Fellows (Vice Chair), Robert Atwood (Secretary), Russ Warnock, Thomas Fargo, Abigail Lyon, Brianna Group, Kristen Murphy (Alternate)

Absent (Excused):

Absent (Unexcused):

STAFF PRESENT: Makayla Edgecomb (Conservation Planner)

OTHERS PRESENT:

1. CALL TO ORDER AND ROLL CALL

The meeting was convened at 5:30PM.

2. CITIZENS' FORUM

The Chair gave instructions for Citizens' forum

No residents spoke

K. Murphy asked the members about their interest in participating in a Styrofoam collection event. She explained details of how the event would work. The group discussed the idea and gave feedback and ideas.

T. Fargo mentioned bringing this to the Solid Waste Advisory Committee

3. APPROVAL OF THE PRIOR MEETING MINUTES- May 11, 2026

T. Fargo moved to approve the minutes of May 11 as submitted. S. Fellows seconded. Vote: All in favor

4. OLD BUSINESS

M. Edgecomb stated that we are still waiting to hear back from NHDES regarding Smith Well access.

5. NEW BUSINESS

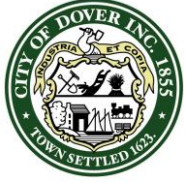
- A.** (Continued) City of Dover Conditional Use Permit for Stephanie Retrosi, Map L, Lot 114 zoned R-20 located at 318 Dover Point Road. Proposal is to construct permanent shore stabilization resulting in approximately 1,113 s.f. of permanent impacts and 2,015 s.f. of temporary impacts, overlapping within the Wetland Protection and Conservation Districts. (COND-2026-0024)

Kuerstin Fordham from Riverside and Pickering presented and explained the details of the project. She answered some questions from the members about the coir logs, rip rap, previous similar projects, contingency plan, and site walk option during construction.

A. Lyon moved to approve the project with a request for a site visit during the project. B. Group seconded.
Vote: All in favor

- B.** Amended NHDES Major Impact Wetland Permit Application for Saddle Trail Drive Home Owners Association. Assessor's Map N Lot 8-1, zoned R-40, located at off Saddle Trail Drive. Proposal is to construct a tidal docking structure consisting of a 4' x 24' accessway, a 4' x 165' fixed wood pier, a 30' x 57' gangway and an "L" design with one 8' x 25', one 6' x 25', and two 6' x 20' floats. The floats will be 10 feet from the federal navigation channel instead of the original 19.3 feet. The helical moorings facing the channel will be removed. Application was before the commission previously in February of 2023.

Keegan Feero, Haley Ward presented the item and explained the details of the project and clarified additional details for the members upon request.



CITY OF DOVER

DOVER CONSERVATION COMMISSION – MINUTES

Meeting Type: Regular Meeting
Meeting Location: City Council Conference Room - 288 Central Avenue, Dover, NH
Meeting Date: Monday June 8, 2026
Meeting Time: **5:30 pm**

S. Fellows moved to endorse the amended application as presented. A. Lyon seconded. Vote: All in favor

C. NHDES Expedited Minimum Impact Wetlands Permit Application for City of Dover. Assessor's Map B Lot 19-I and Map C Lot 3-C, zoned R-40, located off of Country Farm Road. Proposal is for a replacement of a damaged culvert in between the two parcels.

Commission members clarified the name of the road is County Farm Rd.

Drew Galland, Apex presented the item and explained the permit and board approvals that will be needed. He answered clarifying questions asked by the members.

A. Lyon moved to endorse the project pending SELT approval. R. Warnock seconded. Vote: All in favor

6. REPORT FROM THE CHAIR

A. Review of Correspondence Received from NH Department of Environmental Services
None

7. OTHER BUSINESS

Conservation funds for Willand Pond expenditures / House bill 1151

T. Fargo noted a new law that using conservation funds requires Conservation Commission approval. Discussion ensued regarding the Willand Pond project and that the Conservation Commission did not approve funds because the process that was chosen by City Council was not the process the Commission approved.

City USA award

R. Warnock mentioned this topic and discussed the Ash tree street tree project and a growth award. Additionally, he presented an idea to designate Pine Hill cemetery into a level 1 arboretum.

Ash tree update

M. Edgecomb noted the City is out to bid for landscape architect and arborist for the comprehensive plan which is to be completed by November.

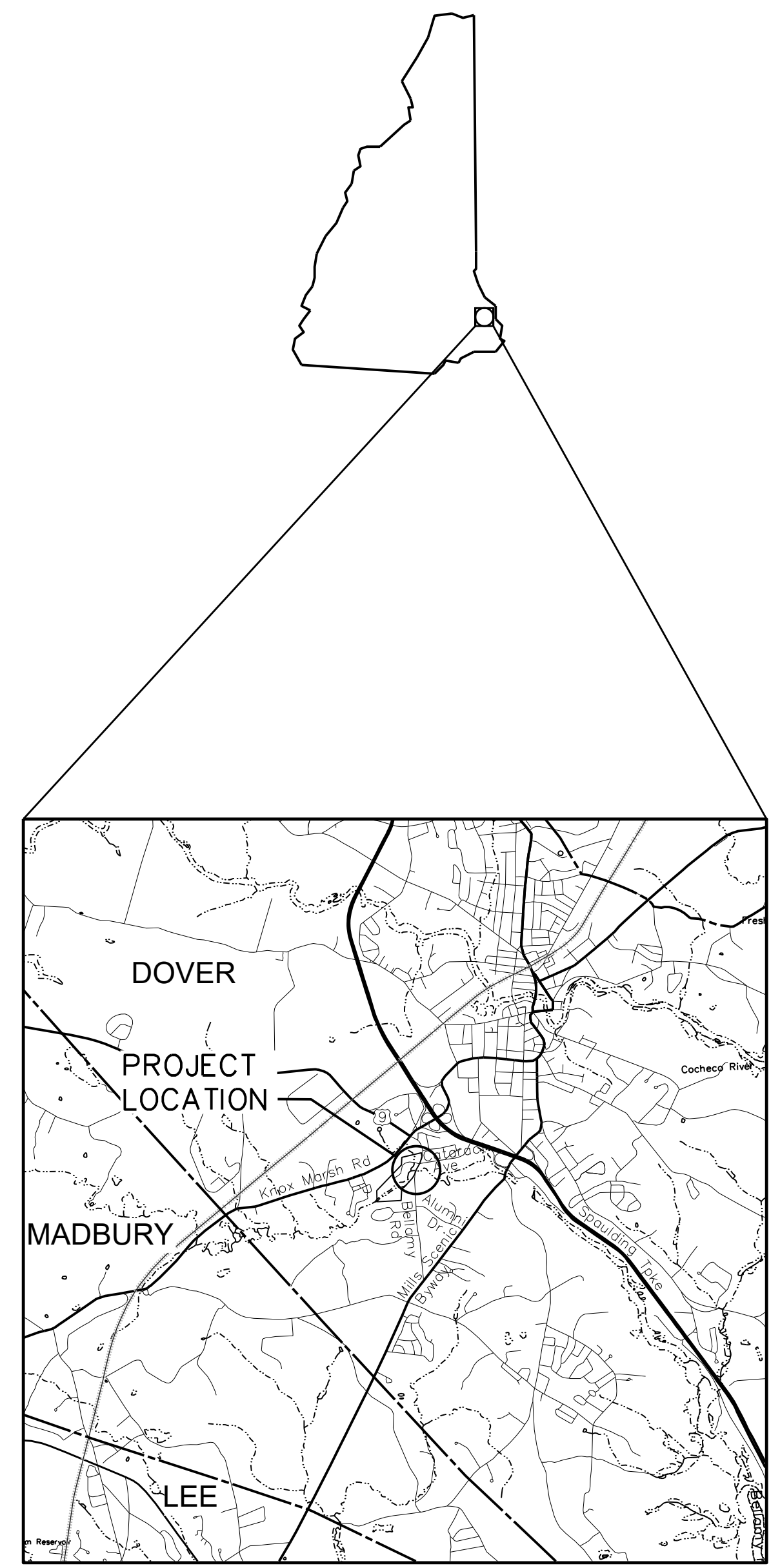
8. ADJOURNMENT

A. Lyon moved to adjourn. R. Atwood seconded. Vote: All in favor

The meeting was adjourned at 6:36 PM.

REVISIONS AFTER PROPOSAL	STATION	DATE	NUMBER	DESCRIPTION
		JUNE 19, 2023	1	UPDATED INDEX, STAMP SHEET NUMBERS, AND ADDED SHEET 31A

PROJECT MANAGER: J. WHITMORE	DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026
DRAWN BY: B. MASSE	DATE: MAY, 2026
AS BUILT DETAILS	DATE:



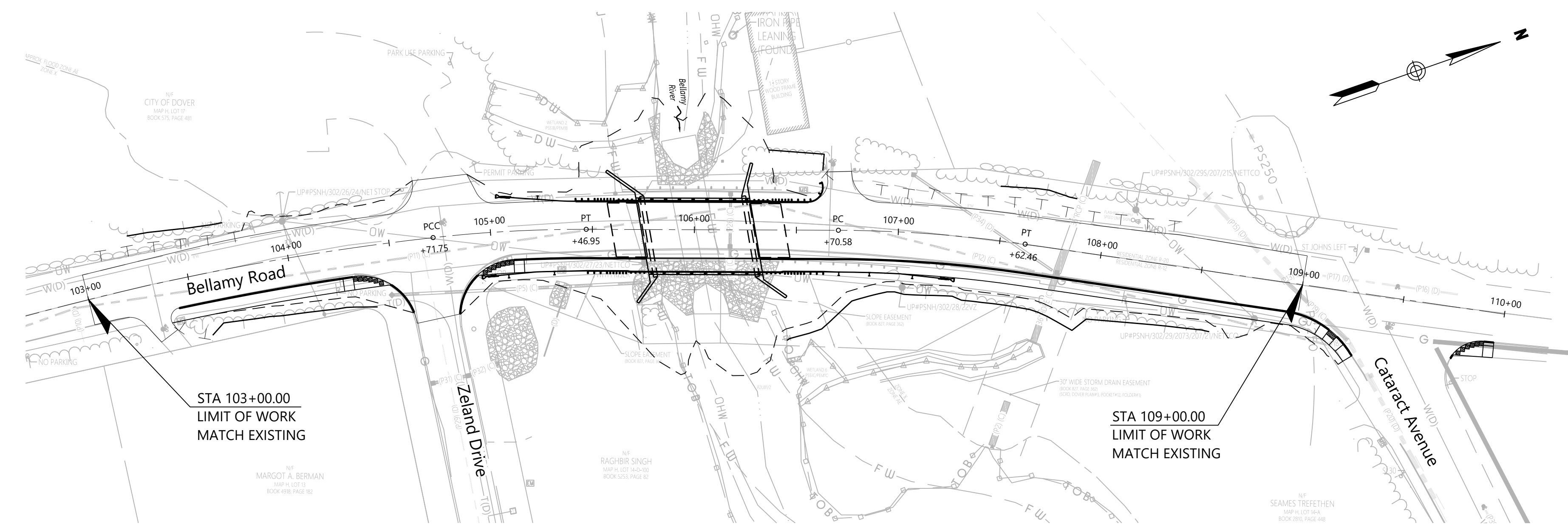
LOCATION MAP
 2000 0 2000 4000
 GRAPHIC SCALE: 1" = 2000'

CITY OF DOVER, N.H.
 COUNTY OF STRAFFORD

CONSTRUCTION PLANS
120/098 BRIDGE REPLACEMENT

DESIGN DATA	
BELLAMY ROAD	
AVERAGE DAILY TRAFFIC 2022	8129
AVERAGE DAILY TRAFFIC 2042	9919
PERCENT OF TRUCKS	6%
DESIGN SPEED	30 MPH
LENGTH OF PROJECT	600 FT

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2-3	STANDARD SYMBOLS (2 SHEETS)
4-5	PROJECT NOTES (2 SHEETS)
6-8	ROADWAY TYPICAL SECTIONS AND DETAILS (3 SHEETS)
9	ROADWAY GENERAL PLANS
10	ROADWAY PROFILE
11-12	BORING LOGS (2 SHEETS)
13	BRIDGE PLAN AND ELEVATION
14	BRIDGE DETAILS
15	STREAM PLAN AND PROFILE
16-18	CROSS SECTIONS (3 SHEETS)
19	DETOUR PLAN
20	LOCAL AND PEDESTRIAN DETOUR PLAN
21	TRAFFIC SIGN SUMMARY
22	SEWER AND WATER RELOCATION PLANS
23-24	SEWER AND WATER DETAILS (2 SHEETS)

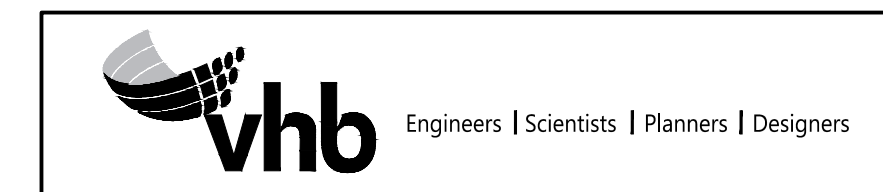


CITY OF DOVER, NH
 COUNTY OF STRAFFORD

LAYOUT

40 0 40 80
 GRAPHIC SCALE: 1" = 40'

PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE



CITY OF DOVER, NEW HAMPSHIRE
 BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

COVER SHEET

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_cov	-	1	24

REVISIONS AFTER PROPOSAL	DESCRIPTION				
	STATION				
	STATION				
	DATE				
NUMBER					
PROJECT MANAGER: J. WHITMORE	DATE: MAY, 2026				
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026				
DRAWN BY: B. MASSE	DATE: MAY, 2026				
AS BUILT DETAILS	DATE:				

PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

	PROPOSED ROADWAY	existing roadway	(pavement removed outside slope lines)
EDGE OF PAVEMENT			
TRAVELED WAY			
DRIVEWAYS			
BUILDINGS			(building to be removed)
WATER COURSE WETLAND AREA			
POTENTIAL WET AREA SYMBOL			
WETLAND FLAG			
TOP OF BANK FLAG			
FLOW DIRECTION			
CONIFEROUS TREE 8" DIA. OR GREATER			
CONIFEROUS TREE LESS THAN 8" DIA.			
DECIDUOUS TREE 8" DIA. OR GREATER			
DECIDUOUS TREE LESS THAN 8" DIA.			
CONIFEROUS SHRUB			
DECIDUOUS BUSH			
TREE LINE			
SHRUB / VEGETATION LINE			
TREE STUMP			
ROCK / BOULDER			
FLAG POLE			

GENERAL

MAJOR CONTOUR LINE	
MINOR CONTOUR LINE	
SPOT GRADE	
GUARDRAIL	
HANDRAIL	
CURB	
STONE WALL	
REMNANT STONE WALL	
RETAINING WALL	
CHAIN LINK FENCE	
METAL / STOCKADE FENCE	
PICKET FENCE	
POST & RAIL FENCE	
WIRE FENCE	
SIGNS	
SQUARE POST	
POST	
BOLLARD	
DOOR OPENER	
BUILDING COLUMN/SUPPORT	
MAILBOX	
VENT PIPE	
IRRIGATION CONTROL VALVE	
HAND HOLE	
PAD MOUNTED TRANSFORMER	
BENCH	
ACCESSIBLE PARKING SPACE	

SHORELAND - WETLAND

WETLAND DESIGNATION AND TYPE	
DELINEATED WETLAND	
ORDINARY HIGH WATER	
TOP OF BANK	
TOP OF BANK & ORDINARY HIGH WATER	
NORMAL HIGH WATER	
WIDTH AT BANK FULL	
PRIME WETLAND	
PRIME WETLAND 100' BUFFER	
NON-JURISDICTIONAL DRAINAGE AREA	
COWARDIN DISTINCTION LINE	
TIDAL BUFFER ZONE	
DEVELOPED TIDAL BUFFER ZONE	
HIGHEST OBSERVABLE TIDE LINE	
MEAN HIGH WATER	
MEAN LOW WATER	
VERNAL POOL	
SPECIAL AQUATIC SITE	
REFERENCE LINE	
WATER FRONT BUFFER	
NATURAL WOODLAND BUFFER	
PROTECTED SHORELAND	
INVASIVE SPECIES LABEL	
INVASIVE SPECIES	

FLOODPLAIN / FLOODWAY

500 YEAR FLOODPLAIN BOUNDARY	
100 YEAR FLOODPLAIN BOUNDARY	
FLOODWAY	

ENGINEERING

CONSTRUCTION BASELINE	
ORIGINAL GROUND LINE (PROFILES AND CROSS-SECTIONS)	
PROFILE GRADE LINE (PROFILES AND CROSS-SECTIONS)	
CLEARING LINE	
SLOPE LINE	
SLOPE LINE (FILL)	
SLOPE LINE (CUT)	
PROFILES AND CROSS SECTIONS:	
ORIGINAL GROUND ELEVATION (LEFT)	
FINISHED GRADE ELEVATION (RIGHT)	



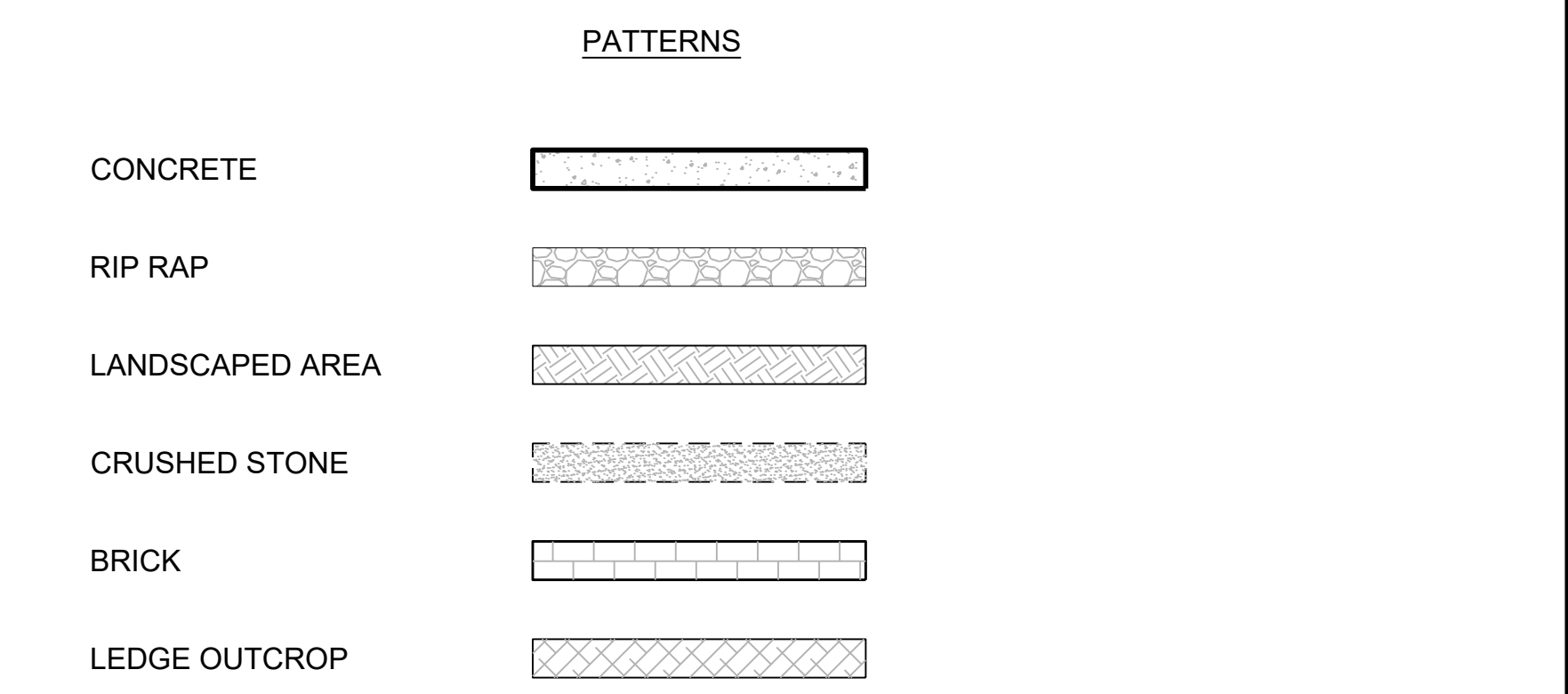
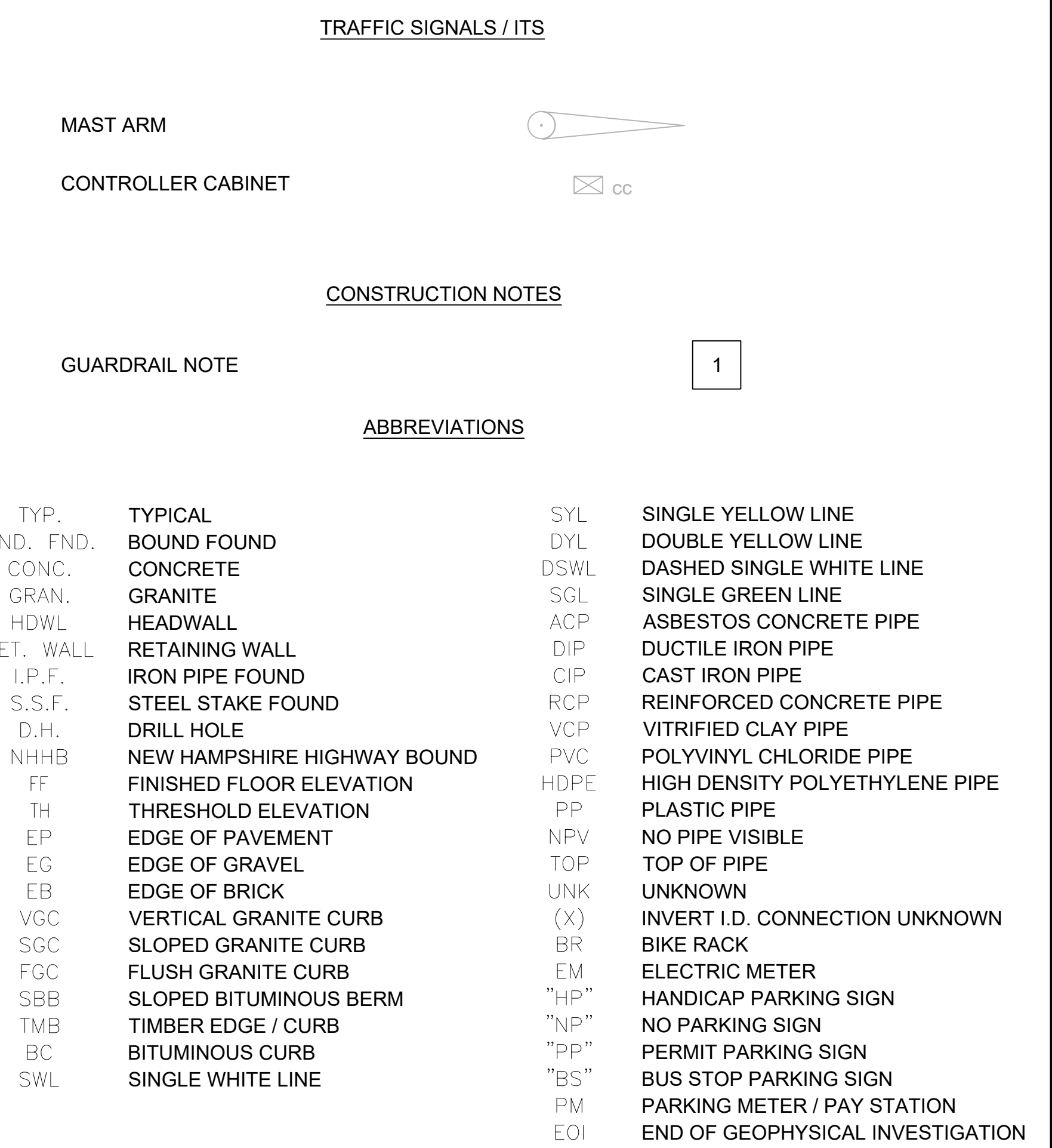
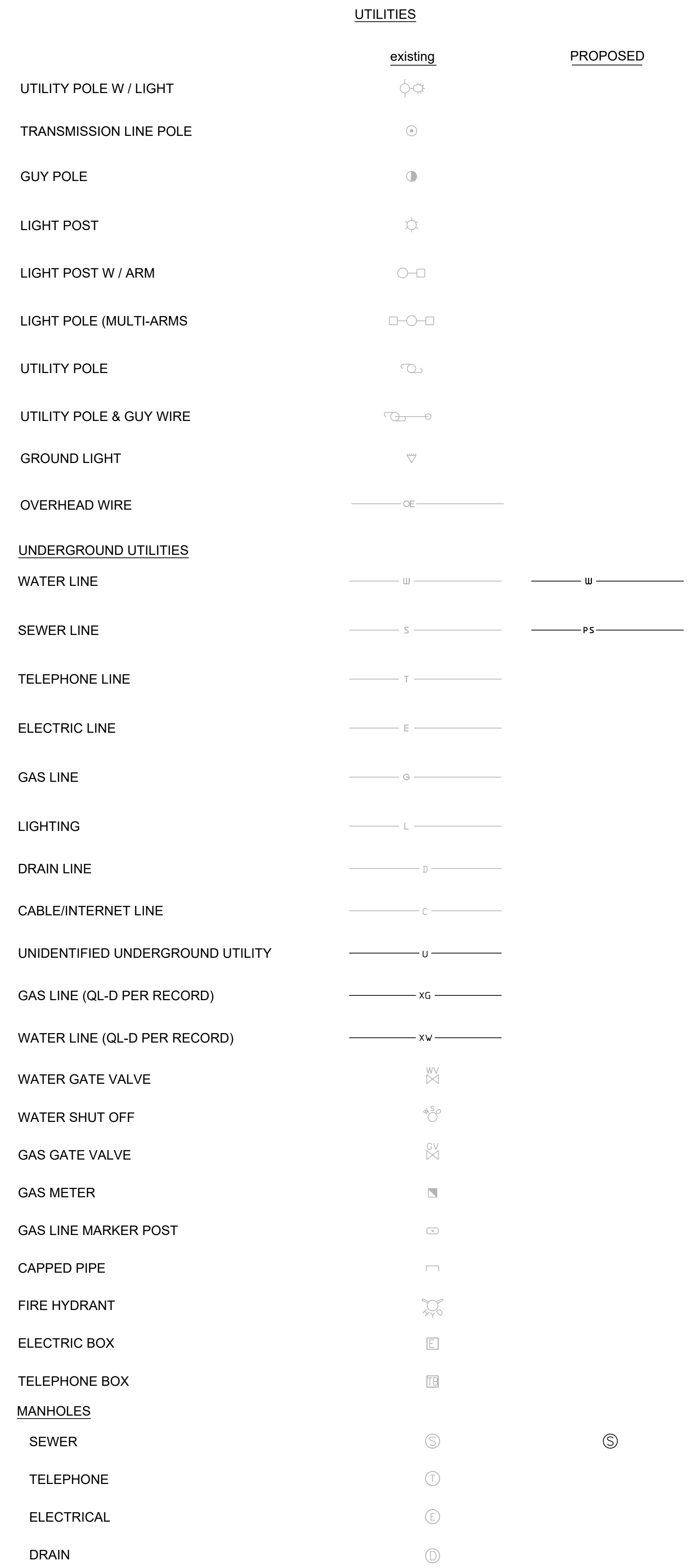
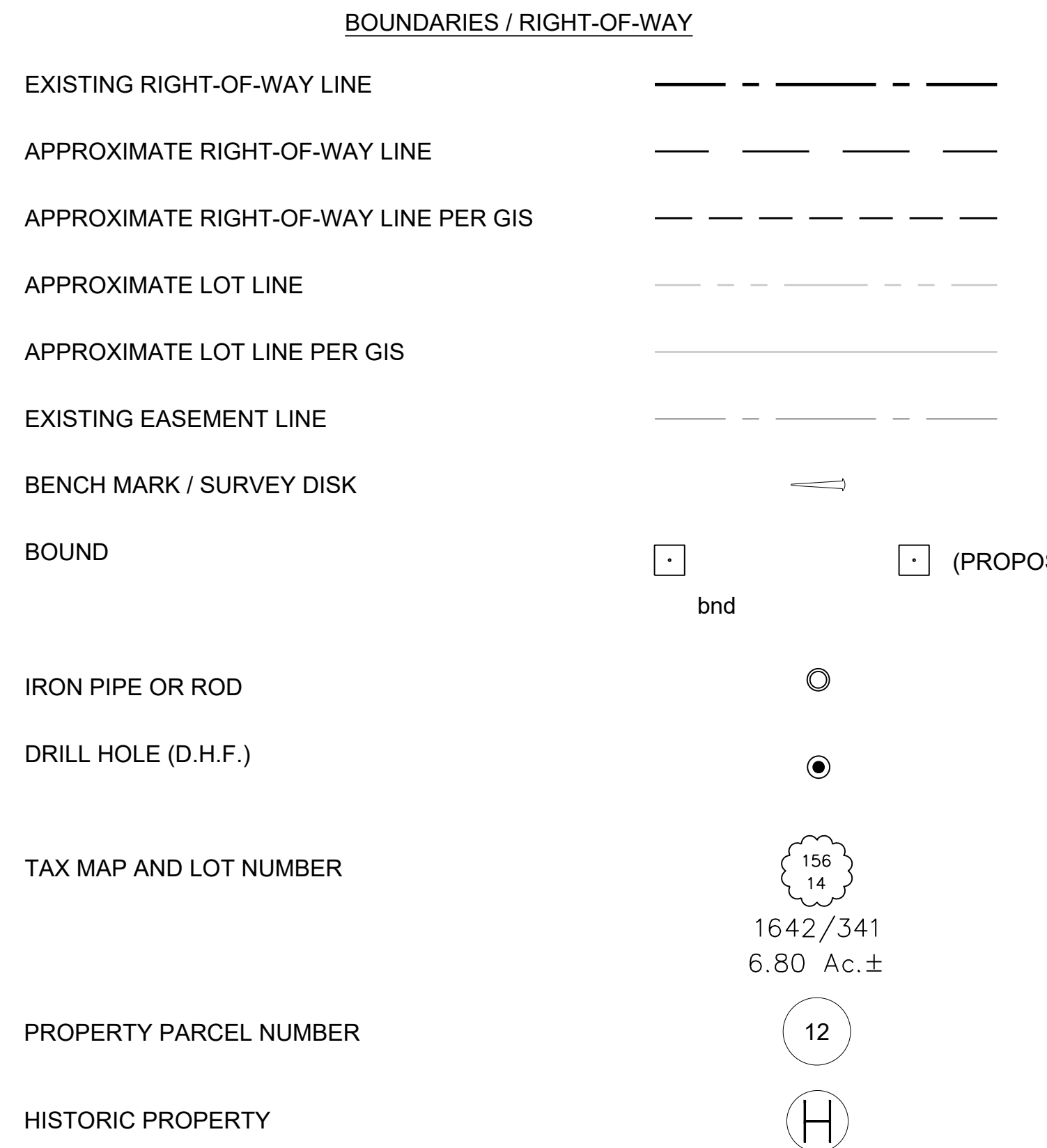
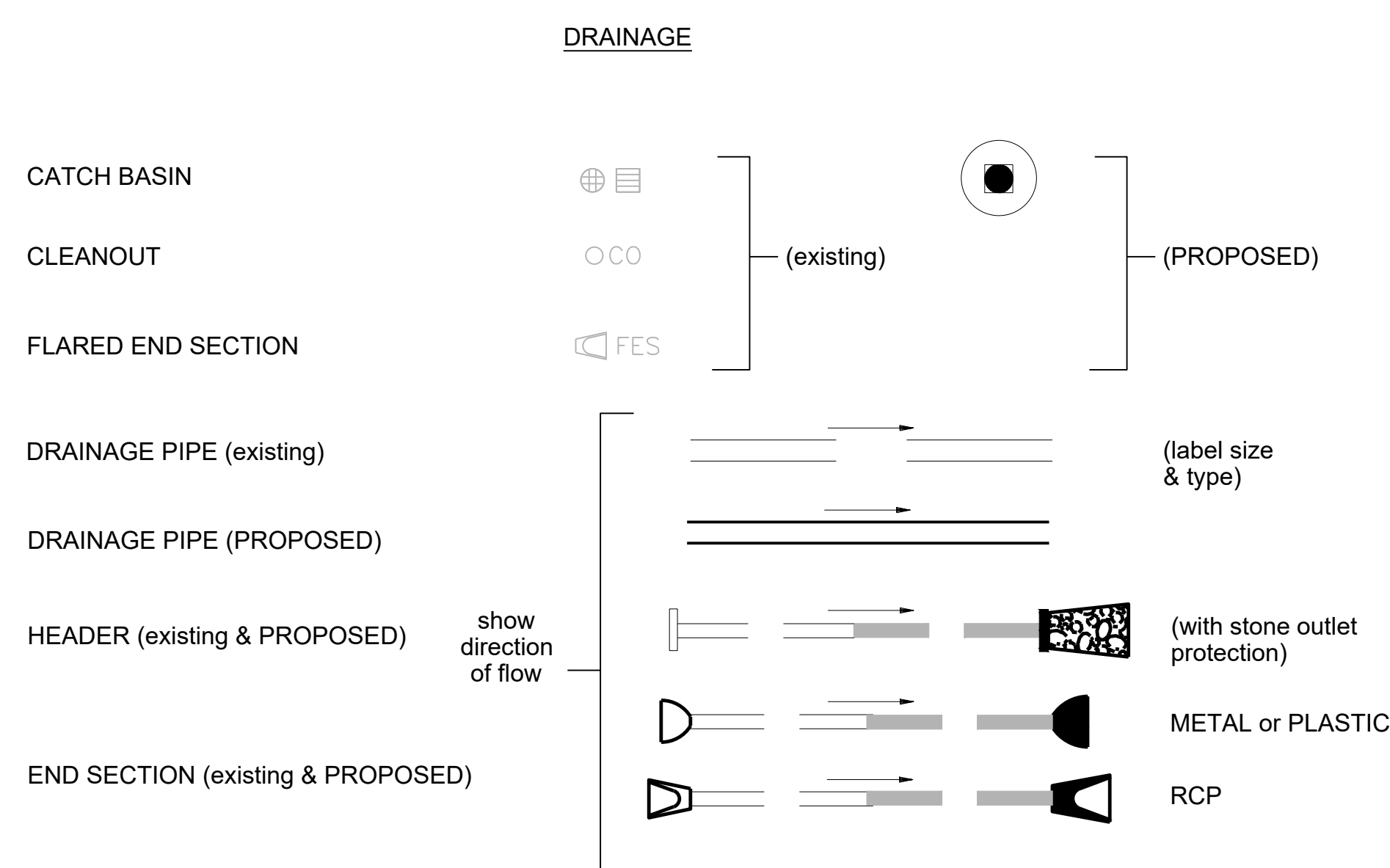
Engineers | Scientists | Planners | Designers

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

STANDARD SYMBOLS

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_NHDOT_LEG	-	2	24

REVISIONS AFTER PROPOSAL	DESCRIPTION	
	STATION	
	STATION	
	DATE	
NUMBER		
DATE: MAY, 2026	DATE: MAY, 2026	DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026	DATE: MAY, 2026
DRAWN BY: B. MASSE		
AS BUILT DETAILS		



PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

SHEET 2 OF 2

CITY OF DOVER, NEW HAMPSHIRE					
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT					
STANDARD SYMBOLS					
DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_NHDOT-LEG	-	3	24

REVISIONS AFTER PROPOSAL

DESCRIPTION

STATION

STATION

DATE

NUMBER

DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX

DATE: MAY, 2026
DRAWN BY: B. MASSE

DATE: MAY, 2026

PROJECT MANAGER: J. WHITMORE

AS BUILT DETAILS

DESIGN LOADS, MATERIALS AND SPECIFICATIONS

- (1) DESIGN LOADING: HL-93
- (2) DESIGN METHOD: LOAD AND RESISTANCE FACTOR DESIGN (LRFD)
- (3) SPECIFICATIONS: AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, 10th ED., 2024 AS AMENDED
NHDOT 2016 STANDARD SPECIFICATIONS AS AMENDED
- (4) FOUNDATION DATA: SPREAD FOOTINGS SUPPORTED ON BEDROCK WITH NOMINAL BEARING
RESISTANCE OF 12.55 TSF IN COMBINATION WITH RESISTANCE FACTOR OF 0.45.
- (5) REINFORCING STEEL: AASHTO M31 (ASTM A615) GRADE 60
- (6) STRUCTURAL STEEL: AASHTO M270, GRADE 50 (ASTM A709, GRADE 50) METALLIZED
- (7) CONCRETE: ABUTMENTS (BELOW BEARING SEAT CONSTRUCTION JOINT) AND FOOTING = 3,000 PSI
ABUTMENT BACKWALLS (ABOVE BEARING SEAT CONSTRUCTION JOINT), BRIDGE DECK,
CURBS, SIDEWALK, AND APPROACH SLABS = 4,000 PSI
- (8) SEISMIC: PEAK GROUND ACCELERATION (PDG) = .147 g
SITE CLASS = C
ZONE = 1

GENERAL NOTES

- (1) ANY EXISTING INFORMATION AND/OR PLANS WILL BE AVAILABLE IN THE BID PACKAGE.
- (2) THE CONTRACTOR SHALL CONTACT DIG SAFE TO SURVEY AND TAG ALL BRIDGE COPING AND
UNDERGROUND LOCATIONS NEAR THE BRIDGE, FOR POSSIBLE UTILITIES.
- (3) THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT DEBRIS DOES NOT FALL
INTO THE WATERWAY. ALL COSTS INCLUDING ERECTION, MAINTENANCE AND REMOVAL OF TEMPORARY
STRUCTURES OR OTHER SUCH APPROVED METHODS, SHALL BE SUBSIDIARY TO THE APPROPRIATE ITEMS OF WORK
BEING PREFORMED.
- (4) ITEM 583.7, RIPRAP CLASS VII SHALL BE 4'-0" THICK, UNLESS OTHERWISE NOTED.
- (5) ALL EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4", UNLESS OTHERWISE NOTED.
- (6) SHEAR KEYS SHALL BE 3" HIGH BY ONE-THIRD THE WIDTH OF THE WALL, CENTERED.
- (7) ALL EXISTING BRONZE DISCS REPRESENTING STATE BENCHMARKS OR SURVEY TRIANGULATION POINTS
MUST NOT BE DISTURBED. WHEN THE WORK CALLED FOR INVOLVES DISTURBING A BRONZE DISC THE
CONTRACTOR SHALL NOTIFY THE ENGINEER SUFFICIENTLY IN ADVANCE OF THE WORK TO PERMIT THE
STATE TO TEMPORALLY RELOCATE THE AFFECTED MARKER.
- (8) ITEM 538.2, BARRIER MEMBRANE, PEEL AND STICK - VERTICAL SURFACES (F), 2' WIDE WITH PROTECTION BOARD
(SUBSIDIARY), SHALL BE PLACED CENTERED OVER ALL HORIZONTAL AND VERTICAL CONSTRUCTION JOINTS.
- (9) APPLY PAVEMENT JOINT ADHESIVE ALONG ALL LONGITUDINAL JOINTS BETWEEN PAVEMENT PASSES AND ALONG
BRIDGE AND APPROACH CURB LINES, PRIOR TO PLACING ALL PAVEMENT COURSES. FOR BRIDGE BASE COURSE
APPLY ITEM 403.26, PAVEMENT JOINT ADHESIVE (BRIDGE BASE) AND FOR WEARING COURSE APPLY ITEM 403.16,
PAVEMENT JOINT ADHESIVE - ROADWAY ITEM.
- (10) FIELD WELDING OF ATTACHMENTS TO, OR PLACEMENT OF HOLES IN, ANY PORTION OF THE PLATE GIRDERS FOR
CONSTRUCTION PURPOSES IS NOT PERMITTED, UNLESS APPROVED BY THE BUREAU OF BRIDGE DESIGN.
- (11) FOR SURVEY LAYOUT SEE BRIDGE SHEET XX.
- (12) FOR BORING NOTES SEE BRIDGE SHEETS 11-12.
- (13) FOR HYDRAULIC DATA SEE BRIDGE SHEET 13.
- (14) FOR DECK SLAB ELEVATION NOTES SEE BRIDGE SHEET XX.
- (15) FOR EXPANSION JOINT NOTES SEE BRIDGE SHEET XX.

BRIDGE REMOVAL NOTES

- (1) THE CONTRACTORS METHOD FOR REMOVAL OF THE EXISTING BRIDGE SHALL BE SUBMITTED FOR
DOCUMENTATION IN ACCORDANCE WITH SECTION 105.02, PRIOR TO THE COMMENCEMENT OF ANY REMOVAL
OPERATIONS
- (2) ITEM 502., REMOVAL OF EXISTING BRIDGE STRUCTURE, SHALL INCLUDE THE COMPLETE REMOVAL OF THE EXISTING
BRIDGE STRUCTURE.

COFFERDAMS

- (1) ALL ITEMS COVERED UNDER SECTION 503 OF THE SPECIFICATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER,
LICENSED IN THE STATE OF N.H. THE CONTRACTOR SHALL SUBMIT STAMPED WORKING DRAWINGS AND CALCULATIONS
FOR REVIEW AND DOCUMENTATION IN ACCORDANCE WITH SECTION 105.02.
- (2) COFFERDAMS SHALL BE REQUIRED AT EACH ABUTMENT LOCATION TO CONTROL THE STREAM INFLOW AND ADEQUATELY
DEWATER THE FOOTING EXCAVATION. SUMP PUMPING AREAS AROUND THE ENTIRE PERIMETER MAY BE REQUIRED TO
ADEQUATELY CONTROL THE GROUND WATER WITHIN THE FOOTING EXCAVATION. IT MAY BE POSSIBLE TO USE A WATER
DIVERSION STRUCTURE SUCH AS SANDBAG DIKE IN LIEU OF A SHEETED COFFERDAM AS A MEANS OF CONTROLLING
INFLOW FROM THE STREAM. IF WATER DIVERSION IS USED IT WILL BE PAID FOR AS A COFFERDAM.
- (3) COFFERDAMS ARE REQUIRED AT EACH ABUTMENT LOCATION TO CONTROL THE RIVER INFLOW AND ADEQUATELY
DEWATER THE FOOTING EXCAVATION AND TO CONSTRUCT ABUTMENTS, WINGWALLS, AND STONE FILLS. STEEL
SHEETING MAY BE REQUIRED DEPENDING ON THE AVERAGE RIVER LEVEL CONDITIONS AT THE TIME OF CONSTRUCTION
AND THE CONTRACTOR'S METHOD OF DEWATERING. ALL COSTS FOR MATERIALS, INSTALLATION, MAINTENANCE, AND
REMOVAL SHALL BE INCLUDED IN ITEM 503.20X, COFFERDAMS. ALL WORK REQUIRED TO MAINTAIN A DEWATERED
CONDITION SHALL BE INCLUDED IN ITEM 503.20X.
- (4) CONTROL OF WATER WITHIN THE COFFERDAMS SHALL BE CONDUCTED IN SUCH A MANNER AS TO
PREVENT DISTURBANCE OF THE BEARING SOIL. PUMPING AREAS SHALL BE LOCATED OUTSIDE
THE CULVERT AND WINGWALLS SUPPORT LIMITS AND PROPERLY FILTERED TO PREVENT THE PUMPING OF FINES.
- (5) ANY FOUNDATION SOIL WEAKENED AS A RESULT OF INSUFFICIENT CARE TAKEN IN MAINTAINING
A DEWATERED CONDITION SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL AT THE
EXPENSE OF THE CONTRACTOR.
- (6) THE CONTRACTOR SHALL BE REQUIRED TO POUR SUBSTRUCTURE CONCRETE IN THE DRY.
- (7) DEWATERING SHALL BE CONTINUOUS UNTIL SUBSTRUCTURES ARE BACKFILLED TO THE ELEVATION OF THE
SURROUNDING WATER TABLE, UNLESS OTHERWISE DIRECTED.
- (8) ALL MEANS AND METHODS ASSOCIATED WITH HANDLING WATER DURING CONSTRUCTION OF CULVERT
SHALL BE LOCATED WITHIN THE LIMITS OF WORK SHOWN ON THE WETLANDS PERMIT APPROVED FOR THE PROJECT.
- (9) THE COFFERDAM DESIGN SHALL ACCOUNT FOR THE EFFECTS OF UNBALANCED EARTH PRESSURE AND PILE DRIVING ON
THE COFFERDAM STABILITY.
- (10) IN SOME LOCATIONS PRE-EXCAVATION OF COBBLES AND BOULDERS MAY BE REQUIRED PRIOR TO PLACING STEEL
SHEETING. DURING EXCAVATION THE CONTRACTOR SHALL DISTURB THE AREA AS LITTLE AS POSSIBLE AND USE
NECESSARY PRECAUTIONS TO MINIMIZE THE IMPACTS TO THE RIVER. ALL COSTS INCLUDED IN ITEM 503.20X AND
503.20X.
- (11) EXCAVATION BACKSLOPES BELOW IN-SERVICE ROADWAYS THAT ARE USED IN COMBINATION WITH, OR IN PLACE OF, A
COFFERDAM SHALL MEET THE FOLLOWING CRITERIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND
MAINTENANCE OF ALL EXCAVATION BACKSLOPES.
 - A) THE EXCAVATION BACKSLOPE SHALL BE NO STEEPER THAN 1.5H:1V. A FLATTER BACKSLOPE SHALL BE USED IF THE
CONTRACTOR'S CALCULATIONS INDICATE INSUFFICIENT SLOPE STABILITY AT 1.5H:1V.
 - B) FOR CASES WHERE THE EXISTING GUARDRAIL IS USED FOR TRAFFIC BARRIER ABOVE THE EXCAVATION, THE CREST
OF EXCAVATED BACKSLOPES SHALL BE OFFSET A MINIMUM OF 3 FEET FROM FACE OF EXISTING GUARDRAIL. THE
EXISTING GROUND SURFACES BETWEEN THE GUARDRAIL AND THE EXCAVATED SHALL BE MAINTAINED IN ITS
ORIGINAL CONFIGURATION.
 - C) FOR CASES WHERE CONCRETE TRAFFIC BARRIERS ARE USED IN PLACE OF EXISTING GUARDRAIL, THE CREST OF
EXCAVATED BACKSLOPES SHALL BE OFFSET A MINIMUM OF 2 FEET FROM THE OUTSIDE EDGE OF THE CONCRETE
BARRIER.
- (12) THE CONTRACTOR SHOULD BE PREPARED TO PERFORM ANY SUBSURFACE INVESTIGATIONS NEEDED FOR THE
COFFERDAM DESIGN. ALL COSTS ASSOCIATED WITH THE COMPLETION OF SUBSURFACE INVESTIGATIONS, THE REDESIGN,
OR THE REINSTALLATION OF COFFERDAMS DUE TO SUBSURFACE CONDITIONS ENCOUNTERED DURING THE COFFERDAM
INSTALLATION THAT ARE DIFFERENT FROM WHAT THE COFFERDAM DESIGNER ASSUMED AND/OR INTERPRETED FROM
THE AVAILABLE SUBSURFACE INFORMATION, SHALL BE SUBSIDIARY TO THE ASSOCIATED COFFERDAM ITEM. SECTION
102.05 SHALL BE REFERENCED REGARDING THE SUBSURFACE INFORMATION PROVIDED IN THE CONTRACT.

FOUNDATION NOTES

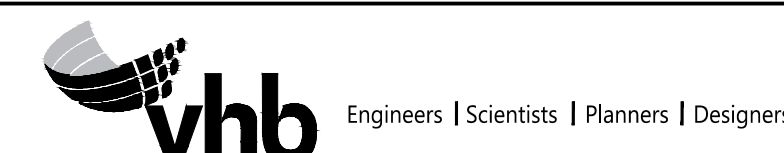
- (1) ALL MISCELLANEOUS FILL THAT IS ENCOUNTERED BELOW THE PROPOSED ABUTMENT FOOTINGS SHALL BE REMOVED
DOWN TO THE GLACIAL TILL SURFACE AND REPLACED WITH STRUCTURAL FILL. LATERAL LIMITS FOR REMOVAL OF ANY
UNSUITABLE MATERIAL AND PLACEMENT OF STRUCTURAL FILL FOR THE FOOTINGS SHALL BE A 1H:2V SLOPE
EXTENDING FROM A POINT ON TOP OF GLACIAL TILL 2' OUTSIDE THE PROPOSED EDGE OF FOOTINGS.
- (2) PROTRUDING BOULDERS OR COBBLES ENCOUNTERED AT THE FINAL EXCAVATION DEPTH SHALL BE REMOVED OR SPLIT
TO PROVIDE A LEVEL BEARING SURFACE.
- (3) FOR LOCATIONS REQUIRING ROCK REMOVAL, THE REQUIRED ELEVATION FOR ROCK REMOVAL SHALL BE X' MIN AND X'
MAX BELOW THE BOTTOM OF FOOTING. ANY ROCK REMOVED BELOW THE MAXIMUM REMOVAL WILL BE CONSIDERED
AS EXCESS REMOVAL AND WILL NOT BE PAID. NO PAYMENT WILL BE MADE FOR GRANULAR BACKFILL THAT IS
REQUIRED TO REPLACE EXCESS ROCK REMOVAL.
- (4) ROCK BRIDGE EXCAVATION MAY USE EITHER DRILLING AND BLASTING METHODS OR MECHANICAL METHODS AND
WILL BE PAID FOR UNDER ITEM 504.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR REPAIRS TO
THE COFFERDAM THAT RESULT FROM BLASTING.
- (5) THE FOOTING THICKNESS MAY VARY FROM 3'-0" MIN TO 4'-0" MAX WITH THE TOP OF FOOTING AT THE ELEVATION AS
DETAILED ON THE PLANS. FOOTING DESIGN IS BASED ON A 3'-0" THICKNESS AND REINFORCEMENT SHALL BE PLACED
AS SHOWN IN THE PLANS.
- (6) FRACTURES OR SEAMS IN THE BEDROCK SURFACES EXPOSED AT THE BOTTOM OF THE FOUNDATION EXCAVATION
HALL BE CLEANED AND GROUTED IN ACCORDANCE WITH 504.3.2 OR CHINKED WITH CLEAN STONE FOR STRUCTURAL
FILL AS DIRECTED TO PREVENT MIGRATION OF MSE BACKFILL MATERIALS INTO ANY BEDROCK FRACTURES.

ABUTMENT AND WINGWALL NOTES

- (1) ITEM 534.3, WATER REPELLENT (SILANE-SILOXANE), SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES OF
ABUTMENTS (INCLUDING BRIDGE SEATS), WINGS, AND BACKWALLS TO 1'-0" BELOW FILL LINES.
- (2) ITEM 538.2, BARRIER MEMBRANE, PEEL AND STICK - VERTICAL SURFACES (F), 2' WIDE WITH PROTECTION
BOARD (SUBSIDIARY), SHALL BE PLACED CENTERED OVER THE BEARING SEAT CONSTRUCTION JOINT AND CENTERED
OVER THE VERTICAL CONSTRUCTION JOINTS.
- (3) WEEPERS SHALL BE PLACED SYMMETRICALLY 10'-0" APART AND CENTERED AT 1'-0" ABOVE THE TOP OF
FOOTINGS. WEEPERS SHALL BR 4" Ø AND SLOPED TO DRAIN WITH A 12:1 SLOPE. ALL COSTS SHALL BE
SUBSIDIARY TO ITEM 520.12.
- (4) SLEEVES SHALL BE PROVIDED IN THE ABUTMENT X BACKWALL, BETWEEN GIRDERS #X AND #X, TO ALLOW FOR THE
INSTALLATION OF UTILITIES AND CONDUIT. SEE BRIDGE SHEET XX FOR DETAILS.
- (5) ABUTMENTS SHALL BE BACKFILLED TO THE LEVEL OF THE BRIDGE SEAT ELEVATION PRIOR TO ERECTING THE GIRDERS.
- (6) ABUTMENT BEARING SEAT ELEVATIONS SHALL HAVE A TOLERANCE OF 1/8".
- (7) PLACE 1/2" THICK CORK FILLER TO 1/2" BELOW EXPOSED SURFACE, BETWEEN ABUTMENT AND WINGWALL
(SUBSIDIARY TO ITEM 520.12). SEAL FRONT FACE OF JOINT FROM 6" ABOVE OF FOOTING TO TOP OF WING, ACROSS
TOP, AND 1'-6" DOWN BACK WITH 1/2"x 1/2" SILICONE JOINT SEALANT, ITEM 562.1. DO NOT PLACE SILICONE JOINT
SEALANT UNTIL WINGWALL HAS BEEN BACKFILLED.

PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

CITY OF DOVER, NEW HAMPSHIRE					
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT					
PROJECT NOTES (1 OF 2)					
DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_NOTES	-	4	24



STRUCTURAL STEEL AND SUPERSTRUCTURE NOTES

- (1) ALL STRUCTURAL STEEL SHALL BE PAID UNDER ITEM 550.1, STRUCTURAL STEEL (F), INCLUDING THE GIRDERS, CROSS FRAMES, GUSSET PLATES, FILL PLATES, CONNECTION PLATES, SPLICE PLATES, STIFFENERS, DRIP BARS, PIER NOSE ARMOR, AND FASTENERS.
- (2) NOTCH TOUGHNESS REQUIREMENTS SHALL BE IN ACCORDANCE TO NHDOT STANDARD SPECIFICATIONS SECTION 550.2.3.
- (4) ALL BOLTED CONNECTIONS SHALL BE SLIP CRITICAL (CLASS B) MADE WITH 7/8" Ø HIGH STRENGTH BOLTS IN 15/16" Ø HOLES. ALL FASTENERS SHALL CONFORM TO REQUIREMENTS OF ASTM F3125 GRADE A325, TYPE 3 (IN PAINTED AREAS, BOLTS SHALL BE TYPE 1 GALVANIZED).
- (5) DIRECT TENSION INDICATORS SHALL BE INSTALLED WITH HIGH STRENGTH BOLTS.
- (6) THE FINAL ERECTION POSITION OF STRAIGHT I GIRDERS W/ OR W/O A SKEW SHALL BE VERTICAL OR PLUM AND ACHIEVED BY DETAILING FOR "TOTAL DEAD LOAD FIT (TDLF)" CONDITION. HORIZONTALLY CURVED I-GIRDERS W/ OR W/O A SKEW SHALL BE DETAILED FOR "STEEL DEAD LOAD FIT (SDLF)" CONDITION.
- (7) GIRDERS SHALL BE CAMBERED FOR VERTICAL CURVATURE AND TO FULL DEAD LOAD DEFLECTION. THE CAMBER SHALL BE ACHIEVED BY CUTTING THE WEB PLATE ACCORDING TO DIMENSIONS SHOWN ON THE GIRDER WEB LAYOUT ON BRIDGE SHEET XX. CAMBER TOLERANCE IS "+XX", -0.
- (8) BEARING STIFFENERS AND THE ENDS OF GIRDERS SHALL BE VERTICAL UNDER FULL LOAD DEFLECTION
- (9) THE STRUCTURAL STEEL FABRICATOR SHALL ARRANGE FOR NON-DESTRUCTIVE TESTING OF THE WELDS. ALL COSTS TO BE INCLUDED IN ITEM 550.1.
- (10) SHOP DRAWINGS SHALL INDICATE THE METHOD AND SEQUENCE TO BE FOLLOWED IN WELDING THE GIRDER COMPONENTS.
- (11) CROSS FRAMES SHALL BE FABRICATED IN THE SHOP WITH 1/4" FILLET WELDS, UNLESS NOTED OTHERWISE. GRAVITY AXES OF THE MEMBERS SHALL INTERSECT AS NEARLY AS PRACTICABLE AT THE CENTERLINE OF THE GIRDER.
- (12) FIELD WELDING OF ATTACHMENTS TO, OR PLACEMENT OF HOLES IN, ANY PORTION OF THE PLATE GIRDERS FOR CONSTRUCTION PURPOSES IS NOT PERMITTED, UNLESS APPROVED BY THE BUREAU OF BRIDGE DESIGN.
- (13) THE CONTRACTOR SHALL SUBMIT A HANDLING AND ERECTION PROCEDURE TO THE ENGINEER PRIOR TO HANDLING THE STRUCTURAL STEEL IN ACCORDANCE WITH SECTIONS 550.3.14 AND 550.3.15. THE ERECTION PROCEDURE SHALL INDICATE THE LOCATION AND NUMBER OF LIFTING POINTS AS DETERMINED BY CHECKING THE L/B RATIOS IN ACCORDANCE WITH SECTION 550.3.14.2.4 TO GUARD AGAINST LATERAL BUCKLING OF THE GIRDERS. THESE DRAWINGS SHALL BE DOCUMENTED BEFORE ERECTION STARTS.
- (14) STEEL ERECTION SHALL NOT BE PERMITTED UNTIL THE ABUTMENTS HAVE BEEN BACKFILLED TO THE LEVEL OF THE BRIDGE SEATS.
- (15) ALL SHEAR CONNECTORS SHALL BE FIELD WELDED TO THE TOP FLANGE WITH AUTOMATICALLY TIMED STUD WELDING EQUIPMENT.
- (16) SCREED RAIL SUPPORTS REQUIRED FOR PLACEMENT OF THE DECK SLAB CONCRETE SHALL BE LOCATED AT THE CENTERLINE OF GIRDERS.
- (17) ALL WELDING AND FABRICATION SHALL BE PERFORMED IN CONFORMANCE WITH NHDOT STANDARD SPECIFICATION SECTION 550.

DESCRIPTION

REVISIONS AFTER PROPOSAL

STATION

STATION

DATE

NUMBER

DATE: MAY, 2026

DATE: MAY, 2026

DATE: MAY, 2026

PROJECT MANAGER: J. WHITMORE

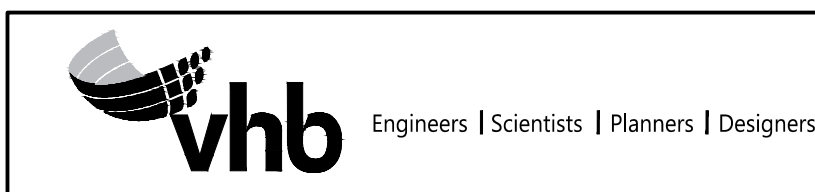
DESIGNED BY: XXXXXXXXXXXX

DRAWN BY: B. MASSE

AS BUILT DETAILS

PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

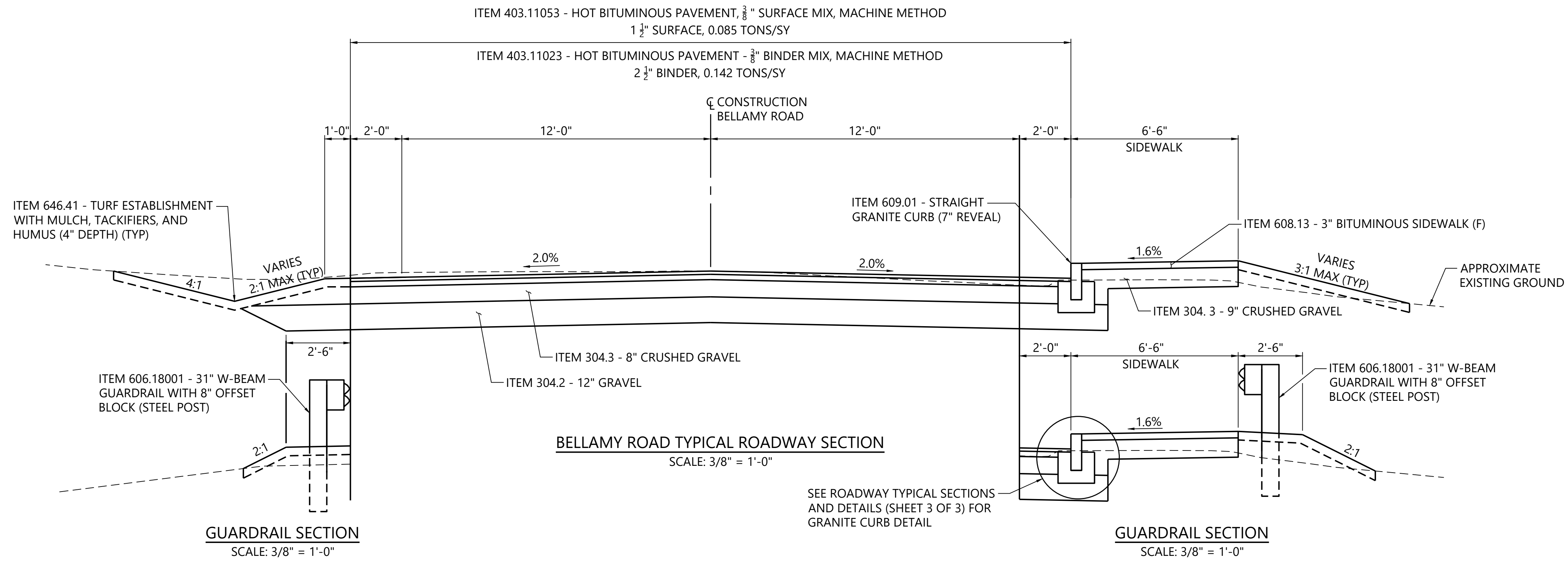


PROJECT NOTES (2 OF 2)

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_NOTES	-	5	24

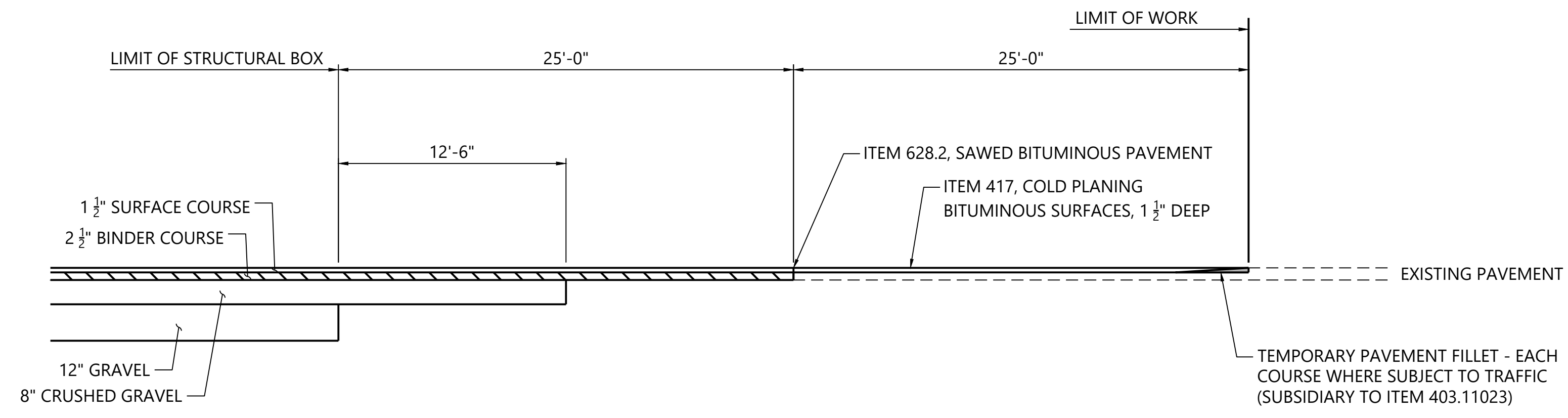
REVISIONS AFTER PROPOSAL	DESCRIPTION
STATION	
STATION	
DATE	
NUMBER	

PROJECT MANAGER: J. WHITMORE	DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026
DRAWN BY: B. MASSE	DATE: MAY, 2026
AS BUILT DETAILS	DATE:

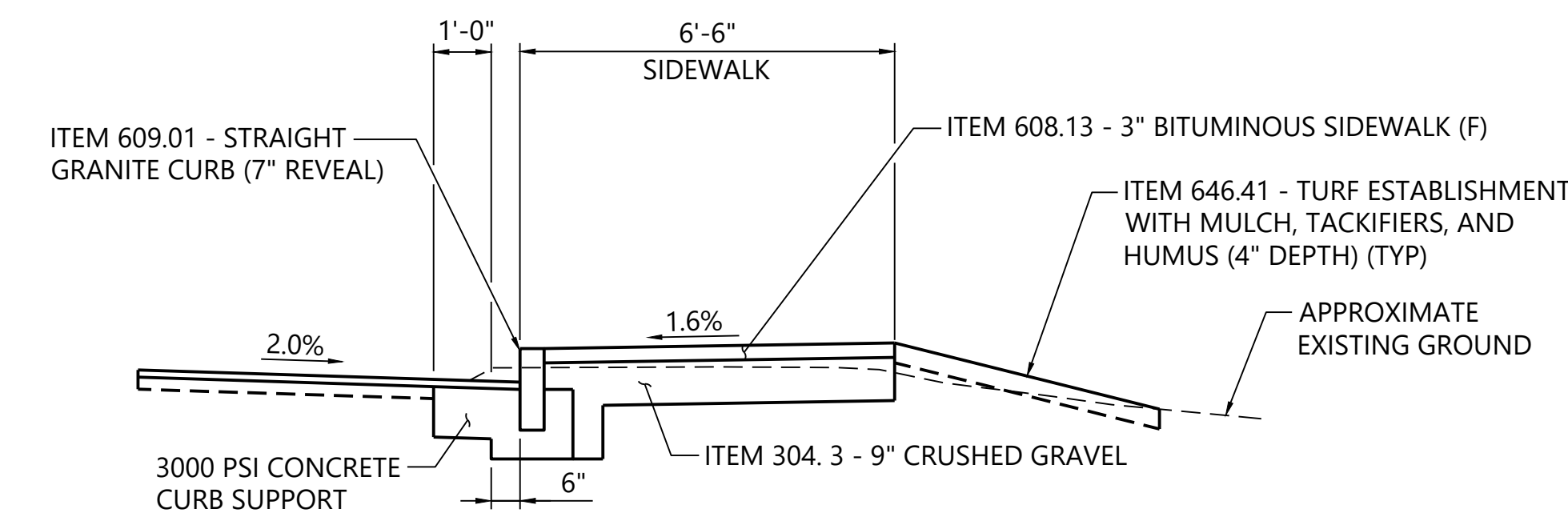


GUARDRAIL SECTION
SCALE: 3/8" = 1'-0"

GUARDRAIL SECTION
SCALE: 3/8" = 1'-0"



PAVEMENT MATCH TRANSITION DETAIL



BELLAMY ROAD STEP BOX WIDENING DETAIL

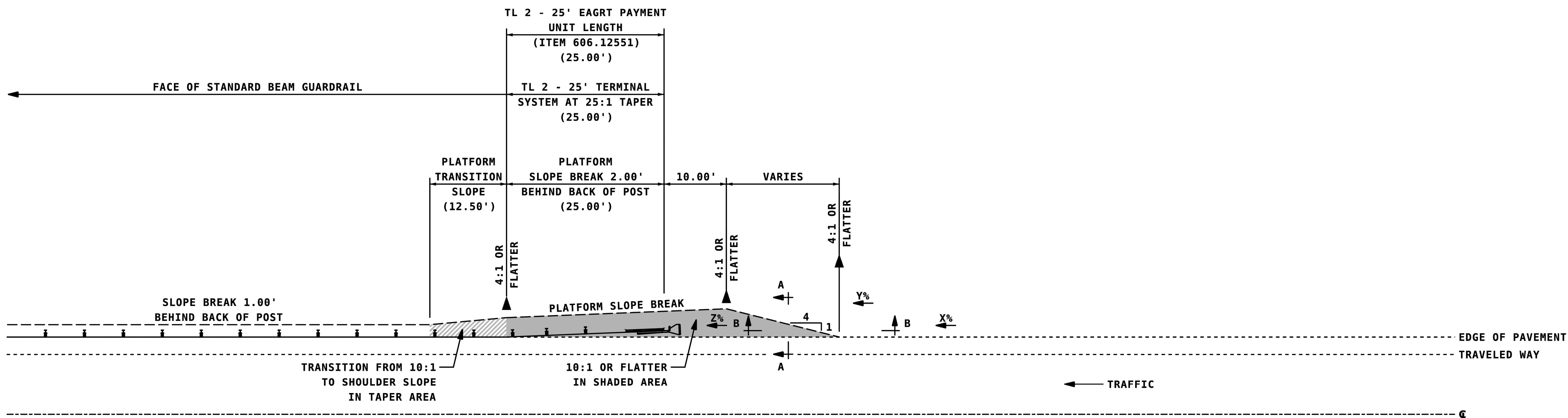
PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

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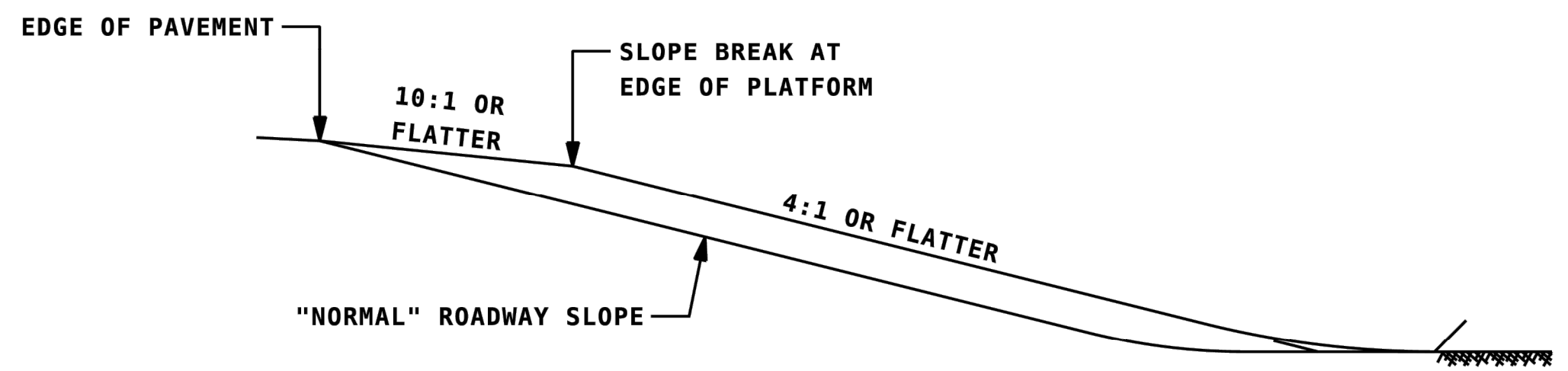
DATE PLOTTED	VHB PROJECT NO.
6/16/2026	171303.00

CITY OF DOVER, NEW HAMPSHIRE					
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT					
ROADWAY TYPICAL SECTIONS AND DETAILS (1 OF 3)					
DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS		
171303_RDWY Typ Det	-	6	24		

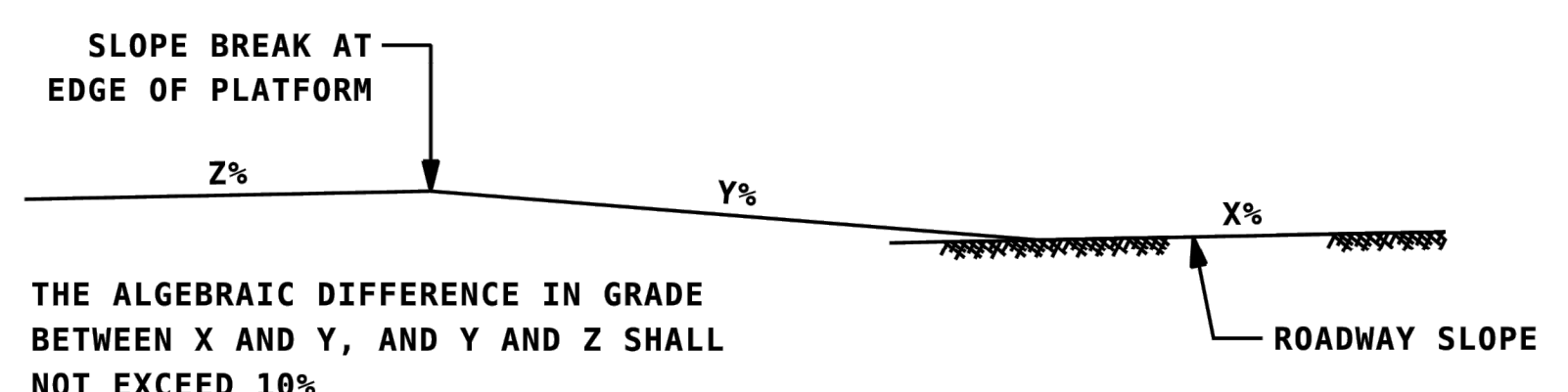
REVISIONS AFTER PROPOSAL
 STATION
 STATION
 DATE
 NUMBER
 DATE
 DATE
 DATE
 PROJECT MANAGER: J. WHITMORE
 DESIGNED BY: XXXXXXXXXXXX
 DRAWN BY: B. MASSE
 AS BUILT DETAILS



**ITEM 203.5572 - EAGRT PLATFORM
ALTERNATE, TL 2 - 25'**



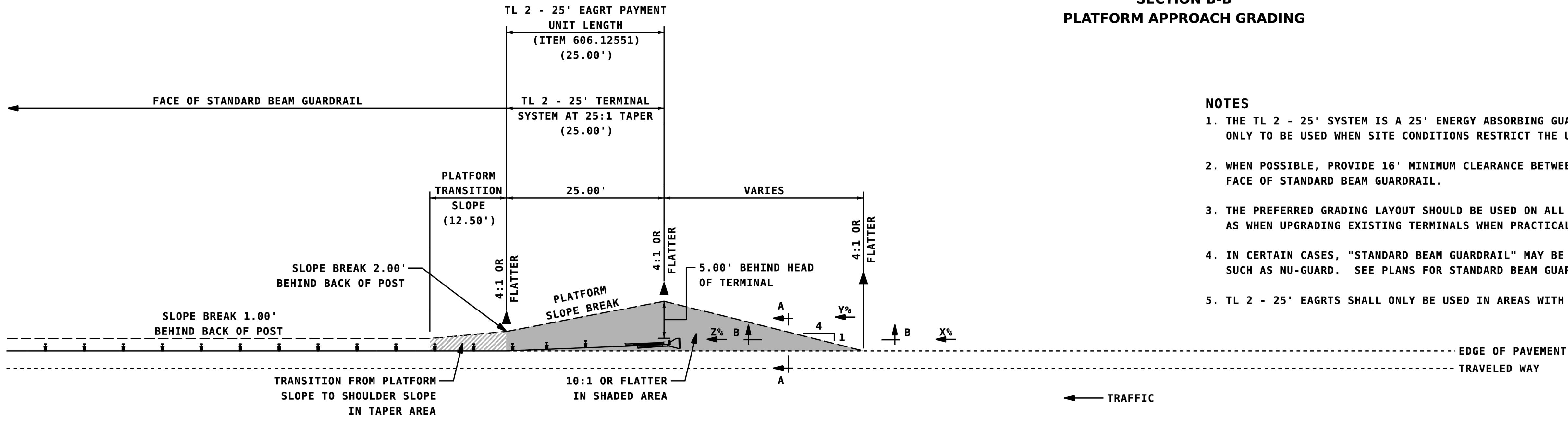
**SECTION A-A
PLATFORM SLOPE GRADING**



**SECTION B-B
PLATFORM APPROACH GRADING**

X% = LONGITUDINAL GRADE OF ROADWAY SLOPE IN
 ADVANCE OF PLATFORM
 Y% = LONGITUDINAL GRADE OF PLATFORM APPROACH
 Z% = LONGITUDINAL GRADE OF PLATFORM

THE ALGEBRAIC DIFFERENCE IN GRADE
 BETWEEN X AND Y, AND Y AND Z SHALL
 NOT EXCEED 10%



**ITEM 203.5571 - EAGRT PLATFORM
PREFERRED, TL 2 - 25'**

NOTES

1. THE TL 2 - 25' SYSTEM IS A 25' ENERGY ABSORBING GUARDRAIL TERMINAL (EAGRT) UNIT ONLY TO BE USED WHEN SITE CONDITIONS RESTRICT THE USE OF A STANDARD TL 2 SYSTEM.
2. WHEN POSSIBLE, PROVIDE 16' MINIMUM CLEARANCE BETWEEN ROADWAY CENTERLINE AND FACE OF STANDARD BEAM GUARDRAIL.
3. THE PREFERRED GRADING LAYOUT SHOULD BE USED ON ALL NEW CONSTRUCTION, AS WELL AS WHEN UPGRADING EXISTING TERMINALS WHEN PRACTICAL.
4. IN CERTAIN CASES, "STANDARD BEAM GUARDRAIL" MAY BE A PROPRIETARY ITEM SUCH AS NU-GUARD. SEE PLANS FOR STANDARD BEAM GUARDRAIL TYPE.
5. TL 2 - 25' EAGRTS SHALL ONLY BE USED IN AREAS WITH DESIGN SPEEDS OF 45 MPH AND UNDER.

NOT TO SCALE

PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE

vhb Engineers | Scientists | Planners | Designers
 DATE PLOTTED: 6/16/2026
 VHB PROJECT NO.: 171303.00

CITY OF DOVER, NEW HAMPSHIRE					
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT					
ROADWAY TYPICAL SECTIONS AND DETAILS (2 OF 3)					
DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS		
171303_RDWY Typ Det	-	7	24		

REVISIONS AFTER PROPOSAL

STATION

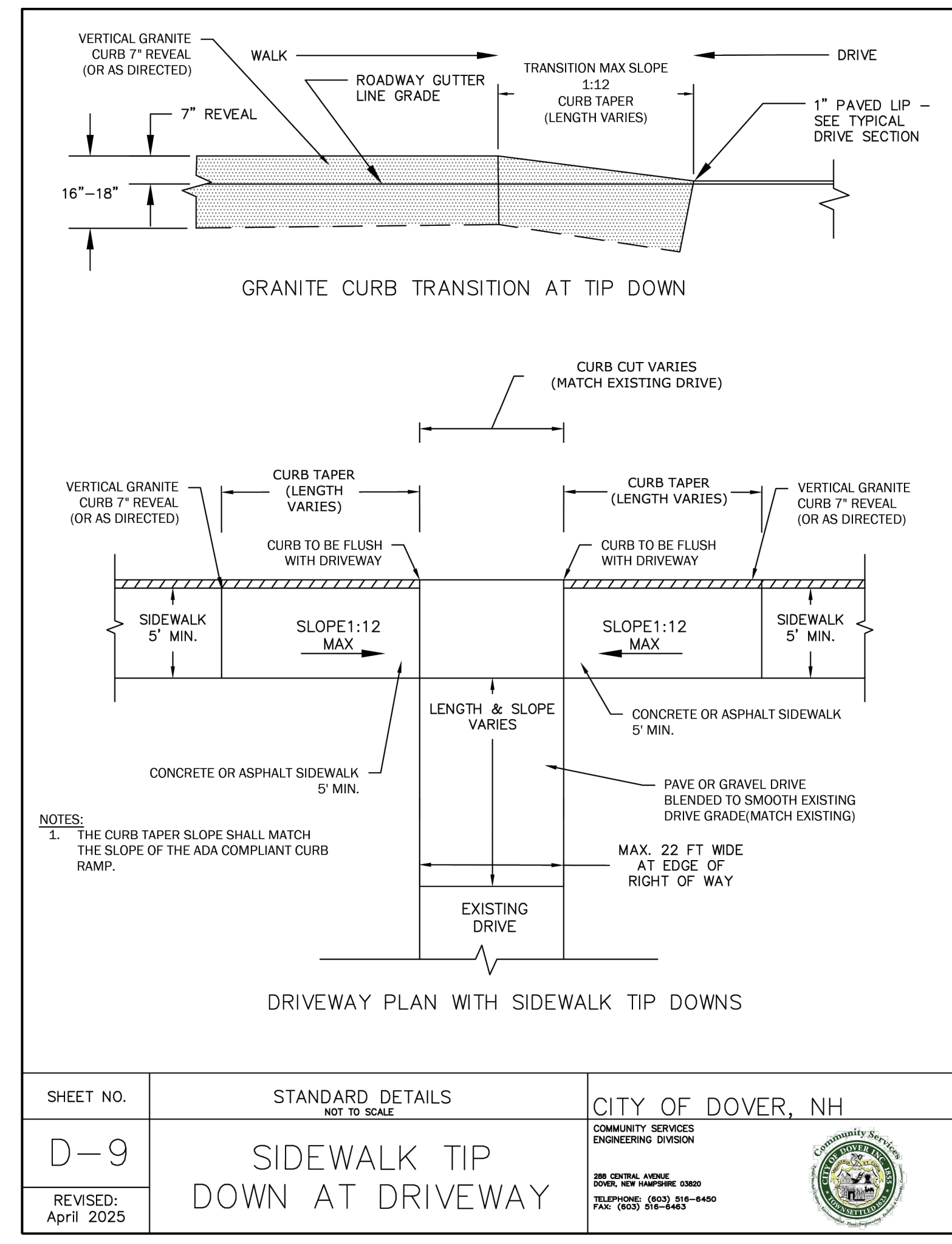
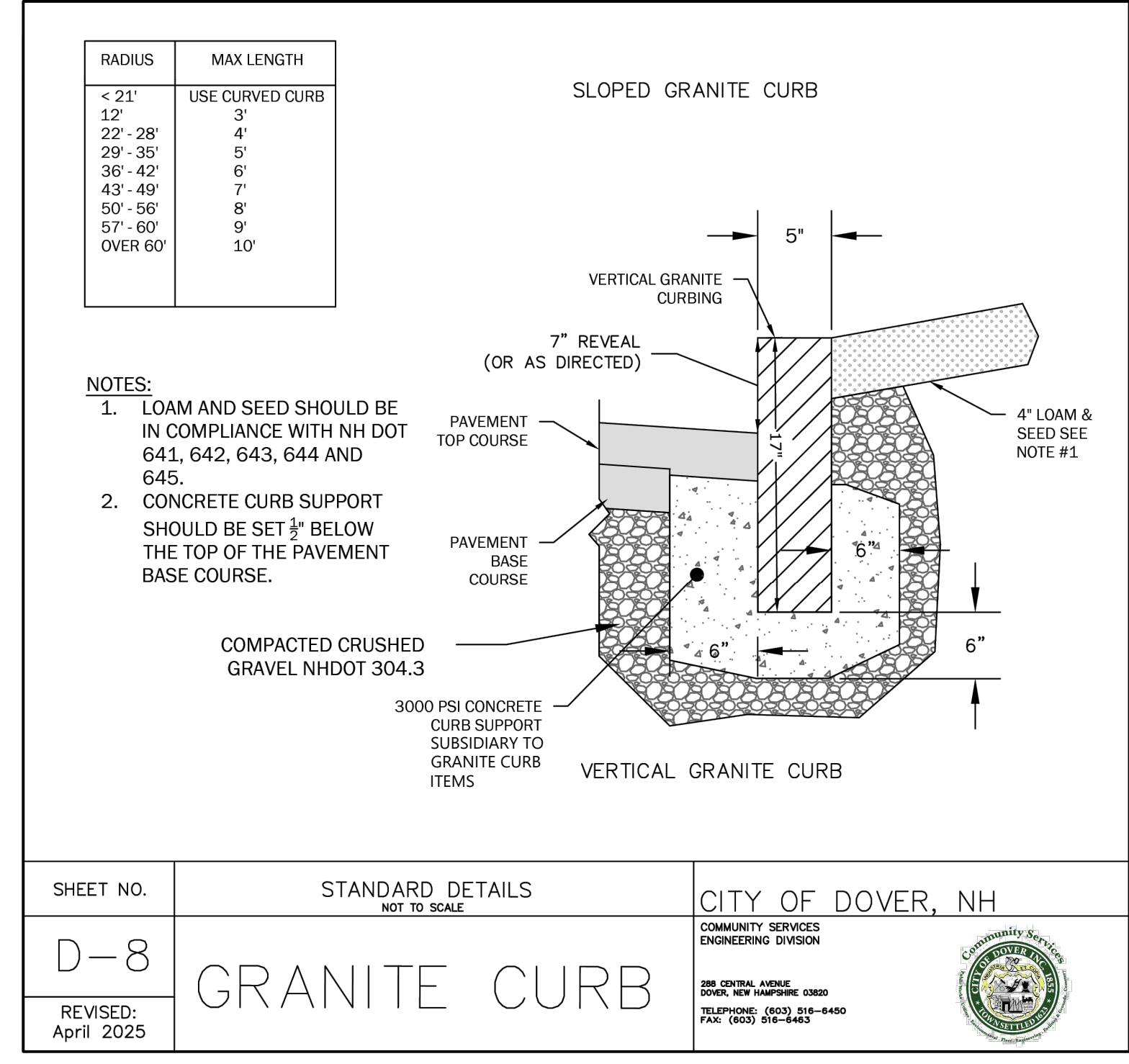
STATION

DATE

NUMBER

DATE: MAY, 2026
 DESIGNED BY: XXXXXXXXXXXX
 DRAWN BY: B. MASSE

PROJECT MANAGER: J. WHITMORE
 AS BUILT DETAILS



PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE

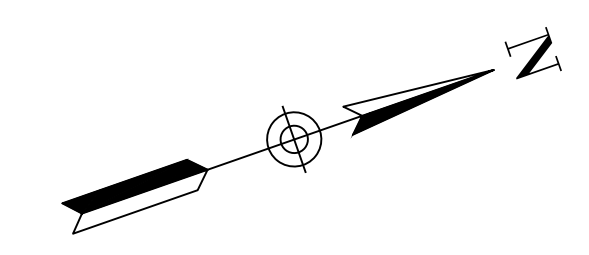


CITY OF DOVER, NEW HAMPSHIRE
 BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

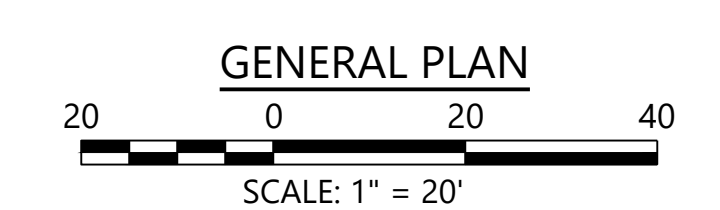
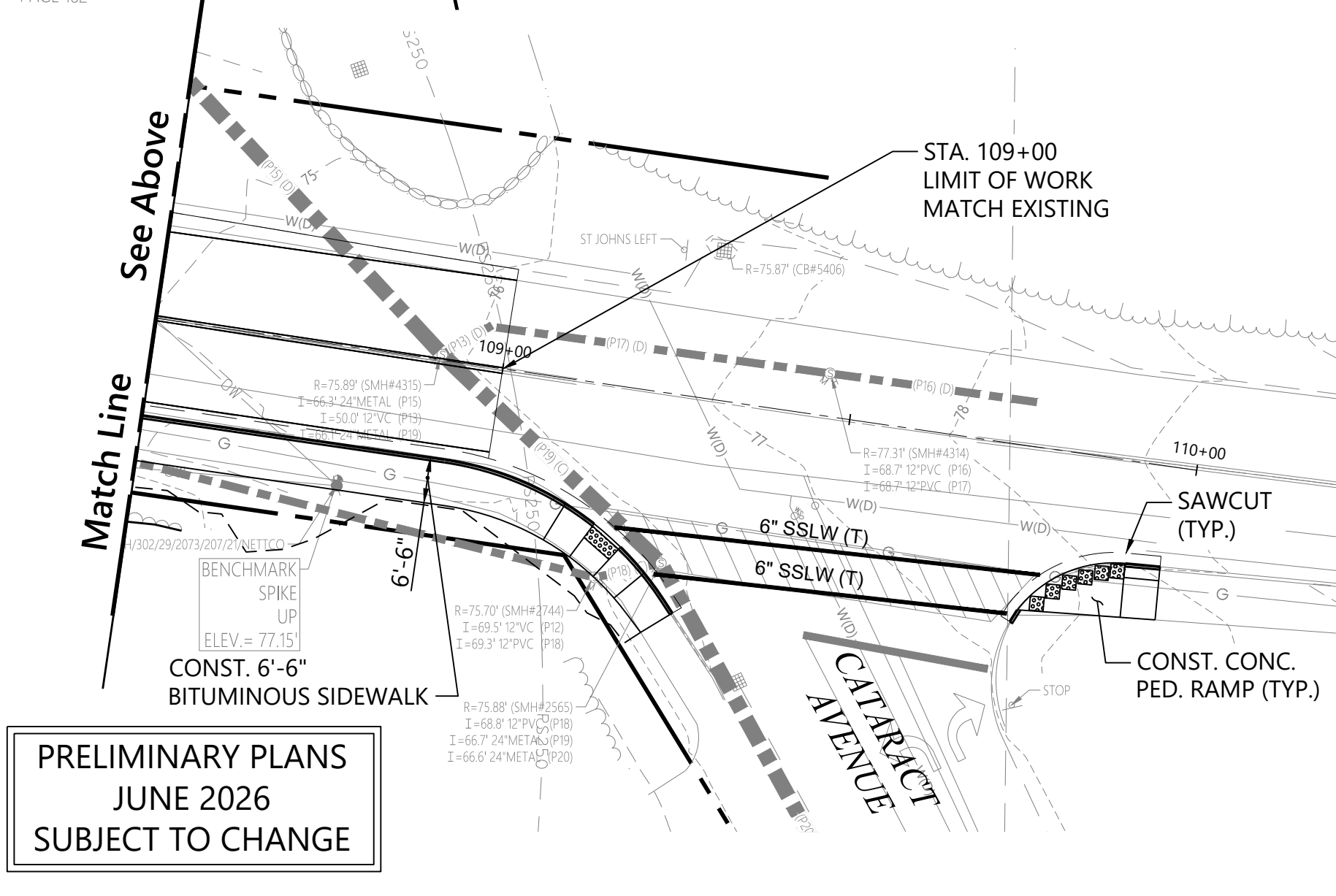
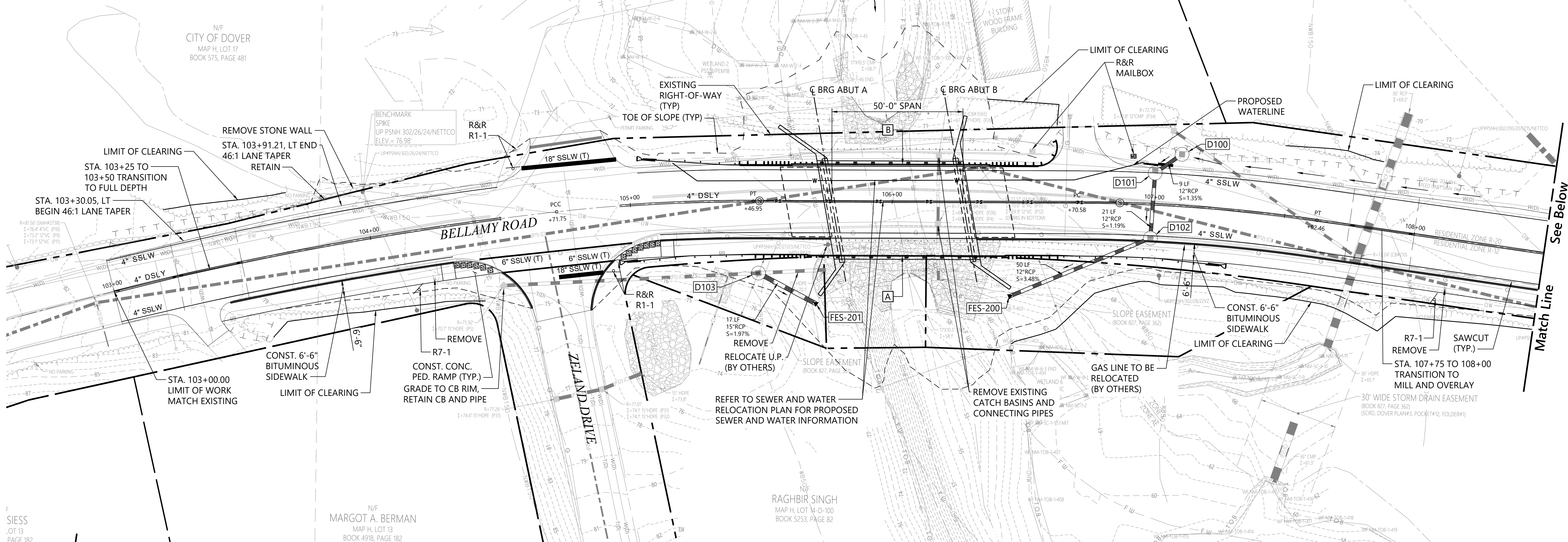
ROADWAY TYPICAL SECTIONS AND DETAILS (3 OF 3)

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_RDWY Typ Det	-	8	24

DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	PROPOSED RIM ELEV.	INV. IN	INV. OUT	REMARKS
D100	CB	107+09.4 19.7 L	71.8		(D101) 70.10	CONSTRUCT 4' FLAT TOP CATCH BASIN
D101	CB	106+99.8 12.0 L	72.8	(D100) 69.97	(D102) 67.80	CONSTRUCT 4' ECCENTRIC CATCH BASIN
D102	CB	106+99.2 13.0 R	72.8	(D101) 67.55	(FES-200) 67.50	
D103	CB	105+49.0 27.4 R	73.7	(EX-CB) 70.22	(FES-201) 69.00	INSTALL TYPE E FRAME AND GRATE IN PLACE OF COVER
FES-200	FES	106+45.0 35.9 R	67.0	(D102) 65.75	(FES-200) 65.75	CONSTRUCT RCP END SECTION
FES-201	FES	105+71.0 39.0 R	70.0	(D103) 68.66	(FES-201) 68.66	CONSTRUCT RCP END SECTION



REVISIONS AFTER PROPOSAL
 STATION
 STATION
 DATE
 NUMBER
 DATE
 DATE: MAY, 2026
 DATE: MAY, 2026
 DATE: MAY, 2026
 PROJECT MANAGER: J. WHITMORE
 DESIGNED BY: XXXXXXXXXX
 DRAWN BY: B. MASSE
 AS BUILT DETAILS



- GUARDRAIL NOTES**
- A** STA. 104+96.1 - STA. 107+27.7, RT.
 CONST. 25' EAGRT (ITEM 606.12551)
 CONST. 25 LF OF BEAM GUARDRAIL (ITEM 606.18001) (CONNECT TO BRIDGE APPROACH RAIL (SUBSID.))
 CONST. BRIDGE APPROACH RAIL (ITEM 565.24)
 CONST. BRIDGE RAIL (ITEM 563.24)
 CONST. BRIDGE APPROACH RAIL (ITEM 565.24)
 CONST. 37.5 LF OF BEAM GUARDRAIL (ITEM 606.18001) (CONNECT TO BRIDGE APPROACH RAIL (SUBSID.))
 CONST. 25' EAGRT (ITEM 606.12551)
 - B** CONST. 105+05.4 - STA. 106+62.5, LT.
 CONST. 25' EAGRT (ITEM 606.12551)
 CONST. 12.5 LF OF CURVED BEAM GUARDRAIL (ITEM 606.18001) (CONNECT TO BRIDGE APPROACH RAIL (SUBSID.))
 CONST. BRIDGE APPROACH RAIL (ITEM 565.23)
 CONST. BRIDGE RAIL (ITEM 563.23)
 CONST. BRIDGE APPROACH RAIL (ITEM 565.23)

SIGNS AND PAVEMENT MARKING LEGEND	
SYMBOL	DESCRIPTION
{ } DSLY	{SIZE} DOUBLE SOLID LINE YELLOW
{ } SSLW	{SIZE} SINGLE SOLID LINE WHITE
(T)	THERMOPLASTIC
R&R - REMOVE AND RELOCATE EXISTING SIGN	

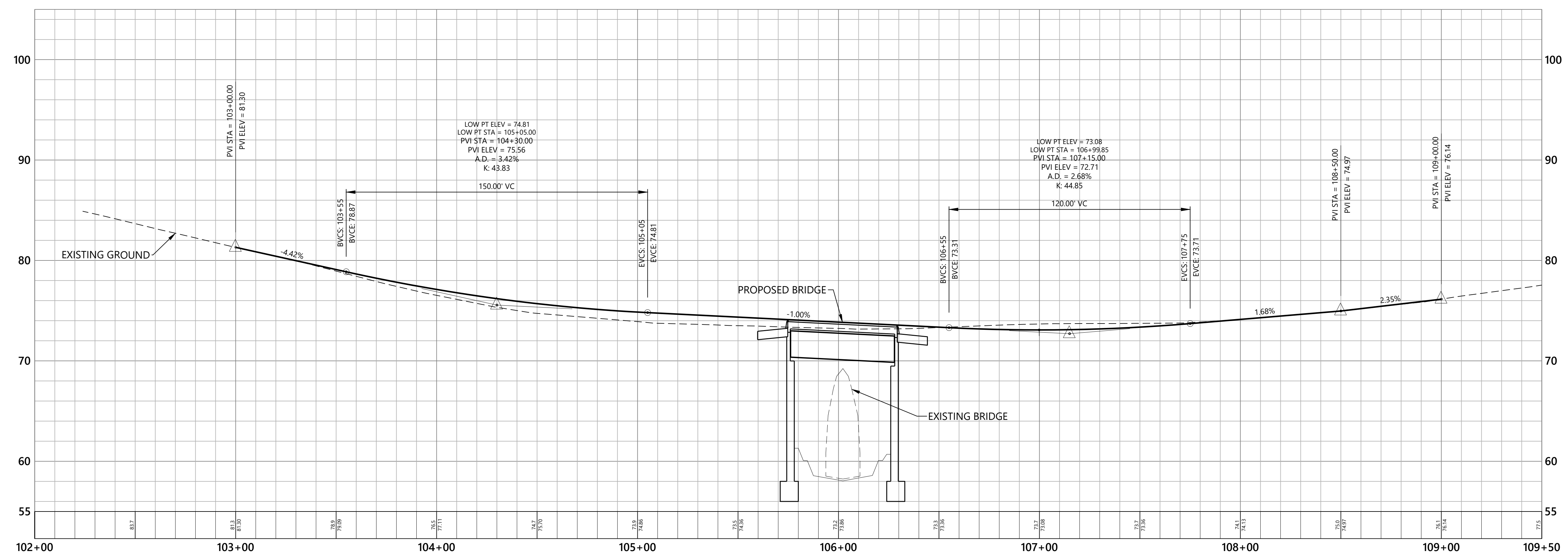
- NOTES**
- 6.5' SIDEWALK RECONSTRUCTION INCLUDED BETWEEN SOUTH OF ZELAND DRIVE AND CATARACT AVENUE INTERSECTION.
 - CONDUCT EXPLORATORY TEST PITS WHERE PROPOSED DRAINAGE CROSSES EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS. PAID UNDER ITEM 203.19 COMMON STRUCTURE EXCAVATION - EXPLORATORY.
 - PRIVATE UTILITY RELOCATIONS TO BE COORDINATED FOLLOWING PRELIMINARY PLAN SUBMISSION.

CITY OF DOVER, NEW HAMPSHIRE					
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT					
ROADWAY GENERAL PLAN					
DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_RDWY Gen	-	9	24

PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE

REVISIONS AFTER PROPOSAL		STATION	DESCRIPTION
NUMBER	DATE	STATION	DESCRIPTION

PROJECT MANAGER: J. WHITMORE	DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026
DRAWN BY: B. MASSE	DATE: MAY, 2026
AS BUILT DETAILS	DATE:



PROFILE
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 6'

PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE



CITY OF DOVER, NEW HAMPSHIRE
 BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

ROADWAY PROFILE

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_PROF_PLAN	-	10	24

DESCRIPTION

REVISIONS AFTER PROPOSAL

STATION

STATION

DATE

NUMBER

PROJECT MANAGER: J. WHITMORE
DESIGNED BY: XXXXXXXXXXXX
DRAWN BY: B. MASSE
AS BUILT DETAILS

BORING LOG										BORING NO.: B-1	
CLIENT: VHB PROJECT: Bellamy River Fish Passage Restoration Project Bridge Replacement LOCATION: Bellamy Road, Dover, New Hampshire										SHEET: 1 of 1 PROJECT NO. 25-0538 DATE START: 4/30/2026 DATE FINISH: 4/30/2026	
Drilling Information LOCATION: See Exploration Location Plan ELEVATION (FT): N/A TOTAL DEPTH (FT): 25.5 LOGGED BY: Kyle Kaserman DRILLING CO.: Seaboard Drilling, LLC DRILLER: Kevin Kenneson DRILLING METHOD: Cased Boring RIG TYPE: Track Mounted Diedrich D-50 AUGER ID/OD: N/A / N/A SAMPLER: Standard Split-Spoon HAMMER TYPE: Automatic / Automatic HAMMER WEIGHT (lbs): 140 / 140 CASING ID/OD: 4 in / 4 1/2 in CORE BARREL: NQ2 HAMMER CORRECTION FACTOR: HAMMER DROP (inch): 30 / 30 WATER LEVEL DEPTHS (ft): ± 13 ft Saturated Soil Below 13' +/- GENERAL NOTES:											
KEY TO NOTES AND SYMBOLS: Water Level: At time of Drilling (▲) / After Drilling (▼) D = Split Spoon Sample U = Thin Walled Tube Sample Pen. = Penetration Length Rec. = Recovery Length WOR = Weight of Rods S _v = Field Vane Shear Strength, kips/sq.ft. R = Rock Core Sample V = Field Vane Shear WOH = Weight of Hammer RQD = Rock Quality Designation ϕ = Friction Angle (Estimated) bpf = Blows per Foot mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable											
SAMPLE INFORMATION											
Elev. (ft)	Depth (ft)	Casing Pen. (bpf)	Sample No.	Depth (ft)	Pen./ Rec. (m)	Blow Count or RQD	Field / Lab Test Data	Graphic Log	Sample Description & Classification	H ₂ O Depth	Remarks
			1D	0.5-2.5	24/16	19-20-17-14			6" Asphalt Pavement Dense, light brown, Gravelly SAND, trace silt; with occasional cobbles (FILL)		
			2D	2.5-4.5	24/16	9-5-5-4			2.7 Loose, brown, fine SAND, some silt (FILL) 3.5 Loose, brown, SILT and fine SAND, trace gravel		
	5		3D	5-7	24/12	4-3-3-3			ID 33919s w=17.4%		
	10		4D	10-11.3	16/12	9-19-50/4"			10.0 Very dense, brown to orange-brown, Silty SAND and GRAVEL, with occasional cobbles and weathered bedrock		
	15		1R	15.5-20.5	60/43	26			14.8 Weathered Bedrock 15.5 Bedrock: Gray to green PHYLITE (Eliot Formation). Hard to moderately hard, moderately weathered, moderately to slightly fractured, and fine grained; joints are horizontal to low angle, and close to moderately close. RQD = 26% to 79% (Poor to Good)		
	20		2R	20.5-25.5	60/57	79					
Bottom of Exploration at 25.5 feet											
Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.											
										BORING NO.: B-1	

BORING LOG										BORING NO.: B-2A	
CLIENT: VHB PROJECT: Bellamy River Fish Passage Restoration Project Bridge Replacement LOCATION: Bellamy Road, Dover, New Hampshire										SHEET: 1 of 1 PROJECT NO. 25-0538 DATE START: 5/1/2026 DATE FINISH: 5/1/2026	
Drilling Information LOCATION: See Exploration Location Plan ELEVATION (FT): N/A TOTAL DEPTH (FT): 4.2 LOGGED BY: Nshuti Gato DRILLING CO.: Seaboard Drilling, LLC DRILLER: Kevin Kenneson DRILLING METHOD: Cased Boring RIG TYPE: Track Mounted Diedrich D-50 AUGER ID/OD: N/A / N/A SAMPLER: Standard Split-Spoon HAMMER TYPE: Automatic HAMMER WEIGHT (lbs): 140 CASING ID/OD: 4 in / 4 1/2 in CORE BARREL: N/A HAMMER CORRECTION FACTOR: HAMMER DROP (inch): 30 WATER LEVEL DEPTHS (ft): No free water observed GENERAL NOTES:											
KEY TO NOTES AND SYMBOLS: Water Level: At time of Drilling (▲) / After Drilling (▼) D = Split Spoon Sample U = Thin Walled Tube Sample Pen. = Penetration Length Rec. = Recovery Length WOR = Weight of Rods S _v = Field Vane Shear Strength, kips/sq.ft. R = Rock Core Sample V = Field Vane Shear WOH = Weight of Hammer RQD = Rock Quality Designation ϕ = Friction Angle (Estimated) bpf = Blows per Foot mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable											
SAMPLE INFORMATION											
Elev. (ft)	Depth (ft)	Casing Pen. (bpf)	Sample No.	Depth (ft)	Pen./ Rec. (m)	Blow Count or RQD	Field / Lab Test Data	Graphic Log	Sample Description & Classification	H ₂ O Depth	Remarks
			1D	0.5-2.5	24/20	20-20-18-17			0.5 6" Asphalt Pavement (FILL) Dense, brown, Gravelly Silty SAND (FILL)		
			2D	2.5-4.2	20/14	14-9-50/2.5"			2.5 Dense, dark brown, Silty SAND, some gravel (FILL)		
Auger Refusal at 4.2 feet (Possible Existing Abandoned Utility)											
Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.											
										BORING NO.: B-2A	

BORING LOG										BORING NO.: B-2A OFS 1	
CLIENT: VHB PROJECT: Bellamy River Fish Passage Restoration Project Bridge Replacement LOCATION: Bellamy Road, Dover, New Hampshire										SHEET: 1 of 1 PROJECT NO. 25-0538 DATE START: 5/1/2026 DATE FINISH: 5/1/2026	
Drilling Information LOCATION: See Exploration Location Plan ELEVATION (FT): N/A TOTAL DEPTH (FT): 4.3 LOGGED BY: Nshuti Gato DRILLING CO.: Seaboard Drilling, LLC DRILLER: Kevin Kenneson DRILLING METHOD: Hollow Stem Auger RIG TYPE: Track Mounted Diedrich D-50 AUGER ID/OD: 2 1/4 in / 5 5/8 in SAMPLER: Standard Split-Spoon HAMMER TYPE: Automatic HAMMER WEIGHT (lbs): 140 CASING ID/OD: N/A / N/A CORE BARREL: N/A HAMMER CORRECTION FACTOR: HAMMER DROP (inch): 30 WATER LEVEL DEPTHS (ft): No free water observed GENERAL NOTES:											
KEY TO NOTES AND SYMBOLS: Water Level: At time of Drilling (▲) / After Drilling (▼) D = Split Spoon Sample U = Thin Walled Tube Sample Pen. = Penetration Length Rec. = Recovery Length WOR = Weight of Rods S _v = Field Vane Shear Strength, kips/sq.ft. R = Rock Core Sample V = Field Vane Shear WOH = Weight of Hammer RQD = Rock Quality Designation ϕ = Friction Angle (Estimated) bpf = Blows per Foot mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable											
SAMPLE INFORMATION											
Elev. (ft)	Depth (ft)	Casing Pen. (bpf)	Sample No.	Depth (ft)	Pen./ Rec. (m)	Blow Count or RQD	Field / Lab Test Data	Graphic Log	Sample Description & Classification	H ₂ O Depth	Remarks
			1D	0.5-2.5	24/16	22-14-11-9			0.5 6" Asphalt Pavement (FILL) Medium dense, light brown, Gravelly Silty SAND (FILL)		
			2D	2.5-4.3	21/12	8-7-50			2.5 Dense, brown, Silty SAND, some gravel		
Gray, fine powder observed on the auger tip at refusal, probable concrete Auger Refusal at 4.3 feet (Possible Existing Abandoned Utility)											
Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.											
										BORING NO.: B-2A OFS 1	

NOTES

- BORINGS INDICATED WITH WERE MADE BY S.W. COLE ENGINEERING IN APRIL AND MAY OF 2026. FIGURES IN THE "BLOWS PER" COLUMN INDICATE THE NUMBER OF BLOWS REQUIRED TO DRIVE A 2" STANDARD SPLIT SPOON SAMPLER 6", USING A 140 LB WEIGHT FALLING 30 INCHES.
- BORINGS ARE FOR DESIGN PURPOSES SHOWING CONDITIONS AT BORING POINTS ONLY, AND DO NOT NECESSARILY INDICATE MATERIAL TO BE ENCOUNTERED DURING CONSTRUCTION.
- THE GEOTECHNICAL REPORT WILL BE AVAILABLE IN THE BID PACKAGE DURING THE BID PERIOD. AFTER THE CONTRACT HAS BEEN AWARDED THE REPORT WILL BE AVAILABLE WITHIN THE PROJECT CONTRACT DOCUMENTS.
- ROCK CORES WERE MADE USING A NX 2" I.D. CORE BARREL.
- WATER LEVELS INDICATED WITH WERE MEASURED AT THE TIME OF EXPLORATION. THE WATER LEVELS ENCOUNTERED DURING CONSTRUCTION MAY VARY CONSIDERABLY DUE TO PREVAILING CLIMATE, RAINFALL, OR OTHER FACTORS.
- TEST BORING B-2 PROPOSED ON THE NORTHEAST SIDE OF THE EXISTING BRIDGE WAS OMITTED DUE TO EXISTING UTILITY CONFLICTS. OFFSET TEST PROBE P-2, TEST BORING B-2A, AND TWO OFFSET BORINGS (B-2A OFS & B2 OFS 2) WERE ATTEMPTED WITHOUT SUCCESS. ADVANCEMENT WAS CONTINUED THROUGH TEST PROBE P-2.

PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

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DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_LOGS	-	11	24

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

BORING LOGS (1 OF 2)

REVISIONS AFTER PROPOSAL	DESCRIPTION	
	STATION	
	STATION	
	DATE	
NUMBER		

PROJECT MANAGER: J. WHITMORE	DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026
DRAWN BY: B. MASSE	DATE: MAY, 2026
AS BUILT DETAILS	DATE:

PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

BORING LOG		BORING NO.: B-2A OFS 2									
CLIENT: VHB		SHEET: 1 of 1									
PROJECT: Bellamy River Fish Passage Restoration Project Bridge Replacement		PROJECT NO.: 25-0538									
LOCATION: Bellamy Road, Dover, New Hampshire		DATE START: 5/1/2026									
		DATE FINISH: 5/1/2026									
Drilling Information											
LOCATION: See Exploration Location Plan	ELEVATION (FT): N/A	TOTAL DEPTH (FT): 6.8									
DRILLING CO.: Seaboard Drilling, LLC	DRILLER: Kevin Kenneson	LOGGED BY: Nshuti Gato									
RIG TYPE: Track Mounted Dierich D-50	AUGER ID/OD: 2 1/4 in / 5 5/8 in	SAMPLER: Standard Split-Spoon									
HAMMER TYPE: Automatic	HAMMER WEIGHT (lbs): 140	CASING ID/OD: N/A / N/A									
HAMMER CORRECTION FACTOR:	HAMMER DROP (Inch): 30	CORE BARREL: N/A									
WATER LEVEL DEPTHS (ft): No free water observed											
GENERAL NOTES:											
<small> KEY TO NOTES: Water Level: D = Split Spoon Sample, Pen. = Penetration Length, WOR = Weight of Rods, S_v = Field Vane Shear Strength, kips/sq. ft. AND SYMBOLS: At time of Drilling: U = Thin Walled Tube Sample, Rec. = Recovery Length, WOH = Weight of Hammer, q_u = Unconfined Compressive Strength, kips/sq. ft. At Completion of Drilling: R = Rock Core Sample, bpf = Blows per Foot, RQD = Rock Quality Designation, Ø = Friction Angle (Estimated) After Drilling: V = Field Vane Shear, mpf = Minute per Foot, PID = Photoionization Detector, N/A = Not Applicable </small>											
SAMPLE INFORMATION											
Elev. (ft)	Depth (ft)	Casing Pen. (bpf)	Sample No.	Depth (ft)	Pen / Rec. (in)	Blow Count or RQD	Field / Lab Test Data	Graphic Log	Sample Description & Classification	H ₂ O Depth	Remarks
			1D	0.5-2.5	24/20	20-21-21-20		0.5	6" Asphalt Pavement (FILL)		
			2D	2.5-4.5	24/4	17-8-5-11		2.5	Dense, dark to light brown, Gravelly Silty SAND (FILL)		
			3D	5-6.8	21/6	1-5-11-50/3*			Medium dense, dark brown to brown, Silty SAND, some gravel, with cobbles (FILL)		
									Gray, fine powder observed on the auger tip at refusal, probable concrete.		
Auger Refusal at 6.8 feet (Possible Existing Abandoned Utility)											
<small> Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made. </small>											
										BORING NO.: B-2A OFS 2	

BORING LOG		BORING NO.: P-2									
CLIENT: VHB		SHEET: 1 of 1									
PROJECT: Bellamy River Fish Passage Restoration Project Bridge Replacement		PROJECT NO.: 25-0538									
LOCATION: Bellamy Road, Dover, New Hampshire		DATE START: 5/8/2026									
		DATE FINISH: 5/8/2026									
Drilling Information											
LOCATION: See Exploration Location Plan	ELEVATION (FT): N/A	TOTAL DEPTH (FT): 19.2									
DRILLING CO.: S. W. Cole Explorations, LLC	DRILLER: Kevin Kenneson	LOGGED BY: Tyler Demers									
RIG TYPE: Track Mounted Dierich D-50	AUGER ID/OD: N/A / N/A	SAMPLER: Standard Split-Spoon									
HAMMER TYPE: Automatic / Automatic	HAMMER WEIGHT (lbs): 140 / 140	CASING ID/OD: 4 in / 4 1/2 in									
HAMMER CORRECTION FACTOR:	HAMMER DROP (Inch): 30 / 30	CORE BARREL: NQ2									
WATER LEVEL DEPTHS (ft): No free water observed											
GENERAL NOTES:											
<small> KEY TO NOTES: Water Level: D = Split Spoon Sample, Pen. = Penetration Length, WOR = Weight of Rods, S_v = Field Vane Shear Strength, kips/sq. ft. AND SYMBOLS: At time of Drilling: U = Thin Walled Tube Sample, Rec. = Recovery Length, WOH = Weight of Hammer, q_u = Unconfined Compressive Strength, kips/sq. ft. At Completion of Drilling: R = Rock Core Sample, bpf = Blows per Foot, RQD = Rock Quality Designation, Ø = Friction Angle (Estimated) After Drilling: V = Field Vane Shear, mpf = Minute per Foot, PID = Photoionization Detector, N/A = Not Applicable </small>											
SAMPLE INFORMATION											
Elev. (ft)	Depth (ft)	Casing Pen. (bpf)	Sample No.	Depth (ft)	Pen / Rec. (in)	Blow Count or RQD	Field / Lab Test Data	Graphic Log	Sample Description & Classification	H ₂ O Depth	Remarks
									No sampling - See B-2A logs		
			1R	14.2-19.2	60/40	30		13.9 14.2	Weathered Bedrock		
									Bedrock: Gray to green PHYLLITE (Eliot Formation). Hard to moderately hard, moderately to severely weathered, moderately to slightly fractured, and fine grained; joints are horizontal to low angle, and very close to close. RQD = 30% (Poor)		Lost drilling water through joint in bedrock - unable to advance to 10 feet into bedrock
Bottom of Exploration at 19.2 feet											
<small> Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made. </small>											
										BORING NO.: P-2	

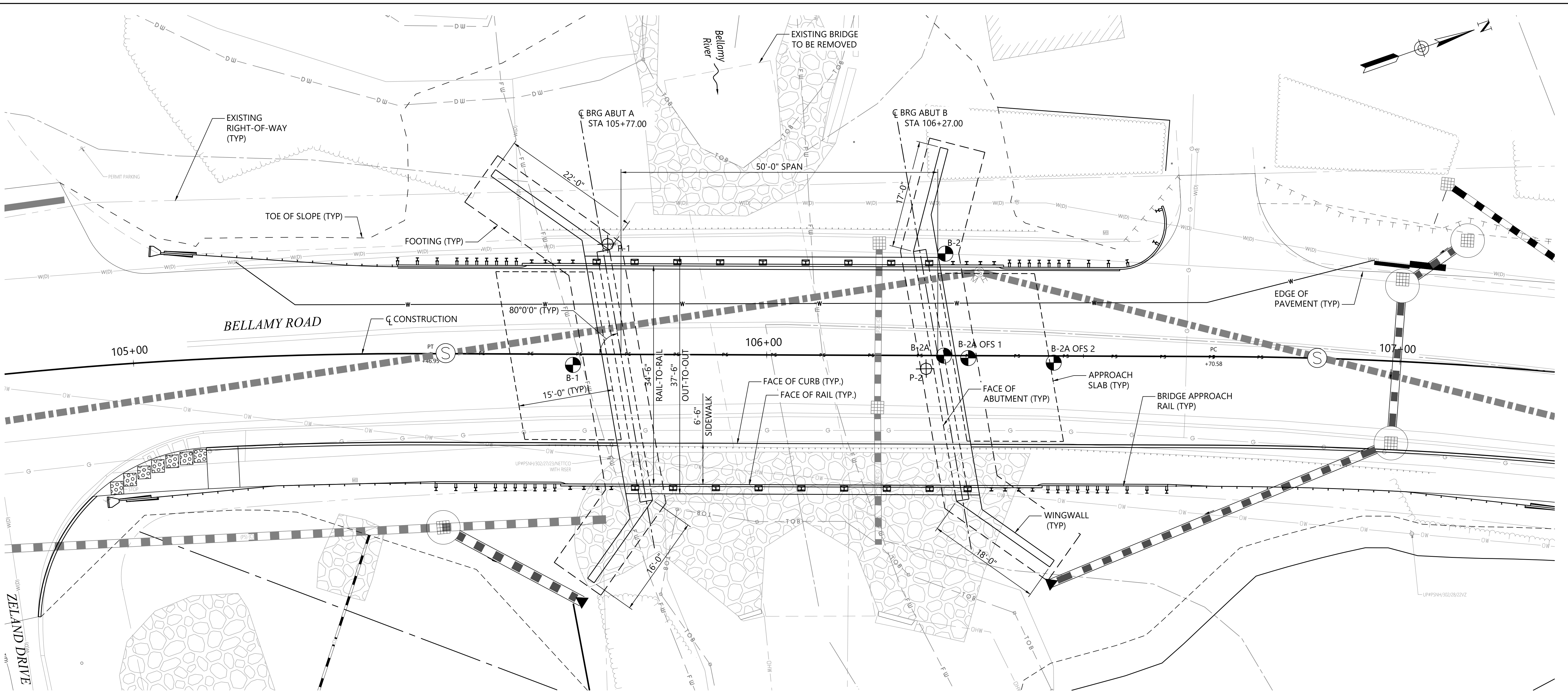
CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

BORING LOGS (2 OF 2)

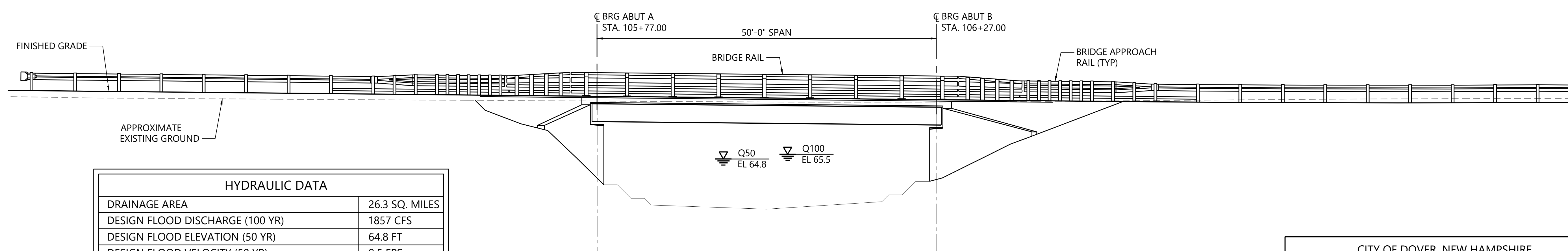
Engineers | Scientists | Planners | Designers

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_LOGS	-	12	24

REVISIONS AFTER PROPOSAL	DESCRIPTION
STATION	
STATION	
DATE	
NUMBER	
DATE: MAY, 2026	
DESIGNED BY: XXXXXXXXXXXX	
DRAWN BY: B. MASSE	
AS BUILT DETAILS	



BRIDGE PLAN
SCALE: 1/8" = 1'-0"



ELEVATION
SCALE: 1/8" = 1'-0"

HYDRAULIC DATA	
DRAINAGE AREA	26.3 SQ. MILES
DESIGN FLOOD DISCHARGE (100 YR)	1857 CFS
DESIGN FLOOD ELEVATION (50 YR)	64.8 FT
DESIGN FLOOD VELOCITY (50 YR)	9.5 FPS
DESIGN FLOOD ELEVATION (100 YR)	65.5 FEET
DESIGN FLOOD VELOCITY (100 YR)	10.3 FPS
SCOUR CHECK DISCHARGE (500 YR)	2651 CFS
ANTICIPATED DEPTH OF SCOUR (100 YR)	56.7 FT
BRIDGE FULL WATERWAY OPENING TO \perp RIVER	547.2 SQ. FEET

PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE



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DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_PE2	-	13	24

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

BRIDGE PLAN AND ELEVATION

REVISIONS AFTER PROPOSAL

STATION

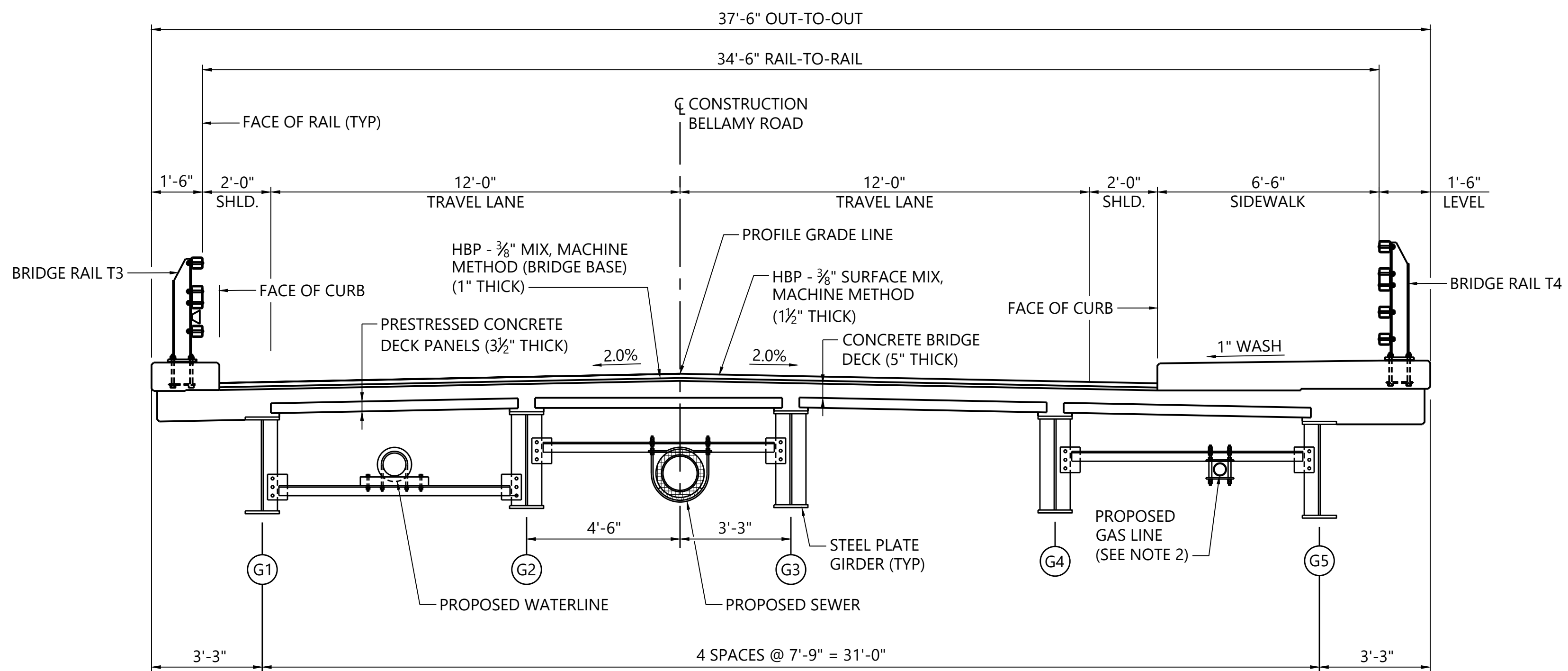
STATION

DATE

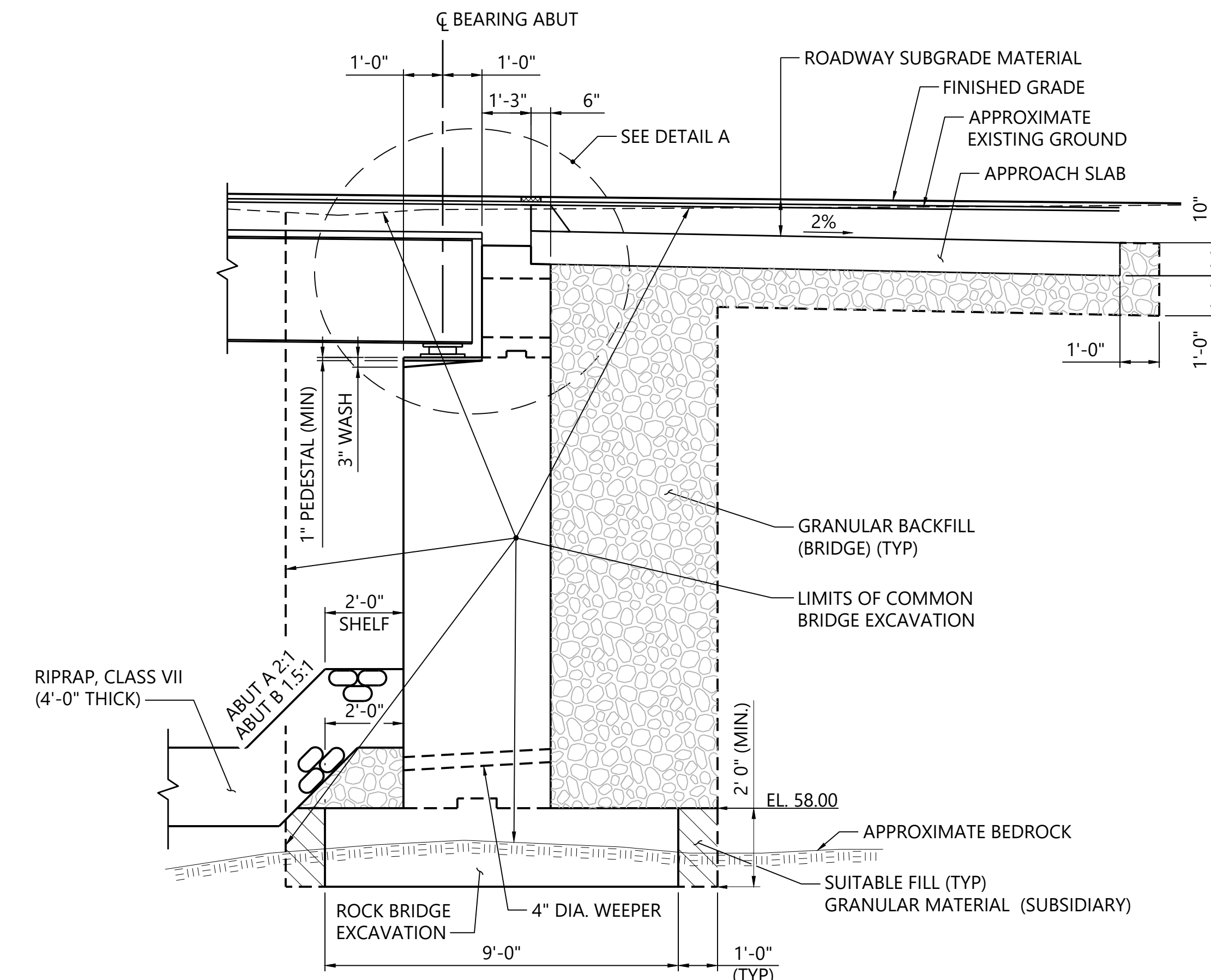
NUMBER

DATE: MAY, 2026
 DESIGNED BY: XXXXXXXXXXXX
 DRAWN BY: B. MASSE
 DATE: MAY, 2026
 DATE: MAY, 2026

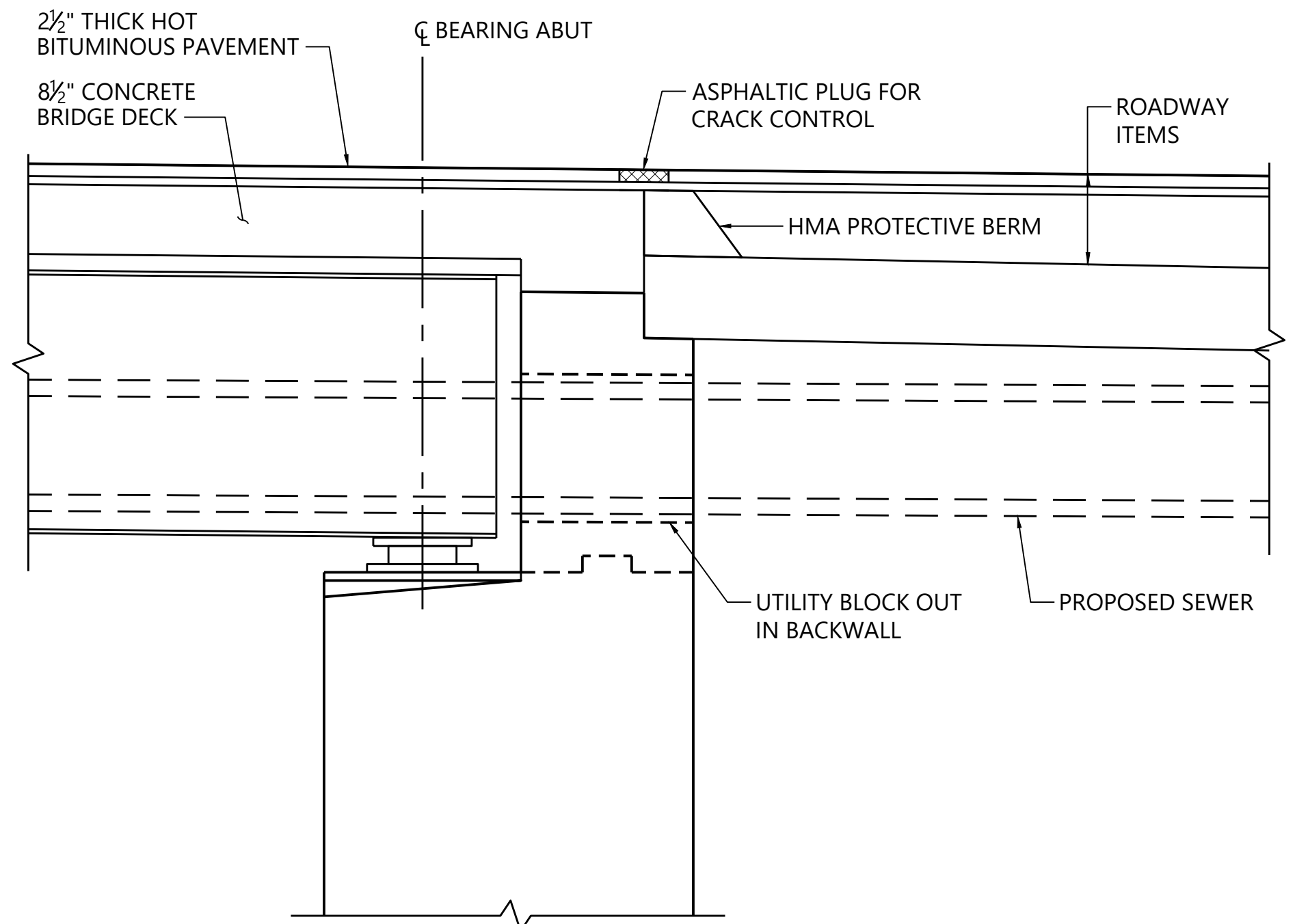
PROJECT MANAGER: J. WHITMORE
 AS BUILT DETAILS



TYPICAL BRIDGE SECTION
 (CROSS FRAMES NOT SHOWN)
 SCALE: 3/8" = 1'-0"



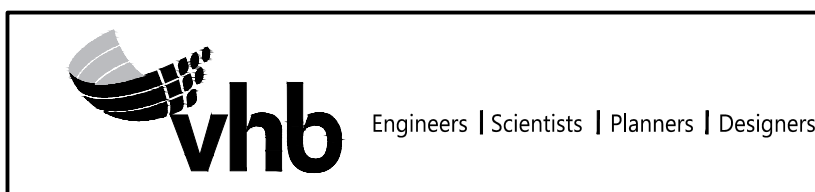
TYPICAL ABUTMENT SECTION
 (ABUTMENT B SHOWN, ABUTMENT A SIMILAR)
 SCALE: 3/8" = 1'-0"



DETAIL A
 (ABUTMENT SECTION SHOWN BETWEEN G2 AND G3,
 OTHER BAYS WITH UTILITIES SIMILAR)
 SCALE: 3/4" = 1'-0"

- NOTES
- UTILITY HANGER DETAILS TO BE DETERMINED IN SUBSEQUENT PHASE OF PROJECT.
 - LOCATION OF GAS LINE TO BE COORDINATED DURING SUBSEQUENT PHASE OF PROJECT.

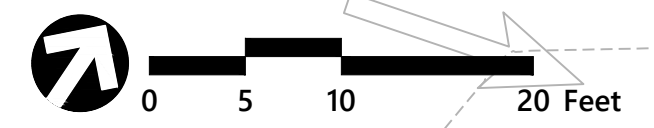
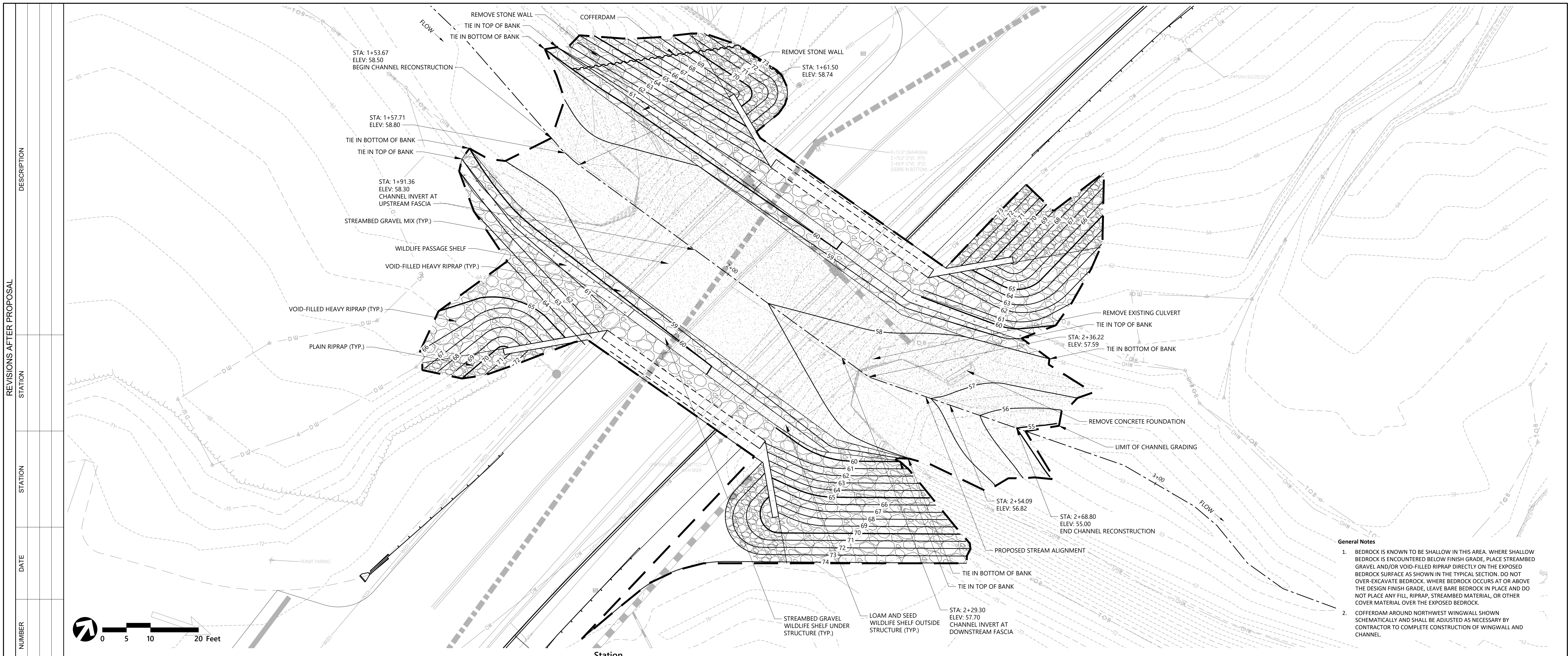
PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE



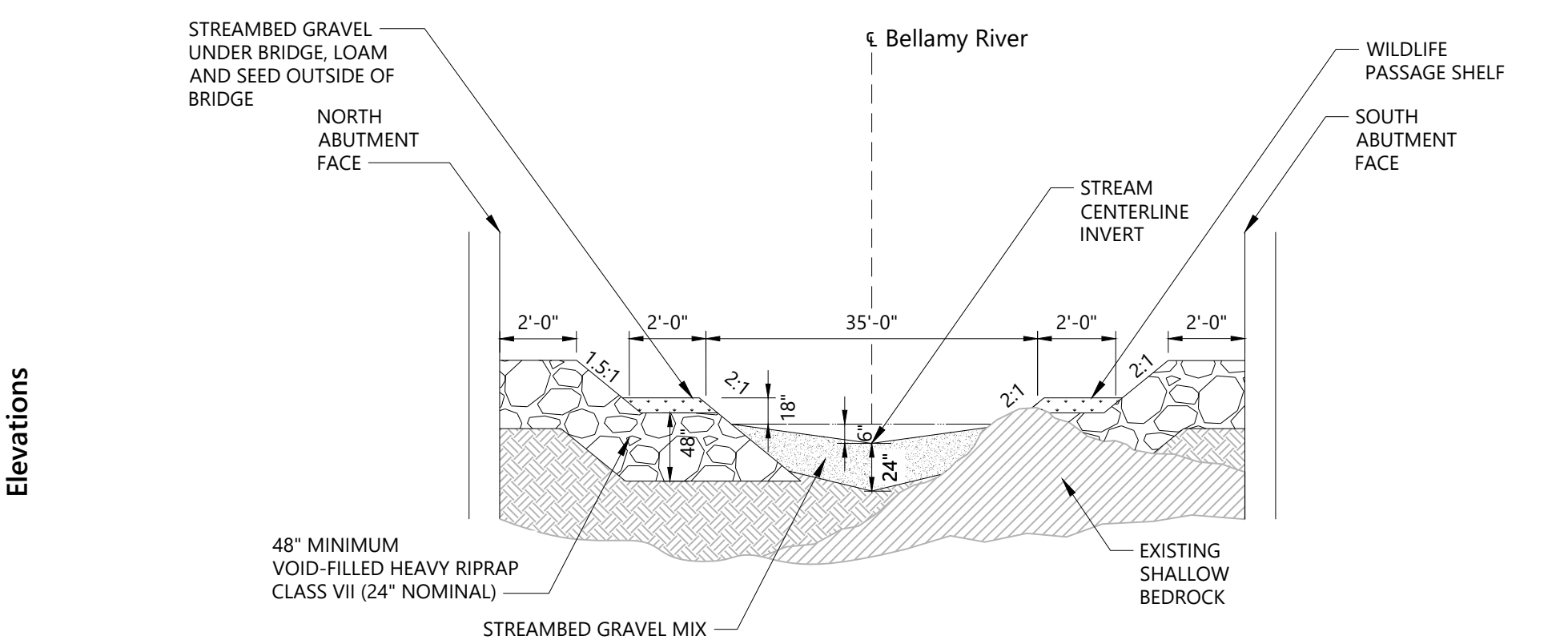
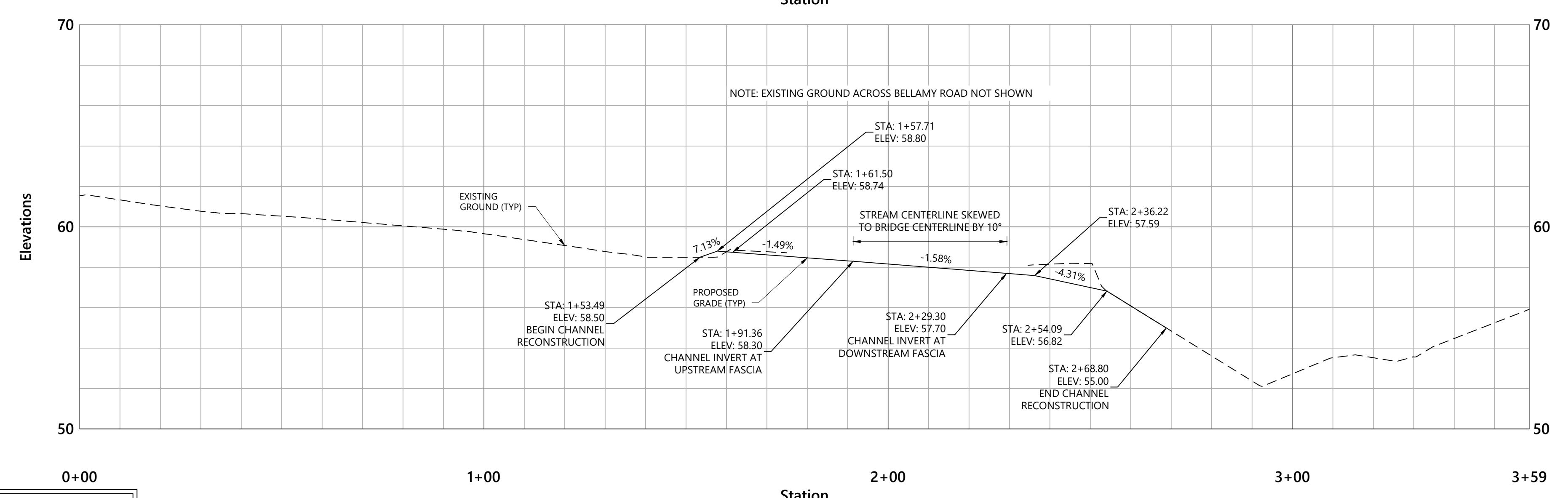
CITY OF DOVER, NEW HAMPSHIRE
 BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

BRIDGE DETAILS

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_TYPDDETAILS	-	14	24



- General Notes**
- BEDROCK IS KNOWN TO BE SHALLOW IN THIS AREA. WHERE SHALLOW BEDROCK IS ENCOUNTERED BELOW FINISH GRADE, PLACE STREAMBED GRAVEL AND/OR VOID-FILLED RIPRAP DIRECTLY ON THE EXPOSED BEDROCK SURFACE AS SHOWN IN THE TYPICAL SECTION. DO NOT OVER-EXCAVATE BEDROCK. WHERE BEDROCK OCCURS AT OR ABOVE THE DESIGN FINISH GRADE, LEAVE BARE BEDROCK IN PLACE AND DO NOT PLACE ANY FILL, RIPRAP, STREAMBED MATERIAL, OR OTHER COVER MATERIAL OVER THE EXPOSED BEDROCK.
 - COFFERDAM AROUND NORTHWEST WINGWALL SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED AS NECESSARY BY CONTRACTOR TO COMPLETE CONSTRUCTION OF WINGWALL AND CHANNEL.



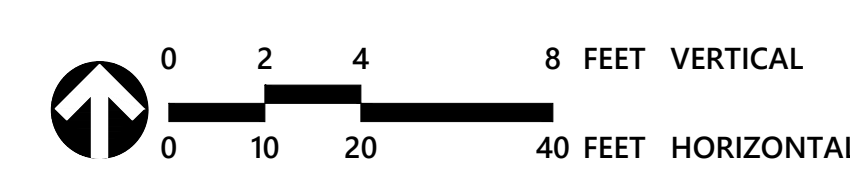
Typical Stream Section

Not To Scale

REVISIONS AFTER PROPOSAL	STATION	STATION	DATE	NUMBER	DESCRIPTION

PROJECT MANAGER: J. WHITMORE	DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026
DRAWN BY: B. MASSE	DATE: MAY, 2026
AS BUILT DETAILS	DATE:

PRELIMINARY
X/XX/2026
SUBJECT TO CHANGE



Stream Centerline Profile



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DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/18/2026	171303.00	171303_CHAN_GRD	-	15	22

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

STREAM PLAN & PROFILE

REVISIONS AFTER PROPOSAL

STATION

STATION

DATE

NUMBER

DATE: MAY, 2026

DATE: MAY, 2026

DATE: MAY, 2026

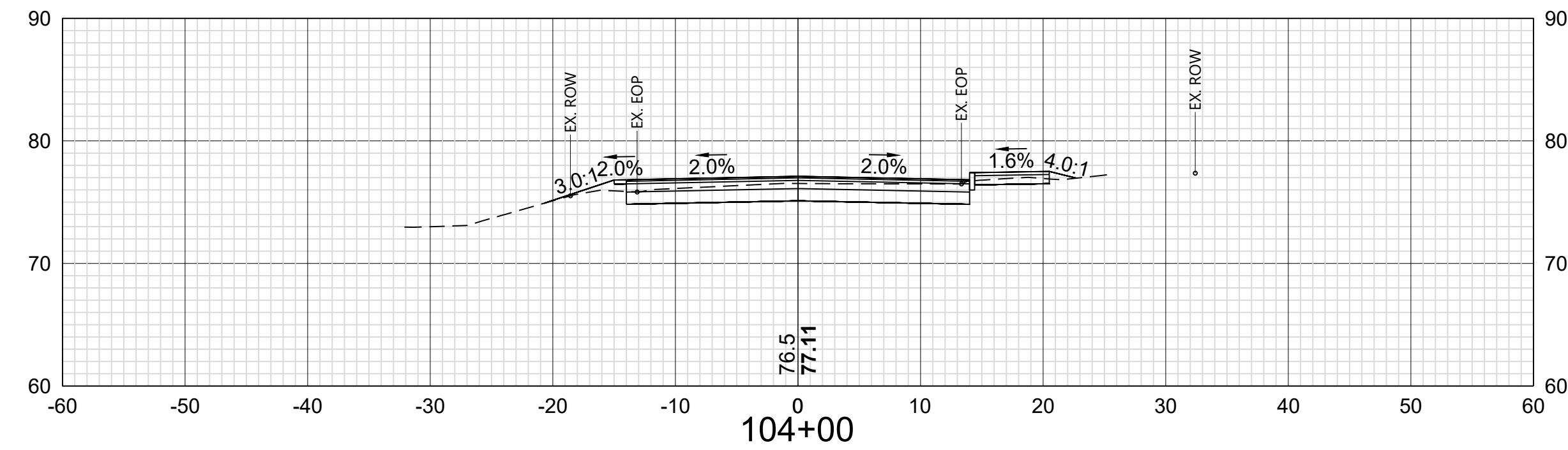
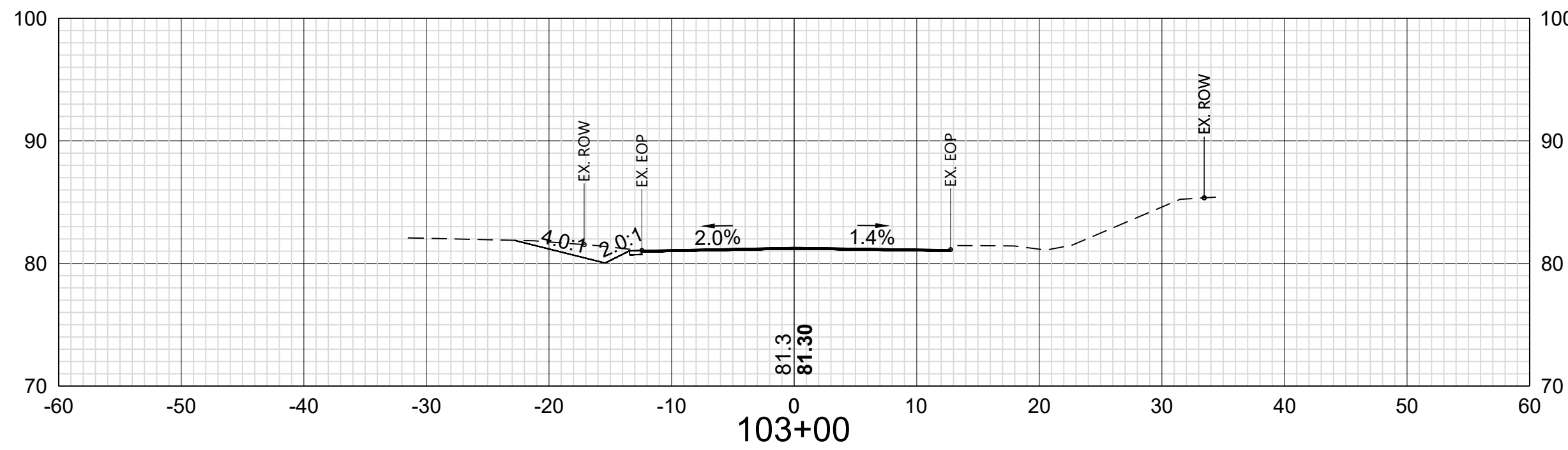
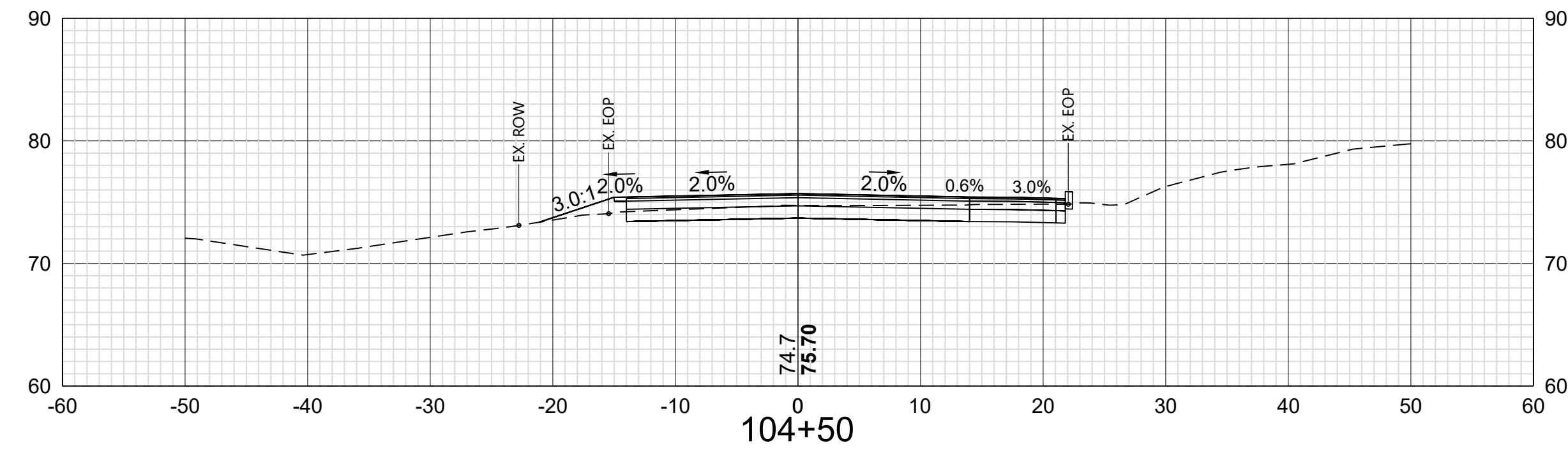
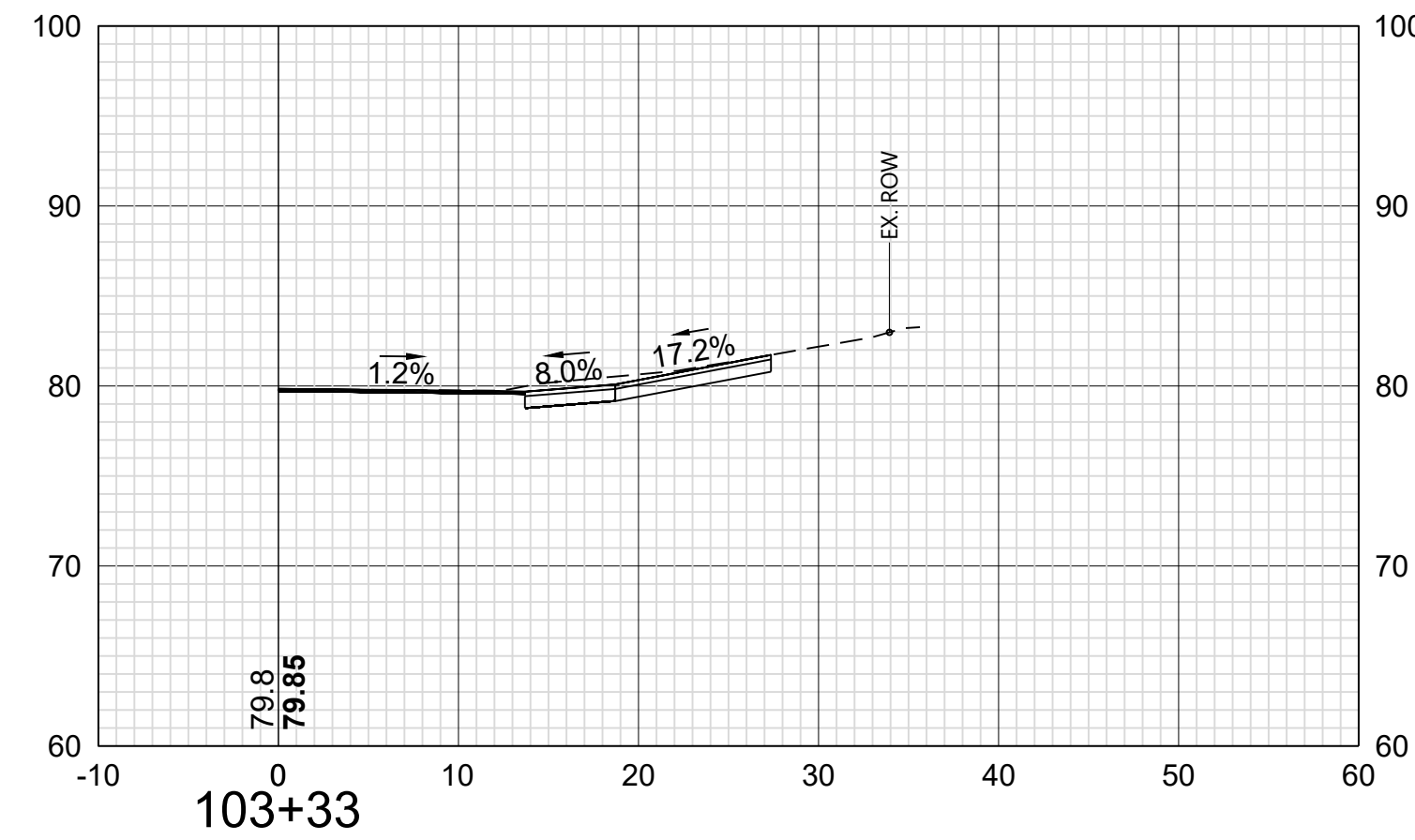
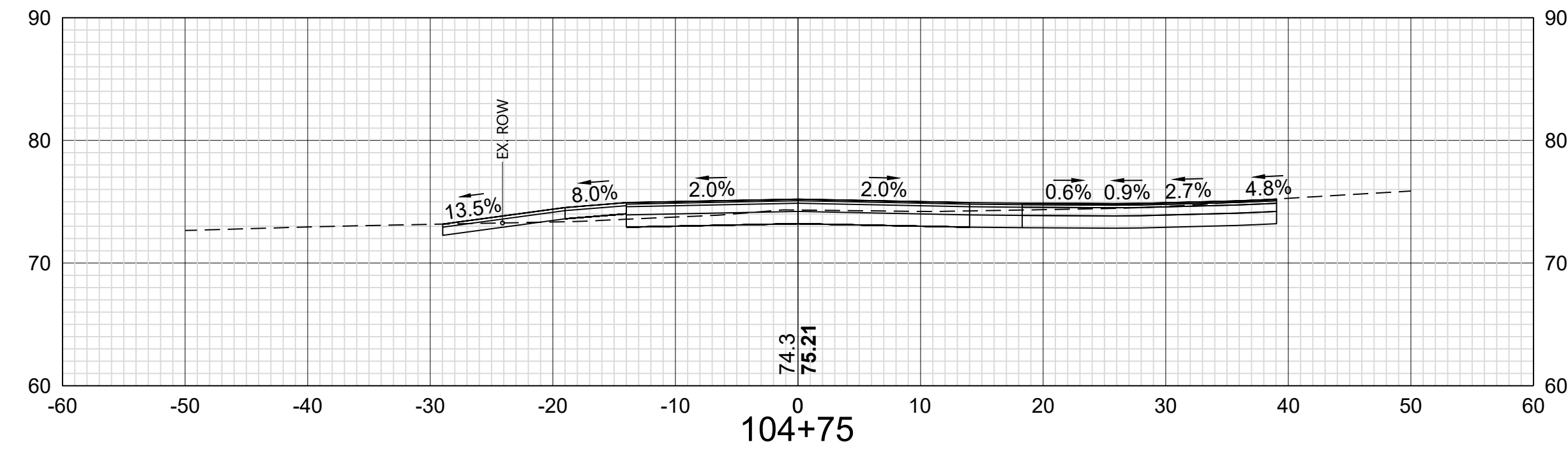
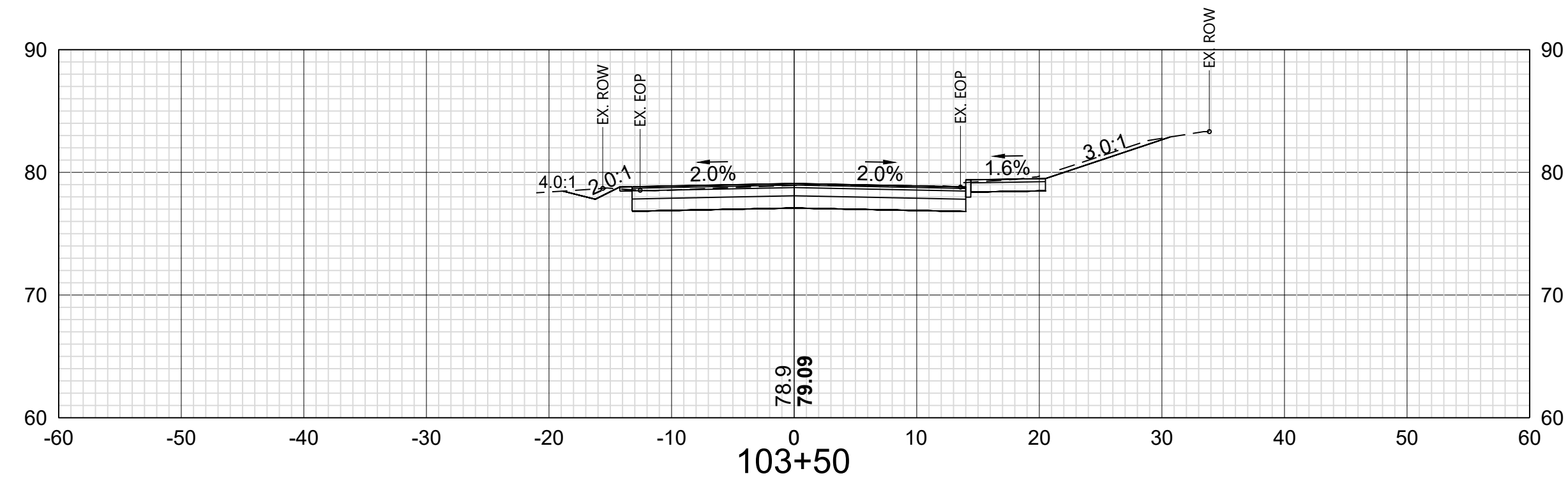
PROJECT MANAGER: J. WHITMORE

DESIGNED BY: XXXXXXXXXXXX

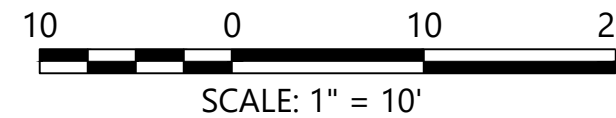
DRAWN BY: B. MASSE

AS BUILT DETAILS

DESCRIPTION



CROSS SECTIONS



PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

CROSS SECTIONS (1 OF 3)



DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_XS	-	16	24

REVISIONS AFTER PROPOSAL

DESCRIPTION

STATION

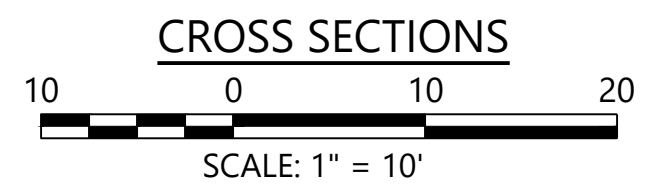
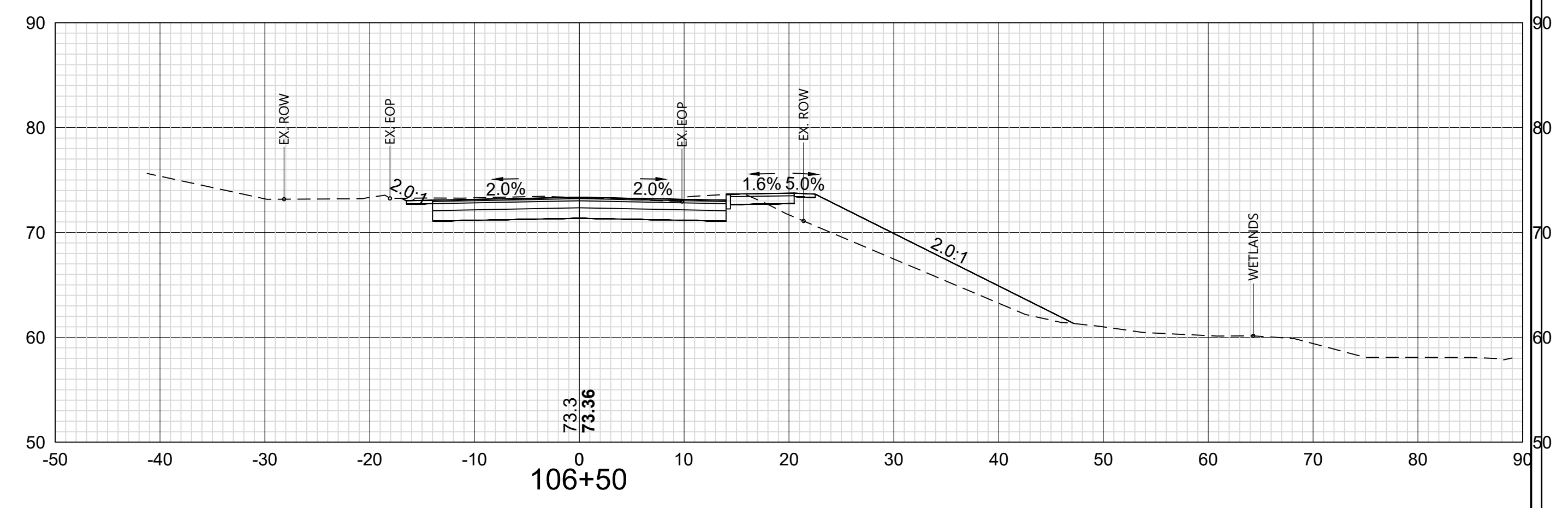
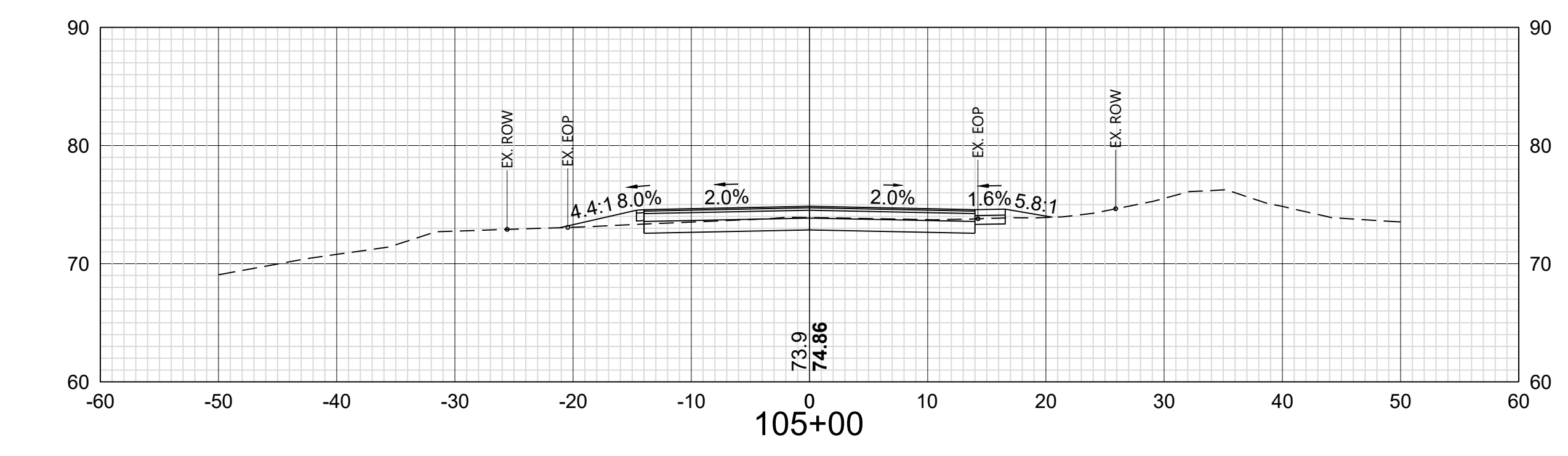
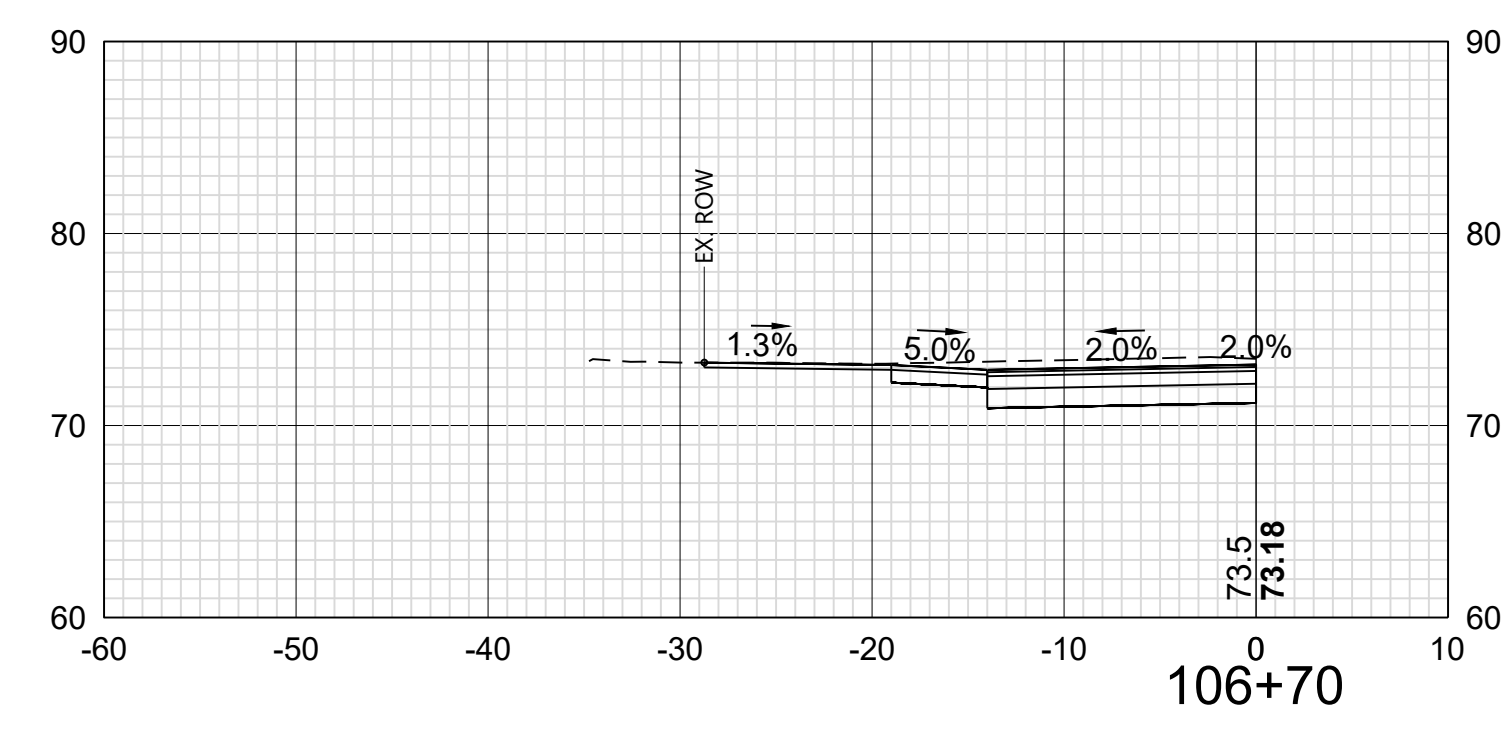
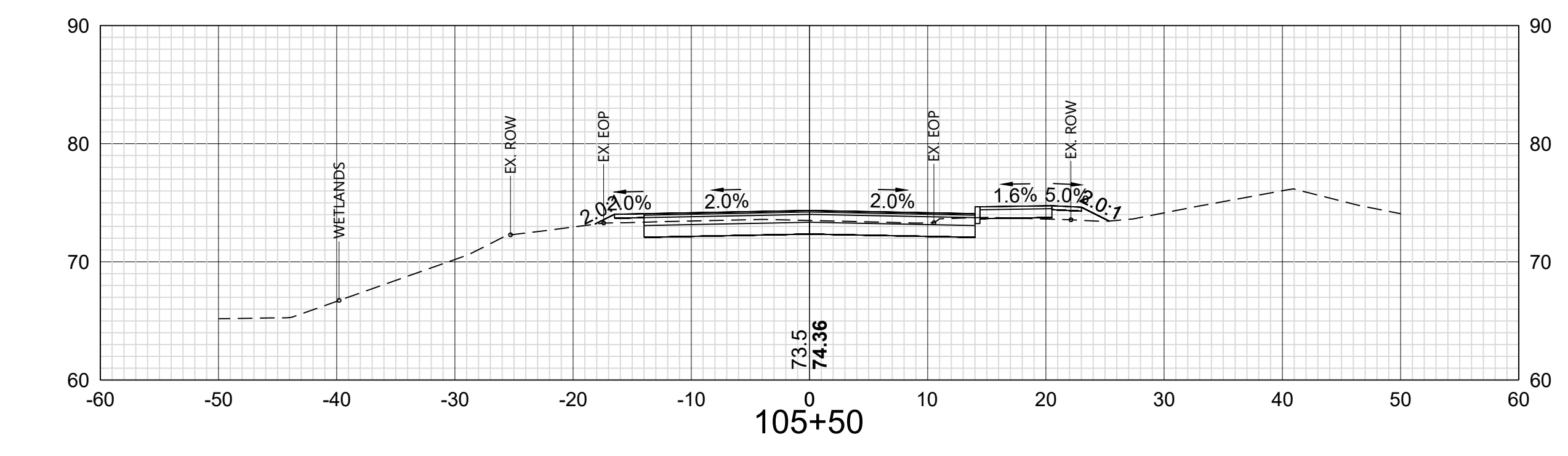
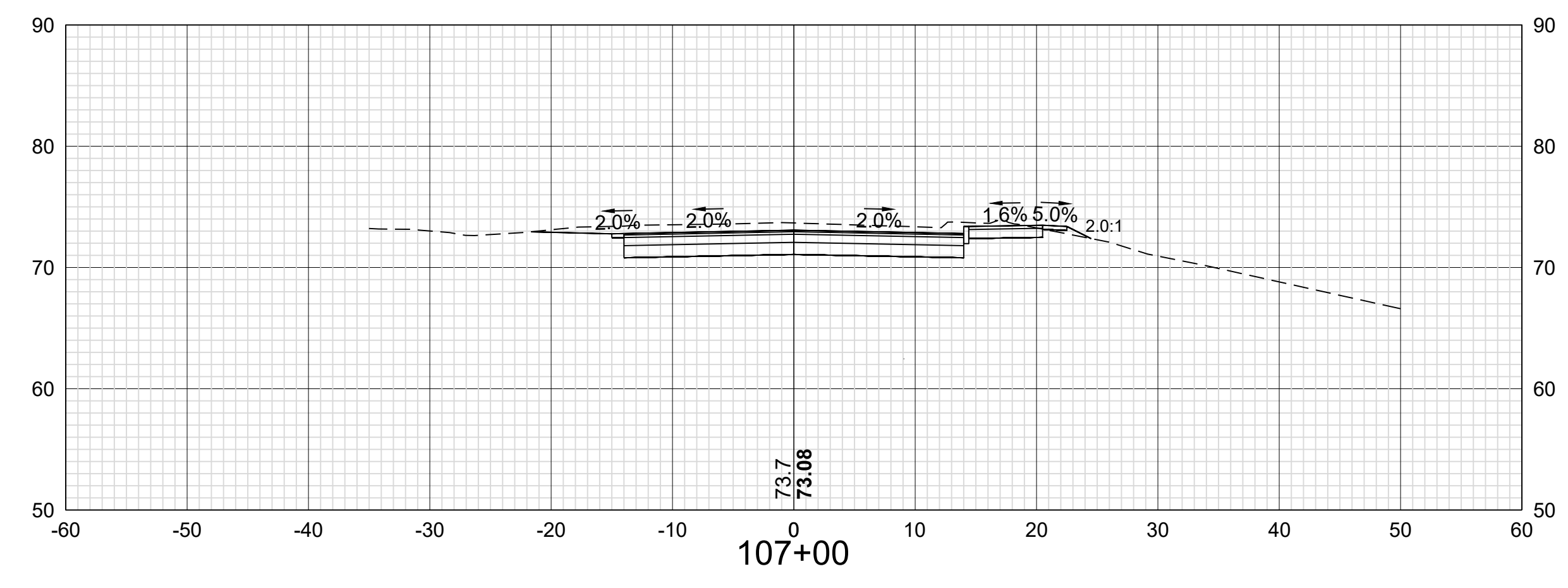
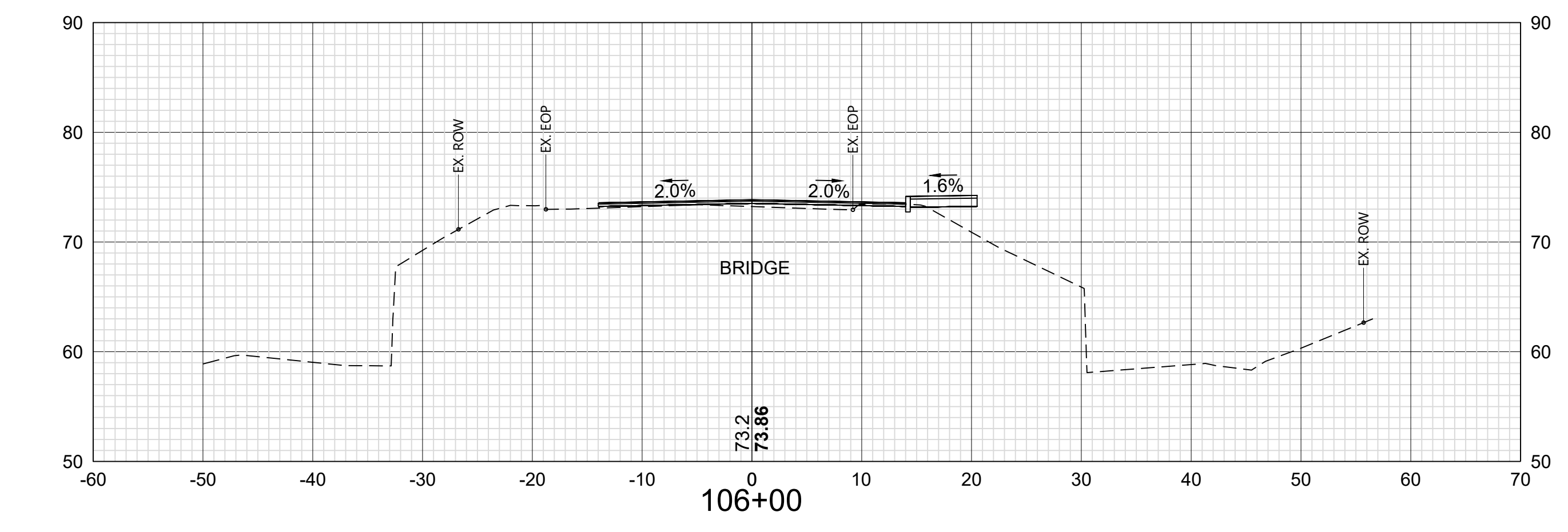
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DATE

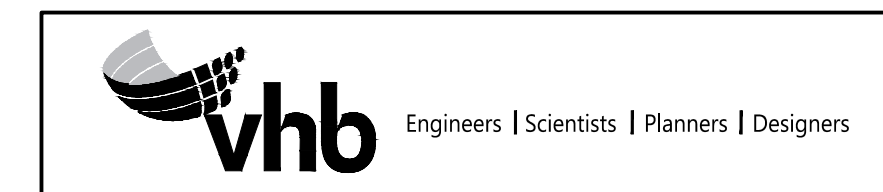
NUMBER

DATE: MAY, 2026
 DATE: MAY, 2026
 DATE: MAY, 2026

PROJECT MANAGER: J. WHITMORE
 DESIGNED BY: XXXXXXXXXXXX
 DRAWN BY: B. MASSE
 AS BUILT DETAILS



PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE



DATE PLOTTED
 6/16/2026

VHB PROJECT NO.
 171303.00

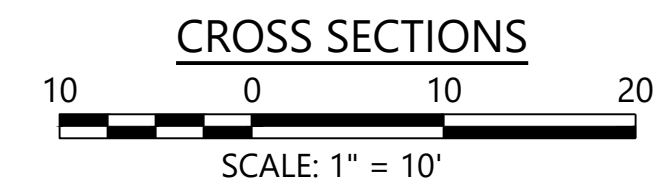
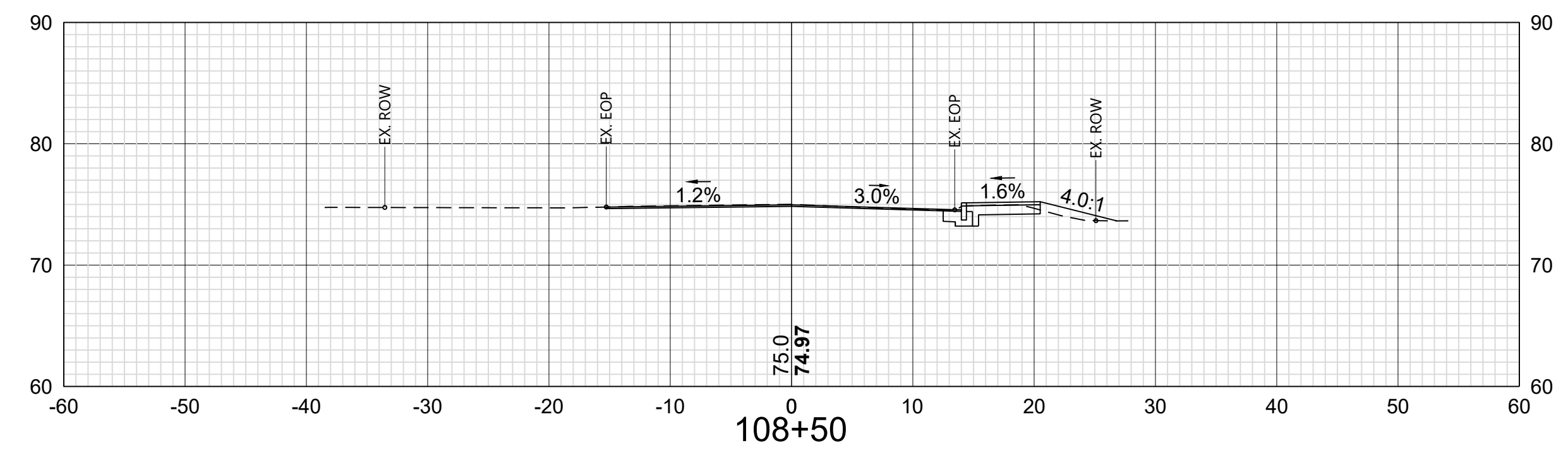
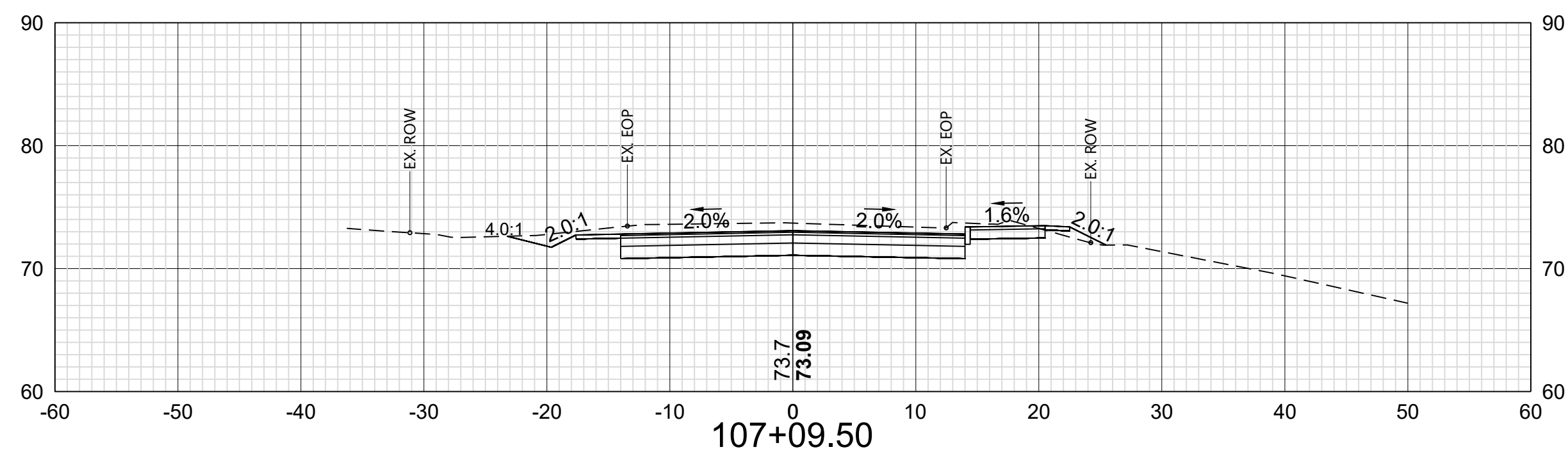
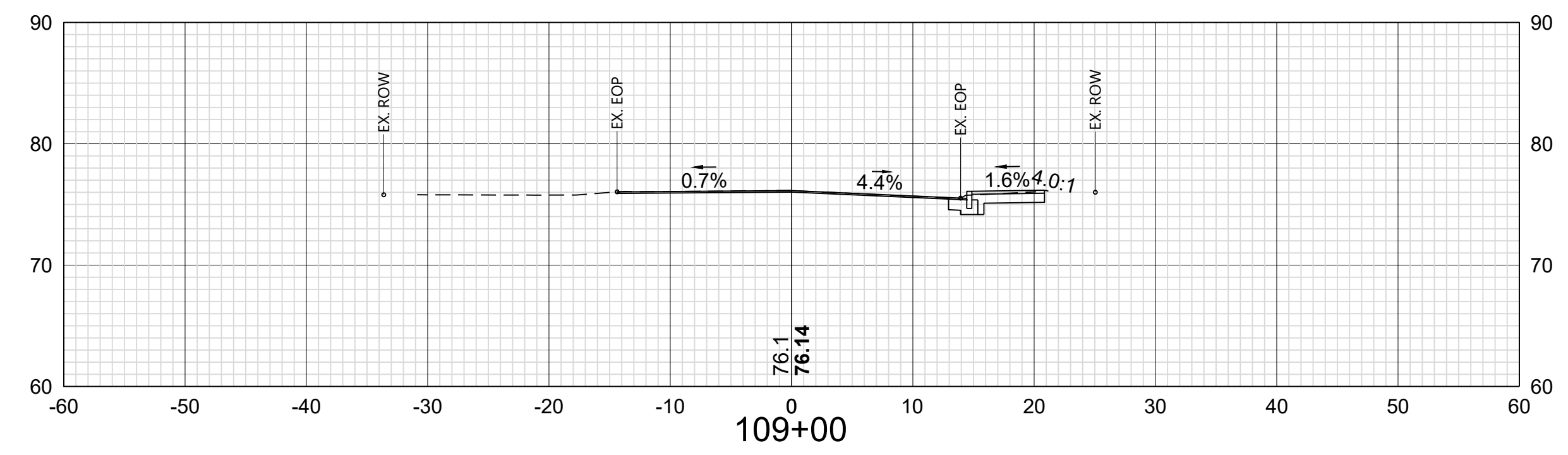
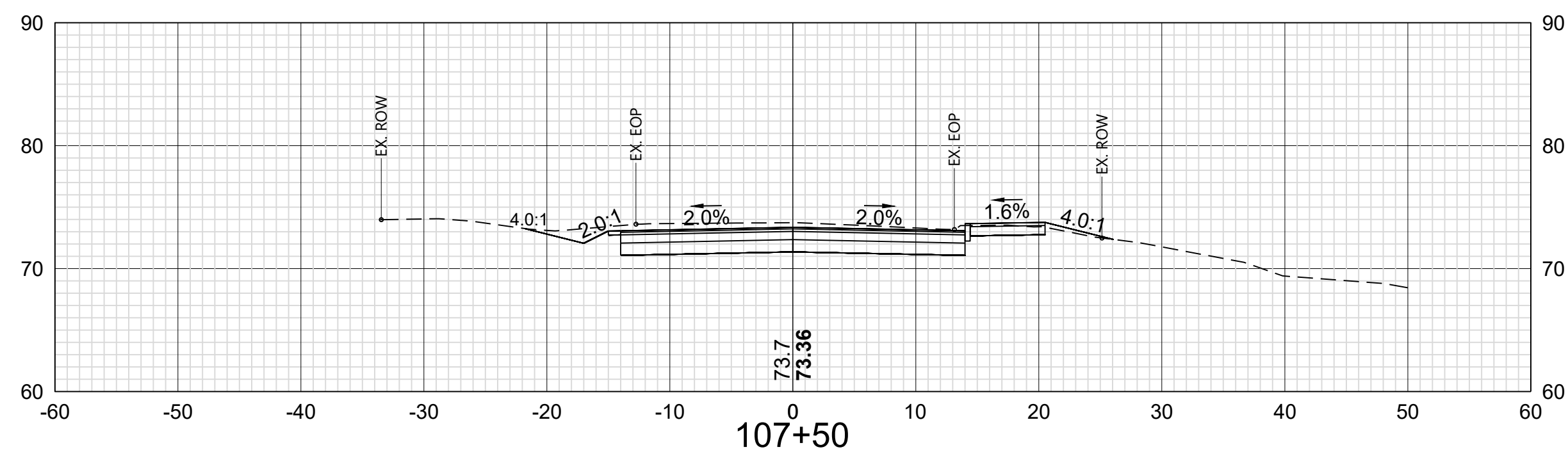
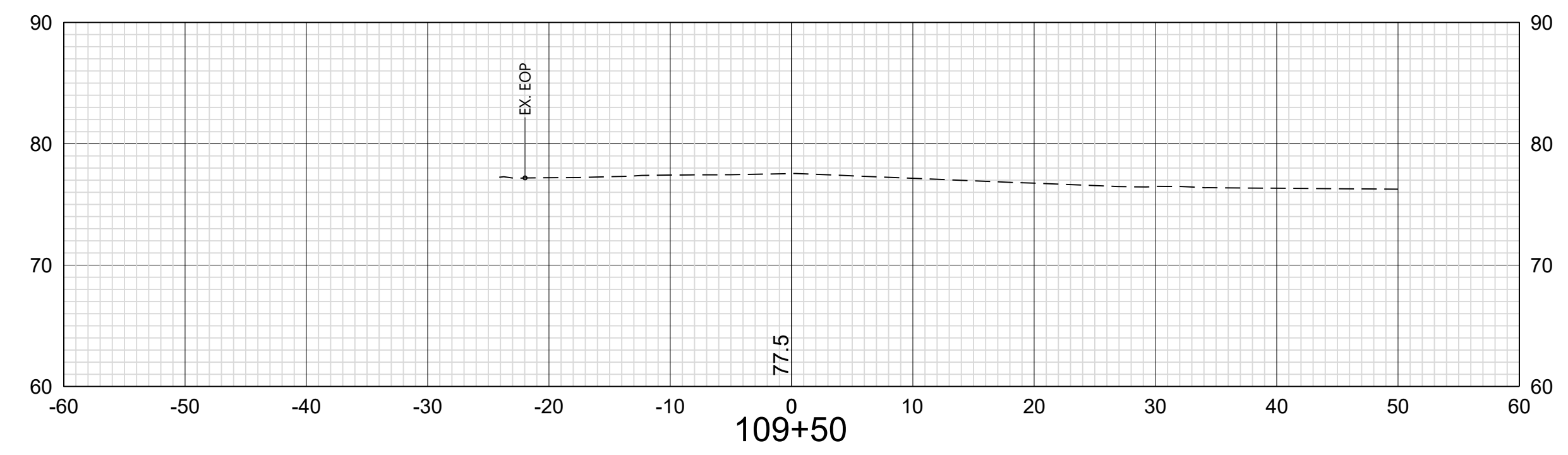
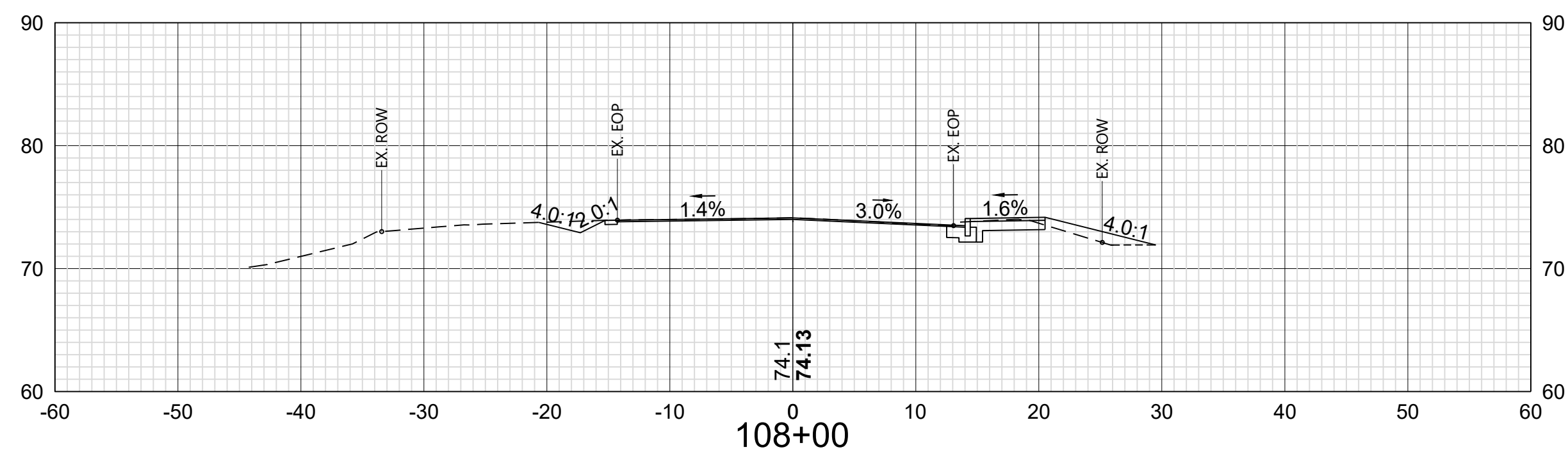
CITY OF DOVER, NEW HAMPSHIRE
 BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

CROSS SECTIONS (2 OF 3)

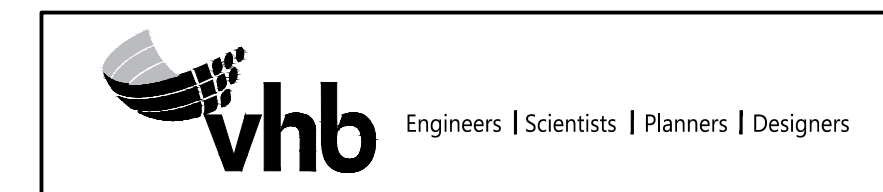
DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
171303_XS	-	17	24

REVISIONS AFTER PROPOSAL	DESCRIPTION
	STATION
NUMBER	DATE

PROJECT MANAGER: J. WHITMORE	DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX	DATE: MAY, 2026
DRAWN BY: B. MASSE	DATE: MAY, 2026
AS BUILT DETAILS	DATE:



PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE



CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

CROSS SECTIONS (3 OF 3)

DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_XS	-	18	24

REVISIONS AFTER PROPOSAL

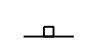


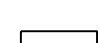
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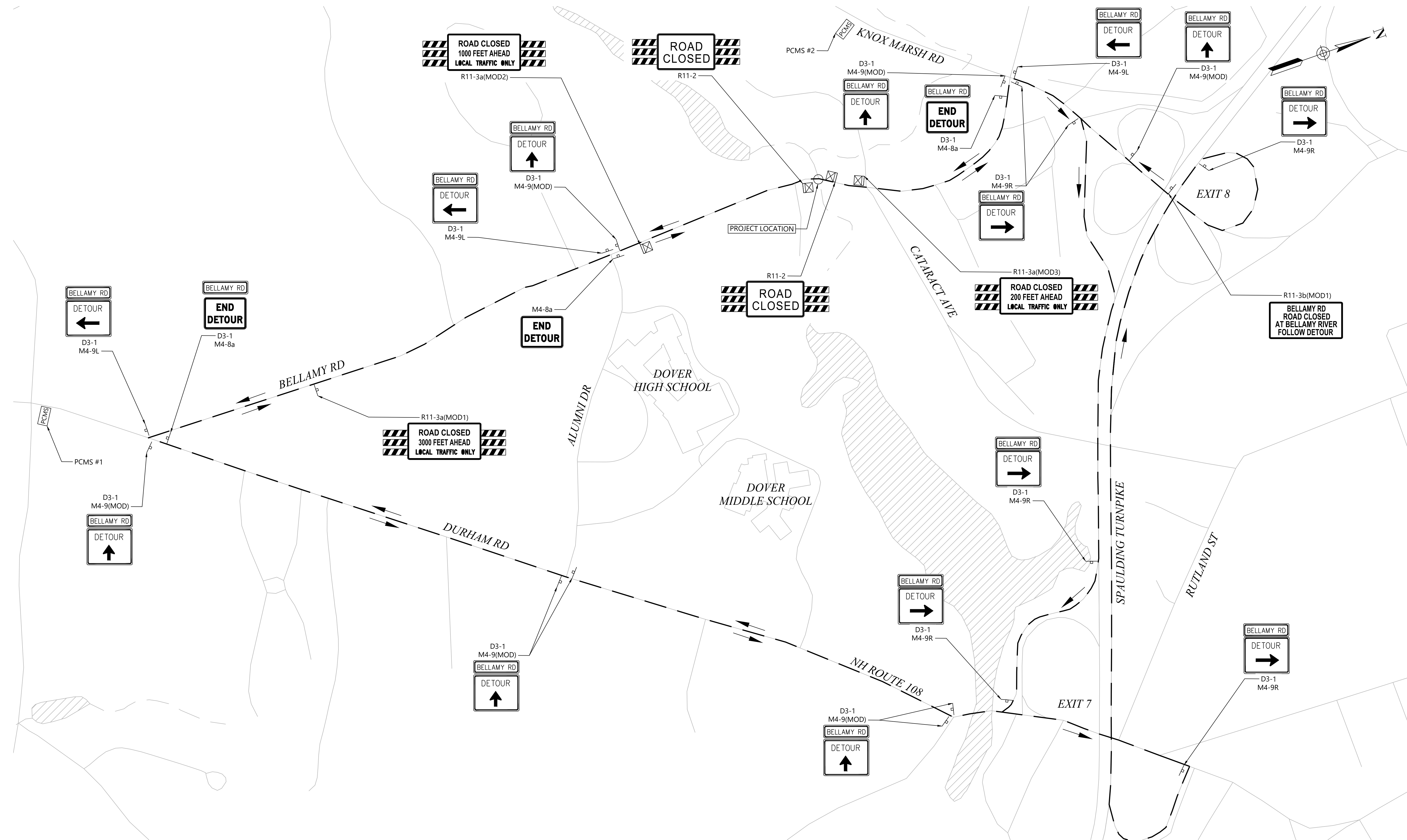
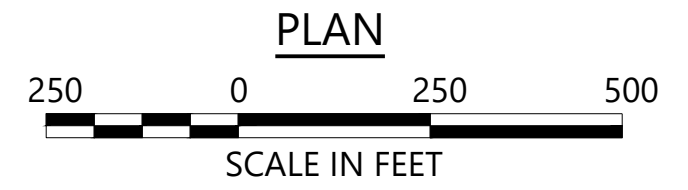
NUMBER	DATE

PROJECT MANAGER: J. WHITMORE
 DESIGNED BY: XXXXXXXXXXXX
 DRAWN BY: B. MASSE
 AS BUILT DETAILS

PRELIMINARY PLANS
 JUNE 2026
 SUBJECT TO CHANGE

LEGEND

-  DETOUR SIGN ON POST SUPPORT
-  DETOUR ROUTE
-  TYPE 3 BARRICADE WITH DETOUR SIGN
-  PORTABLE CHANGEABLE MESSAGE SIGN



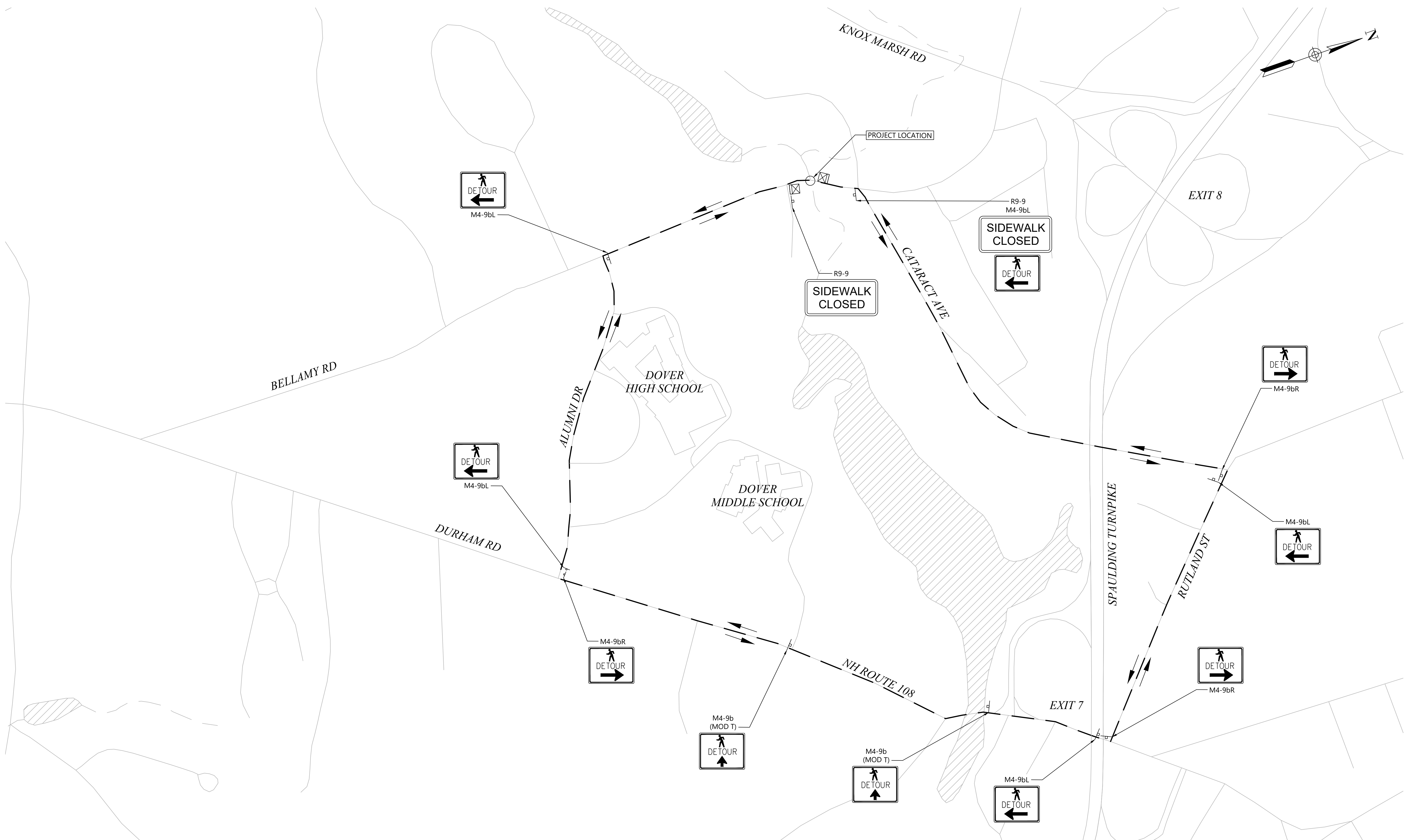
CITY OF DOVER, NEW HAMPSHIRE
 BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

DETOUR PLAN

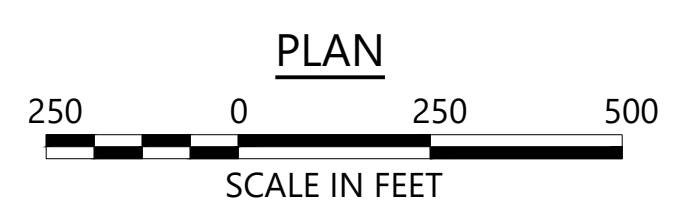


DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
3/20/2026	171303.00	171303_DETOUR	-	19	24

PROJECT MANAGER: J. WHITMORE DESIGNED BY: XXXXXXXXXXXX DRAWN BY: B. MASSE AS BUILT DETAILS	DATE: MAY, 2026	STATION	DESCRIPTION
	DATE: MAY, 2026	STATION	
	DATE: MAY, 2026	STATION	
	NUMBER	DATE	



- LEGEND**
- DETOUR SIGN ON POST SUPPORT
 - DETOUR ROUTE
 - TYPE 3 BARRICADE WITH DETOUR SIGN
 - PORTABLE CHANGEABLE MESSAGE SIGN



PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE

vhb Engineers | Scientists | Planners | Designers

DATE PLOTTED 3/20/2026	VHB PROJECT NO. 171303.00
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CITY OF DOVER, NEW HAMPSHIRE					
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT					
LOCAL AND PEDESTRIAN DETOUR PLAN					
DRAWING 171303_DETOUR	STATE PROJECT NO. -	SHEET NO. 20	TOTAL SHEETS 24		

REVISIONS AFTER PROPOSAL

STATION

STATION

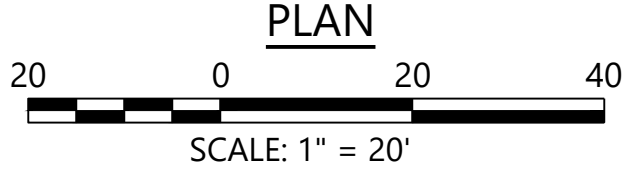
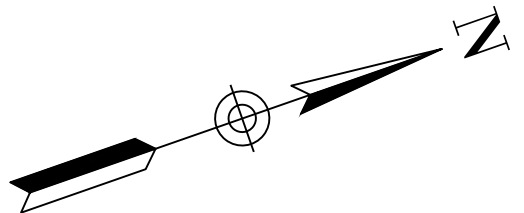
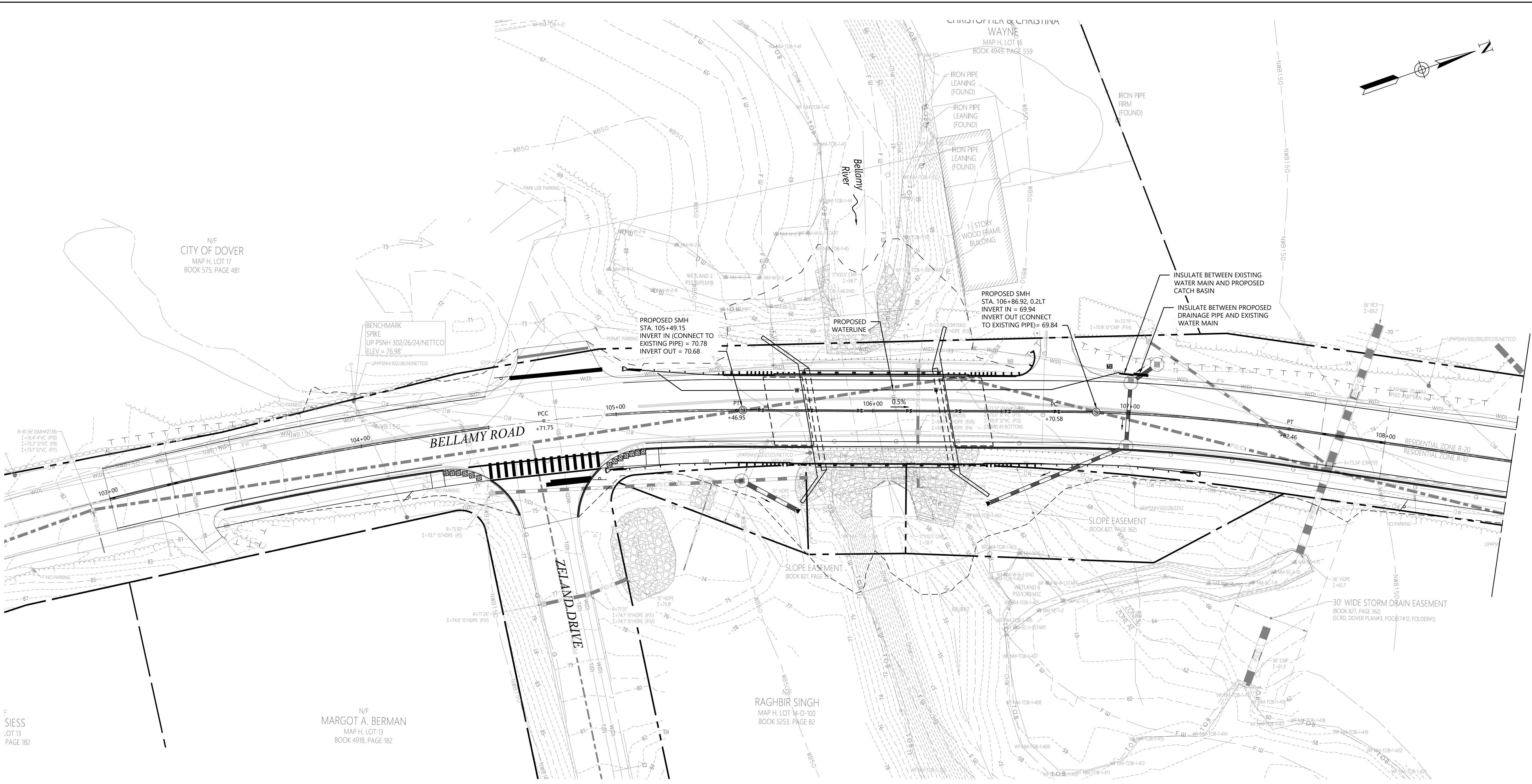
DATE

NUMBER

DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX
DATE: MAY, 2026
DRAWN BY: B. MASSE
DATE: MAY, 2026
AS BUILT DETAILS

PROJECT MANAGER: J. WHITMORE
DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX
DATE: MAY, 2026
DRAWN BY: B. MASSE
DATE: MAY, 2026
AS BUILT DETAILS

DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX
DATE: MAY, 2026
DRAWN BY: B. MASSE
DATE: MAY, 2026
AS BUILT DETAILS



**PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE**

NOTES

1. PROPOSED SEWER AND WATER LAYOUTS SHOWN SCHEMATICALLY. FINAL LAYOUT AND ELEVATIONS TO BE DETERMINED DURING SUBSEQUENT PHASE OF PROJECT.



DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_UTIL_PLAN	-	22	24

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

**SEWER AND WATER
RELOCATION PLAN**

DESCRIPTION

REVISIONS AFTER PROPOSAL

STATION

STATION

DATE

NUMBER

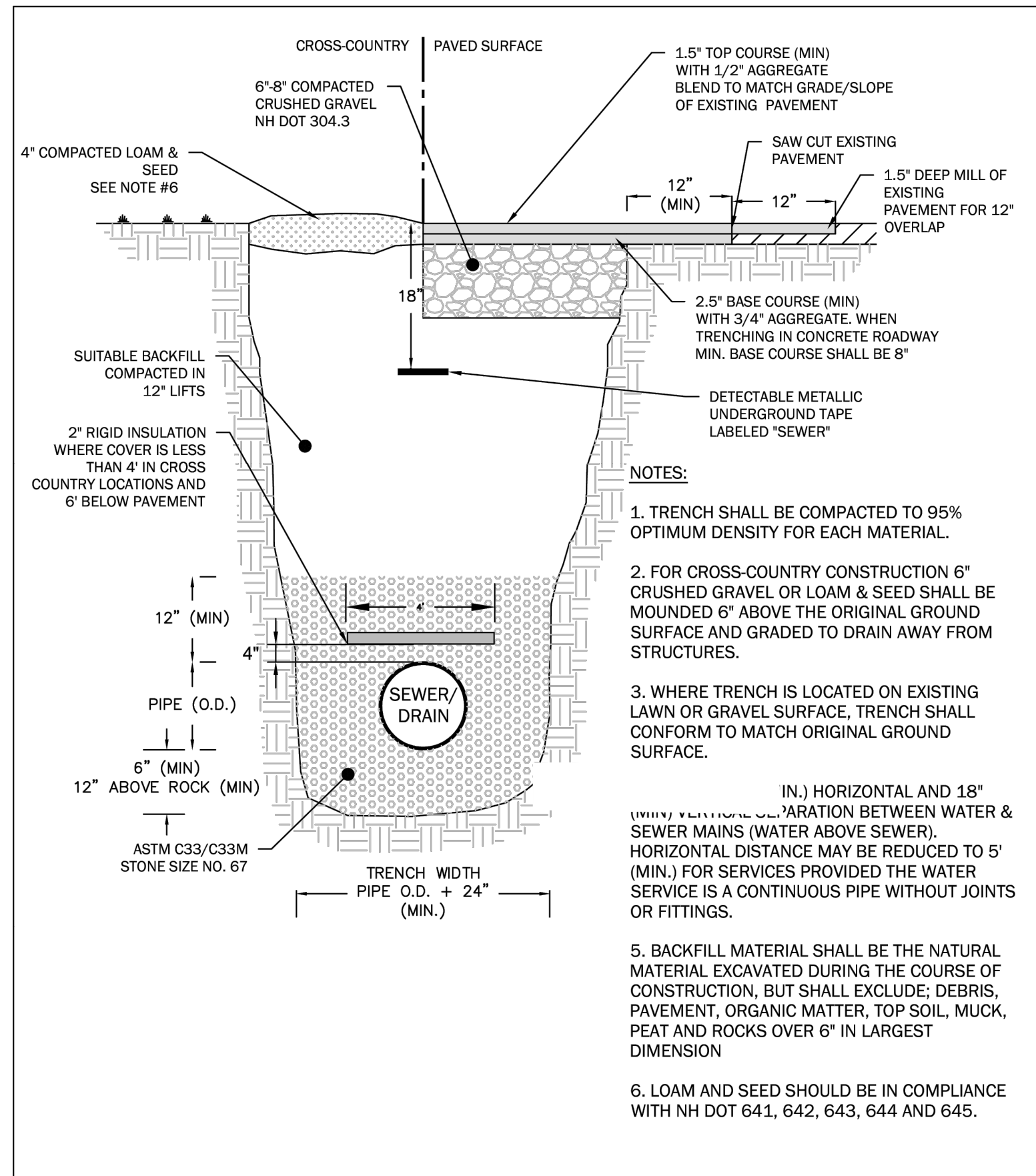
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DATE: MAY, 2026

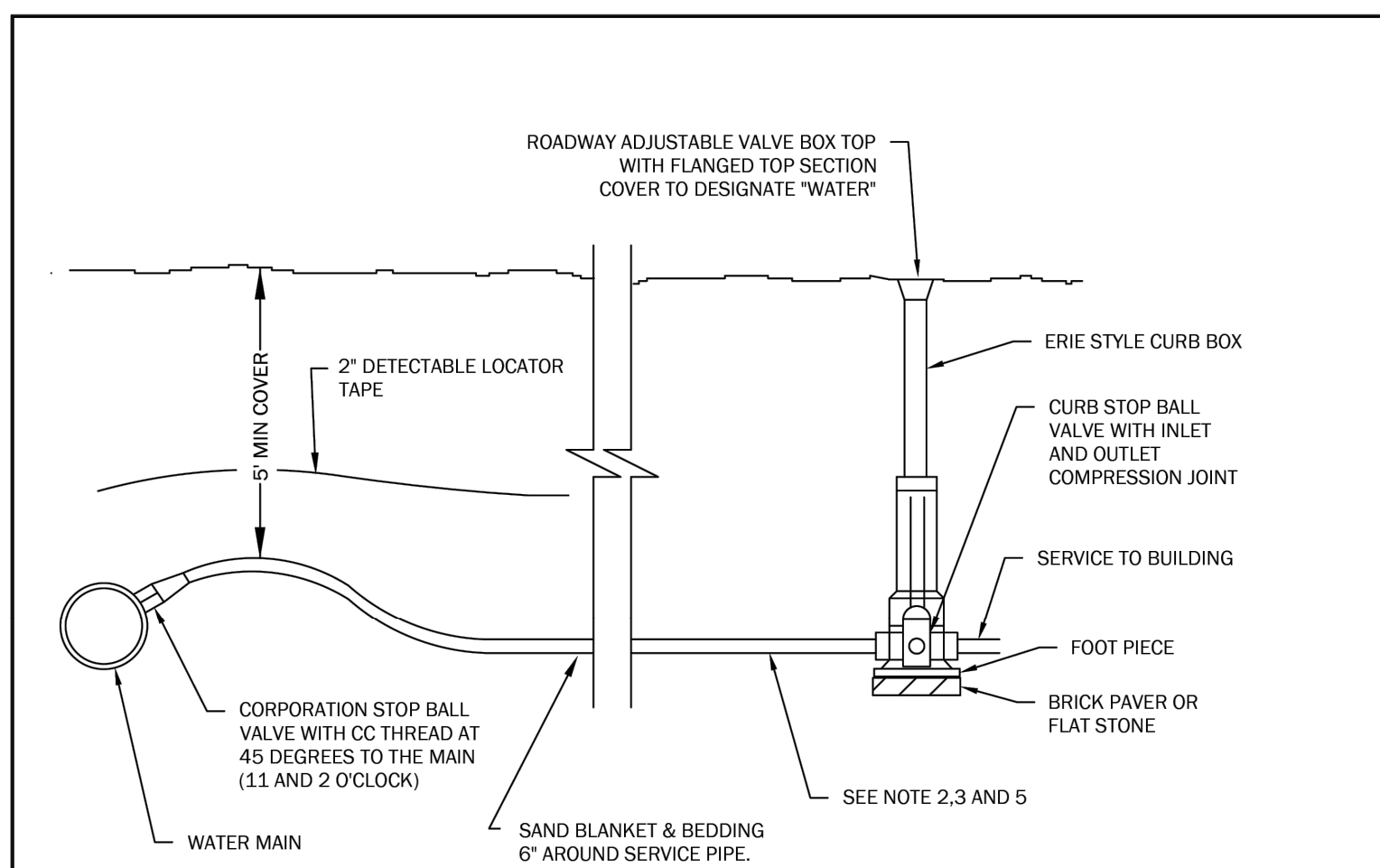
DATE: MAY, 2026

DATE:

PROJECT MANAGER: J. WHITMORE
DESIGNED BY: XXXXXXXXXXXX
DRAWN BY: B. MASSE
AS BUILT DETAILS

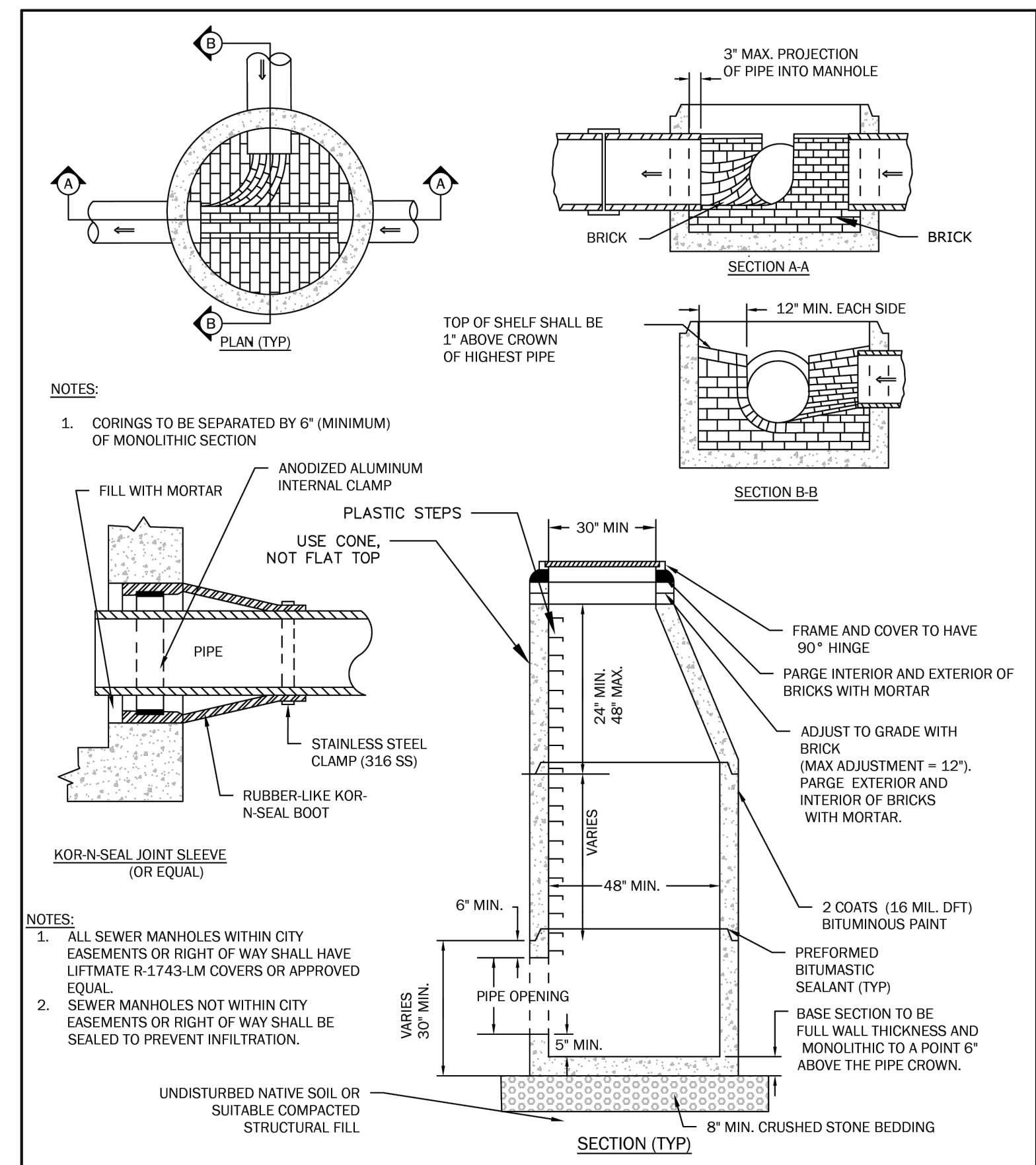


SHEET NO.	STANDARD DETAILS NOT TO SCALE	CITY OF DOVER, NH
D-3	SEWER/ DRAIN TRENCH	COMMUNITY SERVICES ENGINEERING DIVISION 288 CENTRAL AVENUE DOVER, NEW HAMPSHIRE 03802 TELEPHONE: (603) 516-6450 FAX: (603) 516-6453
REVISED: April 2025		

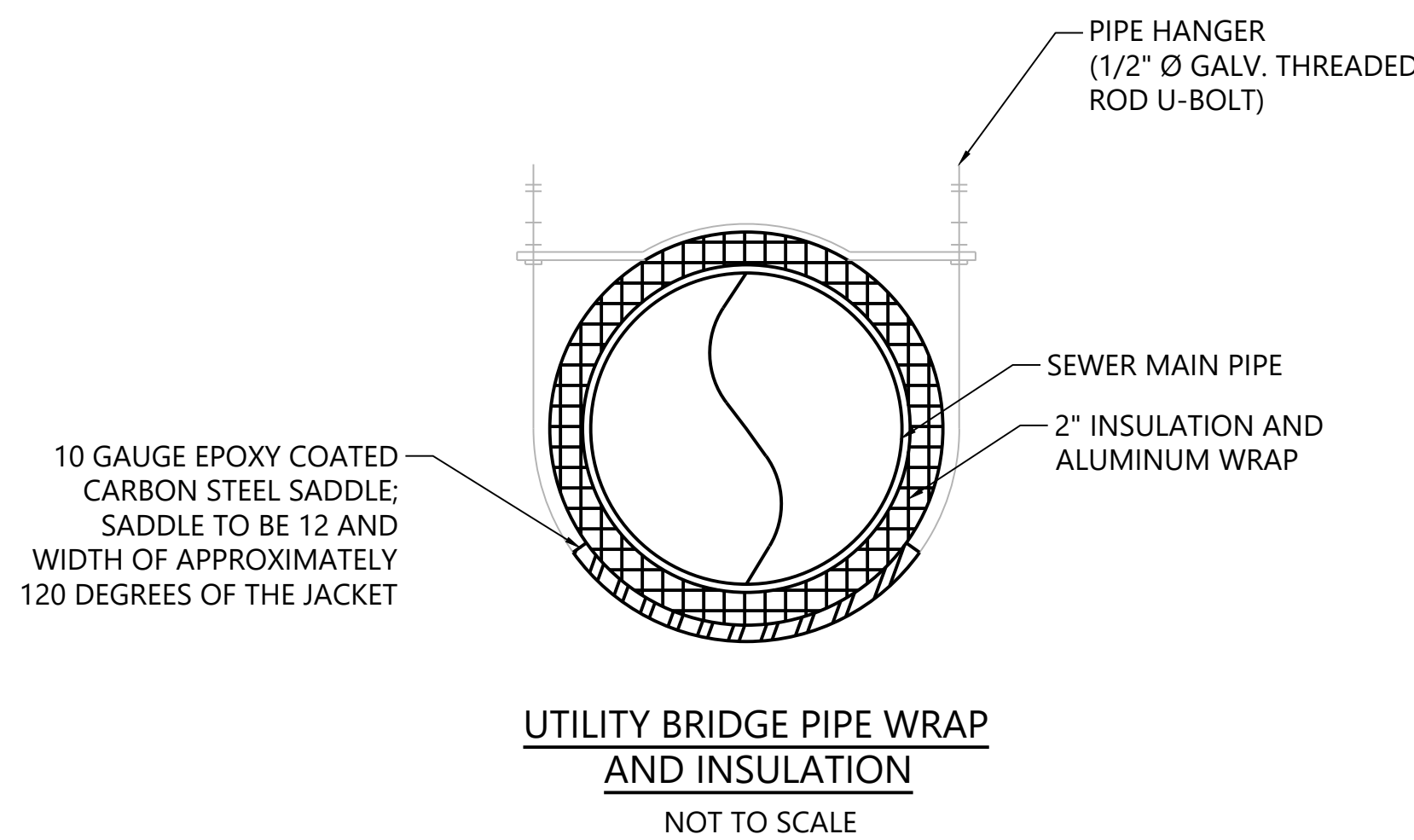


- NOTES:
1. ALL WATER LINES 4" OR GREATER SHALL BE DUCTILE IRON WITH A ZINC COATED 8 MIL POLYETHYLENE WRAP, INCLUDING TEE AND OTHER CONNECTIONS.
 2. WATER SERVICE LINES SHALL BE COPPER TUBING (TYPE K) BETWEEN MAIN AND CURB STOP.
 3. SERVICE BETWEEN CURB STOP AND BUILDING MAY BE (BLUE OR BLACK) CTS SDR 9 PLASTIC POLYETHYLENE RATED FOR 250 psi.
 4. CAM-LOCK REQUIRED FOR CTS OR IPS, MJ ADAPTER REQUIRED FOR HDPE
 5. ALL SERVICES SHALL BE 1". PROVIDE 1" TO 3/4" REDUCER COUPLING WHERE EXISTING SERVICES ARE 3/4", SUBSIDIARY.
 6. APPROVED WATER SERVICE MATERIALS INCLUDE:
1" COPPER, CTS
2" CTS, HDPE, IPS
 7. ALL SADDLES USED AS SPECIFIED SHALL HAVE DOUBLE STAINLESS STEEL STRAPS.
 8. TAPS TO BE MADE AT APPROX. 2:00 AND 10:00.

SHEET NO.	STANDARD DETAILS NOT TO SCALE	CITY OF DOVER, NH
D-13	WATER SERVICE	COMMUNITY SERVICES ENGINEERING DIVISION 288 CENTRAL AVENUE DOVER, NEW HAMPSHIRE 03802 TELEPHONE: (603) 516-6450 FAX: (603) 516-6453
REVISED: April 2025		



SHEET NO.	STANDARD DETAILS NOT TO SCALE	CITY OF DOVER, NH
D-16	SEWER MANHOLE	COMMUNITY SERVICES ENGINEERING DIVISION 288 CENTRAL AVENUE DOVER, NEW HAMPSHIRE 03802 TELEPHONE: (603) 516-6450 FAX: (603) 516-6453
REVISED: April 2025		



PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE



DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_UTIL_DET	-	23	24

CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

SEWER AND WATER DETAILS
(1 OF 2)

DESCRIPTION

REVISIONS AFTER PROPOSAL
STATION

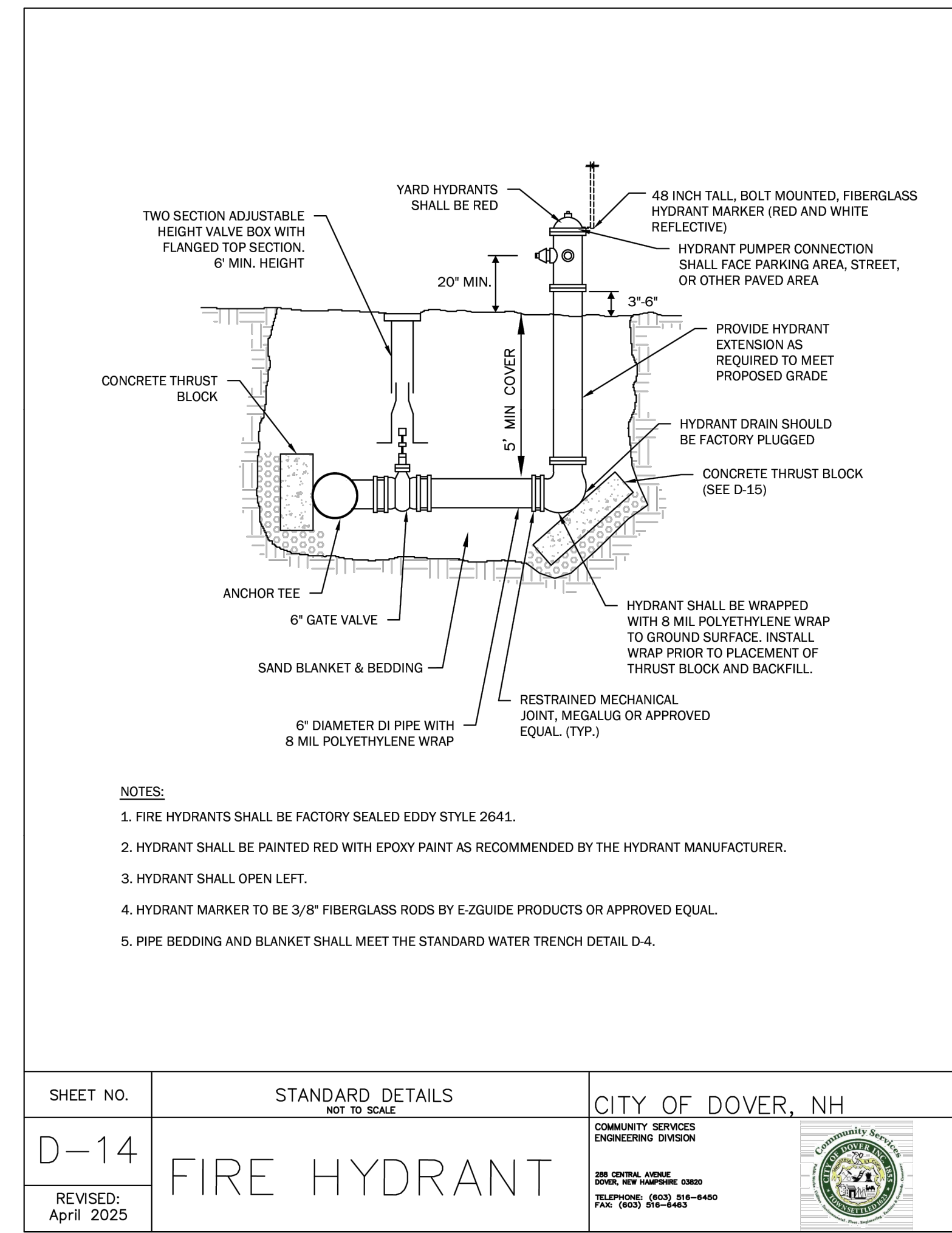
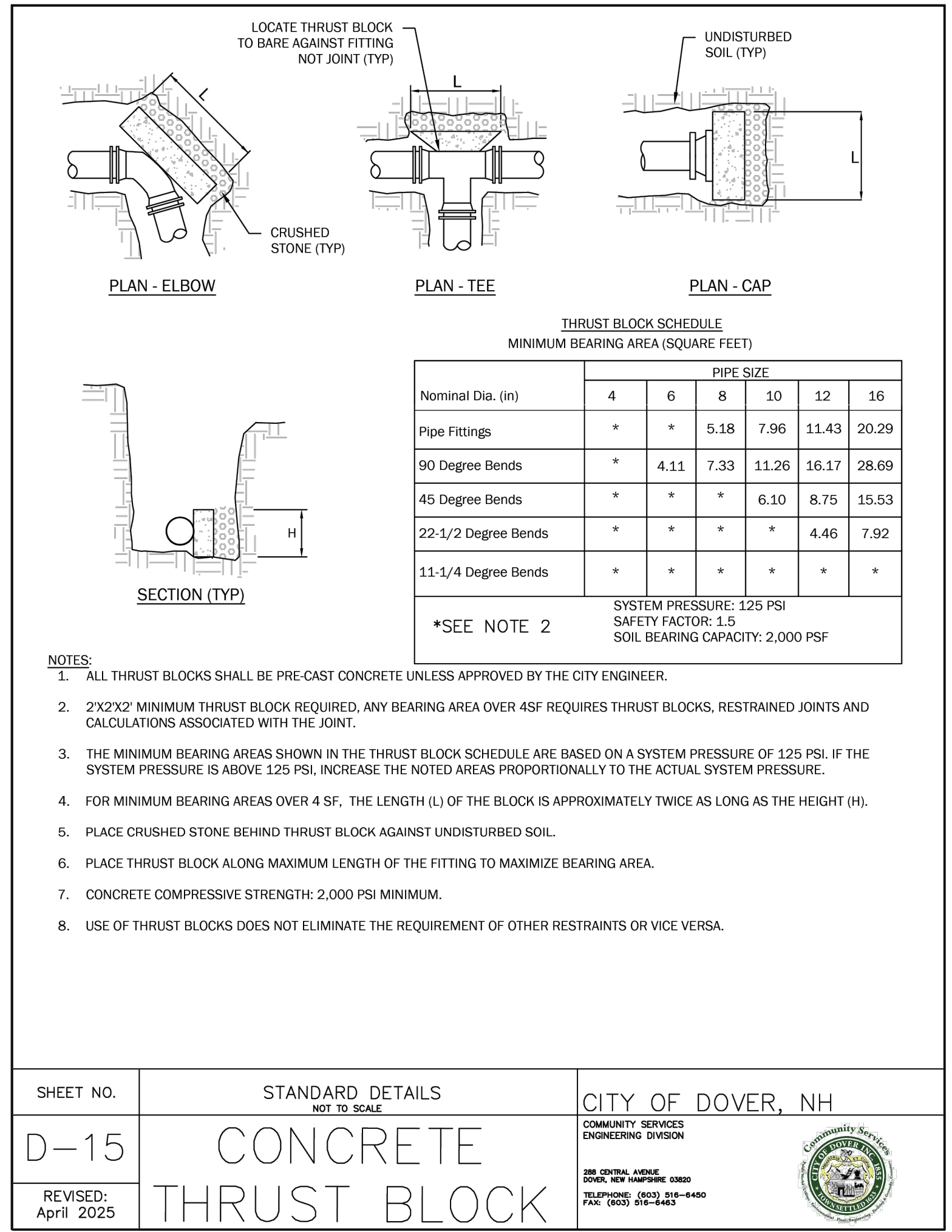
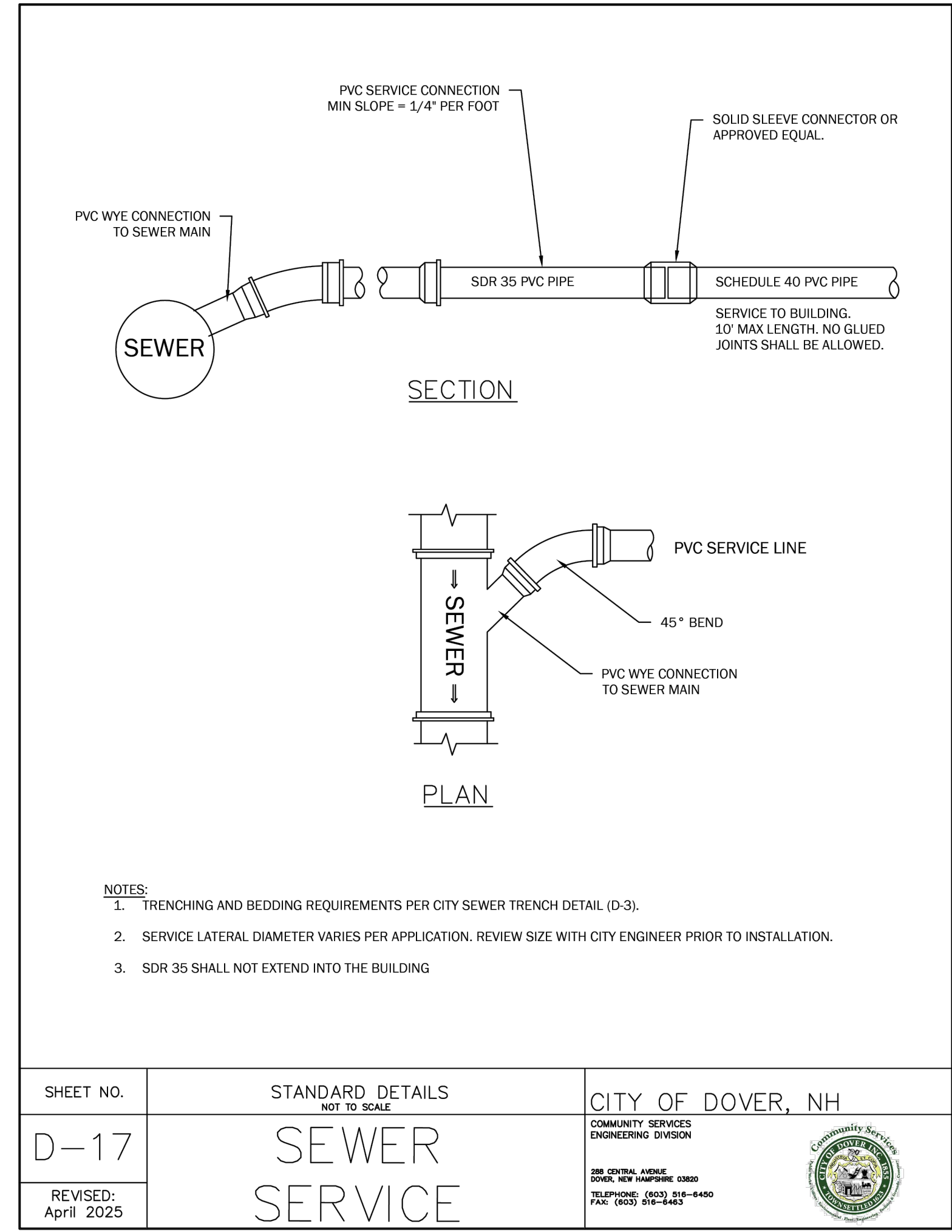
STATION

DATE

NUMBER

DATE: MAY, 2026
DESIGNED BY: XXXXXXXXXXXX
DRAWN BY: B. MASSE
DATE: MAY, 2026

PROJECT MANAGER: J. WHITMORE
DATE: MAY, 2026
AS BUILT DETAILS



PRELIMINARY PLANS
JUNE 2026
SUBJECT TO CHANGE



CITY OF DOVER, NEW HAMPSHIRE
BELLAMY RIVER FISH PASSAGE RESTORATION BRIDGE REPLACEMENT

SEWER AND WATER DETAILS
(2 OF 2)

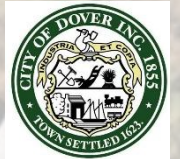
DATE PLOTTED	VHB PROJECT NO.	DRAWING	STATE PROJECT NO.	SHEET NO.	TOTAL SHEETS
6/16/2026	171303.00	171303_UTIL_DET	-	24	24



Bellamy River Restoration and Bridge Replacement Project

Dover, New Hampshire

Dover Conservation Commission
July 13, 2026





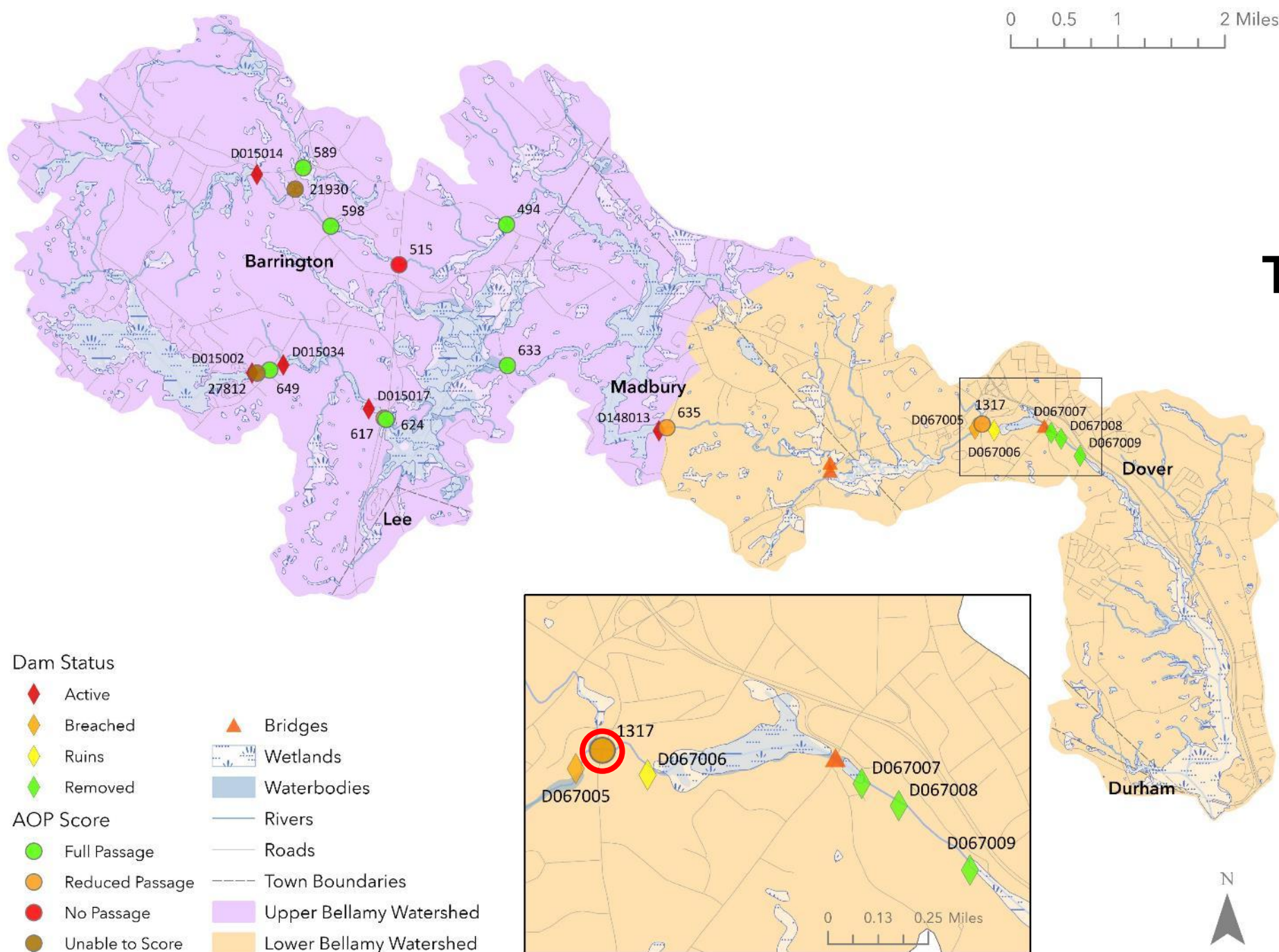
Upstream End



Downstream End



AQUATIC ORGANISM PASSAGE IN THE BELLAMY RIVER WATERSHED



Dam Status

- ◆ Active
- ◆ Breached
- ◆ Ruins
- ◆ Removed
- ◆ Unable to Score

Bridges

- ▲ Bridges

AOP Score

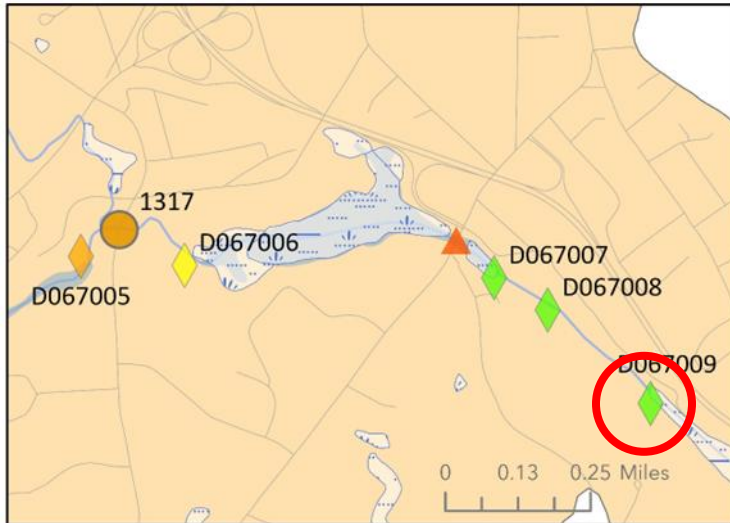
- Full Passage
- Reduced Passage
- No Passage
- Unable to Score

- Wetlands
- Waterbodies
- Rivers
- Roads
- Town Boundaries
- Upper Bellamy Watershed
- Lower Bellamy Watershed

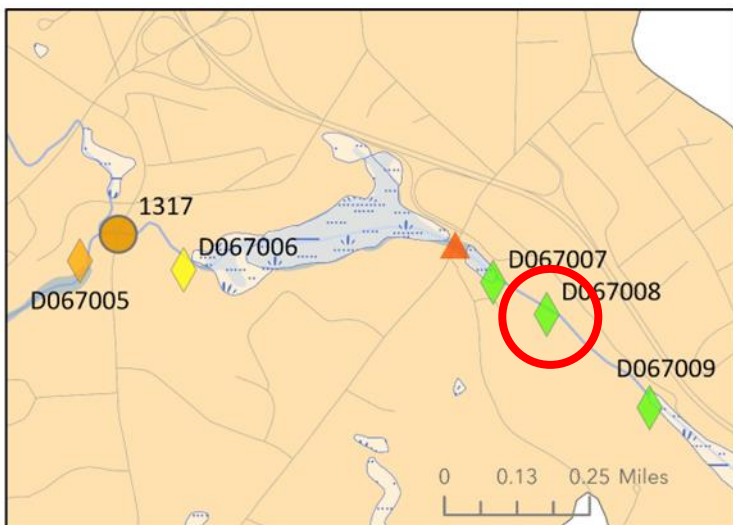
0 0.13 0.25 Miles



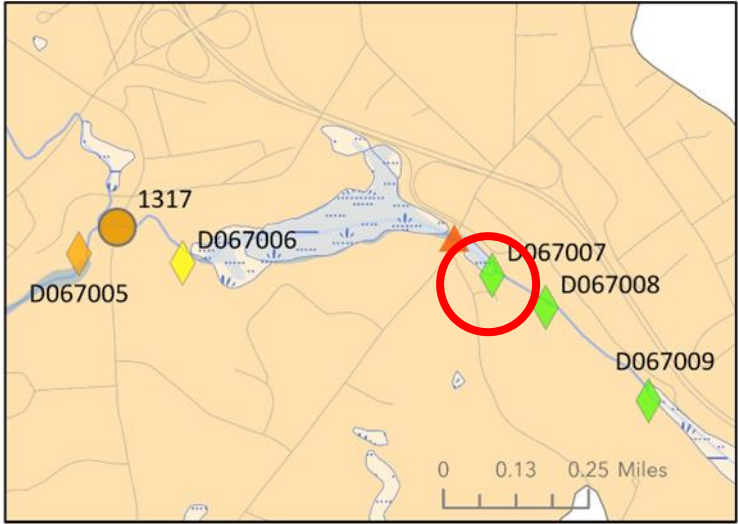
BELLAMY RIVER 5 DAM



LOWER SAWYER MILL DAM



UPPER SAWYER MILL DAM





BELLAMY ROAD

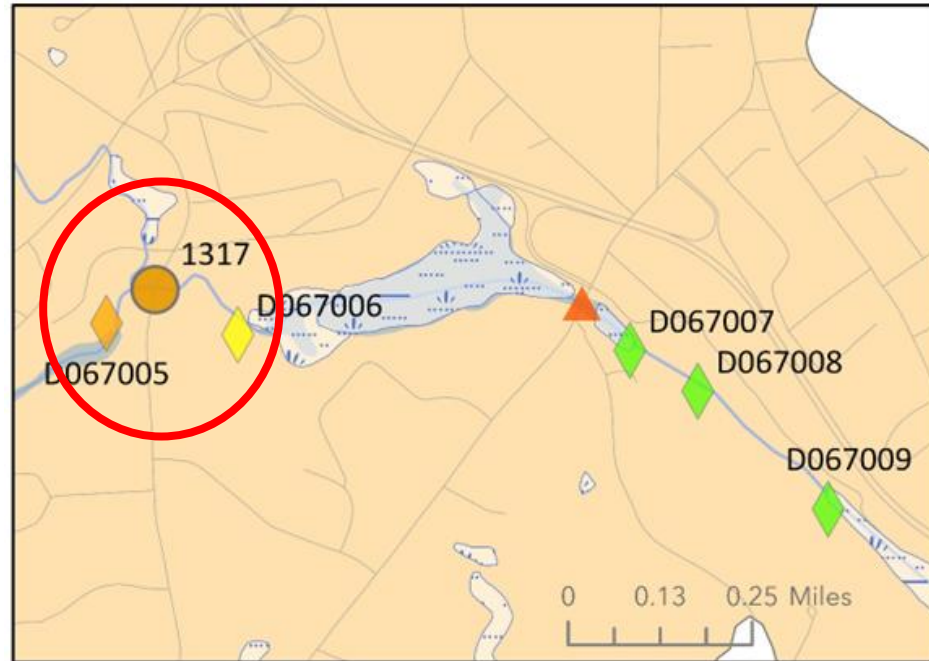




Table 2: Presence/Absence of River Herring by site




Location	River Mile	Pre-Removal	2020	2021	2022	2023	2024	2025
Bellamy Park Dam Upstream	5.31	A	A	A	A	A	A	A
Bellamy Park Dam Downstream	5.31	A	A	A	A	A	P	P
Bellamy Road Upstream	5.21	A	A	A	A	A	A	A
Bellamy Road Downstream	5.21	A	A	A	A	A	A	A
Waterfall Upstream	5.14	A	A	P	P	A	A	A
Waterfall Downstream	5.14	A	A	P	P	A	P	A
Route 108 Bridge	4.54	A	A	P	A	A	P	A
Upper Dam (Above)	4.45	A	P	P	A	A	P	A
Upper Dam (Below)	4.45	A	P	P	A	A	P	A
Under Building ZOP2	4.38	A	P	P	A	A	P	P
Under Building ZOP1	4.38	A	A	A	A	A	A	A
Lower Dam at dam	4.38	A	P	P	A	P	P	P
Lower Dam at end of Mill	4.35	P	P	P	A	P	P	P
Head of tide	4.10	P	A	A	A	A	A	P

National Culvert Removal, Replacement, and Restoration Grant Program

Culvert AOP Program



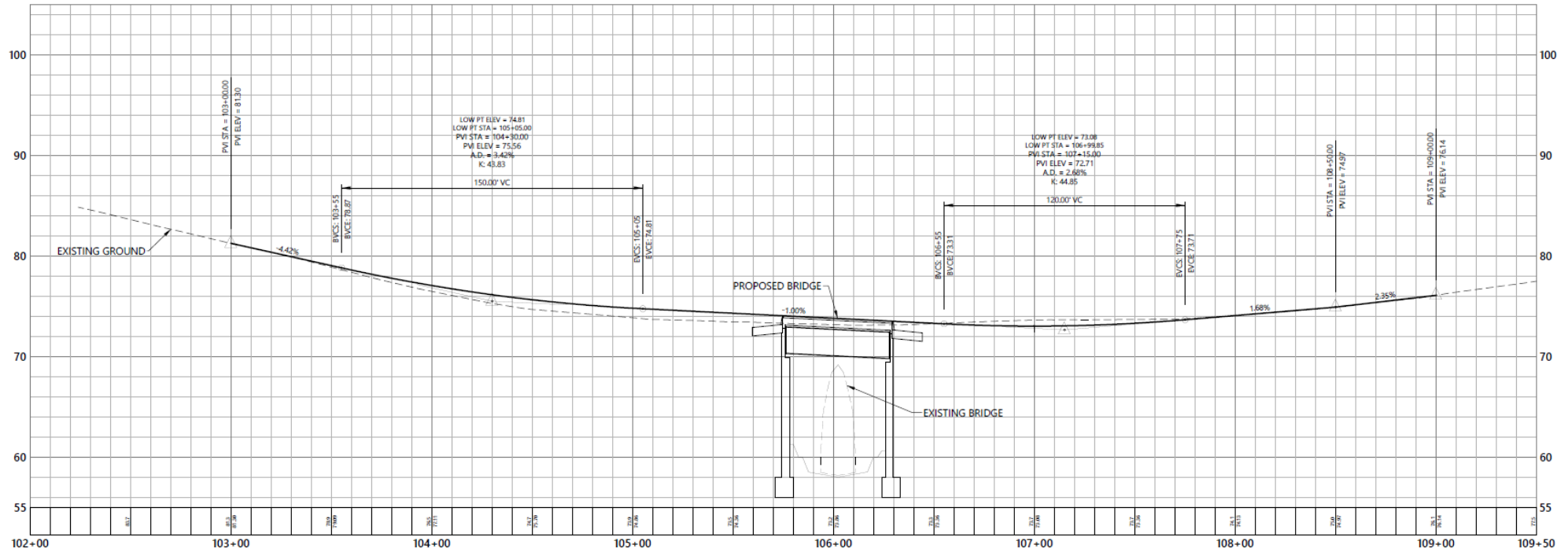
Eligibility Criteria

-  Involve the replacement, removal, or repair of culverts or weirs
-  Meaningfully improve or restore fish passage for anadromous fish
-  Have a transportation nexus

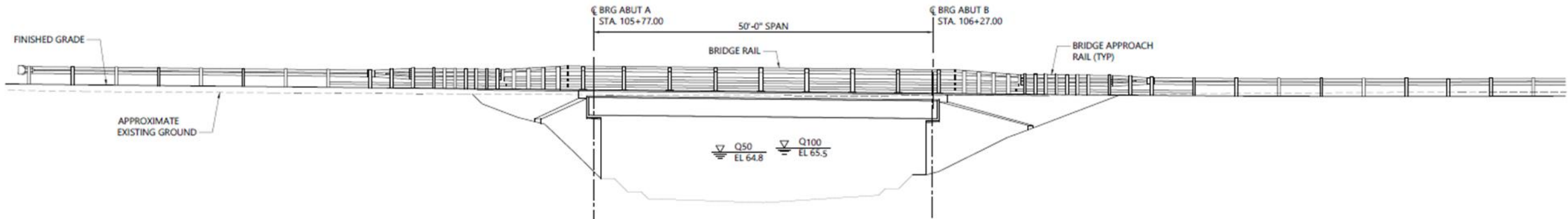


U.S. Department of Transportation
Federal Highway Administration

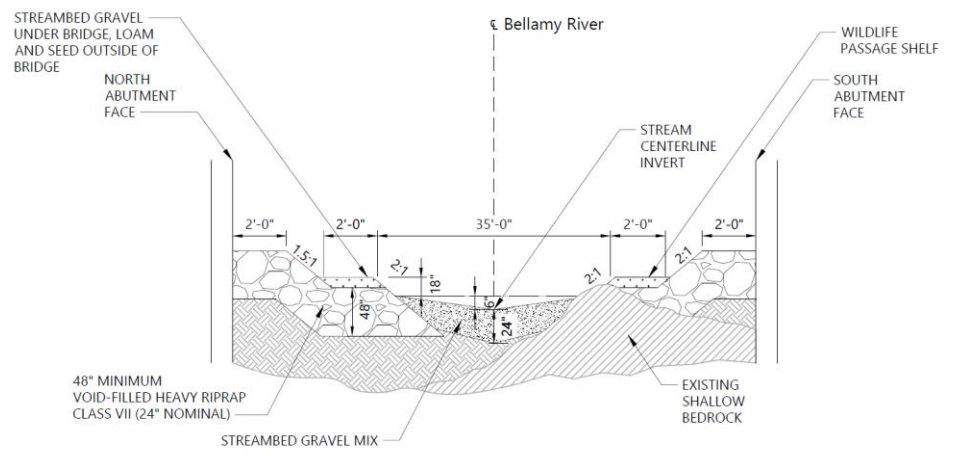
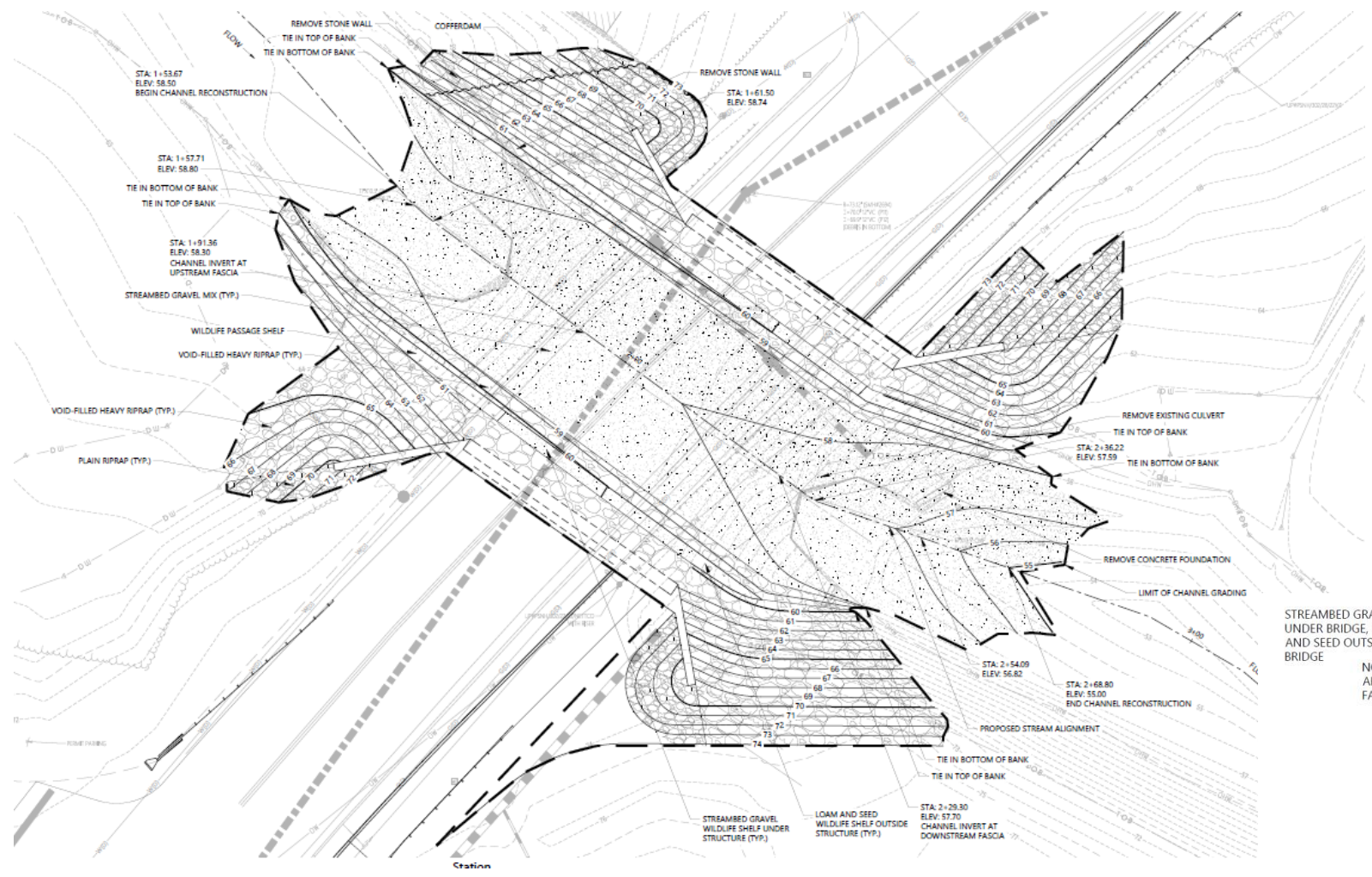
Proposed Conditions



BRIDGE PLAN
SCALE 1/8" = 1'-0"



Proposed Conditions

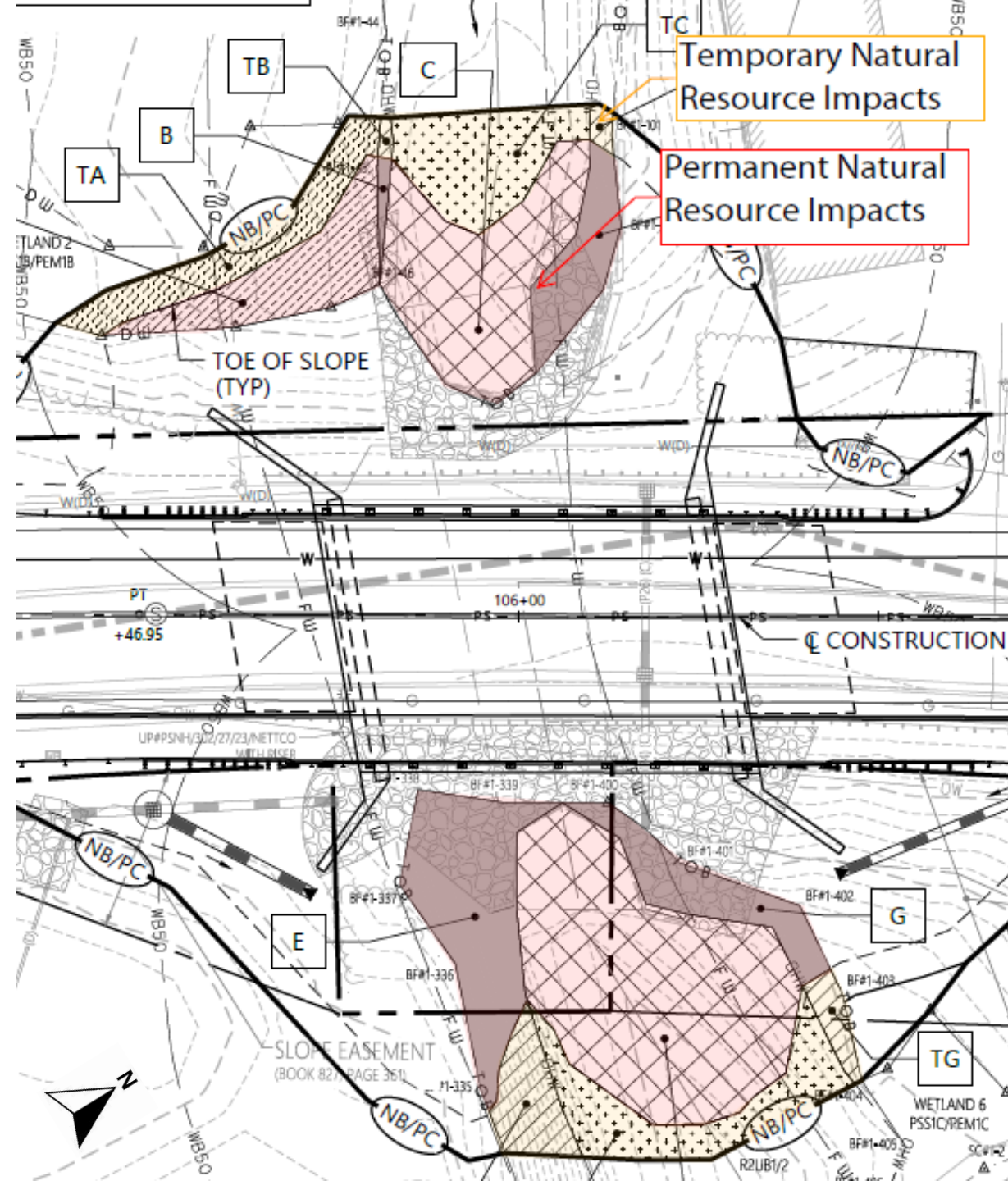


Typical Stream Section

Not To Scale

Current Proposed Environmental Impacts

- Permanent Impacts: 2,900 SF / 227 LF
- Temporary Impacts: 1,145 SF / 92 LF
- Totals: 4,045 SF / 319 LF





City of Dover, New Hampshire
CONSERVATION COMMISSION
288 Central Avenue
Dover, N.H. 03820-4169

December 12, 2022

Rick Murray, Agreement Office
Office of Acquisition and Grants Management
Federal Highway Administration
US Department of Transportation
1200 New Jersey Ave, SE., Mailstop E62-204
Washington DC 20590-0001

Re: Bellamy River Fish Passage Restoration Project: Upgrading Bellamy Rd. Culvert in Dover, NH

To Whom it May Concern,

This letter is to express enthusiastic support for the grant application submitted by the City of Dover, New Hampshire to the US Department of Transportation – Federal Highways Administration – National Culvert Removal, Replacement, and Restoration Grant Program (CULVERT AOP PROGRAM) for the design, engineering, and pre-permitting associated with the replacement of the culvert on Bellamy Road at the crossing of the Bellamy River.

The Bellamy River is tributary to Great Bay, which is an Estuary of National Significance, as determined by EPA and NOAA. Historically, the entire mapped extent of the Bellamy River system is thought to have been utilized by diadromous fish, including river herring, American eel, sea lamprey, and Atlantic salmon to complete their lifecycles. For the past several hundred years; however, these fish have been prevented from accessing important spawning and rearing habitat of the Bellamy River by a series of 5 dams and 1 perched culvert within a 1.2 mile reach.

The Bellamy River has been the focus of 20 years of concerted effort by State and Federal agencies and non-profit partners to remove derelict and unsafe dams from the Bellamy River, including the 2004 removal of the ruins of a timber crib dam at the head-of-tide (River Mile 4.10), and the 2019/2020 removal of the Lower and Upper Sawyer Mill Dam (River Mile 4.38 and 4.45). These previous restoration projects have restored 1 mile of river herring access to the area near Bellamy Road (River Mile 5.21).

The Bellamy Road culvert was assessed in 2022 with the “NH Stream Crossing Assessment Protocol” and was determined to have “Reduced Aquatic Organism Passage”. The culvert structure was also determined to be “Mostly Incompatible” from a geomorphic compatibility perspective that contributes to high downstream channel scour and bank erosion. The Bellamy Road culvert is also a known flood hazard; having incurred significant damage during the Patriots Day Storm in 2007 that was fixed on an emergency basis.

The City of Dover is requesting grant funding from the FHWA Culvert AOP Program to advance project development (Design, Engineering, Permit Application Development) for the upgrade of the Bellamy Road Culvert with a hydraulically and geomorphically compatible structure that enables upstream and downstream connectivity for aquatic organisms, specifically river herring.

We encourage FHWA to fully fund the proposed project to upgrade Bellamy Road culvert, which in combination with other ongoing stream restoration work will make an additional 5.2 river miles of freshwater/riverine habitat available to river herring for spawning and rearing.

Sincerely,



Steven Fellows, Vice Chair
Dover Conservation Commission

Cc: Gretchen Young, P.E. – Environmental Projects Manager
Jillian Semprini – Assistant City Engineer
Jackson Kaspari, Ph.D. – Resilience Manager

City of Dover Tree Plan Proposal

RFP #B26073

CONSULTING SERVICES FOR COMPREHENSIVE PLAN TO REPLACE
DISEASED ASH TREES - DOWNTOWN CENTRAL AVENUE



30 JUNE 2026

June 30, 2026

Purchasing/Finance Office
City of Dover
288 Central Avenue, 2nd Floor
Dover, NH 03820

Re: RFP #B26073 Comprehensive Plan for Diseased Ash Trees

Dear Members of the Selection Committee,

Copley Wolff is pleased to submit our proposal to assist the City of Dover in developing a comprehensive plan to replace dead and declining Ash, Linden, and Pear trees along Central Avenue. We commend the City for taking a proactive approach and recognizing the opportunity to plan for the next generation of street trees. This effort is an investment in the long-term character, resilience, and beauty of the Central Avenue downtown corridor that Dover residents cherish. We understand that this project must build upon the City's existing planning efforts, incorporate public input, and respond directly to the challenges of canopy loss, climate change, and urban infrastructure constraints outlined in the RFP.

Our team brings three key strengths that will benefit the City:

Proven Urban Tree Planning and Implementation Expertise

As a New Hampshire resident and landscape architect, I bring 20 years of experience working with municipalities to plan and implement urban tree canopy projects. My experience spans inventory and assessment, species selection, planting specifications, and phased implementation. I developed street tree planting details used by Philadelphia's Tree Tenders program and created the planting palette for 42 new street trees along Lincoln Street in Exeter. Our firm has also completed tree analyses and canopy plans for major redevelopment projects throughout Boston, including the award-winning Mary Ellen McCormack Tree Preservation Plan, demonstrating how communities can balance growth with environmental stewardship.

Local Knowledge and Direct Dover Experience

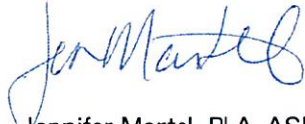
We understand New Hampshire's environmental conditions and regulatory frameworks. My previous work in Dover, including leadership on the early phases of the Cochecho River Waterfront project, provides familiarity with the City's processes and aspirations. Our arborist partner, Bartlett Tree Experts, maintains offices in Portsmouth and serves communities throughout the Seacoast region, including Dover.

Integrated Team Approach

Our team includes Abby Derick, a landscape architect who brings extensive field experience and specialized horticulture training in soil health, plant selection, and long-term tree care. We are also partnering with Andy Balon, certified arborist with Bartlett Tree Experts, to help ensure that species selection, implementation phasing, and long-term management recommendations are grounded in industry best practices. Copley Wolff has successfully collaborated with Andy on urban tree planning and management projects throughout New England for nearly a decade.

Together, our team will deliver a resilient, implementable strategy that enhances urban canopy, addresses climate impacts, and strengthens the downtown public realm. We look forward to the possibility of collaborating with the City of Dover on this important initiative.

Sincerely,



Jennifer Martel, PLA, ASLA
Principal
jmartel@copley-wolff.com
617-654-9000

Table of Contents

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SECTION 2	RELEVANT EXPERIENCE	9
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SECTION 4	PROJECT APPROACH & SCHEDULE	21
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Firm Overview



Firm Overview

LANDSCAPE ARCHITECTURE AND PLANNING



Copley Wolff is a Boston-based landscape architecture studio that believes in the power of designed open spaces to mitigate the effects of climate change, improve public health, support communities, and address racial and social inequity. Working throughout New England, we deliver place-based design rooted in regional materiality, ecology, and culture. From our inception, we have focused on creating memorable civic spaces that resonate deeply with their surroundings and elevate everyday experiences into destinations.

Copley Wolff specializes in placemaking, the integration of art into the landscape, cultural and historic interpretation, environmental education, and community engagement. For each client, we assemble and lead a multidisciplinary team tailored to the project's goals, schedule, and budget. Our work includes numerous award-winning, high-profile civic projects across New England

and the United States, delivering thoughtful, cost-responsive solutions under complex public processes.

The office is comprised of 20 landscape architects, planners, and support staff including USGBC LEED®, SITES, CPSI, IAAP and WEDG-Certified Professionals.

Current List of Projects



Below is a list of current projects that also include Bartlett Tree Experts as the project arborist.

Clarendon Hill Housing Redevelopment
Someville, MA

Mary Ellen McCormack Buildings A, B, and C
South Boston, MA

Bunker Hill Building F
Charlestown, MA

55 Summer Street
Boston, MA

ZOM Residences at South Shore
Braintree, MA

Willow Park Redevelopment
Watertown, MA

7 Hartwell Avenue
Lexington, MA

131 Hartwell Avenue
Lexington, MA

331 Concord
Lexington, MA

250 Everett
Allston, MA

Route 3A Reconstruction
Hingham, MA

Faneuil Gardens Housing
Boston, MA

Bartlett Consulting Experience



Bartlett Tree Experts Experience

The F.A. Bartlett Tree Expert Company was founded in 1907 by Francis A. Bartlett, and today is the world's leading scientific tree and shrub care company. The organization's current chairman, Robert A. Bartlett Jr., represents the third generation of Bartlett family management. Bartlett has offices in 28 U.S. states, Canada, Ireland and Great Britain. Services include pruning, fertilization, pest and disease management, cabling and bracing, soil analysis, tree lightning protection systems, and tree/stump removal. Bartlett conducts its tree and shrub research at three research locations: Charlotte, North Carolina, San Rafael, CA, and Reading, United Kingdom.

Bartlett Consulting Experience

For more than 100 years the F.A. Bartlett Tree Expert Company arborists have been creating and managing tree inventories. That level of experience and expertise has made Bartlett Tree Experts a leader in the arboricultural field. Technological advances over the last few decades have changed the way stakeholders think about the management of their tree assets. It was out of the adoption of these advances by the Bartlett Tree Research Laboratories that the Bartlett Inventory Solutions (BIS) team was born, and today is the team of highly educated and trained Consulting Advisors within Bartlett Consulting that train, advise, and oversee a team of approximately 30 Regional Consulting Arborists that collect, review, and present customized management plans. Regional Consulting Arborists are located throughout the United States, Canada, the United Kingdom, and Ireland to provide clients with the best possible service. The Regional Consulting Arborist team consistently pursues specialized educational opportunities not only to further their arboricultural knowledge but also to ensure they are using the most advanced techniques and technologies possible in the collection of tree inventory data.

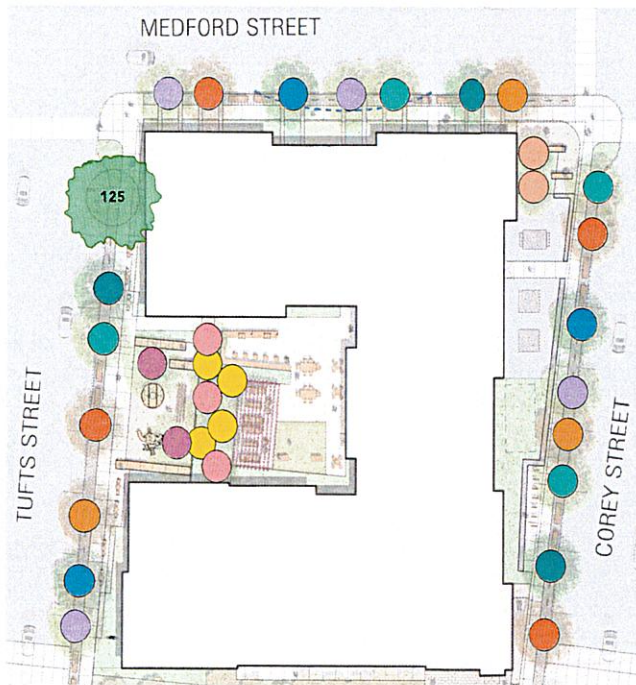
Bartlett Consulting was first established in the United Kingdom in the late 1990s. The team continues to grow to this day and includes the HortScience|Bartlett Consulting office in Pleasanton, CA and the Urban Forestry Services|Bartlett Consulting office in Mount Vernon, WA. We also have individual consultants located throughout the company footprint. Our teams include professionals that have helped lead the arboricultural and horticultural consulting fields for over 30 years. Bartlett Consulting team members provide a wide range of services that include tree risk assessments, tree preservation, construction monitoring, arborist reports, plant selection and plan review, assisting with landscape and urban forest master plans, and the creation of management plans. Bartlett Consulting has expertise and qualifications that are unmatched in the industry. Overall team qualifications include ISA Board Certified Master Arborists, ISA Tree Risk Assessment Qualifications, ISA Certified Arborists and Certified Arborist Municipal Specialists, ASCA Registered Consulting Arborists, ASCA Tree and Plant Appraisal Qualifications, and TCIA Certified Treecare Safety Professionals.

Relevant Experience

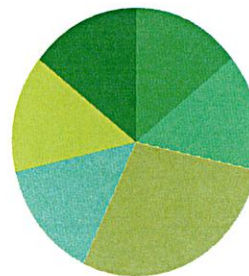


Stellata at Bunker Hill Housing Redevelopment

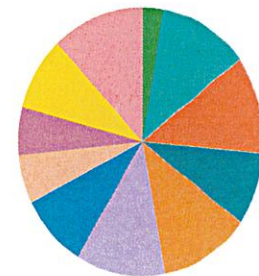
LEGGAT MCCALL PROPERTIES | BOSTON HOUSING AUTHORITY | CHARLESTOWN, MA



EXISTING DIVERSITY
6 different tree species



PROPOSED DIVERSITY
11 different tree species



PROPOSED NEW SPECIES

- | | |
|--------------|----------------|
| AMERICAN ELM | RED MAPLE |
| PIN OAK | SUGAR MAPLE |
| SWEETGUM | EASTERN REDBUD |
| BLACK TUPELO | RIVER BIRCH |
| RED OAK | SERVICEBERRY |

BUILDING M STELLATA: TREE DIVERSITY

STELLATA TREE PLAN

- 6 PRESERVED TREES
- 55 NEW TREES PLANTED

URBAN FOREST MASTER PLAN UPON COMPLETION

- 98 DEAD TREES REMOVED
- 89 PRESERVED
- 500 NEWLY PLANTED

Stellata, the inaugural six-story Building M in the Bunker Hill Housing Redevelopment, provides 102 public housing units and advances Boston's 2030 Housing Plan through a strong emphasis on sustainability and long-term community value.

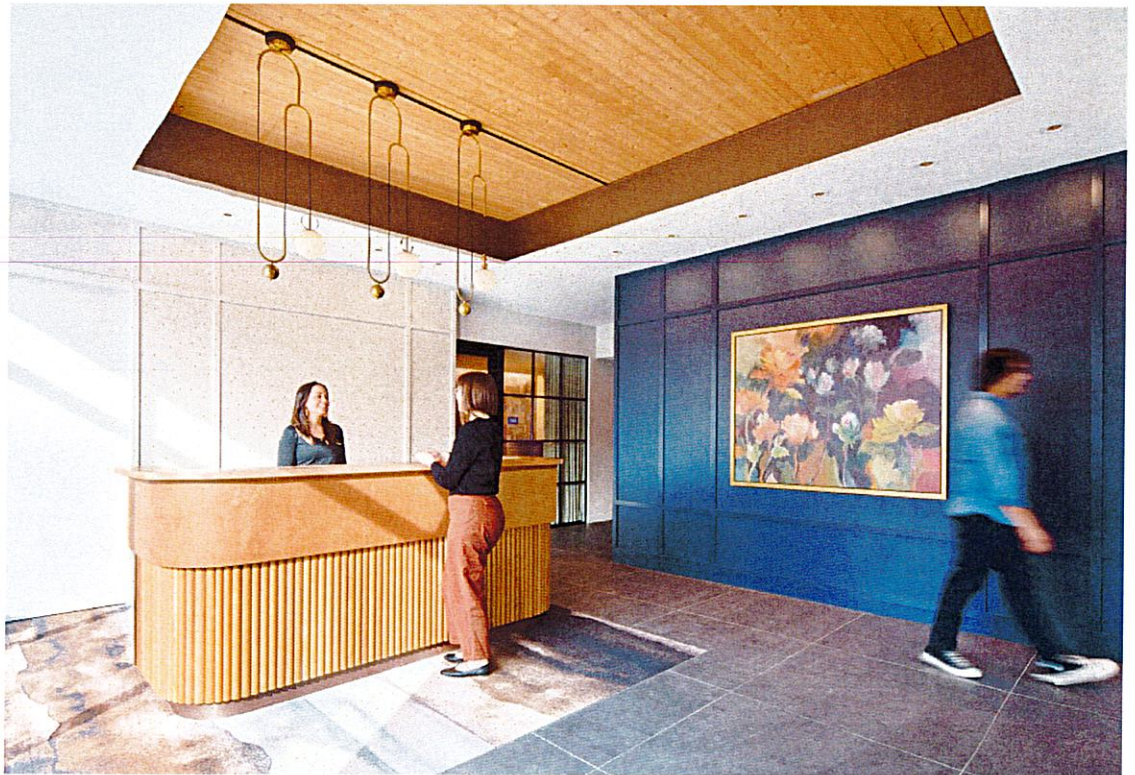
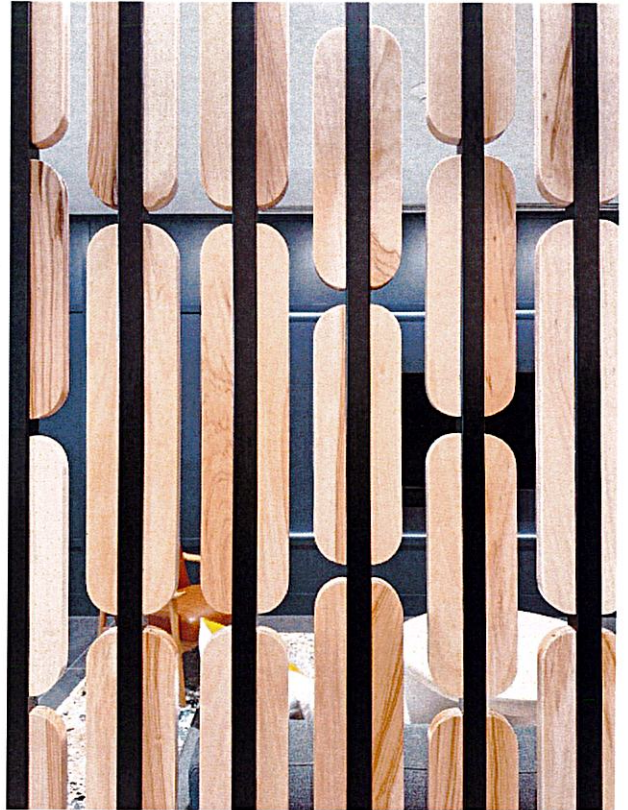
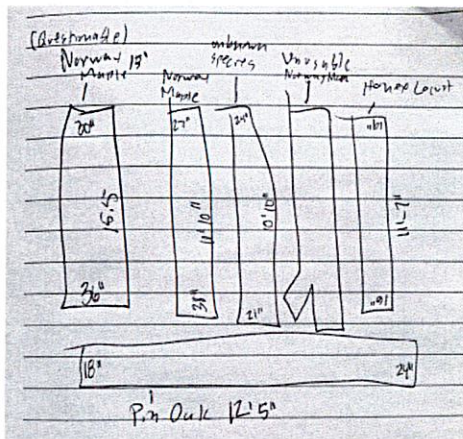
As part of the comprehensive Master Plan for the associated 7 acres of publicly accessible open space within the redevelopment, Copley Wolff worked with Bartlett Tree Experts to document the site's existing urban forest, including species, condition, and size of each tree. The analysis led to revisions in site design to preserve mature trees, while some tree removal was unavoidable.

For these trees, we partnered with Cambium Carbon, a partner specializing in transforming unmanaged trees into sustainable assets. They advised the

team on which trees could be responsibly reused, evaluated species suitability, and estimated the potential board feet recoverable from each tree. Trees identified for reuse were tagged, transported to local sawmills, and milled into reclaimed wood, which was later crafted into furnishings for Stellata's residential lobby and shared community spaces.

In addition to the tree preservation and salvage plans, Copley Wolff developed plans for 55 new street trees, a design that doubled the species diversity in the neighborhood.

The developer, design partners, and sustainability consultants were aligned on the view that these trees still had something to offer. Reclaiming and reusing them allowed the project to tell an inclusive story rooted in place, continuity, and care.



Clarendon Hill Redevelopment

ICON ARCHITECTURE + GATE RESIDENTIAL+ POAH | SOMERVILLE, MA



APPROVED WITH
PLANS TO PLANT
241 TREES

The Clarendon Hill Redevelopment replaces an underutilized 216-unit public housing site with a comprehensive mixed-income community of 561 homes. This project is structured to strengthen the neighborhood community while introducing safer circulation and usable open space.

The landscape plan restructures the site through new perimeter and internal streets. Pedestrian routes and vehicular connections are aligned with surrounding neighborhood patterns. Streetscapes are designed as shared civic spaces, integrating lighting, planting, and furnishings. The open space network links these corridors to residential entries and gathering areas.

Acting as the social core of the development, a 0.4-acre central park combines flexible and structured uses, including lawn areas, seat walls, movable furnishings, alongside a nature-based playground. Community gardens, smaller gathering zones, and planted buffers extend programmatic use across the site. Outdoor amenity areas will feature community gardens, gathering spaces, and landscape elements such as rain gardens, lighting, furnishings, and native plantings.

Building E in Phase 1 opened in November, 2025 and Phase 2 is in progress.



Mary Ellen McCormack Redevelopment

THE ARCHITECTURAL TEAM, WINN DEVELOPMENT | SOUTH BOSTON, MA



AWARD-WINNING TREE PRESERVATION PLANNING

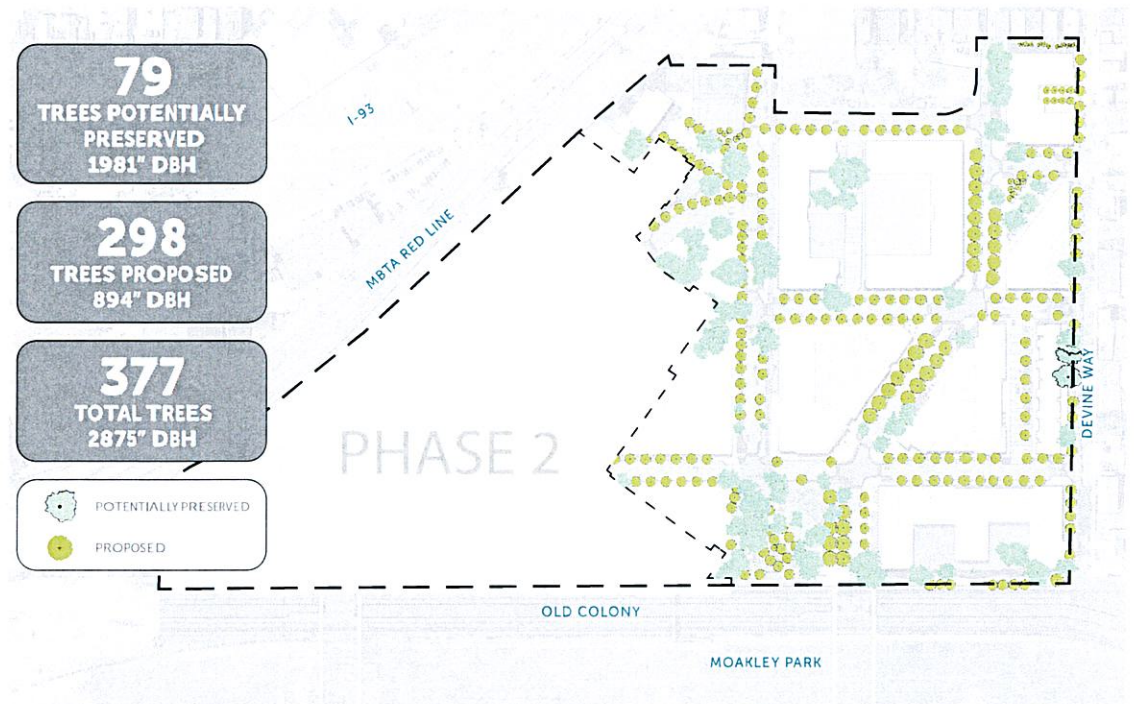
Copley Wolff was selected as part of the design team for the redevelopment of New England's first public housing complex.

During the large-scale, multi-phase revitalization of the historic Mary Ellen McCormack community, the development team prioritized the protection of the 27-acre site's existing natural infrastructure. Copley Wolff established a comprehensive Tree Preservation Plan that integrated a mature, decades-old tree canopy into a redesigned, modern landscape.

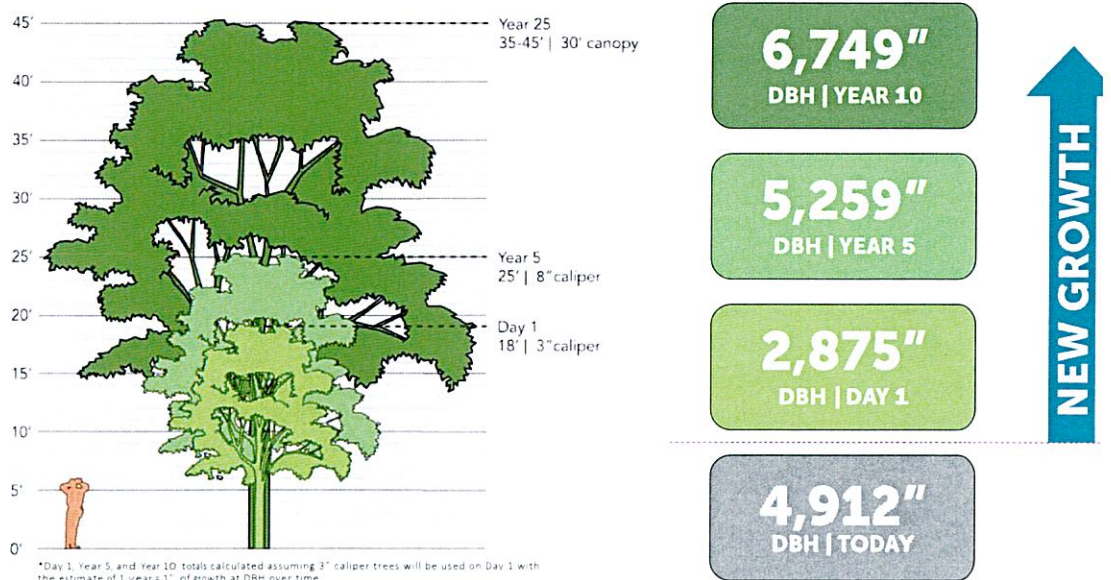
Rather than clearing the site for construction convenience, the team mapped, assessed, and actively protected mature trees, maintaining established ecological benefits. The plan used

the preserved canopy as a foundation to combat the urban heat island effect, strategically placing new plantings to maximize future shade and lower temperatures. Preserved trees were woven directly into the design, creating immediate, high-quality public assets including accessible courtyards, public parks, and pedestrian corridors.

This project earned a Boston Society of Landscape Architects Merit Award for Analysis and Planning for Tree Preservation, demonstrating how municipal planning can balance structural growth with environmental stewardship.



New trees at Mary Ellen McCormack are proposed to support the site's future landscape and to offset the total DBH of trees slated for removal.



Canopy Growth: Within five years, new trees will replace the DBH lost from removals and continue to grow over time.

Project Team





Jennifer Martel ASLA, PLA

PRINCIPAL | SHE, HER, HERS

As a licensed landscape architect with 20+ years of experience, Jennifer is a senior leader at Copley Wolff, where she drives a variety of complex projects, including mixed-use developments, parks, waterfronts, and streetscapes. She works closely with clients, consultants, and design teams to create landscape solutions that address both functionality and the intricate demands of the built environment. Committed to advancing the profession and her community, Jennifer serves as a Trustee of the New Hampshire Chapter of the American Society of Landscape Architects and is a dedicated member of her town's Planning Board.

REGISTRATION

Landscape Architect
New Hampshire
#0155
Maine
#LAR6184
Massachusetts
#4200

EDUCATION

MLA Landscape
Architecture
RISD
BA East Asian Studies
George Washington U

YEARS EXPERIENCE

20 (5 at Copley Wolff)

SELECTED PROJECT EXPERIENCE

Bunker Hill Housing Building 'M' Stellata, Boston, MA

Principal-in-Charge. Managed design development through construction for a 100-unit affordable housing development. Landscape improvements included a fenced tot lot, resident courtyard, dog run, and new tree-lined streetscape. Led preservation planning for nine mature community-valued trees. Completed 2025.

Portland Foreside Waterfront & Enabling, Portland, ME

Principal-in-Charge. Led landscape architectural design for 1,500 LF of waterfront public realm improvements supporting a future mixed-use development along the Eastern Promenade. Improvements included trail widening and realignment, lighting, seating areas, rail crossings, and salvaged stone detailing. Completed 2025.

Lynn Parks, Lynn, MA

Principal-in-Charge. As prime consultant, led master planning, public engagement, and implementation for improvements to three ARPA-funded public parks and playgrounds: Keaney, Kiley, and Gallagher Parks. Oversaw delivery of all projects on schedule and within budget despite significant geotechnical challenges. Completed 2025.

Court Square Public Realm Improvement Project, Springfield, MA

Project Manager. Led the revitalization of a 2.5-acre downtown park and streetscape from master planning through construction. Coordinated with an arborist to evaluate and preserve existing trees and designed the installation of 24 new street trees with integrated stormwater management strategies to support long-term tree health and urban resilience. Completed in 2024.

Cochecho River Waterfront, Dover, NH*

Project Manager. As prime consultant, led master planning, design, and permitting for a 30-acre waterfront redevelopment featuring a 4-acre resilient public park and mixed-use district. Oversaw design and installation of a low-profile rowing dock and New Hampshire's first public ADA-accessible kayak launch. Dock completed 2018; park completed 2026.

Sheehan Basquill Playground, Manchester, NH*

Project Landscape Architect. Led master planning, public engagement, and design for an 8-acre active recreation park. Directed community process to establish goals for ballfields, pool, playground, and splashpad improvements, and managed design and construction of the Phase I playground and splashpad. Completed 2021.

Lincoln Street Reconstruction, Exeter, NH*

Project Landscape Architect. Designed streetscape and pedestrian improvements as part of a roadway reconstruction project in downtown Exeter. Features included a gateway plaza, raised intersection, curb extensions, and green stormwater infrastructure. Developed a diverse street tree planting strategy featuring 42 mixed-species trees. Completed in 2020.

*Completed prior to
joining Copley Wolff



Abigail Derick ASLA, PLA, CPSI

LANDSCAPE ARCHITECT | SHE, HER, HERS

Abby brings experience delivering detailed, community-focused public realm and playground projects from concept design through construction documentation. Drawing on recent work at Gibson Park and the North Point Public Realm, Abby brings strong visualization skills, translating ideas into buildable, engaging spaces that support play, accessibility, and social connection. Her background in horticulture informs nature-rich environments, while her CPSI certification strengthens her understanding of playground safety and child-centered design.

REGISTRATION

Landscape Architect
Maine #LAR6146

Certified Playground
Safety Inspector (CPSI),
#62325-1027

EDUCATION

MLA Landscape
Architecture, UMass

Brooklyn Botanical
Garden Certificate of
Horticulture

BA International
Relations and Slavic
Studies
Connecticut College

YEARS EXPERIENCE

3 (3 at Copley Wolff)

SELECTED PROJECT EXPERIENCE

Gibson Park, Revere, MA

Landscape Architect. 7.4-acre resilient waterfront park that combines active recreation, ecological restoration and climate adaptation. Supported design and documentation including multiple sport courts and playground. Contributed to site analysis, grading and accessibility studies, planting design, and development of resilient public realm features. Prepared illustrative graphics, design drawings, and construction documentation, while coordinating with civil engineers, ecologists, permitting teams, and municipal stakeholders. Phase 1 to be completed in Fall 2026.

North Point Public Realm and Dog Park, Cambridge, MA

Project Manager. Led project coordination, design development, construction documentation, and technical detailing for the public space at Lechmere station. Designed and specified site and dog park equipment, furnishings, planting, lighting, and material palettes, while coordinating closely with subconsultants, vendors and contractors to address complex infrastructure and accessibility requirements. Completed 2026.

Porzio Park and Playground, East Boston, MA

Landscape Architect. Dense mid-size urban waterfront neighborhood park along Boston Harbor that supports high demand for recreation, including sport courts. Focusing on updating outdated infrastructure, expanding recreational and family-friendly uses, enhancing safety and accessibility, increasing greenery and shade, integrating climate resilience. New inclusive playground design will replace mulch with rubber safety surfacing, improve water play, create zones for different age groups, integrate seating, shade and visibility for caregivers. In Progress.

River Valley Charter School and Playground, Newburyport, MA

Landscape Architect. Supported Emily Hunt and Jen Martel in site planning, illustrative design, and circulation studies that responded to complex environmental constraints. Helped develop accessible play and outdoor education spaces. Completed 2026.

McGlynn School Universal Playground, Medford, MA

Landscape Designer. Supported team with community engagement by facilitating school stakeholder meetings, helping gather input to inform accessible and inclusive play opportunities. Contributed to site analysis and existing conditions documentation, evaluating circulation and grading. Assisted with construction administration. Completed 2024.



Andrew Joseph Balon
Bartlett Tree Experts
50 Bear Hill Rd
Waltham MA 02451
401 617 1480
abalon@bartlett.com

EDUCATION: University of Rhode Island

B.S. Environmental Horticulture and Turf Grass Management- May 2008

EXPERIENCE:

2011-Present: Bartlett Tree Experts- Commercial Arborist New England

- Manage commercial accounts throughout New England including college universities, corporate headquarters and municipalities. Responsibilities include direct oversight of job process including: prebid requirements, project management and ensuring client satisfaction.
- Create and manage tree inventory programs
- Create tree protection plans and tree preservation strategies
- Implement long term successional tree planting strategies
- Oversee all aspects of local safety program including onboarding, training and development within company policies.
- Assist in national development for shared clients throughout the USA, Canada, Ireland and the U.K.
- Serve as a liaison for public outreach and recruiting.

2019- 2011 Tranquil Lake Nursery *Rehoboth, MA*

- Installed and created award winning gardens under the horticultural supervision of Warren Leach.
- Developed a high level of plant identification skills and horticultural practices.
- Hand dug/transplanted specimen trees.

AFFILIATIONS:

- International Society of Arboriculture Certified Arborist (ISA) NE- 7015A
- ISA Rhode Island Director December 2020-present
- ISA Tree Risk Assessment Qualified Massachusetts Certified Arborist
- Horticulture Club of Boston Member- 2016-Present



CITY OF DOVER
CONSERVATION COMMISSION

Project Manager and City Staff

PRIME CONSULTANT - LANDSCAPE ARCHITECTURE

Copley Wolff Design Group, Inc.

Jen Martel, PLA, ASLA | Principal in Charge & Project Manager

Abby Derick, PLA, ASLA | Landscape Architect

SUB-CONSULTANT

ARBORIST

Bartlett Tree Experts

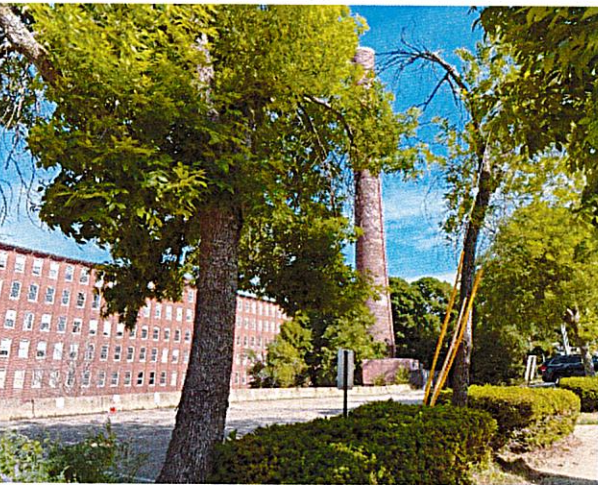
Andrew Balon

Commercial Arborist, New England

Project Approach



Project Approach



STATEMENT OF PROJECT REQUIREMENTS

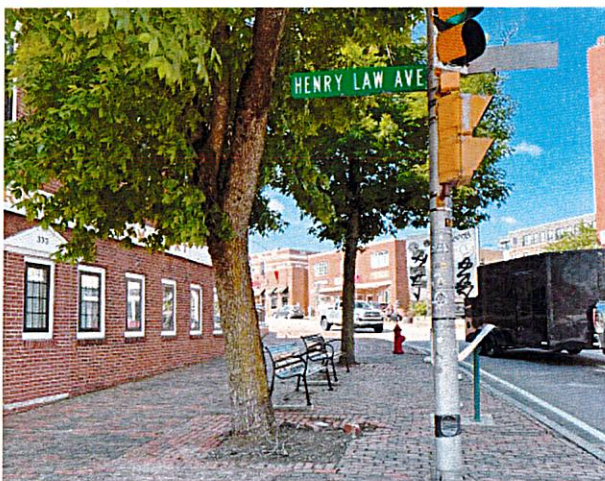
The ash trees that line downtown Dover are a defining feature of Central Avenue and contribute significantly to the character, comfort, and identity of the downtown area. While the Emerald Ash Borer has made long-term preservation increasingly difficult for these trees, their loss presents an opportunity to thoughtfully strengthen Dover’s urban forest for future generations.

We commend the City of Dover and the Conservation Commission for taking a proactive approach that considers not only the logistics of tree replacement, but also the environmental, aesthetic, and social impacts of canopy loss. These mature trees provide valuable ecosystem services, including shade, stormwater management, air quality improvement, habitat, carbon sequestration, and enhanced pedestrian comfort.

Importantly, this project builds upon a strong foundation of previous planning efforts. Through initiatives such as the Urban Street Tree Plan for the Central Business District, the City has already invested significant effort in understanding the role of its urban forest. Our team will leverage these resources to align the replacement strategy with Dover’s broader resilience and downtown revitalization goals.

Another project consideration is the stewardship of lumber from the removed ash trees. Ash is a valuable hardwood commonly used for furniture and architectural woodworking, and repurposing some of the material into public art, civic furnishings, or other community amenities could create a meaningful connection to the existing downtown canopy. Copley Wolff has helped clients successfully salvage and reuse urban lumber on several projects, including the Stellata development at Bunker Hill Housing, where downed trees were transformed into a reception desk, community dining table, decorative screen wall, and commemorative plaques.

While the immediate challenge is the replacement of approximately 80 ash trees, we believe this effort represents the next phase of Dover’s long-term urban canopy strategy. Working collaboratively with City staff and stakeholders, Copley Wolff and Bartlett Tree Experts will develop a practical and implementable comprehensive plan that increases species diversity, improves climate resilience, manages stormwater, and preserves the character and vitality of downtown Dover.



SCOPE OF SERVICES

Task One: Existing Conditions and Document Review

Copley Wolff and Bartlett Tree Experts will review available plans, studies, inventories, and background information relevant to downtown Dover's urban forest, including previously completed canopy, resilience, and streetscape planning efforts such as the CBD Street Tree Plan and Canopy Cover Analysis. The team will meet with City staff members of the Conservation Commission and Forestry Management work group to confirm project goals, opportunities, and constraints.

Task Two: Arborist Assessment and Species Recommendations

Bartlett Tree Experts will evaluate existing environmental conditions and develop recommendations for a diverse palette of tree species suitable for downtown Dover. Recommendations will prioritize biodiversity, climate resilience, pest and disease resistance, and long-term adaptability.

The assessment will also identify opportunities to improve planting conditions where feasible. Recommendations regarding soil volume, tree pit configuration, or other planting environment considerations will be provided at a planning level. Detailed design of planting infrastructure improvements may be undertaken as a future phase of work, if desired.

Task Three: Downtown Tree Replacement Plan

Using the recommended species palette, Copley Wolff will evaluate individual planting locations and prepare a street tree replacement plan for Central Avenue. The street tree replacement plan will consider site-specific constraints and opportunities, including utilities, overhead wires, building proximity, sidewalk conditions, available growing space, and long-term canopy development. Species recommendations will be tailored to the unique conditions of each location to promote long-term success and urban forest diversity.

Task Four: Phasing Strategy

Copley Wolff will develop a phased implementation strategy for tree removal and replacement. The phasing plan will consider tree condition, available funding, coordination with other infrastructure projects, and operational considerations identified by City staff, and will address the City's plans for lumber salvage.



Task Five: Comprehensive Plan Document

The final deliverable will be a public-facing comprehensive plan prepared collaboratively by Copley Wolff, Bartlett Tree Experts, and City Staff. The document will summarize existing conditions, species recommendations, replacement strategies, and phasing recommendations and provide a framework for implementation beginning with the 2027 planting season. It will also provide long-term management strategies.

The scope assumes incorporation of available public input and previous community engagement efforts. Additional public outreach, stakeholder workshops, detailed planting design, construction documentation, or implementation services can be provided under a separate scope if desired by the City.



l to completing the project
re site analysis, planning,
ication with City staff.

References



References

BUNKER HILL REDEVELOPMENT

BUILDING M, STELLATA

Megan Pasquina
Vice President
Leggat McCall Properties
10 Post Office Square
Boston, MA 02109
617-422-7000
megan.pasquina@lmp.com

MARY ELLEN MCCORMACK

Drew Colbert
WinnCompanies
One Washington Mall, Suite 500
Boston, MA 02108
617-742-4500
acolbert@winnco.com

CLARENDON HILL

Cory Mian
Senior Vice President
Preservation of Affordable Housing
40 Court Street, Suite 700
Boston, MA 02108
617-261-9898
cmian@poah.org

Fee Proposal



Fee Proposal

Total	
Copley Wolff Assessment	\$3,700
Bartlett Tree Assessment	\$3,000
Comprehensive Plan	\$8,730
	\$ 15,430

Required Forms



ADDENDA ACKNOWLEDGEMENT FORM
Submit with Bid

DDER acknowledges receipt of the following addenda (as applicable):

Idendum No. 1 Dated 6/24/2026

Idendum No. 2 Dated 6/24/2026

Idendum No. 3 Dated _____

Idendum No. 4 Dated _____


Idendum No. 5 Dated _____

Copley Wolff Design Group, Inc.


(Name of Bidder)

By: Jennifer Martel

Title: Principal

 CITY OF DOVER	REQUEST FOR PROPOSAL	
	Request Type: Proposal	Number: B26073
	Title: Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue	
	Date: May 18, 2026	

CONTACT INFORMATION: Proposer must complete the following: By signing this proposal form you are attesting to your awareness and agreement with proposal terms and conditions. I certify that I am authorized to sign this form for the Proposer.

Official Entity Name	Copley Wolff Design Group	FOB Information:	Dover NH
Address:	234 Congress Street, 3rd Floor		
City, State, Zip	Boston, MA 02110		
Email address:	aarbaugh@copley-wolff.com	State of Incorporation	Massachusetts
Date:	May 26, 2026	SSN or EIN:	04-3340272
Telephone #:	617-654-9000	Fax #:	
Signature:		Title:	Principal

We, the undersigned have declined to submit a proposal for:

- Insufficient time to respond
- We do not offer this product or service
- Our schedule would not permit us to perform
- Unable to meet specifications
- Unable to meet bond requirements
- Unable to meet insurance requirements
- Specifications too stringent (explain below)
- Other

_____ **NO PROPOSAL**



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/03/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).


PRODUCER Brown & Brown Insurance Services, Inc. 107 Audubon Rd Wakefield MA 01880	CONTACT NAME: Ranell Ivy PHONE (A/C, No, Ext): (781) 245-5400 E-MAIL ADDRESS: Ranell.Ivy@bbrown.com FAX (A/C, No): (781) 245-5463																					
INSURED Copley Wolff Design Group, Inc. 234 CONGRESS ST FL 3 BOSTON MA 02110	<table border="1"> <tr> <th colspan="2">INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A:</td> <td>Valley Forge Insurance Company</td> <td>20508</td> </tr> <tr> <td>INSURER B:</td> <td>Continental Casualty Company</td> <td>20443</td> </tr> <tr> <td>INSURER C:</td> <td>XL Specialty Insurance Company</td> <td>37885</td> </tr> <tr> <td>INSURER D:</td> <td></td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE		NAIC #	INSURER A:	Valley Forge Insurance Company	20508	INSURER B:	Continental Casualty Company	20443	INSURER C:	XL Specialty Insurance Company	37885	INSURER D:			INSURER E:			INSURER F:		
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INSURER D:																						
INSURER E:																						
INSURER F:																						

COVERAGES **CERTIFICATE NUMBER:** 25-26 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:			6021656185	11/02/2025	11/02/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY			6021656185	11/02/2025	11/02/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 10,000			6021656199	11/02/2025	11/02/2026	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	6021487401	11/02/2025	11/02/2026	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	Arch/Eng Prof Liability incl Pollution			DPR5050161	11/02/2025	11/02/2026	Per Claim 5,000,000 Aggregate 5,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
For Proposal Use

CERTIFICATE HOLDER Copley Wolff Design Group Inc. 10 Post Office Square Ste. 1315 Boston MA 02109	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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Local Office
3 Industrial Drive, Suite A
Shrewsbury, MA 01545
959.888.1019

June 30, 2026

Kathleen Cragin
Purchasing Agent
City of Dover, NH

**RE: B26073 - Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees
Downtown Central Avenue**

Dear Ms. Cragin,

I am writing to submit our proposal for Dover's Comprehensive Plan to Replace Diseased Ash Trees. Trees are part of everyday life in Dover, NH. The city's urban forest creates a sense of place and supplies real benefits to those who live, work, or recreate in an area surrounded by trees. Trees along streets, in parks, around playgrounds, and in backyards provide shade and beauty and enhance people's quality of life by bringing natural elements and wildlife habitats into urban settings. Trees also moderate temperatures, reduce air pollution and energy use, improve water quality, and promote human health and well-being. With our deep understanding of the importance of public trees, our team is excited about the opportunity to collaborate with you to rejuvenate Dover's downtown public tree canopy and build a vibrant resource for generations to come.

Davey Resource Group, Inc. (DRG) understands the benefits trees bring, and we also realize the challenges that come with managing public trees. Our parent company, The Davey Tree Expert Company, was founded in 1880 to train tree surgeons - predecessors to the modern-day arborists. Through the years, our company has developed numerous tree care and maintenance protocols, standards, and best practices, collaborating with the American National Standards Institute (ANSI), the International Society of Arboriculture (ISA), and other leaders in arboriculture and safety. Our world-leading research and development department, the Davey Institute, is staffed with scientists and technical advisors to guide our field service teams in diagnosing and prescribing the best approaches to tree maintenance and care. Fundamentally, our tree knowledge is rooted in direct science and research, differentiating us from our competitors and ensuring our clients receive the best advice to manage and maintain their trees.

The team we propose to manage this project has the knowledge, experience, and availability to meet your goals and help you with the next steps. They understand how to help you meet your specific program needs while spending grant funds wisely. We believe that our expertise in urban forestry management and our commitment to sustainability make us an ideal partner for Dover in this important endeavor.

Thank you for considering DRG, and we look forward to talking with you about the next steps.

Sincerely,

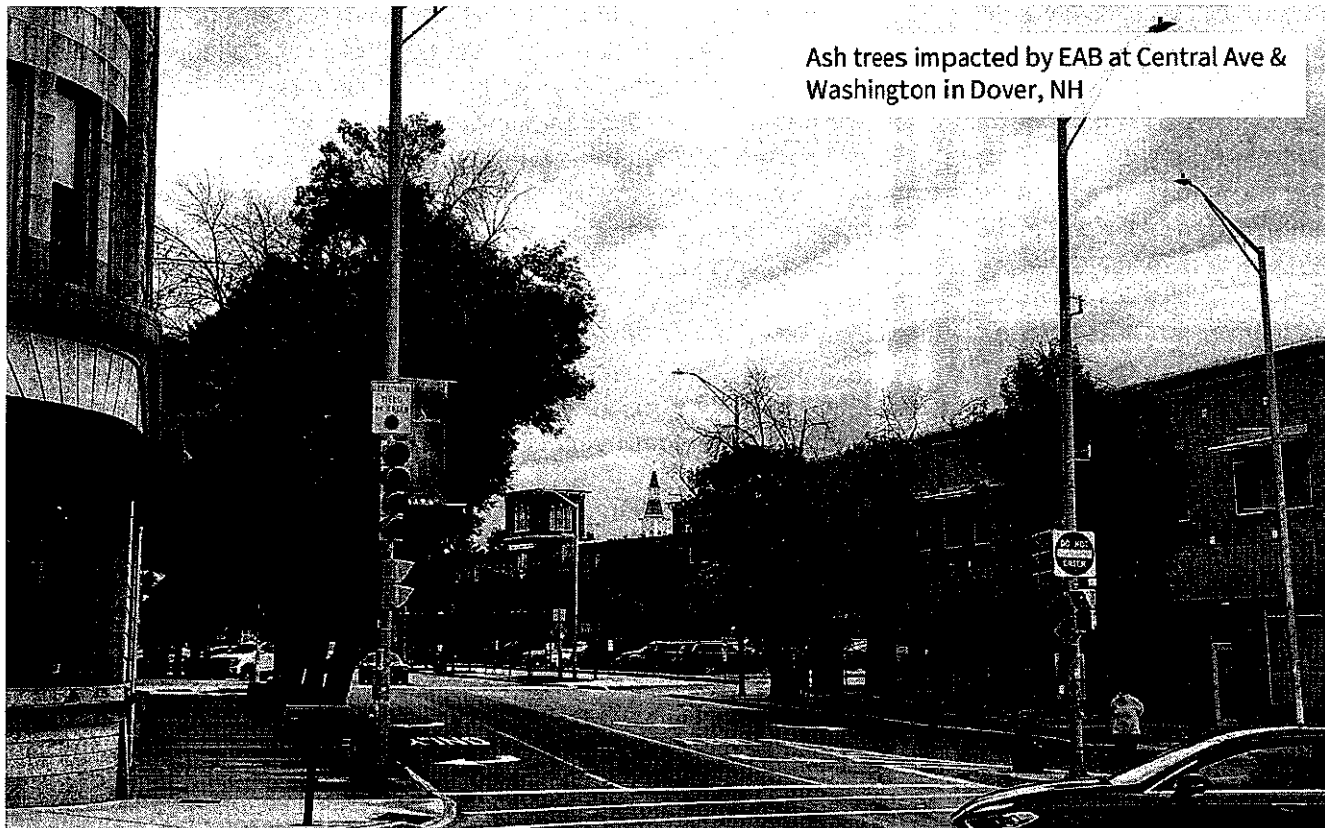
Moriah Day | Project Manager
Davey Resource Group, Inc.
ISA Certified Arborist NE-7281A
959.888.1019
Moriah.Day@Davey.com

STATEMENT OF PROJECT REQUIREMENTS

DRG and our project partner, Kyle Zick Landscape Architecture, Inc. (KZLA) have developed the following understanding of this project based on the information available within the Request for Proposal and associated documentation and topics discussed during the mandatory pre-bid site walk on June 18th, 2026.

Dover, New Hampshire, like many northeastern USA communities, has a long history of urban forestry and the challenges that come with managing public trees. Downtown Dover is planted with a narrow range of tree species and is dominated by ash trees, which were commonly planted as a replacement for elms killed by Dutch elm disease, which in turn had been planted as a replacement for American chestnuts killed by chestnut blight. Unfortunately, ash trees are now in decline due to their own specialized invasive pest - emerald ash borer. Recognizing the importance of the numerous benefits public trees provide in this era of warming temperatures, air and noise pollution, and declining physical and mental health, Dover aims to revitalize the canopy of their downtown area by replacing dying ash and other less desirable or less suitable trees with a wider palette of hardy and beneficial species.

This effort is not without challenges. Growing conditions in downtown Dover are not ideal for many trees. Restricted root space within sidewalk tree pits, poor urban soils, radiant heat from surrounding buildings and hardscape, and salt use during winter all contribute to a difficult growing environment. Dover desires to not only consider these restrictions, but also create unique and aesthetically appealing streetscapes with their planting design. Locations like Waldon Court need particular care in planning to address the community desire for shade combined with space restrictions. For other locations, such as Central Ave between First and Second Streets, Dover desires a spreading arch effect of interconnected tree limbs over a wide street. These challenges and desires necessitate a thoughtful design plan to ensure that this replanting effort will yield the maximum benefits for future generations of Dover citizens.



SCOPE OF SERVICES

Task 1: Project Kick-Off & Meetings

DRG and KZLA will conduct a virtual kick-off meeting after contracting is complete. This meeting is an opportunity to ensure all project partners are aligned on the scope and goals of the project and to discuss any necessary logistics related to the project tasks. We anticipate this kick-off lasting not more than one (1) hour, and can accommodate any preferred video conferencing platform that Dover may have. In addition to the kick-off meeting, we anticipate holding monthly meetings between the project partners to track progress, ask relevant questions, review sections of the comprehensive plan, and discuss public engagement results. The monthly meetings will also be held virtually on a mutually-agreed-upon platform, and will last approximately one (1) hour each. We anticipate there will be up to five (5) meetings during the course of the project, between July 2026 and November 2026.

Task 2: Landscape Architect Assessment

A New Hampshire-licensed landscape architect (LA) from Kyle Zick Landscape Architecture, Inc. will conduct a site visit of the area of interest in Dover, NH. During the visit, the LA will make observations on tree locations, tree pit structure and siting, and the surrounding built environment to guide the development of the comprehensive plan. If desired, the LA can meet with representatives from Dover's Conservation Commission and/or Forestry Management work group during this on-site evaluation to develop a greater understanding of the challenges facing Dover's urban landscape and the design elements which are considered a priority for the city and its residents. The LA may request additional information from the city, including geolocated tree sites and copies of any city guiding documents such as a Complete Streets Plan which dictate specific design considerations. This on-site visit is anticipated to take no more than one (1) day to complete.

Task 3: Arborist Assessment

A certified arborist from Davey Resource Group, Inc. will conduct a site visit of the area of interest (AOI) in Dover, NH. Guided by the existing city tree inventory, the arborist will visit the trees within the AOI and note any important information not already contained in the city's inventory to help guide later design and planning decisions. If desired, this assessment can be scheduled for the same day as the LA assessment and can include meeting with city representatives, as needed, to discuss the project and provide a broader understanding of Dover's needs and desires with regards to downtown tree canopy. This on-site visit is anticipated to take no more than one (1) day to complete.

Task 4: Comprehensive Plan

DRG and KZLA will collaborate with Dover's project team to develop a comprehensive plan for tree removals and replacements in the downtown AOI over the next two (2) years (2027-2028). The plan will be primarily narrative with minimal but impactful design drawings, maps, and other technical diagrams. Maps and other geolocated data will be provided within the plan's text and as standalone shapefiles for use in the city's Arc Pro program. Where possible, photographs from Dover and other sources will be used to illustrate concepts discussed in the plan. The audience of the plan is intended to be primarily the forestry management working group within Dover, with a secondary audience of the public. Our understanding is that Dover does not have technically trained arborists on staff, so the plan will be written to be broadly understandable by a wide audience with a range of knowledge about trees and urban tree management. The comprehensive plan will include the following sections:

- **Executive Summary**
 - A brief summary of the plan's key points
- **Introduction**
 - Provides context for the project and lays out project goals and objectives
- **State of the Urban Forest**

- Reviews the tree inventory and describes current trends in species and genera distribution, approximate tree age structure, condition, and other project-relevant information.
- **Community Feedback**
 - Summarizes the feedback gathered from community outreach surrounding the project. Please note that all community feedback must be gathered by the City of Dover and provided to DRG for inclusion in the plan. DRG and KZLA will not conduct any independent community engagement or outreach activities as part of the project.
- **Tree Removal & Replacement Plan**
 - Using the information derived from site visits and discussions with the Dover project team, we will develop a two-year (2-year) tree removal and replacement plan for the AOI. The plan will include activities such as tree removal, stump removal, tree planting, and follow-up tree care and will suggest appropriate tree species for planting in various locations within the AOI. DRG will create an editable spreadsheet laying out the tasks to complete each planting season and estimating the costs associated with the project based on contractor pricing.
- **Appendices**
 - **Best Management Practices**
 - DRG will include best management practices (BMPs) for the following topics:
 - Tree Species Selection (Diversity, Suitability for Site Conditions, Benefits, Climate Resiliency, Etc.)
 - Tree Planting
 - Follow-Up Tree Care (Watering, Staking, Young Tree Pruning, & Mulching)
 - Soil Management & Amendment
 - Mature Tree Maintenance (Pruning, Removal, Replacement)
 - **Tree Species List**
 - A list of appropriate species for planting in Dover in a variety of contexts, with consideration given to light requirements, salt tolerance, urban soil tolerance, heat tolerance, and native status.

We will provide a draft of the comprehensive plan in MS Word format when it is approximately 80% complete for review by Dover and their partners. Once feedback has been provided, we will finalize the plan and provide a final draft in pdf format.

Excluded from Scope

To maximize the effective use of Dover's planning budget, DRG and KZLA will not provide or perform the following services unless an extension of the contract is granted:

- Attend any public outreach events nor create custom print or virtual materials for any public events
- Attend meetings in-person aside from meeting with the project team on-site during Tasks 2 & 3
- Provide more than one (1) full draft of the comprehensive plan for review before the final draft is submitted

Client Expectations

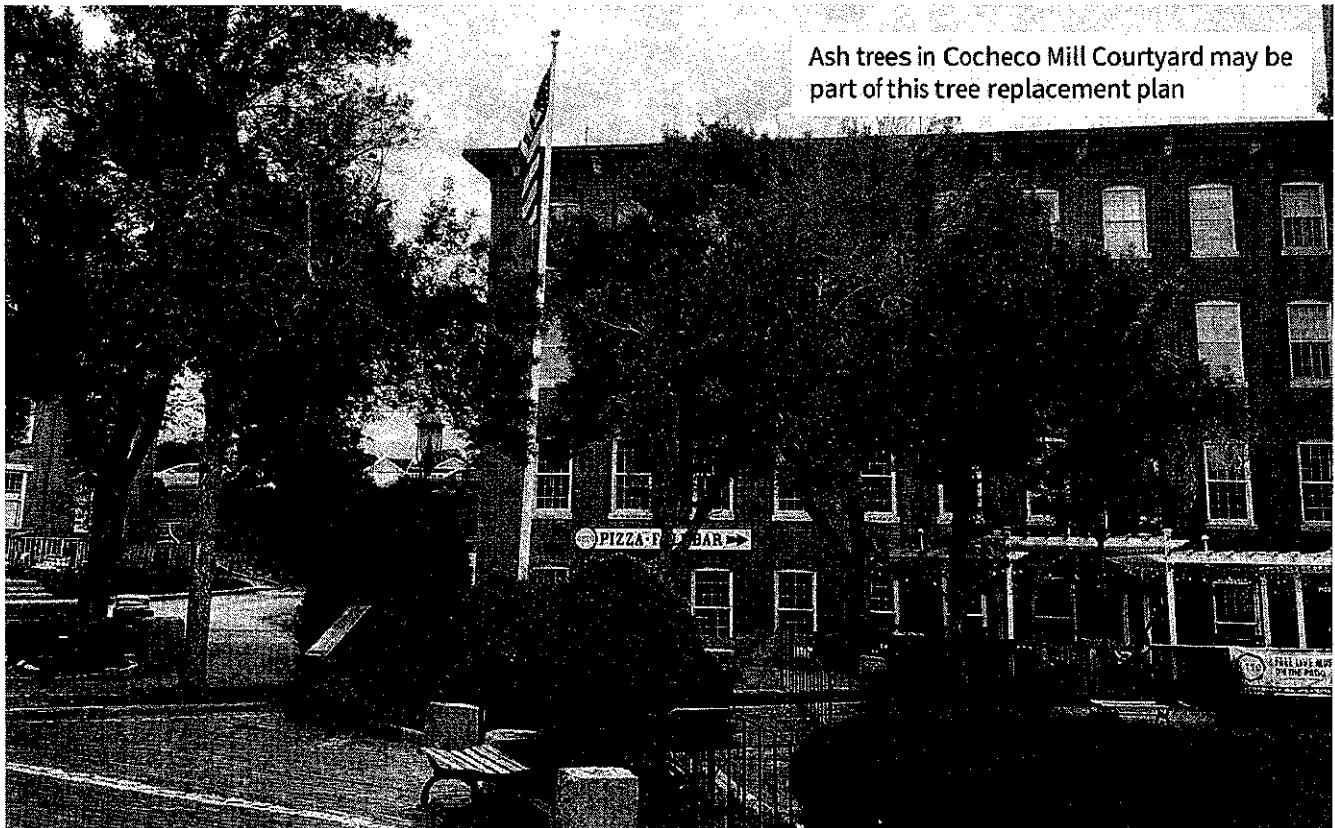
DRG and KZLA will request Dover provide the following:

- Area of Interest boundary in shapefile or similar format
- Tree inventory data in shapefile and/or Excel or similar format
- Public engagement feedback in written format (MS Word or similar)
- Tree species lists for planting in Dover (if available)
- Comprehensive plan feedback, compiled into a single document, in MS Word or similar format

Timeline

The following is the anticipated timeline for completing this project. If weather, contracting, or other factors result in delays, we will coordinate with Dover to revise the timeline.

Task	Month (2026)					
	June	July	Aug	Sept	Oct	Nov
Bids Due	█					
Contracting		█				
Kick-Off Meeting		█				
Monthly Meetings		█	█	█	█	█
Landscape Architect Assessment		█	█			
Arborist Assessment		█	█			
Draft 1 of Comprehensive Plan				█	█	
Final Draft of Comprehensive Plan					█	█



FIRM PROFILES

Davey Resource Group, Inc. | Prime

Davey Resource Group Inc.'s (DRG) parent company, The Davey Tree Expert Company, was founded in Kent, Ohio in 1880. Employee-owned since 1979, The Davey Tree Expert Company is one of the 10 largest employee-owned firms in the U.S with over 10,500 employees. Over the course of Davey's 140+ year history, the company has become a nationally recognized leader in innovation, research, and development of creative solutions for our clients.

DRG, Inc. is a wholly owned subsidiary of The Davey Tree Expert Company, and was launched in 1992. DRG provides a variety of urban and community forestry as well as environmental and ecological consulting and contracting services to a broad spectrum of clientele. Over the past 30 years, DRG has developed a national footprint with 24 regional offices, and has become a trusted consultant and partner to our clients. We are fully staffed with engineers, professional urban foresters, ISA Certified Arborists, ecologists, scientists and technicians specializing in arboriculture and urban forestry, environmental planning, botany, forestry, wetlands science, hydrology/soils, zoology, and all aspects of computer science. Our company was founded on the principle that nature and the built environment can co-exist for the benefit of people, their communities and our planet.

We are able to draw from a pool of knowledge and a depth of resources that have been built over the course of more than 140 years. We have worked throughout the US, Canada and the UK serving as a strong partner to a wide variety of clients including Federal, State and local governments, architecture and engineering firms, non-profits, parks, commercial complexes, and utilities. Through our robust team of experts, DRG can be counted on to be a reliable and capable partner.

The following is a list of current projects underway for the urban forestry team in DRG's northeast office:

- Chelmsford, MA Tree & Invasive Species Inventory & Management Plan
- Mt. Auburn Cemetery Tree Assessment
- Fall River, MA Environmental Justice Area Tree Inventory Update
- Lexington, MA Urban Forestry Master Plan

Kyle Zick Landscape Architecture, Inc. | Sub-Contractor

Kyle Zick Landscape Architecture, Inc. is an eight-person landscape architecture firm based in Boston, Massachusetts. KZLA was established in 2010 to provide high-quality design with personal service. Kyle Zick, the firm's founder, has over 30 years of experience designing historic sites, campuses, streetscapes, parks, play areas, museums, and ecologically-sensitive areas.

KZLA brings passion, thoughtfulness, collaborative spirit, and attention to detail to each project, be it a feasibility study, a master plan, construction documents, or construction administration. Design solutions are unique to each project, typically inspired by the site and its context. The contextual design solutions transcend the earliest concepts and extend into the construction detailing. KZLA enjoys the pursuit of creative design ideas and solutions while engaging with a client in a collaborative process.

The following is a list of current projects underway for KZLA:

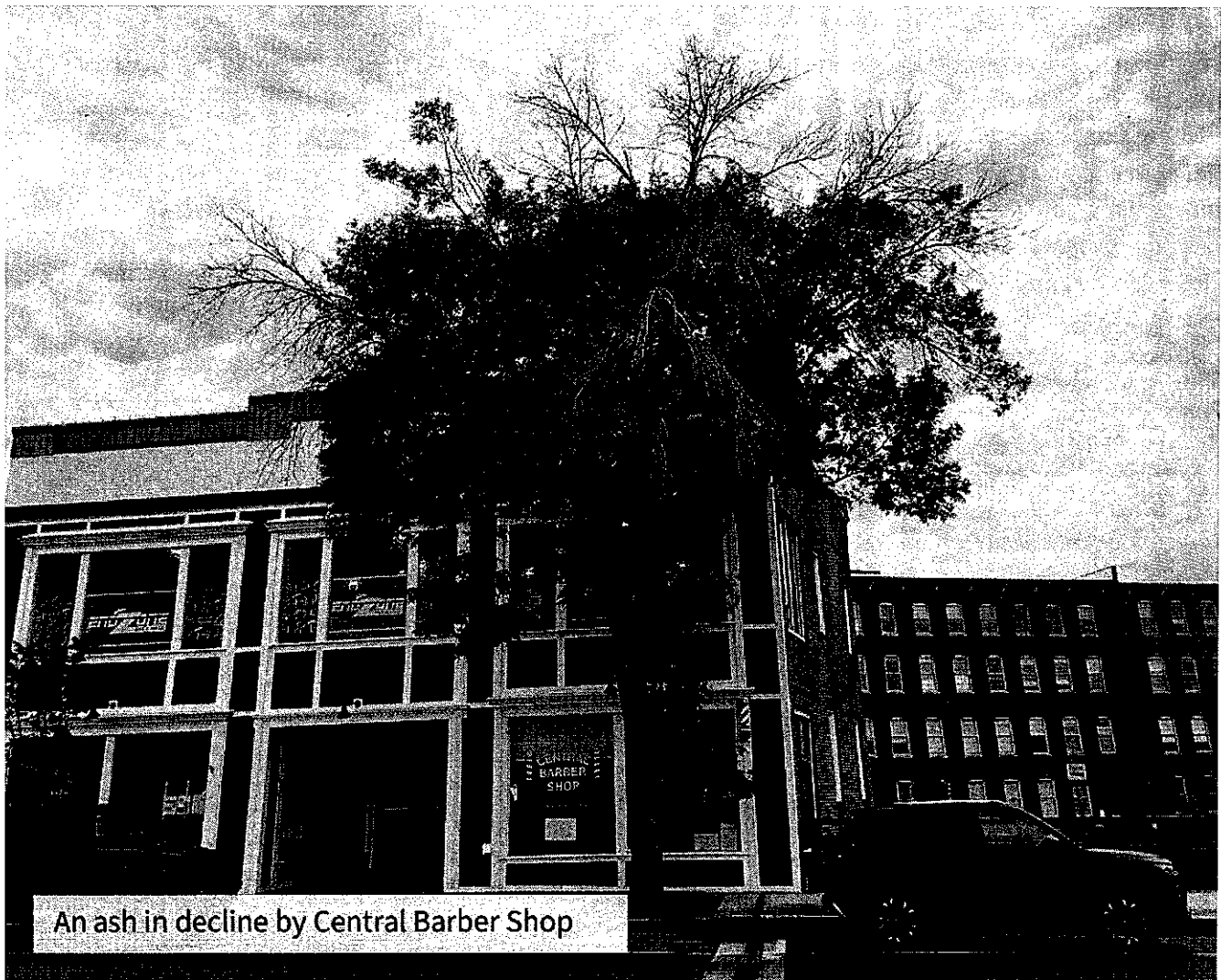
- DCR Parkway Tree Inventory and Master Plan
- Emerald Necklace Management Plan
- Improvements to Back Bay Fens Park
- Dartmouth College New Residence Hall
- Dartmouth College Riverfront Park
- Academy Building Renovation, Phillips Exeter Academy

TEAM RESUMES

DRG and KZLA's staff members are the most qualified and credentialed in the industry and possess extensive industry knowledge and experience. This knowledge and experience includes industry standards, best management practices (BMPs), urban forestry, and the municipal work environment. The staff listed in this section have been identified as an ideal solution for your project, but due to timing or other assignments, we may elect to substitute staff or equal expertise if needed.

Organizational Structure

- **Project Manager:** Moriah Day, DRG
 - Moriah will act as the Project Manager for this effort under the prime bidder (DRG). Moriah will also act as the team's certified arborist and primary plan writer.
- **Lead Landscape Architect:** Kyle Zick, KZLA
 - Kyle Zick is the principal and founder of KZLA, a subconsultant to DRG for this effort. He will act as the project's NH-licensed landscape architect.
- **Landscape Architect:** Emily Kelly, KZLA
 - Emily Kelly is a New Hampshire-based LA with KZLA. She will collaborate with Kyle on this project and will act as a secondary writer for the comprehensive plan.



Moriah Day

Project Manager

A project manager with Davey Resource Group, Inc. (DRG), Moriah Day oversees the Massachusetts office's urban forestry initiatives, leading a team of arborists and coordinating tree inventory and management projects for public and private clients. In a consulting arborist role, she advises municipalities on tree selection, planting, maintenance, and urban forestry best management practices. Moriah has demonstrated specialized knowledge and robust expertise in tree risk assessment by becoming Tree Risk Assessment Qualified, an ISA Certified Arborist, a Massachusetts Certified Arborist, and a Massachusetts pesticide applicator.

Previously, Moriah served as an inventory arborist for the Asian longhorned beetle ground survey project before transitioning to the northeast urban forestry team. Promoted to site manager in 2020, she led field operations and ensured data quality for urban forestry projects.

In her current role as project manager, Moriah collaborates with various clients and urban forestry programs. Notable projects include conducting a comprehensive tree inventory for Worcester's urban forest master plan and assisting communities like Holyoke, Haverhill, and Fall River in securing funding through the Inflation Reduction Act grant. Moriah expertly guides the City of Fall River on planting strategies, tree species selection, volunteer training, and overseeing extensive planting initiatives. She also conducts tree risk assessments for municipalities such as Concord, Sudbury, and Fall River, adhering to ANSI and ISA guidelines.

Notable Project Experience

- City of Worcester, MA | Urban Forest Master Plan | Project Manager
- Town of Concord, MA | On-Call Tree Risk Assessments | Tree Risk Assessor
- City of Somerville, MA | Tree Inventory | Inventory Arborist
- City of Fall River, MA | Tree Planting Oversight | Project Manager
- Emerald Necklace Conservancy | Park Inventory and Tree Tagging | Inventory Arborist
- Town of Westford, MA | Tree and Invasive Species Inventory and Management Plan | Project Manager

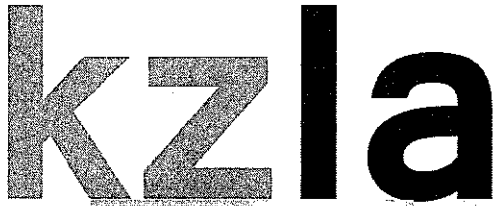


Education

- M.S., Geographic Information Science, Clark University
- B.S., Environmental Science, Clark University

Credentials

- International Society of Arboriculture (ISA) Certified Arborist, NE-7281A
- ISA Tree Risk Assessment Qualification (TRAQ)
- Certified Arborist, 2624, Massachusetts Arborists Association
- Massachusetts Qualified Tree Warden, 1202
- Certified Massachusetts Pesticide Applicator, AL-0050459, Massachusetts Department of Agricultural Resources
- Adult First Aid/CPR/AED, American Red Cross



KYLE S. ZICK, ASLA

Principal

Kyle Zick has been practicing landscape architecture for more than 30 years, with expertise in design for historic sites, passive parks, trails, ecologically sensitive sites, and recreational facilities.

Contributed to the planning, analysis, and management of large-scale urban forestry and public open space initiatives throughout the Boston metropolitan region. Supported multidisciplinary teams in developing data-driven strategies to improve urban forest health, climate resilience, ecological performance, and public space usability.

For the Town of Brookline Urban Forest Climate Resiliency Master Plan, participated in a comprehensive assessment of public and private tree resources to help the Town prepare for and mitigate climate change impacts. Conducted existing conditions analysis, GIS-based tree inventory updates, canopy coverage evaluations using LiDAR data, and soil assessments. Assisted in developing equitable tree planting strategies, species diversification recommendations, and geographically targeted interventions for streets, parks, and public spaces. Contributed to urban forest management recommendations addressing maintenance, succession planning, infrastructure coordination, budgeting, and long-term stewardship.

Supported the Massachusetts Department of Conservation and Recreation (DCR) Parkway Tree Inventory and Management Plan, which evaluated tree assets across eleven metropolitan parkways. Assisted with GIS-based inventories, risk assessments, and documentation of diverse landscape conditions ranging from formal parkways to woodland corridors. Analyzed tree health and canopy conditions to inform recommendations for tree care, planting priorities, ecological enhancement, maintenance programs, cost estimates, and phased implementation strategies.

Contributed to the Emerald Necklace Tree Inventory and Management Plan, a major effort to improve urban forest health and preserve the historic landscape vision of Frederick Law Olmsted. Conducted field assessments, GIS mapping, vegetation documentation, and historical research to support comprehensive management recommendations. Helped evaluate tree conditions, plant communities, soil systems, erosion concerns, and user impacts while balancing historic preservation with contemporary ecological and recreational needs.

Participated in planning efforts for the Southwest Corridor Park

Education:

Purdue University, B.S. in Landscape Architecture, 1993

Heriot Watt University, Edinburgh College of Art, 1990-1991

Registration:

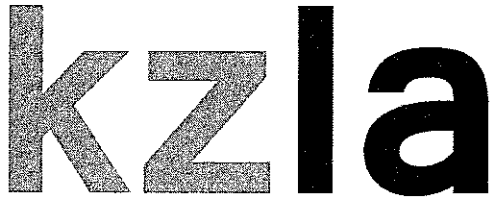
Massachusetts #1163
Connecticut #1232
Maine #4747
New Hampshire #108
New York #002262
Rhode Island #468
Vermont #125.0133723
CLARB Registration #38640

Affiliations:

Member ASLA, American Society of Landscape Architecture

Board member:

Friends of Fairsted, non-profit partner of Frederick Law Olmsted National Historic Site (2014-2023)



KYLE S. ZICK, ASLA

(Continued)

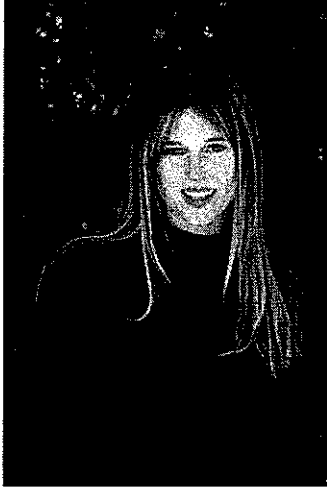
Action Plan, a four-mile urban greenway connecting multiple Boston neighborhoods and transit stations. Assisted in developing strategies to guide future park improvements focused on climate resilience, accessibility, recreation, infrastructure renewal, and community equity. Supported planning initiatives aimed at modernizing park facilities while strengthening connections between neighborhoods, public transportation, and open space networks.

Lectures and Panels:

- “Landscape Planning and Preservation - Modern Non-invasive Techniques and Methods” Massachusetts Historic Preservation Conference, 2019
- “Outdoor Accessibility Standards and the Design of Unpaved Trails” National Park Service Minute Man National Historical Park Trails Conference, 2018
- Boston Society of Landscape Architects, Juror for Design Awards, 2016
- “Opening Conservation Lands to People with Disabilities” Massachusetts Land Conservation Conference, 2016
- “Landscape Architecture Storytelling” University of Rhode Island, 2015
- “Climate Change a Call for Action” Preservation Massachusetts, 2015
- Boston Society of Landscape Architects, Juror for Design Awards, 2011
- Congress for New Urbanism Summit, 2011 “Green Infrastructure”

Awards:

- Boston Society of Landscape Architects, Phillips Square Tactical Plaza, Chinatown, Boston, Massachusetts, Merit Award, 2020
- Boston Preservation Alliance, Stewardship Award, Franklin Park, 2019
- Massachusetts Historical Commission, Preservation Award for Rehabilitation & Restoration, Granary Burying Grounds Entrance Gate and Fence, 2016
- Boston Society of Landscape Architects, Emerald Necklace Tree Inventory, Conditions Assessment and Management Plan, Boston & Brookline, Massachusetts, Honor Award, 2015
- Boston Society of Landscape Architects, Powers Farm Master Plan, Randolph, Massachusetts, Merit Award, 2013



EMILY KELLY, RLA

Landscape Architect

Emily is drawn to the dynamic space where creative vision meets practical implementation, bringing both playfulness and precision to landscape architecture projects. She is a licensed Landscape Architect with experience in park design, environmental resilience, and community engagement, having delivered diverse initiatives ranging from grant-funded park projects and detailed construction documentation to comprehensive master planning efforts. Emily has practiced in both the Bay Area and New England.

Her recent work includes colorful playgrounds, a shared community and Church space, thoughtful dog park design, sensitive development of historic landscapes, and campus work. Across typologies, she incorporates hand sketching at every available opportunity.

Education:

Clemson University,
Master of Landscape
Architecture, 2019

College of Charleston,
Bachelor of Arts,
Studio Art, 2014

Registration:

Maine #LAR5839

Emily contributes meaningfully at every project phase. Her work is characterized by both creative innovation and meticulous attention to technical detail; ensuring projects are not only beautiful and functional but also constructible and maintainable.

Awards:

- SARA NY Student Winner, 2019
- College of Charleston Outstanding Student Award, Studio Art, 2014

COSTS

All costs associated with this project are anticipated to be hourly labor costs. There are no material costs associated with this project.

DESCRIPTION OF SERVICE	CONTRACT TYPE	PRICE
Task 1: Project Kick-Off & Meetings	Firm-Fixed Price ▾	\$2,770
Task 2: Landscape Architect Assessment	Firm-Fixed Price ▾	\$3,980
Task 3: Arborist Assessment	Firm-Fixed Price ▾	\$4,000
Task 4: Comprehensive Plan	Firm-Fixed Price ▾	\$4,750
PROJECT TOTAL		\$15,500

WARRANTY

The following is DRG's standard warranty language.

Davey Resource Group, Inc. ("DRG") provides this limited warranty ("Limited Warranty") in connection with the provision of services by DRG (collectively the "Services") under the agreement between the parties, including any bids, orders, contracts, or understandings between the parties (collectively the "Agreement").

Notwithstanding anything to the contrary in the Agreement, this Limited Warranty will apply to all Services rendered by DRG and supersedes all other warranties in the Agreement and all other terms and conditions in the Agreement that conflict with the provisions of this Limited Warranty. Any terms or conditions contained in any other agreement, instrument, or document between the parties, or any document or communication from you, that in any way modifies the provisions in this Limited Warranty, will not modify this Limited Warranty nor be binding on the parties unless such terms and conditions are approved in a writing signed by both parties that specifically references this Limited Warranty.

Subject to the terms and conditions set forth in this Limited Warranty, for a period of ninety (90) days from the date Services are performed (the "Warranty Period"), DRG warrants to Customer that the Services will be performed in a timely, professional and workmanlike manner by qualified personnel.

To the extent the Services involve the evaluation or documentation ("Observational Data") of trees, tree inventories, natural areas, wetlands and other water features, animal or plant species, or other subjects (collectively, "Subjects"), the Observational Data will pertain only to the specific point in time it is collected (the "Time of Collection"). DRG will not be responsible nor in any way liable for (a) any conditions not discoverable using the agreed upon means and methods used to perform the Services, (b) updating any Observational Data, (c) any changes in the Subjects after the Time of Collection (including, but not limited to, decay or damage by the elements, persons or implements; insect infestation; deterioration; or acts of God or nature [collectively, "Changes"]), (d) performing services that are in addition to or different from the originally agreed upon Services in response to Changes, or (e) any actions or inactions of you or any third party in connection with or in response to the Observational Data. If a visual inspection is utilized, visual inspection

does not include aerial or subterranean inspection, testing, or analysis unless stated in the scope of work. When performing tree inventories or assessments, DRG will not be liable for the discovery or identification of non-visually observable, latent, dormant, or hidden conditions or hazards, and does not guarantee that Subjects will be healthy or safe under all circumstances or for a specified period of time, or that remedial treatments will remedy a defect or condition.

To the extent you request DRG's guidance on your permitting and license requirements, DRG's guidance represents its recommendations based on its understanding of and experience in the industry and does not guarantee your compliance with any particular federal, state or local law, code or regulation.

DRG may review information provided by or on behalf of you, including, without limitation, paper and digital GIS databases, maps, and other information publicly available or other third-party records or conducted interviews (collectively, "Source Information"). DRG assumes the genuineness of all Source Information. DRG disclaims any liability for errors, omissions, or inaccuracies resulting from or contained in any Source Information.

If it is determined that DRG has breached this Limited Warranty, DRG will, in its reasonable discretion, either: (i) re-perform the defective part of the Services or (ii) credit or refund the fees paid for the defective part of the Services. **This remedy will be your sole and exclusive remedy and DRG's entire liability for any breach of this Limited Warranty.** You will be deemed to have accepted all of the Services if written notice of an alleged breach of this Limited Warranty is not delivered to DRG prior to the expiration of the Warranty Period.

To the greatest extent permitted by law, except for this Limited Warranty, DRG makes no warranty whatsoever, including, without limitation, any warranty of merchantability or fitness for a particular purpose, whether express or implied, by law, course of dealing, course of performance, usage of trade or otherwise.

COMMITMENTS

Both DRG and KZLA are highly experienced in managing multiple projects simultaneously. The key to ensuring each project is completed on time and within budget is frequent and clear communication between all parties. To that end, we intend to conduct a kick-off meeting with all project partners at the start of the project. During this meeting, we will work together to determine how best to keep open lines of communication running throughout the process. We have also planned for monthly project meetings to discuss progress and address any scheduling concerns.

In addition to open communication, both DRG and KZLA have a broad, certified, and experienced staff base from which to pull if anticipated team members become tied up in other project commitments. Our ability to add additional team members as needed will help us complete this project on time regardless of workload.

REFERENCES

City of Fall River, MA | Tree Planting Planning Services | DRG

Key Tasks:

- Management of grant funds, reporting, & deliverables
- Existing tree assessment and maintenance recommendations
- Planting site selection
- Tree species selection
- Contractor planting oversight
- Volunteer training and supervision
- Urban Forestry Management Plan development

Contact:

Chris Martin | Director of Cemeteries & Trees
508.324.2750 | cmartin@fallriverma.gov



City of Worcester, MA | Consulting Arborist Services | DRG

Key Tasks:

- Identification of up to 800 suitable planting locations per planting season
- Selection of two appropriate species for each location
- Updates to city's tree inventory data to reflect planting status
- Verification of appropriate planting practices by planting contractors

Contact:

Brian Breveleri | City Urban Forester
508.799.1300 |
BreveleriB@worcesterma.gov

Town of Bedford, MA | Community Forest Master Plan | DRG

Key Tasks:

- Tree inventory of all public streets
- Collaborate with Steering Committee to develop goals, action items, and timelines
- Interpret public input from surveys and public meetings
- Synthesize inventory data, public input, stakeholder feedback, and Steering Committee goals
- Develop comprehensive Community Forest Master Plan

Contact:

David Manugian | Director of Public Works
781.275.7605, ext. 4252 | DManugian@bedfordma.gov



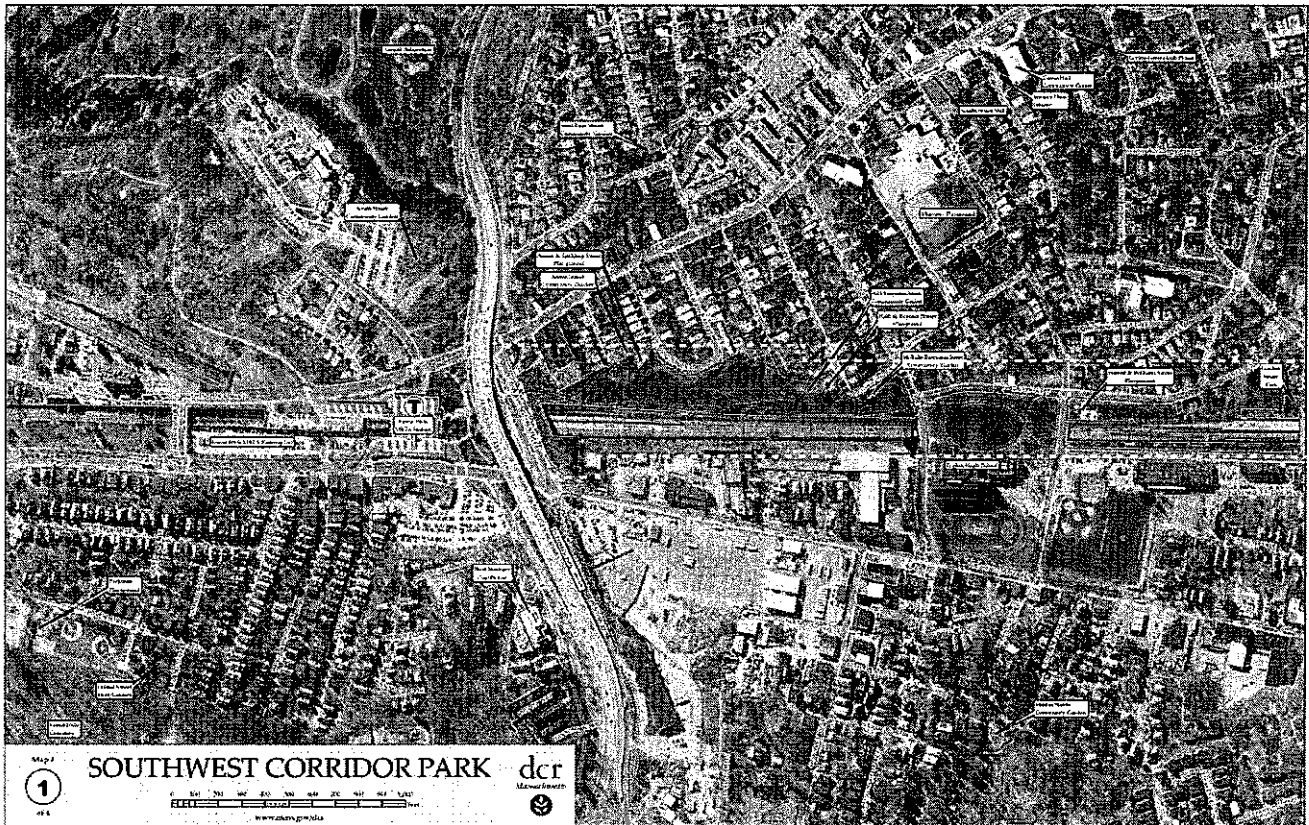
MA Department of Conservation & Recreation | Southwest Corridor Park Action Plan Tree Inventory and Urban Forestry Planning Services | DRG & KZLA

Key Tasks:

- Existing tree inventory
- Tree species selection
- Recommendations for tree planting locations and tree planting detailing

Contact:

Amber Christoffersen | Trails and Greenway Planner
857.274.5022 | Amber.Christoffersen@mass.gov



Emerald Necklace Conservancy | Tree Inventory, Conditions Assessment, & Management Plan | KZLA

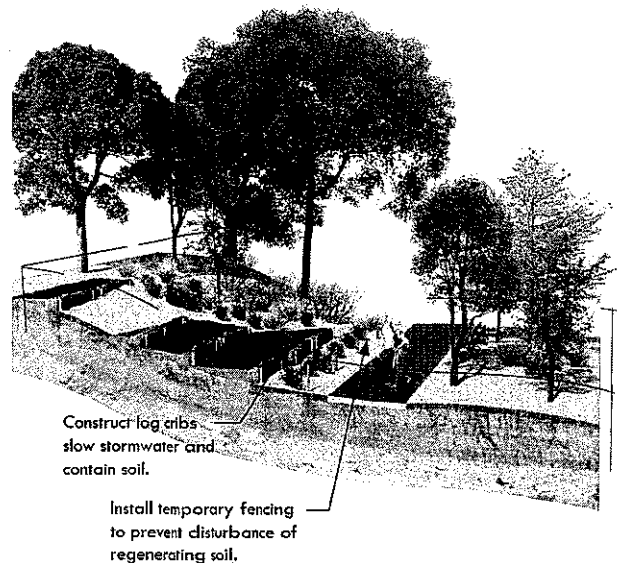
Key Tasks:

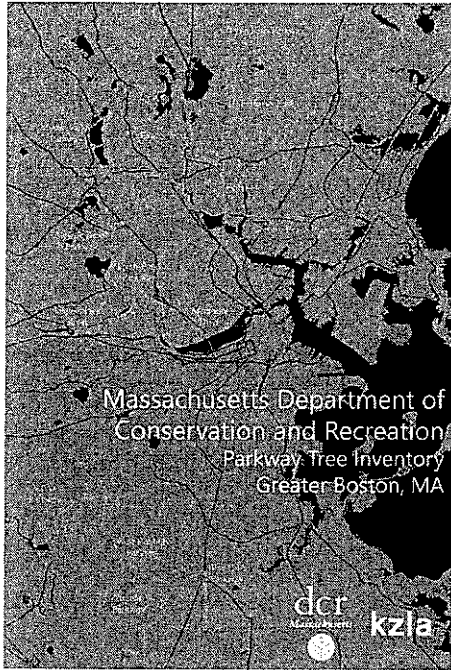
- Existing tree inventory
- Conditions assessment
- Research into historic plans, planting lists, and images to honor original vision of Frederick Law Olmsted
- Comprehensive Tree Management Plan

Contact:

Ray Oladapo-Johnson | President, Wave Hill Botanical Garden (current)
718.549.3200 | ray.oladapo-johnson@WaveHill.org

Woodland recommendations diagram





MA Department of Conservation & Recreation | Boston Parkway Tree Inventory & Management Plan | KZLA

Key Tasks:

- Existing tree inventory for 14 parkways in Boston Metropolitan Area
- Recommendations for tree care and management of the existing urban forest
- Canopy coverage & ecological benefit goals
- Tree species to plant to achieve goals
- Tree planting location identification
- Tree planting and aftercare best management practices
- Cost estimates for recommended work and phasing strategies

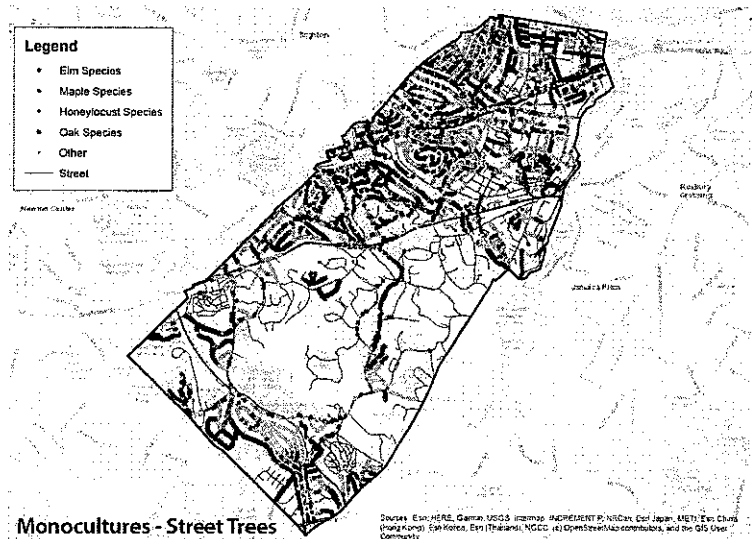
Contact:

Ruth Helfeld | Director of Landscape Architecture Section
617.626.1375 | ruth.helfeld@state.ma.us

Town of Brookline, MA | Urban Forest Climate Resiliency Master Plan | KZLA

Key Tasks:

- Collaborate with town departments, local councils, committees, businesses, residents, landlords, and more
- Synthesize town goals and community feedback into a cohesive set of action items
- Update town tree inventory
- Soil analysis & existing conditions assessment
- Canopy cover and canopy change analysis using LiDAR and GIS modeling
- Develop strategic tree planting plan focused on species diversity and anticipated climate challenges
- Examine forest management and budgeting strategies
- Develop Urban Forest Climate Resiliency Master Plan



Contact:

Katie Weatherseed | Sustainability Outreach & Program Manager
617.730.2093 | kweatherseed@brooklinema.gov

Terms and Conditions

- All pricing is valid for 30 days from the date of this proposal, after which time we reserve the right to amend fees as needed.
- Time and materials (T&M) estimates will be billed using the labor rates in DRG's current commercial price list. Fixed Fee Contract Prices will be billed in monthly increments for the percentage of work completed in the billing period. Firm-Fixed Unit Prices will be billed in monthly increments for the number of completed units in the billing period.
- Payment terms are net 30 days.
- If prevailing wage requirements are discovered after the date of this proposal, we reserve the right to negotiate our fees.
- The client is responsible for any permit fees, taxes, and other related expenses, unless noted as being included in our proposal.
- The client shall provide 48 hours' notice of any meetings where the consultant's attendance is required.
- Unless otherwise stated, one round of revisions to deliverables is included in our base fee. Additional edits or revisions will be billed on a time and material (T&M) basis.
- All reports are provided only to the client unless otherwise directed.
- DRG represents that it and its agents, and consultants employed by it, are protected by Workers' Compensation insurance and that DRG has coverage under liability insurance policies which DRG deems reasonable and adequate. DRG shall furnish certificates of insurance upon request. DRG agrees to maintain general liability insurance in commercially reasonable amounts. Client is responsible for requesting specific inclusions or limits of coverage that are not present in DRG insurance, and the cost of such inclusion or coverage increases, if available, will be at Client's sole cost and expense.



CITY OF DOVER

REQUEST FOR PROPOSAL

Request Type Proposal Number: B26073
 Title **Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue**
 Date May 18, 2026

CONTACT INFORMATION: Proposer must complete the following: By signing this proposal form you are attesting to your awareness and agreement with proposal terms and conditions. I certify that I am authorized to sign this form for the Proposer.

DRG reserves the right to negotiate final contract terms & conditions

Official Entity Name	Davey Resource Group, Inc.	FOB Information:	Dover NH
Address:	295 S Water St, Suite 200 Kent OH 44240		
City, State, Zip	Kent OH 44240		
Email address:	moriah.day@davey.com	State of Incorporation	Delaware
Date:	6/29/2026	SSN or EIN:	82-1948528
Telephone #:	959.888.1019	Fax #:	N/A
Signature:	Moriah Day	Title:	Project manager

We, the undersigned have declined to submit a proposal for:

- Insufficient time to respond
- We do not offer this product or service
- Our schedule would not permit us to perform
- Unable to meet specifications
- Unable to meet bond requirements
- Unable to meet insurance requirements
- Specifications too stringent (explain below)
- Other

NO PROPOSAL

ADDENDA ACKNOWLEDGEMENT FORM
Submit with Bid

BIDDER acknowledges receipt of the following addenda (as applicable):

Addendum No. 1 Dated June 10th, 2020

Addendum No. 2 Dated June 22nd, 2020

Addendum No. 3 Dated _____

Addendum No. 4 Dated _____

Addendum No. 5 Dated _____

Davey Resource Group, Inc.
(Name of Bidder)

By: Moriah Day

Title: Project Manager

Please cut and affix this label to your sealed bid envelope to identify it as a "SEALED BID" Be sure to include the name of the company submitting the bid where requested.



CITY OF DOVER

288 CENTRAL AVENUE
DOVER, NH 03820
WWW.DOVER.NH.GOV
603.516.6000

AGREEMENT

THE CITY OF DOVER, a municipal corporation, 288 Central Avenue, Dover, New Hampshire 03820 and _____, (the "Vendor"), a New Hampshire corporation, _____ who on this _____ day of _____, 20____, for valuable consideration agree as follows (the "Agreement"):

1. **Purpose.** This Agreement refers to and incorporates the provisions of a Request for Proposal RFP #B _____ entitled "_____" issued by the City of Dover. Specifically, this Agreement is for _____.
2. **Agreement Documents.** The Agreement shall include and consist of the following documents (the "Agreement Documents"):
 - a. Agreement (____ pages)
 - b. RFP #B _____ issued by the City of Dover on _____ (____ pages) including:
 - Attachment A, Terms and Conditions (10 pages)
 - Attachment _____ (____ pages)
 - Attachment _____ (____ pages)
 - ~~List out all attachments and addenda, except sample City agreement~~
 - Any other City-issued addenda, attachments or schedules to the foregoing (except the City's Sample Agreement).
 - c. Reply of Vendor dated _____ (____ pages)
3. **Scope of Services.** The Vendor shall perform all work specified and required by the Agreement Documents listed in Section 2 above. Should there be inconsistencies between the terms of any of the Agreement Documents, precedence shall be as follows: 1) the Agreement; 2) the terms of RFP # _____ and its attachments; and 3) Reply of Vendor.
4. **Changes in the Cost of the Work and the Scope of Services.** Changes to the cost of the work and the Scope of Services shall be made in writing by mutual agreement prior to the performance of the work. In case of as-needed quantity agreements, a quote, scope of work, or statement of work signed/issued by the Vendor and countersigned by the City's designated contracting officer (see Dover Code § 5-35) prior to the commencement of work shall operate to supplement and be subject to this Agreement. In submitting any future invoice, quote, scope of work, or statement of work in connection with this Agreement, the Vendor shall not include, attach, or hyperlink to standardized terms and conditions that purport to modify any term of this Agreement except for the cost of work, the scope of work, and the time for performance. The parties



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agree that any future invoice, quote, scope of work, or statement of work issued by the Vendor in relation to this Agreement that includes or hyperlinks to any term or condition other than the cost of work, the scope of work, or the time for performance, shall be null and void and of no effect, even if the City administratively approves and/or pays same.

5. **Term.** The Vendor shall commence work upon the execution of this Agreement and issuance of a Purchase Order by the City of Dover. All services to be performed under this Agreement shall become effective upon the signing of the Agreement and completed by _____. Time is of the essence.
6. **Cost, Payment, Invoicing.** The City of Dover shall pay the Vendor an amount not to exceed _____ (\$00) DOLLARS for services within the Scope of Services. Vendor shall only invoice for services/goods actually received by the City on a monthly basis. Vendor's invoices shall be presented substantially similar to Vendor's bid with itemized breakdown of charges. Vendor's invoices shall reference the RFP/RFQ number designated by the City as well as the City's Purchase Order number. The City of Dover shall pay the Vendor within thirty (30) days upon performance and presentation of an invoice supplied by the Vendor detailing the work performed and supply all other information required of said invoice.
7. **Insurance.**
 - a. The Vendor shall secure and maintain for the duration of this Agreement a General Liability Insurance policy or policies at no cost to the City of Dover. The coverage of said insurance policy shall be in an amount of ~~not less than~~ One Million Dollars (\$1,000,000) per occurrence and Two Million Dollars (\$2,000,000) in the aggregate. The Vendor shall take all actions necessary to cause the City to be listed as additional insured on the aforesaid General Liability Insurance policy, by way of endorsement or prescribed insurance policy provisions. An insurance certificate shall be supplied to the City of Dover by the Vendor, as well as (if requested by the City) proof of an endorsement ~~or policy of~~ additional insured provisions confirming the City of Dover's additional insured status. The City of Dover shall be ~~listed named~~ as an additional insured on the Vendor's general liability insurance policy, which coverage shall apply on a primary and noncontributory basis, and, subject to the dollar amounts specified above, cover the City of Dover with the same scope of coverage provided to the Vendor under the general liability policy without subjecting the City of Dover to any different or additional terms, conditions, limitations or exclusions. A condition of the insurance coverage shall be thirty (30) days' notice to the City of Dover prior to cancellation of the policy. The Vendor shall also provide the City of Dover certificates of renewal and, if requested, proof of an endorsement ~~of or policy~~ additional insured provisions for any applicable insurance policy ~~no later than ten (10) business days~~ prior to the expiration of said policy.



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- b. The Vendor shall secure and maintain for the duration of this Agreement a Professional Liability Insurance policy or policies at no cost to the City of Dover. The coverage of said insurance policy shall be in an amount of ~~not less than~~ One Million Dollars (\$1,000,000) per claim or occurrence and Two Million Dollars (\$2,000,000) in the aggregate. An insurance certificate shall be supplied to the City of Dover by the Vendor. The Vendor or its insurer shall provide the City of Dover thirty (30) days' notice prior to cancellation of the policy. The Vendor shall also provide the City of Dover certificates of renewal for any applicable insurance policy ~~no later than ten (10) business days prior~~ to the expiration of said policy.
- c. The Vendor shall secure and maintain for the duration of this Agreement Automobile Liability Insurance covering the operation of all motor vehicles, including those hired and borrowed, used by the Vendor in connection with this Agreement at no cost to the City of Dover. The coverage of said insurance policy shall be in the amount of ~~not less than~~ Five Hundred Thousand Dollars (\$500,000) for all damages arising out of bodily injuries to or death of one person and subject to that limit for each person, a total limit of ~~at least~~ One Million Dollars (\$1,000,000) for all damages arising out of bodily injuries to or death of two or more persons in any one accident or occurrence. An insurance certificate shall be supplied to the City of Dover by the Vendor. The Vendor shall also provide the City of Dover certificates of renewal for any applicable insurance policy ~~no later than ten (10) business days prior~~ to the expiration of said policy.
- d. By signing this Agreement, the Vendor agrees, certifies, and warrants that the Vendor is in compliance with, or exempt from, the requirements of New Hampshire RSA Chapter 281-A, regarding workers' compensation insurance. The Vendor shall maintain statutory workers' compensation insurance coverage for all of its employees as required by said law.

8. **Indemnification.** To the ~~fullest~~ extent permitted by law, the Vendor covenants and agrees to defend (with counsel reasonably acceptable to the City), indemnify, and hold harmless the City of Dover from and against any claims, losses, damages or expense (including reasonable attorneys' fees) arising out of the death, injury or injuries, or damages to any person or third-party, or damage or destruction of any property (including but not limited to City property and/or third-party property), or breach of this Agreement, provided same is in connection with or in relation to the Vendor's services, in whole or in part, under this Agreement, to the extent caused by ~~and/or alleging~~ the ~~strictly liable, negligent and/or otherwise tortious~~ acts, errors, or omissions of the Vendor or its officers, directors, employees, agents or independent professional associates, or any of them. Vendor's indemnity, defense, and hold harmless obligations will not extend to any claim or liability that is alleged to be caused by the negligence or willful misconduct of the indemnified party or other third party not controlled by Vendor; rather, such indemnification claims will be administered based upon a determination of the degree of comparative fault of each party. Vendor retains the right to select counsel reasonably



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acceptable to the indemnified party, and the indemnified party will provide reasonable cooperation and not unreasonably withhold consent to settle any claims for which Vendor is providing defense or indemnification. This covenant shall survive the completion or earlier termination of this Agreement for a period of one (1) year. NOTWITHSTANDING ANYTHING TO THE CONTRARY, IN NO EVENT WILL VENDOR BE LIABLE FOR ANY CONSEQUENTIAL, INDIRECT, INCIDENTAL, SPECIAL, EXEMPLARY, PUNITIVE, OR ENHANCED DAMAGES IN CONNECTION WITH THIS AGREEMENT OR THE SERVICES PERFORMED, AND IN NO EVENT WILL VENDOR'S AGGREGATE LIABILITY ARISING OUT OF OR RELATED TO THIS AGREEMENT OR THE SERVICES PERFORMED EXCEED THE AMOUNT OF THE APPLICABLE INSURANCE LIMITS SET FORTH IN THIS AGREEMENT.

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- 9. Performance/Payment Bonds.** The Vendor shall provide the City with acceptable surety bonds guaranteeing the performance of the work (the performance bond) and the payment of all legal debts that may be incurred by reason of the Vendor's performance of the work



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(the payment bond). The aforesaid performance and payment bonds shall each be in the sum equal to the maximum amount of this Agreement (\$ _____). Such performance and payment bonds shall remain in full force and effect until expiration of this Agreement, including any renewal or extension periods. The aforesaid performance and payment bonds shall also include any additions to or modifications of this Agreement and the contract amount.

Warranty: The Vendor shall perform the work within the Scope of Services commensurate with the standard of the profession/trade/industry involved in the performance of this Agreement. A minimum one-year warranty period shall apply to all labor and parts provided by the Vendor in performing the Agreement, commencing with the date of substantial completion. Such warranty period shall be cumulative of all other rights and remedies of the City, and shall not supplant or otherwise limit the City's rights and remedies. In connection with the performance of the Scope of Services, the Vendor shall comply with all statutes, laws, regulations, and applicable orders, whether federal, state, or local, the most stringent law(s) taking precedence in the event multiple laws apply. Vendor hereby irrevocably assigns all manufacturer warranties in connection with this Agreement to the City. To the extent the Services involve the evaluation or documentation ("Observational Data") of trees, tree inventories, natural areas, wetlands and other water features, animal or plant species, or other subjects (collectively, "Subjects"), the Observational Data will pertain only to the specific point in time it is collected (the "Time of Collection"). Vendor will not be responsible nor in any way liable for (a) any conditions not discoverable using the agreed upon means and methods used to perform the Services, (b) updating any Observational Data, (c) any changes in the Subjects after the Time of Collection (including, but not limited to, decay or damage by the elements, persons or implements; insect infestation; deterioration; or acts of God or nature [collectively, "Changes"]); (d) performing services that are in addition to or different from the originally agreed upon Services in response to Changes, or (e) any actions or inactions of you or any third party in connection with or in response to the Observational Data. If a visual inspection is utilized, visual inspection does not include aerial or subterranean inspection, testing, or analysis unless stated in the scope of work. DRG will not be liable for the discovery or identification of non-visually observable, latent, dormant, or hidden conditions or hazards, and does not guarantee that Subjects will be healthy or safe under all circumstances or for a specified period of time, or that remedial treatments will remedy a defect or condition. Upon any breach of warranty, Vendor will, in its reasonable discretion, either: (i) re-perform the defective part of the Services or (ii) credit or refund the fees paid for the defective part of the Services. This remedy will be the City's sole and exclusive remedy and Vendor's entire liability for any breach of this Limited Warranty. The City will be deemed to have accepted all of the Services if written notice of an alleged breach of this Limited Warranty is not delivered to Vendor prior to the expiration of the Warranty Period.

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16-17. **Applicable law.** This Agreement shall be deemed to have been entered into in the State of New Hampshire and shall be construed in accordance with the laws of the State of New Hampshire. All applicable laws are incorporated herein by reference.

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17-18. **Third parties.** Nothing in this Agreement, expressed or implied, is intended to or shall be construed to confer upon or to give to any person or entity other than the City of Dover and the Vendor any rights, remedies or claims under or by reason of this Agreement or any covenants, conditions or stipulations hereof, and all covenants, conditions, promises and agreements in this Agreement contained by or on behalf of the City of Dover or the Vendor shall be for the sole and exclusive benefit of the City of Dover and the Vendor.

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18-19. **Review.** The parties to this Agreement acknowledge that they enter into this Agreement voluntarily and have had the opportunity to review this Agreement with legal counsel prior to signing.

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19-20. **Personnel.** The Vendor shall at its own expense provide all personnel necessary to perform the work under this Agreement. The Vendor warrants that all personnel shall be qualified to perform the work under the Scope of Services and shall be properly licensed and otherwise authorized to do so under all applicable laws.

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20-21. **Assignment/Delegation/Subcontracts.** The Vendor shall not assign, or otherwise transfer, any interest in this Agreement without the prior written consent of the City of Dover. None of the services shall be subcontracted by the Vendor without the prior written consent of the City of Dover.

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21-22. **Contractor's Relation to the City of Dover.** In the performance of this Agreement the Vendor is in all respects an independent contractor and is neither an agent, joint venturer, partner, nor employee of the City of Dover. Entities must be in good standing with the Secretary of State's Office in the state of incorporation and registered to conduct business in the State of New Hampshire to the extent required by law.

22-23. **Confidentiality.** Confidentiality of any and all information/data held by the City of Dover under or related to this Agreement shall be governed by New Hampshire RSA Chapter 91-A. Any information, data, or document of the City's that is exempt from the provisions of RSA chapter 91-A shall be treated as confidential by the Vendor and Vendor shall not disclose or re-disclose any such confidential information.

23-24. **Recordkeeping.** The Vendor shall maintain records (physical and electronic) arising out of or in relation to this Agreement. The Vendor shall not destroy any records

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arising out of or related to this Agreement unless and until the City of Dover's Municipal Records Committee or designee has given written permission in writing. If a retention period applies pursuant



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to applicable law, such retention period (the longer period, if multiple laws apply) shall be controlling. The Vendor shall make all records relating to performance of this Agreement available to the City of Dover when requested and/or in connection with any audit or review of the Vendor's activities and financial records.

24-25. Amendment. This Agreement may be amended, waived, or discharged only by an instrument in writing signed by the parties hereto.

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25-26. Construction and Headings. The wording used in this Agreement is the wording chosen by the parties to express their mutual intent, and no rule of construction shall be applied against or in favor of any party. The headings throughout this Agreement are for reference purposes only, and the words contained therein shall in no way be used to explain, modify, amplify, or aid in the interpretation, construction, or meaning of the provisions of this Agreement.

26-27. Notice. Any notice by a party hereto to the other party to this Agreement shall be provided as follows:

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City of Dover
Michael Joyal, Jr., City Manager
288 Central Avenue
Dover, NH 03820

Vendor

27-28. Severability. In the event any of the provisions of this Agreement are held by a court of competent jurisdiction to be contrary to any state or federal law, the remaining provisions of this Agreement shall remain in full force and effect. The parties agree to reform this Agreement to replace any such invalid or unenforceable provision with a valid enforceable provision that comes as close as possible to the intention of the stricken provision.

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28-29. Appropriations: Continuation of the Agreement is contingent upon the appropriation of funds. All obligations of the City of Dover stated in this agreement, including, but not limited to, the continuance of payments hereunder, are contingent upon the availability and continued appropriation of funds by the Dover City Council and in no event will the City of Dover be liable for any payments or obligation hereunder in excess of such appropriated funds. The City of Dover shall not be required to transfer funds from any other account to satisfy payments hereunder. Vendor will have the right to terminate this agreement immediately upon receiving notice of such termination due to the non-appropriation of funds.

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29-30. **Immunity:** Nothing within this Agreement shall be deemed to constitute a waiver of any immunity or defense or statutory limitation/protection or provisions of N.H. RSA chapter 507-B of the City of Dover, which aforesaid immunities/defenses/limitations/protections are hereby reserved to the City of Dover. This covenant shall survive the termination of this contract's conclusion.

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30-31. **Entire Agreement.** This Agreement, which may be executed in a number of counterparts, each of which shall be deemed an original, constitutes the entire Agreement and understanding between the parties and supersedes all prior agreements and understandings relating hereto.

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VENDOR

Duly Authorized

Date

CITY OF DOVER

J. Michael Joyal, Jr., City Manager

Date

**CITY OF DOVER
REQUEST FOR PROPOSALS
GENERAL TERMS AND CONDITIONS***

PREPARATION OF PROPOSALS:

Proposals shall be submitted on the forms provided and must be signed by the Proposer or the Proposer's authorized representative. The person signing the proposal shall initial any edits/corrections to entries made on the proposal forms.

Proposers must quote on all items appearing on the proposal forms unless specific directions in the advertisement, on the proposal form, or in the special provisions allow for partial proposals. Failure to quote on all items may disqualify the proposal. When proposals on all items are not required, Proposers shall insert the words "no proposal" where appropriate.

Alternative proposals will be considered, unless otherwise stated, only if the alternate is: (1) Described completely, including, but not limited to, sample(s), if requested, and specifications sufficient so that a comparison to the request can be made; and (2) Submitted as part of the base proposal response, i.e. it shall not be a separate document which could be construed as a second proposal.

Unless otherwise stated in the Request for Proposal (RFP), the proposer agrees that the proposal shall be deemed open for acceptance for Sixty (60) calendar days subsequent to the bid opening date.

Any questions or inquiries must be submitted in writing, and, in order to be considered, must be received by the Purchasing Agent no later than seven (7) calendar days before the Request for Proposals due date. Any changes to the Request for Proposals will be provided to all Proposers of record.

The Proposer shall not divulge, discuss or compare this proposal with other Proposers and shall not collude with any other Proposer or parties to a proposal whatsoever.

Unless otherwise noted, the name of manufacturer, trade name, or catalog number mentioned in this Request for Proposal is for the purpose of designating a minimum standard of quality and type; such references are not intended to be restrictive, although specified color, type of material and specified measurements may be mandatory. Unless otherwise noted, proposals will be considered for any brand which meets or exceeds the quality of the specifications listed. On all such proposals, the Proposer shall specify the product they are proposing and shall supply sufficient data to enable a comparison to be made with the particular brand or manufacturer specified. Failure to submit the above may be sufficient grounds for rejection of the proposal.

When samples are required, they must be submitted free of cost and will be returned unless otherwise specified.

* Updated 3.19.20

Items left for demonstration purposes shall be delivered and installed free of charge and shall be removed by the Vendor at no cost to the City. Said demonstration units shall not be offered to the City as new equipment unless mutually agreed to.

The Vendor may be required to supply proof of compliance with proposal specifications. When requested, the Vendor must immediately supply the City with certified test results or certificates of compliance. Where none are available, the City may require independent laboratory testing. All costs for such testing, certified test results or certificates of compliance shall be the responsibility of the Vendor.

Unless otherwise stated, all prices are F.O.B.: Dover, New Hampshire. No charge for packing or drayage will be allowed. All deliveries are to be pre-paid; C.O.D.'s will not be accepted. Each shipment shall be identified by Purchase Order and/or RFP number, commodity description and packing list. All items, packages, etc. shall have clearly identifiable external markings or tags for ease of identification.

SUBMISSION OF PROPOSALS:

Proposals must be signed and submitted as directed in the Request for Proposals, and on the forms provided unless otherwise specified. Said signature, in the spaces provided, indicates receipt of, familiarity with and understanding of, and acceptance of the specifications provided, except as otherwise noted by the Proposer. Proposals must be typewritten or printed in blue or black ink. Proposals must be mailed or delivered in person. Proposals that are faxed or e-mailed will not be accepted.

WITHDRAWAL OF PROPOSALS/BIDS:

Proposals/bids may be withdrawn prior to the opening date and time upon written, faxed, e-mailed or telegraphic signed request of the Proposer to the Purchasing Agent. Negligence on the part of the Proposer in preparing its proposal/bid shall not constitute a right to withdraw a proposal/bid subsequent to the proposal/bid opening. Proposals/bids may not be withdrawn for a period of sixty (60) days after the date of opening indicated herein or as modified by addenda.

PROPOSERS INTERESTED IN MORE THAN ONE PROPOSAL:

If more than one proposal is offered by any one party, or by any person or persons representing a party, all such proposals may be rejected by the City in its sole discretion. A party who has quoted prices to a Proposer is not thereby disqualified from quoting prices to other Proposers or from submitting a direct proposal on its own behalf.

RECEIPT AND OPENING OF PROPOSALS:

Proposals shall be submitted prior to the date and time fixed in the Request for Proposals. Proposals received after the date and time so indicated shall remain unopened and shall not be considered.

PROPOSAL RESULTS:

All proposals shall be subject to negotiations prior to the award of a contract.

No telephone requests for results will be accepted or given. Results can be viewed by visiting the City website: www.dover.nh.gov.

TIE PROPOSALS:

When identical Proposals are received, with respect to price, delivery, financial resources, experience, ability to perform and quality, award may be made by a toss of coin, with the following exception: When a tie proposal exists between a local Proposer (a business establishment with a place of business within City limits) and a non-local Proposer (a business establishment without a place of business within City limits), preference will be given to the local Proposer. If a tie proposal exists between two local Proposers, or two out-of-town Proposers, the decision may be made by a toss of coin.

LIMITATIONS:

This Request for Proposal (RFP) does not commit the City to award a contract, to pay any costs incurred in the preparation of a response to this request, or to procure or contract for services or supplies. The City reserves the right to accept or reject any or all proposals received as a result of this request, or to cancel in part or in its entirety this RFP, if it is in the best interest of the City to do so.

PROPOSAL EVALUATION:

In an attempt to determine if a proposer is qualified and responsible, the City, at its discretion, may obtain technical support from outside sources. Each proposer will agree to fully cooperate with the personnel of such organizations.

AWARD OF CONTRACT:

Any contract entered into by the City shall be in response to the proposal and subsequent discussions. It is the policy of the City that contracts be awarded, among other considerations, only to responsive and responsible Vendors. In order to qualify as responsive and responsible, a prospective vendor must meet the following minimum standards as they relate to this request:

- Have adequate financial resources for performance or have the ability to obtain such resources as required during performance;
- Have the necessary experience, organization, technical and professional qualifications, skills and facilities;
- Be able to comply with the proposed or required time of completion or performance schedule;
- Have a demonstrated satisfactory record of performance; and

- Adhere to the specifications of this proposal and provide all documentation required of this proposal
- Dover requires that all vendor-entities who fall under a statutory obligation be registered to do business with the New Hampshire Secretary of State, and in good standing. Providing evidence of same in your bid submission will help streamline the evaluation of your bid.

The contract will be awarded to a responsive and responsible Vendor based on the qualifications and experience of the Vendor, the quality of the equipment/product/service to be provided, the Vendor's ability to provide ongoing technical support, the Vendor's timeframe for providing the equipment/product/service and the Vendor's fee/price proposal. The Vendor selected will be the one deemed most advantageous to the City and not necessarily the one with the lowest price.

The City of Dover reserves the right to waive any formality, informality, information and/or errors in the proposals submitted and the right to reject any or all proposals at its discretion and to accept the proposal which will be in the best interest of the City; or to purchase on the open market if it is considered in the best interest of the City to do so. In case of error in the extension of prices, the unit prices proposed shall govern and the unit prices in writing shall take precedence over the unit prices in figures. Also, in the event of a discrepancy between the total of the items and the lump sum total stated, the total of the items shall govern.

CONTRACT AWARD PROTEST POLICY AND PROCEDURE:

Any actual or prospective bidder who is aggrieved in connection with the solicitation or award of a bid or contract may protest and seek resolution of complaints with the Purchasing Agent. A protest with respect to an invitation for bids or request for proposals shall be submitted in writing prior to the time for the opening of bids on the closing day for proposals, unless the aggrieved person did not know and should not have known of the facts giving rise to such protest prior to bid opening or the closing date for proposal. If the aggrieved person did not know and should not have known of the facts giving rise to such protest prior to bid opening or the closing date for proposal, the protest shall be submitted within three (3) calendar days after the aggrieved person knows or should have known of the facts giving rise thereto.

If a satisfactory resolution of the protest is not achieved by submitting a complaint with the Purchasing Agent, the person submitting the protest shall submit a written appeal to the City Manager within three (3) calendar days of a decision by the Purchasing Agent.

Purchasing procedures shall be stayed pending a decision of the City Manager unless the City Manager decides that the award of a contract is necessary to protect substantial interests of the City.

MODIFICATIONS AFTER AWARD:

The City reserves the right to incorporate minor modifications, which may be required by it. The Vendor will incorporate these changes at no additional cost, but may protest such action and not be bound by any such request if it can prove that the timing or extent of the modifications implies a major effort on its part.

CANCELLATION OF AWARD:

The City reserves the right to cancel the award without liability to the proposer at any time before a contract has been fully executed by all parties and is approved by the City.

CONTRACT:

Any Contract between the City and the Vendor shall consist of (1) the signed Agreement between the parties; (2) the Request for Proposal (RFP) and any amendments thereto and (3) the Vendor's proposal in response to the RFP. In the event of a conflict in language between documents (1), and (3) referenced above, the provisions and requirements set forth and referenced in the Agreement shall govern, followed by the RFP. However, the City reserves the right to clarify any contractual relationship in writing with the concurrence of the Vendor, and such written clarification shall govern in case of conflict with the applicable requirements contained in the RFP and the Vendor's proposal. In all other matters, not affected by written clarification, if any, the RFP shall govern. The Proposer is cautioned that this proposal shall be subject to acceptance without further clarification.

Confidentiality. Confidentiality of information/data held by the City of Dover under this Agreement shall be governed by New Hampshire RSA Chapter 91-A.

REQUIREMENTS OF BID BOND AND SURETY BOND:

NONE

INSURANCE:

The successful proposer shall secure and maintain for the duration of its contract with the City a General Liability Insurance policy or policies at no cost to the City of Dover. The coverage of said insurance policy shall be in an amount of ~~not less than~~ One Million Dollars (\$1,000,000) per occurrence and Two Million Dollars (\$2,000,000) in the aggregate. The successful proposer shall also secure and maintain for the duration of its contract with the City a Professional Liability Insurance policy or policies at no cost to the City of Dover. The coverage of said insurance policy shall be in an amount of ~~not less than~~ One Million Dollars (\$1,000,000) per occurrence and Two Million Dollars (\$2,000,000) in the aggregate. The City of Dover shall be listed ~~named~~ as an additional insured on the general liability policy, which coverage shall apply on a primary and noncontributory basis, and, subject to the dollar amounts specified above, cover the City of Dover with the same scope of coverage provided to the successful proposer under the general liability policy without subjecting the City of Dover to any different or additional terms, conditions, limitations, or exclusions. A condition of the insurance coverage shall be thirty (30) days' notice to the City of Dover upon cancellation of the policy. An insurance certificate(s) and endorsement(s) shall be supplied to the City of Dover by the successful proposer demonstrating the required insurance coverage(s) and additional insured status. The successful proposal shall also provide the City of Dover certificates of renewal for any applicable insurance policy ~~no later than ten (10) business days prior to the expiration of said policy.~~

The City's examination of, or failure to request or demand, any evidence of insurance

hereunder, shall not constitute a waiver of any requirement and the existence of any insurance shall not limit the proposer's obligation under any provision hereof.

Except to the extent of comparable insurance acceptable to the City, or express waiver by the City, the proposer shall, or shall cause any carrier engaged by the proposer, to insure all shipments of goods for full value. If the agreement with the proposer involves the performance of work by the proposer's employees at property owned or leased by the City and/or the use of vehicles in the performance of the work, the proposer shall furnish such additional insurance as the City may request in respect thereof, including, but not limited to automobile liability insurance, but in any event and without such request, workers' compensation insurance and unemployment compensation insurance as required by laws of the State of New Hampshire and public and automotive liability and property damage insurance. In no event shall such employees of the proposer be deemed to be the employees of, or under the direction or control of the City for any purpose whatsoever.

WORKERS' COMPENSATION:

All proposers and subcontractors at every tier under the Proposer will conform with the requirements of N.H. RSA 281 Title XXIII, regarding workers' compensation insurance, including but not limited to the provisions of RSA 281-A:2.

EXECUTION OF AGREEMENT:

The successful Proposer shall sign (execute) the necessary agreements for entering into the contract (a copy of the City's form contract is attached hereto) and return such signed agreements to the City, along with the fully executed surety bonds, within ten (10) calendar days from the date mailed or otherwise delivered to the successful bidder.

APPROVAL OF AGREEMENT:

Upon receipt of the agreement and surety bonds that have been fully executed by the successful proposer, the City shall complete the execution of the agreement in accordance with local laws or ordinances and return a copy of the fully executed agreement to the Vendor. Delivery of the fully executed agreement and a City purchase order, to the Vendor shall constitute the City's approval to be bound by the successful proposer's proposal and the terms and conditions of the agreement.

FAILURE TO EXECUTE AGREEMENT:

Failure of the successful proposer to execute the agreement and/or furnish acceptable surety bonds within ten (10) calendar days from the date mailed or otherwise delivered to the successful Proposer shall be just cause for cancellation of the award and forfeiture of the proposal bond, not as a penalty, but as liquidation of damages to the City.

DISQUALIFICATION:

The City reserves the right to not make an award to any person, firm and/or corporation that has defaulted upon a contract with the City, the State of New Hampshire, or the Federal

Government within the past 5 years. The City reserves the right to not make an award to any principal owner or officers that have a 10% or greater interest in a firm or corporation that has defaulted upon a contract with the City, the State of New Hampshire, or the Federal Government within the past 5 years. A corporation must currently be in good standing with the Secretary of State Office in the state in which it is incorporated and able/authorized to conduct business in the State of New Hampshire (see RSA 293-A:15.01).

DISAGREEMENTS AND DISPUTES:

All disagreements and disputes, if any, arising under the terms of any agreement, either by law, in equity, or by arbitration, shall be resolved pursuant to the laws and procedures of the State of New Hampshire, and any agreement shall be deemed to have been executed in New Hampshire. No action at law, or equity, or by arbitration shall be commenced to resolve any disagreements or disputes under the terms of any agreement, in any jurisdiction whatsoever other than the State of New Hampshire and Strafford County.

DELIVERY:

Deliveries are to be made only to the City department or division indicated on the purchase order and in accordance with accepted commercial practices, without extra charge for packing or containers.

Deliveries, which do not conform to the specifications or are not in good condition upon receipt shall be replaced promptly. Deliveries shall be inside the building, and accepted weekdays between the hours of 8:30 AM and 3:00 PM unless otherwise stated. Delivery arrangements must be made with requesting department prior to delivery.

INVOICING:

Unless otherwise stated, invoices are to be submitted in duplicate upon delivery or pick-up to the user department or division. The invoice must include an itemization of all items, supplies, repairs or labor furnished, including unit list price, net price, extensions and total amount due. In addition, on projects that will involve partial/progress payments and/or retainage, a summary statement in the following format will be provided with each invoice:

Original Contract Amount	\$\$\$\$\$\$\$\$
Plus/minus Change Orders	\$\$\$\$\$\$\$\$
Total Adjusted Contract Amount	\$\$\$\$\$\$\$\$
Work Completed to Date	\$\$\$\$\$\$\$\$
Less Previous Invoices	\$\$\$\$\$\$\$\$
Equals: Balance due this Invoice	\$\$\$\$\$\$\$\$
Balance Remaining on Contract	\$\$\$\$\$\$\$\$

All invoices must reference a valid City of Dover Purchase Order Number.

PROGRESS PAYMENTS AND RETAINAGE:

Progress Payments: On not later than the last day of every month, the Vendor shall prepare and submit an invoice covering the total quantities of work that have been completed from the start of the job up to and including the last day of the preceding month together with such supporting evidence as required by the City.

Retainage: The City shall retain a portion of the progress payments, each month, in accordance with the following procedures:

NONE

PAYMENT:

Unless otherwise stated, payment by check will be made within thirty (30) days of the completion of delivery of all items or service, in acceptable condition, to the City and receipt of invoice, whichever is later. Vendors that accept payment by credit card shall be paid upon the completion of delivery of all items or service, in acceptable condition, to the City and receipt of invoice. The decision of whether to pay by check, or by credit card if the Vendor accepts payment by credit card, shall be in the City's sole discretion.

The City is exempt from all sales and Federal excise taxes. The City is a political subdivision of the State of New Hampshire and, therefore, in accordance with IRS regulations, not subject to Federal taxes. Please bill less these taxes. The City's tax id number is 02-6000230.

PRICING:

Unless otherwise specified all prices listed are firm for the term of the contract. All prices should include all labor, material and transportation costs, and any discounts offered. No fuel surcharges shall be allowed at any time.

INSPECTION & EVALUATION:

The City of Dover reserves the right to inspect the Vendor's facilities during operating hours to determine that the level of inventory is adequate for the City's needs. The conditions and operations of the facility shall be taken into consideration in making the award of this contract.

GUARANTEES & WARRANTY:

All parts and labor related to agreements must be guaranteed and include a warranty. If any work is unable to be guaranteed, the contractor must inform the City, in writing, prior to the delivery of an item or any work being performed. Non-guaranteed work must be offered at a discount rate from the proposal prices. **Inspection, testing and final determination of non-warranty work shall be performed at no cost to the City.**

LIMITATIONS OF LIABILITY:

If the proposer requires any limitations on its liability it must set forth such limitations in its

proposal. The City reserves the right to reject any proposal(s) with such limitations.

NOTWITHSTANDING ANYTHING TO THE CONTRARY, IN NO EVENT WILL VENDOR BE LIABLE FOR ANY CONSEQUENTIAL, INDIRECT, INCIDENTAL, SPECIAL, EXEMPLARY, PUNITIVE, OR ENHANCED DAMAGES IN CONNECTION WITH THIS AGREEMENT OR THE SERVICES PERFORMED, AND IN NO EVENT WILL VENDOR'S AGGREGATE LIABILITY ARISING OUT OF OR RELATED TO THIS AGREEMENT OR THE SERVICES PERFORMED EXCEED THE AMOUNT OF THE APPLICABLE INSURANCE LIMITS SET FORTH IN THIS AGREEMENT.

LIQUIDATED DAMAGES:

NONE

ENVIRONMENTAL:

The City of Dover supports the concept of purchasing products that are biodegradable, can be or have been recycled, or are environmentally sound. Due consideration will be given to the purchase of such products. If you are bidding on any such products which qualify, or utilizing such products in a service you are bidding, please so indicate in your submittal by item number and description.

DISADVANTAGED BUSINESS ENTERPRISES:

The City notifies all Vendors that it will affirmatively ensure that in any contract entered into pursuant to this Request for Proposals, disadvantaged business enterprises will be afforded full opportunity to submit proposals in response to this request and will not be discriminated against on the grounds of race, color, national origin, religion, sex, age or disability in consideration for an award.

NON-DISCRIMINATION:

Contracts for work resulting from this Request for Proposals shall obligate the Vendor/Contractor and the Subcontractors not to discriminate in employment practices on the grounds of race, color, national origin, religion, sex, age or disability. Statements as to non-discriminatory practices may be requested from the successful Vendor(s)/Contractor(s).

BUILDING CONSTRUCTION AND REPAIR WORK - RSA 277:5-a:

Any Vendor signing a contract to work on a construction, reconstruction, alteration, remodeling, installation, demolition, maintenance, or repair of any public work or building for the City of Dover with a total project cost of \$100,000 or more must be in compliance with the provisions of RSA 277:5-a, "Occupational Safety and Health Administration Certification."

ACCESS TO PUBLIC MEETINGS AND RECORDS:

All City of Dover public meetings are open to the public and accessible for persons with disabilities. The City of Dover is subject to the provisions of RSA 91-A, the Right-to-Know law.

DEFINITIONS:

Proposal shall also mean quotation, bid, offer, qualification/experience statement, and services.

Proposers shall also mean vendors, offerors, bidders, contractors or any person or firm responding to a Request for Proposals.

GOVERNING LAW:

The Laws of the State of New Hampshire shall govern all contracts entered into by the City of Dover. Any disputes shall be resolved within the courts of the State of New Hampshire with venue in Strafford County.

TOXIC SUBSTANCES IN THE WORKPLACE - SAFETY DATA SHEET (Right to Know):

Any Vendor who receives an order resulting from this Request for Proposal agrees to submit a Material Safety Data Sheet (MSDS) for each toxic or hazardous substance or mixture containing such substance, pursuant to RSA 277-A, when deliveries are made. The vendor agrees to deliver all containers properly labeled pursuant to RSA 277-A. Failure to submit an MSDS and/or label on each container will place the vendor in noncompliance with that purchase order. Failure to submit MSDS and/or labels on each container may result in civil or criminal penalties, including proposal debarment and action to prevent the vendor from selling said substances, or mixtures containing said substances within the City. All vendors furnishing substances or mixtures subject to RSA 277-A are cautioned to obtain and read the law referenced above.

FUNDING OUT:

All obligations of the City herein, including, but not limited to, the continuance of payments hereunder, are contingent upon the availability and continued appropriation of funds by the Dover City Council and in no event will the City of Dover be liable for any payments or obligation hereunder in excess of such appropriated funds. The City of Dover shall not be required to transfer funds from any other account to satisfy payments hereunder. Vendor will have the right to terminate this Agreement immediately upon receiving notice of such termination due to the non-appropriation of funds. Continuation of the Agreement is contingent upon the appropriation of funds.

AUDIT:

For a period of at least three (3) years after completion of any contract, it is the responsibility of the Vendor to make available at the Vendor's place of business, upon demand, all price lists, documents, financial records and other records pertaining to purchases made and/or work performed under contract for the purposes of audit by the City of Dover.

EXCLUSIVITY:

This contract will be for the goods/services described above; however, this agreement should not be considered exclusive. As deemed necessary, the City reserves the right to obtain these goods/services from any other vendor.

MISCELLANEOUS:

All State of New Hampshire and local codes, permits, and licensing requirements must be met by anyone performing work on City property. Vendor is required to obtain such permits and/or licenses prior to commencing any work. Any City permit/license fees will be waived by the City. Copies of such permits and licenses shall be forwarded to the Purchasing Agent for the

City's file prior to any work commencing.

SEVERABILITY:

If any of the GENERAL TERMS AND CONDITIONS is held to be invalid or unenforceable, it will be construed to have the broadest interpretation which would make it valid and enforceable under such holding. Invalidity or the inability to enforce a term or condition will not affect any of the other GENERAL TERMS AND CONDITIONS.

FAILURE TO COMPLY WITH THESE REQUIREMENTS COULD RESULT IN THE CANCELLATION OF AN ORDER OR CONTRACT AND/OR BEING BARRED FROM FUTURE BIDDING.



CITY OF DOVER

REQUEST FOR PROPOSAL

Request Type Proposal Number: B26073
 Title **Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue**
 Date May 18, 2026

CONTACT INFORMATION: Proposer must complete the following: By signing this proposal form you are attesting to your awareness and agreement with proposal terms and conditions. I certify that I am authorized to sign this form for the Proposer.

Official Entity Name	SavATree	FOB Information:	Dover NH
Address:	550 Bedford Road		
City, State, Zip	Bedford Hills, NY 10507		
Email address:	tmiles@savatree.com	State of Incorporation	NY
Date:	6/10/26	SSN or EIN:	13-3257374
Telephone #:	781-336-1283	Fax #:	
Signature:	<i>Thomas O. Miles</i>	Title:	Consulting Arborist

We, the undersigned have declined to submit a proposal for:

- Insufficient time to respond*
- We do not offer this product or service*
- Our schedule would not permit us to perform*
- Unable to meet specifications*
- Unable to meet bond requirements*
- Unable to meet insurance requirements*
- Specifications too stringent (explain below)*
- Other*

NO PROPOSAL

ADDENDA ACKNOWLEDGEMENT FORM
Submit with Bid

BIDDER acknowledges receipt of the following addenda (as applicable):

Addendum No. 1 Dated 6/23/2026

Addendum No. 2 Dated 6/23/2026

Addendum No. 3 Dated _____

Addendum No. 4 Dated _____

Addendum No. 5 Dated _____

SavATree

(Name of Bidder)

By: Thomas Miles

Title: Consulting Arborist

Please cut and affix this label to your sealed bid envelope to identify it as a "SEALED BID" Be sure to include the name of the company submitting the bid where requested.

SEALED PROPOSAL * DO NOT OPEN	
Sealed Proposal #: Proposal Title: Due Date/Time: Submitted by:	B26073 Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue Date June 30, 2026 at 2:00 p.m. EST
DELIVER TO:	
City of Dover Purchasing & Finance Office City of Dover NH City Hall 288 Central Ave 2 nd Floor Dover, NH 03820	

<http://www.dover.nh.gov/government/city-operations/finance/bids/>

Before submitting your bid, you should check our website to download any addenda that may have been issued. Be sure to mark your sealed bid envelope that you have received all addenda.



CONSULTING GROUP

B26073 Consulting Services for Comprehensive Plan
To Replace Diseased Ash Trees Downtown Central Avenue

For

Dover, New Hampshire

June 23, 2026



119A Walnut St
Rochester, NH 02867
Office: (603) 332-1246 • Cell: (781) 336 - 1283
tmiles@savatree.com
savatree.com

June 22, 2026

City of Dover, NH
Office of the Finance Director
288 Central Ave
Dover, NH 03820-4169

Dear Kathleen Cragin,

On behalf of SavATree Consulting Group, I am pleased to submit our proposal in response to B26073 Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue. We appreciate the opportunity to support the City of Dover in its efforts to improve its urban forest through comprehensive inventory and management planning.

SavATree Consulting Group has extensive experience in urban forestry consulting, providing services to a wide range of municipalities and organizations throughout the country. Our team of expert consulting arborists is uniquely positioned to deliver high-quality, actionable tree intelligence from individual tree scale to urban forest scale, customized to meet the needs of your community.

Our proposal outlines a robust approach to:

- Conduct a tree inventory of roughly 80 ash trees and prioritize tree removals based on current tree condition and risk level.
- A GIS based TreePlotter program will be utilized to collect and show data along with the basic tree risk assessments.
- Site data will be used to determine new tree species picked for planting to replace the ash trees.

We are confident that our team's expertise and commitment to sustainable urban forestry will help the City of Dover achieve its urban forest management goals while also addressing the pressing environmental and tree diversity issues impacting your community.

Thank you for considering our proposal. We look forward to the opportunity to partner with you and contribute to the enhancement of your urban forest. If you have any questions or require additional information, please feel free to contact me directly at 781-336-1283 or tmiles@savatree.com

Sincerely,

Thomas O. Miles, Consulting Arborist
SavATree Consulting Group

ASCA/RCA #868
Registered Consulting Arborist*

We care for what you love

PROJECT REQUIREMENTS

The goal with this grant is to create a comprehensive plan for replacing the dying ash trees that also addresses stormwater management and canopy heat exposure with aesthetic preferences based on public engagement feedback.

SCOPE OF SERVICES

You seek a qualified vendor with technical expertise and strategic insight to complete tree risk assessments and provide tree management decisions. The project will comprise of three parts: Landscape Architecture Assignment, Arborist Assignment and Comprehensive Plan. This plan should not only address the immediate needs of the city but also provide a long-term framework for expanding and maintaining the urban canopy. The ideal vendor will offer tailored solutions that integrate best practices in urban forestry, sustainable growth, and environmental stewardship, ensuring the city can effectively enhance its green infrastructure while promoting ecological resilience and community well-being.

SavATree team will include Thomas O. Miles and Edward Roy. Tanya Chesnell and Terrence Parker from terra firma Landscape Architecture will also be part of this team. Mr. Miles is a Registered Consulting Arborist who is also an ISA Certified Arborist® and is Tree Risk Assessment Qualified and equipped with TreePlotter GIS software, to perform Level 2 Tree Risk Assessments of the ash trees and build a comprehensive tree management database for this project. Our local project lead will be Thomas O. Miles and Edward Roy and will:

1. Prepare a Tree Inventory and Assessment (ANSI A300 Clause 13, Level 2) including the following items:

Data Collection per Tree: Record and document the following:

- Tree ID, location mapped.
- Size of tree pit or location.
- Soil condition and depth.
- Diameter at breast height (DBH) at 4.5 feet; for multi-stemmed trees, record the largest stem
- Note conflicts with surrounding infrastructure (utilities, signs, buildings, etc.)
- Condition rating of tree(s): good, fair, poor, or dead



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Rochester, NH 02867
Office: (603) 332-1246 • Cell: (781) 336 - 1283
tmiles@savatree.com
savatree.com

- Note visible defects, with type and severity
- Note signs of pests or disease with identification

Risk Evaluation: Classify each assessed tree into a risk category (Low, Moderate, High, Extreme) based on observed conditions, including but not limited to decay, structural defects, deadwood, and other hazards.

Photographic Documentation: Provide color, clearly labeled digital photographs of each assessed tree, any defects and surrounding area.

Planting Recommendations: Each planting site will be reviewed for a new tree that will be adaptable to climate change, manage storm water and provide aesthetics for the public.

1. Data collection, mapping and design should be completed by August 2026
2. Tree species selection for each planting location by September 2026
3. Comprehensive plan report with City of Dover insight by October 2026

FIRM

SavATree Consulting Group has extensive experience in urban forestry consulting, providing services to a wide range of municipalities and organizations throughout the country. Our team of expert consulting arborists is uniquely positioned to deliver high-quality, actionable tree intelligence from individual tree scale to the urban forest scale, customized to meet the needs of your community. We are a leader in the tree care industry and have over 30 years of experience. Every branch in our company is TCIA Accredited (Tree Care Industry Association) and properly insured.

We have Registered Consulting Arborists, Board Certified Master Arborists, ISA Certified Arborists, Tree Risk Assessment Qualified and Licensed Tree Experts (LTE) on our staff. We also provide general tree care, plant health care and lawn care from our local branch offices. We are available to work with the City of Dover on this project. Our office in Rochester, NH has been serving the City of Dover for many years. We will be able to provide consulting, general tree care, plant health care and lawn care services as needed.

We care for what you love

TEAM BACKGROUND

Key Staff Member

Thomas O. Miles, RCA, CA, TRAQ
Consulting Arborist

YEARS WITH SAVATREE: 13

YEARS OF URBAN FORESTRY EXPERIENCE: 30

Thomas O. Miles has a B.S. degree in Wildlife, Fisheries and Forest Sciences with minors in Forestry, Biology, Botany and Environmental Geography from Frostburg State University in western Maryland. He has also completed post-baccalaureate and continuing education courses in forestry, environmental sciences and natural resources management from the University of New Hampshire and Johns Hopkins University. Mr. Miles is an experienced consulting arborist with over two decades of expertise in urban forestry, tree risk assessments, and environmental management. His career includes roles at SavATree, where he provides actionable tree intelligence through services such as tree inventories, risk assessments, and habitat restoration plans, and Titan Tree Care, where he managed large-scale tree preservation and forest conservation projects. He holds multiple certifications, including ISA Tree Risk Assessment Qualification, Virginia Registered Consulting Forester, ISA Certified Arborist, Maryland Licensed Tree Expert and ASCA Registered Consulting Arborist. He has received awards for his contributions to land conservation and tree preservation. Thomas's diverse background, spanning arboriculture, forestry, and ecological consulting, equips him to deliver high-quality solutions tailored to complex tree management challenges.



Licenses/ Certifications

- Registered Consulting Arborist #868
- ISA Certified Arborist #MA-5280A
- ISA Tree Risk Assessment Qualification
- ASCA Tree and Plant Appraisal Qualification



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Edward A. Roy ISA CERTIFIED ARBORIST

Edward provides comprehensive tree, shrub, and lawn services to homeowners like you throughout Southeastern New Hampshire. He holds a B.S. in Botany from UNH as well as a Master's in Ecology from UCONN. As an ISA Certified Arborist with over 25 years of experience, Edward's expertise in arboriculture allows him to provide tailored solutions that keep your trees healthy and your property looking its best. Outside of work, Edward enjoys woodworking, photography, writing, and playing guitar.

QUALIFICATIONS:

Edward has been involved in commercial tree care since 1996. His degrees in Botany and Ecology gave him the tools to understand the science of tree care. He has also worked in the field and appreciates the daily challenges that are faced by the field crews.

EDUCATION:

Edward earned his B.S. in Botany from the University of New Hampshire, as well as his M.S. in Ecology from the University of Connecticut.

INDUSTRY INVOLVEMENT/AWARDS/CERTIFICATIONS:

- ISA Certified Arborist
- Maine Licensed Arborist

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tmiles@savatree.com
savatree.com

Tanya Chesnell,

Landscape Architect

163.a Court Street

Portsmouth, NH 03086

www.terrafirmalandarch.com

603.801.1205

Professional

Experience: Landscape Architect, *terra firma landscape architecture*, Portsmouth, N.H.: 2011- Present
Responsibilities: CAD drafting, digital perspectives, sections and elevations, marketing, site analysis, plant identification, permitting, small scale surveying, materials research, schematic design, grading, planting design, construction detailing, bidding oversight.

Gardener/Assistant Designer, *Beth Arndsten Landscape Designs*, Weston, MA: 2010-2011

Skills Acquired: Plant identification, design principles, nursery purchases, property maintenance, client relations, wetland restrictions and care, planting design, and planting techniques.

Plant Care Technician, *Plantscape Technologies*, Townsend, MA: 2009

Skills Acquired: Knowledge of interior plant design, plant care, and plant identification.

Education +

Recognition: Bachelor of Science in Landscape Architecture Magna Cum Laude
University of Massachusetts Amherst, Spring 2011

Dean's List

University of Massachusetts Amherst, Spring 2008 -Spring 2011

University of Connecticut, Fall 2007

ASLA Honor Award

University of Massachusetts Amherst, 2011

Thomas B. + Lorraine K. LeNoir Award

University of Massachusetts Amherst, 2009

Licensure: The States of Maine, and New Hampshire

Addenda: Vice President of Communications
UMass Amherst Student Chapter ASLA
University of Massachusetts Amherst, 2010-2011

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Terrence Parker,

landscape art / landscape architect

163.a Court Street
www.terrafirmalandarch.com

Portsmouth, NH 03086
603.531.9109

Professional

Approach: To use my insight as a Landscape Architect to create culturally and ecologically meaningful landscape and sculpture that advance the quality of understanding of history and of human interaction with the land.

Experience: Principal, *terra firma landscape architecture*, Portsmouth, N.H.: 1993- Present
TFLA has provided high quality and creative site design for public institutions and commercial facilities planning and design for recreational centers and residential clients. Project tasks include program development, contract documentation, presentations, project management, and construction observation.

Project Landscape Architect, To Design, Hartford, CT. : 1991-1993
Educational, commercial, and residential site design.

Project Landscape Architect, CR3, Inc. Simsbury, CT. : 1984-1991
Site Planning and design, including schematic design, design development, and construction documents for urban plazas, parks, residences, hospitals, commercial and educational facilities. Presentations for client review, local planning and zoning regulatory approval. Management of project schedule and budget.

Expertise: Landscape Sculptural / Land Art, Site Analysis and Construction Documentation, Concept generation : Master Planning, Sustainable Planting, Rain Garden, Native Ornamental Garden Design

Education: *Master of Landscape Architecture*, 1984, University of Georgia
Thesis Topic: *Environmental Design in Stone: An Archetypal Landscape in Southern New England*

Travel Studies in Japan, 1982, Temple Gardens of Kyoto and Tokyo, University of Georgia
Bachelor of Science, Natural Resources, 1979, University of Rhode Island

Licensure: The States of Maine, New Hampshire, and Massachusetts

Addenda: Boston Society of Landscape Architects 2017 Merit Award in communication for the StoneBale
Boston Society of Landscape Architect 2015 Merit Award in communication for the Central School
Sculpture Prize - Connecticut Academy of Fine Arts 80 the Annual Saloon Show, 1990
Artist in Residence, Cortona, Italy, University of Georgia + Studies Abroad, Fall 1990
Adjunct Professor, Paier College of Art, Fall 1989
Designer of *Stone Occurrences*, abstract stone landscape installations, Catskill Mountains. 1985-95
Rhode Island Nurserymen's Association Award for Plant Identification, 1979

COST

1. Landscape Architecture Assignment	\$8,000.00
2. Arborist Assignment	\$4,000.00
3. Comprehensive Plan	\$2,000.00
Total:	\$14,000.00

COMMITMENTS

The SavATree Consulting Group will be able to go over any landscape architecture ideas, collect tree data, create tree removal priorities, document planting locations, pick new tree species to be planted and write the comprehensive plan with the City of Dover. SavATree can also help with the tree removals and plant installation. Our office in Rochester, NH, is available to be of assistance for this project and any other projects the City of Dover has in the future.

REFERENCES

REFERENCE 1

Organization: City Of Boston, Real Estate and Sales Division
Project Manager: Marco Rebaza
Phone number: 617-735-7404
Email (if available): marco.rebaza@boston.gov
Project Description: Level 2 tree risk assessments for the City of Boston
Project Start and End Dates: Completed in 2024

REFERENCE 2

Organization: Togus VA Medical Center, Augusta, Maine
Project Manager: Brian Sager (WERK Urban Design)
Phone number: 602-429-9922
Email: bsager@werkurbandesign.com
Project Description: Large scale tree inventory and tree risk assessments for a landscape master plan of the Togus campus.
Project Start and End Dates: September 2024 to December 2024

REFERENCE 3

Organization: EcoTec, Inc.
Project Manager: John Rockwood, Ph.D., SPWS
Phone number: 508-752-9666 x225
Email: jrockwood@ecotecinc.com
Project Description: Tree inventories and tree risk assessments for multiple land development projects in Newton and metro-west Boston.
Project Start and End Dates: 2024 to current

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 tmiles@savatree.com
 savatree.com

REFERENCE 4

Organization: Ipswich Fire Station
Project Manager: Paul Parisi, Chief of Department
Phone Number: 978-356-6627
Email: pparisi@ipswichfire.org
Project Description: Tree inventory and risk assessments associated with construction and tree preservation for new fire station.
Project Start and End Dates: 2025-2026

REFERENCE 5

Organization: Salem Country Club
Project Manager: William Rocco, Superintendent
Phone Number: 774-722-3172
Email: wrocco@salemcountryclub.org
Project Description: Tree and shrub planting plan and consulting arborist oversight. Over 500 trees and shrubs were planted by a contractor for the Salem Country Club based on a planting plan and installation oversight by Thomas O. Miles. Project also included monthly and yearly monitoring of installed trees and shrubs.
Project Start and End Dates: 2022-2025

PAST PROJECT SUMMARIES

Project	Summary
<p>Northwestern University Tree Inventory and Management Plan \$76,822 Completed in 2023</p>	<p>SavATree Consulting Group completed a tree inventory for the Northwestern Evanston and downtown campuses which included a Basic Level 2 Tree Risk Assessment of almost 6,000 trees. From the tree inventory data, we created a tree management plan including a manual of campus tree management best practices; and a scheduled program of maintenance and monitoring to improve campus tree health, safety, and aesthetics.</p>
<p>City of Norcross, Georgia Street and Park Tree Inventory and Management Plan \$35,040 Completed in 2023</p>	<p>SavATree Consulting Group completed a street and park tree inventory and management plan for the City of Norcross, Georgia which included a Basic Level 2 Tree Risk Assessment of over 3,000 trees. A tree management plan was developed for the street trees as well as the park trees to prioritize management decisions, reduce risk, and improve tree canopy sustainability.</p>

We care for what you love



CONSULTING GROUP

119A Walnut St
 Rochester, NH 02867
 Office: (603) 332-1246 • Cell: (781) 336 - 1283
 tmiles@savatree.com
 savatree.com

<p>Town of Somers, New York Tree Inventory and Community Forest Management Plan \$34,803 Completed in 2021</p>	<p>SavATree Consulting Group completed an inventory of 3,646 street and park trees throughout the town of Somers, NY. We conducted an ANSI A300 level 2 visual assessment and provided an ISA Qualitative Risk Rating for each tree. Tree inventory data was run through i-Tree Eco to calculate the environmental benefits of the tree population. A written 5-year Community Forest Management Plan was provided that summarized the current tree population, observed insect/disease issues, made recommendations for future plantings, and 5-year tree management budget.</p>
<p>Denver High Line Conservancy High Line Canal Tree Risk Assessment \$100,000 Completed in summer 2022</p>	<p>SavATree Consulting Group was contracted to perform Basic Tree Risk Assessments on trees 12 inches and greater along the 71 mile long High Line Canal, a former irrigation distribution canal turned recreational trail. This comprised over 8,500 trees along the recreational trail owned by Denver Water that runs through several jurisdictions. We recommended work mitigation timelines in reports to each municipality based on ISA's Best Management Practices for Tree Risk Assessment priorities.</p>
<p>Togus VA Medical Center, Augusta Maine Tree Inventory and Management Plan \$40,000 Completed 2024</p>	<p>SavATree Consulting Group completed tree inventory and management plan for the Togus VA Medical Center which included a Basic Level 2 Tree Risk Assessment of 650 trees. A tree management plan was developed for the trees close to medical buildings and in high pedestrian traffic areas to prioritize management decisions, reduce risk, and improve tree canopy sustainability.</p>

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Rochester, NH 02867
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tmiles@savatree.com
savatree.com

SavATree Consulting Group Terms & Conditions

Thank you for choosing SavATree! The following terms and conditions, together with the terms, prices, and specifications outlined on your proposal constitute your entire agreement with SavATree, LLC and all related DBAs (collectively referred to as "SavATree") ("Agreement").

SECTION 1: SAVATREE'S RESPONSIBILITIES

- 1.1 You ("Client") are engaging SavATree to perform the services specified in your proposal (the "Services"). No changes to the scope of Services shall be valid unless signed, in writing, by Client and SavATree.
- 1.2 **CONTINGENCIES:** SavATree shall immediately notify Client of any discrepancy that the SavATree believes to exist with respect to any aspect of the Services to be provided. SavATree shall not be required to perform any services under this Agreement in the event SavATree deems the conditions are such that its services cannot be safely performed and/or performance becomes impractical.
- 1.3 SavATree shall coordinate all Services activities through Client in order to complete the Services.
- 1.4 By acceptance of this Agreement, SavATree represents that it is generally knowledgeable of all applicable codes, laws, rules, and regulations of federal, state, municipal and other authorities as they affect the Services, and that it is licensed as necessary to perform the Services. SavATree shall comply with all such codes, laws, rules, and regulations which are legally in effect or have effective dates established that are in the construction time horizon at the time SavATree commences its services. If requested, SavATree shall produce all current valid credentials and/or licenses.
- 1.5 **SCHEDULING AND COORDINATION:** SavATree and Client shall develop and adhere to a schedule for the SavATree's performance of the Scope of Services. SavATree shall coordinate its Services with those of Client and other consultants to ensure orderly progress of the Services and shall provide drawings, reports, and other necessary information required by Client, provided such information is consistent with the scope of the engagement.
- 1.6 SavATree agrees to provide the necessary Workers' Compensation insurance at SavATree's own cost and expense for itself and any employees employed by SavATree. Likewise, SavATree is insured for liability resulting from injury to persons or negligent damage to property.
- 1.7 **NO WARRANTIES:** Except as expressly set forth in this Agreement, no representations, warranties, or guarantees, express or implied, are intended with regard to products used or services performed. SavATree will perform the Services according to industry practices and standards; however, Client acknowledges that living organisms can pose risks due to underlying conditions, weather, decay, neglect, or acts of third parties. SavATree does not warrant that it can discover all risks and/or conditions and is not liable for damages or losses that occur as a result of unknown and unforeseen risk or conditions, if same could not be identified in performance of the Services according to industry standards.
- 1.8 SavATree consultants and employees shall not be required to give testimony or attend court proceedings, depositions, or any other meeting, public or private, related to the Services, unless subsequent contractual arrangements are made, including but not limited to, payment of an additional fee for such services as described

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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

5/21/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Arthur J. Gallagher Risk Management Services, LLC 300 Madison Ave 28th Floor New York NY 10017	CONTACT NAME: Paulette Porfyris PHONE (A/C, No. Ext): FAX (A/C, No): E-MAIL ADDRESS: GGB.SavATreeCOI@ajg.com
	INSURER(S) AFFORDING COVERAGE
INSURED SavATree, LLC 550 Bedford Road Bedford Hills, NY 10507	INSURER A: Everest National Insurance Company
	INSURER B: American Guarantee and Liability Ins Co
	INSURER C: Lloyd's Synd 2791 Managing Agnc Partners
	INSURER D: Great American Insurance Company
	INSURER E: Everest Premier Insurance Company
	INSURER F: Everest Denali Insurance Company

COVERAGES

CERTIFICATE NUMBER: 977992543

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y	RM5GL00091-251	7/1/2025	7/1/2026	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP AGG \$ 4,000,000
F	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY	Y	RM5CA00082-251 RM5CA00083-251	7/1/2025 7/1/2025	7/1/2026 7/1/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 2,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000		XC4CU00043-251	7/1/2025	7/1/2026	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000
E	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY <input type="checkbox"/> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	RM5WC00117-251 RM5WC00118-251 RM5WC00119-251	7/1/2025 7/1/2025 7/1/2025	7/1/2026 7/1/2026 7/1/2026	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
B C D	<input type="checkbox"/> Excess Liability <input type="checkbox"/> Excess Automobile Liability <input type="checkbox"/> Pollution/Professional Liability	Y	AEC 0178816-10 CD2500954 PCM4884816-16	7/1/2025 7/1/2025 11/1/2024	7/1/2026 7/1/2027 11/1/2026	Each Occ./Aggregate \$10,000,000 Each Occ./Aggregate \$3M / \$6M Each Occ./Aggregate \$10,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Certified Arborists providing professional tree and lawn services and organic lawn care.

Please see additional pages for endorsements and project specific information. To the extent covered by endorsement form(s):

General Liability:
 CG 00 01 (04/13) Commercial General Liability Coverage Form
 CG 24 04 (12/19) Waiver of Transfer of Rights of Recovery Against Others To Us (Waiver of Subrogation)
 CG 20 01 (12/19) Primary and Non-Contributory - Other Insurance Condition
 See Attached...

CERTIFICATE HOLDER**CANCELLATION**

Town of Atkinson
 21 Academy Ave
 Atkinson NH 03811

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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ADDITIONAL REMARKS SCHEDULE

AGENCY Arthur J. Gallagher Risk Management Services, LLC		NAMED INSURED SavATree, LLC 550 Bedford Road Bedford Hills, NY 10507	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 **FORM TITLE:** CERTIFICATE OF LIABILITY INSURANCE

CG 20 10 (04/13) Additional Insured – Owners, Lessees or Contractors-Scheduled Person or Organization
 CG 20 26 (12/19) Additional Insured – Designated Person or Organization
 CG 20 37 (04/13) Additional Insured – Owners, Lessees or Contractors – Completed Operations
 CG 25 03 (05/09) Designated Construction Project(s) General Aggregate Limit
 CG 25 04 (05/09) Designated Location(s) General Aggregate Limit
 Blanket Notification to Others of Cancellation or Non-Renewal

Automobile Liability:
 CA 20 01 (11/20) Lessor – Additional Insured and Loss Payee
 CA 04 49 (11/16) Primary and Non-Contributory - Other Insurance Condition
 ECA 24 504 (03/10) Waiver of Transfer of Rights of Recovery Against Others To Us - Where Required by Contract
 Blanket Notification to Others of Cancellation or Non-Renewal

Workers' Compensation:
 WC 00 03 13 (04/84) Waiver of Our Right to Recover from Others Endorsement
 Blanket Notification to Others of Cancellation or Non-Renewal

Umbrella:
 EUM 10 100 (05/16) Commercial Umbrella Liability Coverage Form - Additional Insured if in Underlying Insurance; Waiver of Subrogation when required by written contract.

Town of Atkinson and its officials, agents, volunteers and employees are named as Additional Insureds as respects to the general liability, auto liability & professional liability policies, where required by written contract, pursuant to and subject to the policy's terms, definitions, conditions and exclusions and the insurance provided is primary and any other insurance shall be excess only, and not contributing.

**Request for Taxpayer
Identification Number and Certification**

Go to www.irs.gov/FormW9 for instructions and the latest information.

Give form to the
requester. Do not
send to the IRS.

Before you begin. For guidance related to the purpose of Form W-9, see *Purpose of Form*, below.

Print or type. See Specific Instructions on page 3.	1	Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the owner's name on line 1, and enter the business/disregarded entity's name on line 2.) SavATree, LLC
	2	Business name/disregarded entity name, if different from above.
	3a	Check the appropriate box for federal tax classification of the entity/individual whose name is entered on line 1. Check only one of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor <input type="checkbox"/> C corporation <input type="checkbox"/> S corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input checked="" type="checkbox"/> LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) P Note: Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) for the tax classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions)
	3b	If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions. <input type="checkbox"/>
	4	Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from Foreign Account Tax Compliance Act (FATCA) reporting code (if any) _____ <i>(Applies to accounts maintained outside the United States.)</i>
	5	Address (number, street, and apt. or suite no.). See instructions. 550 Bedford Rd.
	6	City, state, and ZIP code Bedford Hills, NY 10507
	7	List account number(s) here (optional)
		Requester's name and address (optional)

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. See also *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number									
or									
Employer identification number									
1	3	-	3	2	5	7	3	7	4

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest and dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and, generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person	Date 1/21/2026
------------------	--------------------------	-----------------------

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

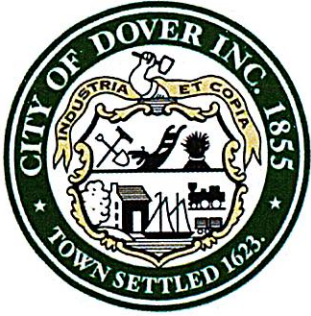
What's New

Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they



RESPONSE TO PROPOSAL B26073

CONSULTING SERVICES FOR COMPREHENSIVE PLAN TO REPLACE DISEASED ASH TREES **DOWNTOWN CENTRAL AVENUE**

DOVER, NH



SUBMITTED BY



JUNE 30, 2026

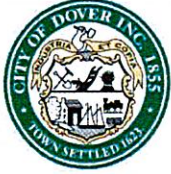
RFQ #B26073

**CONSULTING SERVICES FOR COMPREHENSIVE PLAN
TO REPLACE DISEASED ASH TREES**

DOWNTOWN CENTRAL AVENUE

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CITY OF DOVER

REQUEST FOR PROPOSAL

Request Type: Proposal Number: B26073
 Title: Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue
 Date: May 18, 2026

CONTACT INFORMATION: Proposer must complete the following: By signing this proposal form you are attesting to your awareness and agreement with proposal terms and conditions. I certify that I am authorized to sign this form for the Proposer.

Official Entity Name	Fronwood Design Group	FOB Information:	Dover NH
Address:	PO Box 873		
City, State, Zip	Exeter, NH		
Email address:	JHyland@Fenwood.com	State of Incorporation	NH
Date:	6/30/2026	SSN or EIN:	20-4712890
Telephone #:	603 772-0590	Fax #:	
Signature:		Title:	Principal Sr. Landscape Architect

We, the undersigned have declined to submit a proposal for:

- Insufficient time to respond
- We do not offer this product or service
- Our schedule would not permit us to perform
- Unable to meet specifications
- Unable to meet bond requirements
- Unable to meet insurance requirements
- Specifications too stringent (explain below)
- Other

NO PROPOSAL

ADDENDA ACKNOWLEDGEMENT FORM
Submit with Bid

BIDDER acknowledges receipt of the following addenda (as applicable):

Addendum No. 1 Dated June 10, 2026

Addendum No. 2 Dated June 22, 2026

Addendum No. 3 Dated _____

Addendum No. 4 Dated _____

Addendum No. 5 Dated _____

Ironwood Design Group
w/ Bartlett Tree Experts

(Name of Bidder)

By: Jeffrey Hyland

Title: Principal
Sr. Landscape Architect

Please cut and affix this label to your sealed bid envelope to identify it as a "SEALED BID" Be sure to include the name of the company submitting the bid where requested.

SEALED PROPOSAL * DO NOT OPEN	
<i>Sealed Proposal #:</i>	B26073
<i>Proposal Title:</i>	Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue
<i>Due Date/Time:</i>	Date June 24, 2026 at 2:00 p.m. EST
<i>Submitted by:</i>	30
DELIVER TO:	
<i>City of Dover Purchasing & Finance Office City of Dover NH City Hall 288 Central Ave 2nd Floor Dover, NH 03820</i>	

<http://www.dover.nh.gov/government/city-operations/finance/bids/>

Before submitting your bid, you should check our website to download any addenda that may have been issued. Be sure to mark your sealed bid envelope that you have received all addenda.

COVER LETTER

June 30, 2026

Ann M. Legere
Finance Director
City of Dover
Purchasing/Finance Office
288 Central Avenue, 2nd Floor
Dover, NH 03820



RE: Central Avenue Comprehensive Tree Plan — Statement of Qualifications

Ms. Legere, members of the Dover Conservation Committee, and City leadership,

On behalf of Ironwood Design Group and Bartlett Tree Experts, I am pleased to submit this Statement of Qualifications in response to RFP #B26073 Consulting Services for Comprehensive Plan to Replace Diseased Ash Trees Downtown Central Avenue.

Ironwood is proud of its successful past collaborations with the City of Dover dating back many years: Hancock Park improvements, Silver Street improvements, Woodman Park Elementary rain garden, and the Veterans Memorial at the McConnell Center, as well as ongoing projects at Lower Central Avenue and Cochecho Waterfront Development at Nebi Park. Also on the team is Jared Smith from Bartlett Tree Experts, who has served as an Arborist at Bartlett for 20 years (from the Crosby Road Dover address for many of them). With our firms' combined experience, we are uniquely qualified to support the City to create a comprehensive tree plan for its downtown area on Central Avenue.

Behind this cover you will find a complete proposal and the required signatory pages for this submittal. We acknowledge receipt of RFP addenda 1 and 2.

We look forward to discussing this important street tree project with you.

Respectfully,

A handwritten signature in blue ink, appearing to read "Jeffrey Hyland".

Jeffrey Hyland, PLA, ASLA, CLARB
Principal, Ironwood Design Group

c. 603.686.0278
e. jhyland@FeWood.com

STATEMENT OF PROJECT REQUIREMENTS

The City of Dover is facing the loss of its downtown street tree canopy along Central Avenue within a short one-to-two-year window. Approximately 80 ash trees infested with Emerald Ash Borer, line the core commercial corridor of the city. Because EAB-killed ash trees become structurally unsound and brittle quickly after canopy decline, correcting the problem is not a routine streetscape upgrade. It is a time-sensitive public safety and infrastructure problem that must be solved with a single comprehensive, phased plan rather than tree-by-tree, reactive tree removal project, as the City of Dover knows well.

Ironwood Design Group, in partnership with Bartlett Tree Experts, understands this project to require the integration of urban forestry science and landscape site design to create one publicly accessible planning document. The comprehensive tree plan project deliverable must be finalized no later than November 2026 so that implementation can begin in the 2027 planting season.

Our consultant team has identified the following design, construction, and management issues as central to a successful plan:

1. A compressed, irreversible timeline. With more than 80 ash trees already in active decline, as well as several other tree varieties needing evaluation for health and placement, sequencing of new tree installation matters as much as species selection. The comprehensive tree plan must establish a defensible, risk-based removal order — prioritizing trees by their hazard potential, proximity to pedestrian and vehicle traffic, and structural condition — coordinated with a planting sequence so that the downtown is never left without canopy coverage for an extended period.
2. Severely constrained below-grade conditions. The downtown tree boxes are typically small, isolated, and surrounded by compacted subgrade, utility trenches, and impervious sidewalk and roadway. Soil volume — not simply species — is usually the limiting factor in urban tree survival and mature canopy size. A comprehensive tree plan needs to assess existing pit capacity and recommend where structural soil, suspended pavement systems, shared/trenched planting strips, or tree box expansion are feasible to support and enhance tree root systems. In other instances, the City will be limited to smaller-stature species by necessity. Together these variables should be considered for long-term success of new plantings.
3. Utility conflicts, above and below grade. Overhead wires constrain mature tree height and form in some Central Avenue blocks; underground utility laterals constrain root zone expansion and excavation. A defensible species-by-location list must be cross-referenced against utility mapping.
4. Avoiding a second monoculture failure. The ash tree die-off now seen by many municipalities is itself the lesson: a single-species or low-diversity planting palette leaves street trees exposed to the next pest or pathogen. The comprehensive tree plan should apply an explicit diversification standard (e.g., no single species exceeding a defined percentage of the total replacement population, and to avoid two adjacent trees of the same species/genus) so the corridor is resilient by design. The City would like to add 12 new tree species to this corridor, while not necessarily adding additional red maple.

STATEMENT OF PROJECT REQUIREMENTS

5. Stormwater management and urban heat island reduction are co-equal goals with canopy replacement, not simply secondary benefits. The RFP and grant funding (PREP Climate Impact Grant, Great Bay 2030 Initiative) are explicit that the comprehensive tree plan must address stormwater and heat exposure downtown. We understand this as requiring the design to consider bioretention-capable tree pits, permeable paving at tree boxes where feasible, and species selection partly weighted toward canopy density and shade value — not as a stormwater project with trees added on top.

6. Climate-adapted species selection for a downtown microclimate. Replacement species must tolerate winter deicing salt exposure, reflected heat and drought stress from the urban environment, soil compaction, and air pollution — and must remain viable under a shifting regional climate over the 30-50+ year intended lifespan of the planting.

7. A plan that functions as both a technical document and a public-facing one. Because the comprehensive tree plan will be posted on the City's website as a public document, it must be legible and easy to understand for resident laypersons and developers. It will also serve the Conservation Commission and the Forestry Management work group — combining technical specificity (species lists, planting details, phasing) with clear graphics and plain-language rationale.

8. Long-term management capacity, not just a planting plan. A list of trees to plant is incomplete without a maintenance framework that the City's Public Works/Forestry staff can easily execute. The plan will establish watering protocols, structural pruning cycles, monitoring, and a succession strategy — should a tree fail, get damaged or destroyed by accident or otherwise succumb to urban streetscape pressures. These continuing strategies will be an important part of the comprehensive tree plan.

9. Municipal and state coordination. Central Avenue is more than a City street, it is a gateway to the City. Planting tree pits and subsurface improvements within the right-of-way will likely require coordination with NHDOT, and City Engineering and Public Works. We recognize this variable because it affects both permitting lead time and potentially street tree design. Coordination of the comprehensive tree plan with stakeholders is integral to project success.

We believe these nine issues define a credible comprehensive tree plan and distinguish it from a simple replacement tree list.



Cochecho Waterfront Development Nebi Park, Ironwood current project

SCOPE OF SERVICES

Ironwood Design Group will serve as prime consultant and Landscape Architect of record, leading site design, leading environmental/site condition assessment, and management

- planning. Bartlett Tree Experts will serve as arboricultural sub-consultant, species and BMP recommendations, and removal/planting timeline guidance, consistent with the three-part scope structure in the RFP (Landscape Architect Assessment / Arborist Assessment / Comprehensive Plan).

Our approach is organized into six tasks, sequenced to compress the available window between project award and the November 2026 plan finalization deadline while still allowing two rounds of stakeholder and Conservation Commission/Forestry Management work group input.

Task 1 — Project Initiation & Existing Conditions Inventory

Ironwood Design Group with Bartlett Tree Experts

- Kickoff meeting with City staff, Conservation Commission, and Forestry Management work group to confirm goals, decision-making process, and review existing data the City already holds on the 80 ash trees and other varieties within the project area.
- Bartlett confirms a tree-by-tree condition and hazard assessment of the existing ash population (structural condition, EAB decline stage, risk ranking, removal priority).
- Ironwood conducts a parallel site inventory of the public realm: tree pit/box dimensions and soil volume, sidewalk widths, above- and below-grade utility conflicts (via utility mark-out coordination), existing stormwater conditions, and sun/shade exposure by block.
- Deliverable: a single base map and conditions inventory, segmenting Central Avenue into discrete planning blocks for risk-based phasing.

Task 2 — Public Meeting Attendance

Ironwood Design Group with Bartlett Tree Experts

- Attend working session(s) facilitated by the Dover Conservation Commission and Forestry Management leadership.
- Receive public feedback and preferences from the City stakeholders (online survey, etc) as the information becomes available for design integration.

Task 3 — Species Selection & Arboricultural Best Management Practices

Ironwood Design Group with Bartlett Tree Experts

- Develop a climate-resilient, diversified species palette cross-referenced against actual tree pit dimensions, utility constraints, and salt/heat/compaction tolerance — applying an explicit diversification standard.
- Develop planting and establishment best management practices (soil specification, structural soil/suspended pavement recommendations where pits require expansion, irrigation during the establishment period, staking/protection standards).
- Develop the phased removal-and-replacement timeline, integrating Task 1 risk rankings with the block-by-block sequencing framework.

SCOPE OF SERVICES

Task 4 — Site Design and Management Framework

Ironwood Design Group

- Develop downtown streetscape design alternatives at the block scale: tree placement and spacing, tree box/pit improvements and opportunities for bioretention or permeable surface treatments at planting areas to address stormwater and heat island mitigation goals.
- Coordinate design alternatives with NHDOT right-of-way requirements according to Central Avenue's status as NH Route 108.
- Draft management plan: pruning and monitoring cycles, canopy cover targets, maintenance, and a succession policy for street tree management.
- Present design alternatives and management plan to the City stakeholders (Conservation Commission and Forestry Management work group) (first review).

Task 5 — Draft Comprehensive Tree Plan and Review

Ironwood Design Group

- Compile the comprehensive tree plan document with explanatory graphics: site design and phased removal/replacement plan, species and BMP recommendations, stormwater/heat island narrative, and management plan.
- Circulate draft to reviewers as directed by the City's project stakeholders (second review)

Task 6 — Final Comprehensive Tree Plan

Ironwood Design Group

- Incorporate final reviewer comments into the final draft document.
- Provide the final comprehensive tree plan, formatted for publication on the City website as a public-facing document with implementation planned for the 2027 planting season.



Cochecho Waterfront Development Nebi Park, Ironwood current project

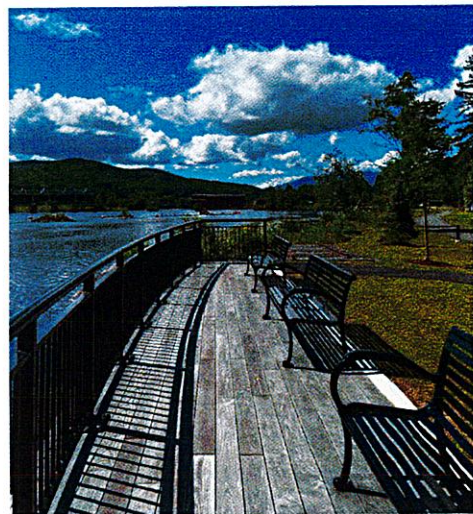
SCOPE OF SERVICES

Anticipated Schedule

Task	Description	Target Window
1	Kickoff & existing conditions inventory	Month 1
2	Attend City-hosted outreach meeting(s)	TBD
3	Species selection & arboricultural BMPs	Month 2–3
4	Present site design & management framework	Month 2–3
5	Draft plan & stakeholder review	Month 3–4
6	Final Comprehensive Plan delivered	Month 4–5

finalized for November 2026

After kickoff, Tasks 3 and 4 run concurrently with efforts supporting each other — allowing the six-task sequence to fit the proposed timeline and affording City stakeholder review.



Androscoggin Riverwalk, Berlin, NH, Ironwood past project

FIRM



Firm Snapshot

- 25+ years serving New Hampshire municipalities
- Local NH Seacoast office; 5 staff
- Successful public projects with more than 80 communities

Why Ironwood

- Close familiarity with the City of Dover
- Long standing focus on LID, sustainability, maintainability
- Emphasis on community vitality and placemaking
- Many prior successful streetscape projects and a proven track record

Ironwood Design Group is a New Hampshire-based landscape architecture firm. Founding Principal Jeffrey Hyland has lived on the seacoast for over 25 years while practicing as a landscape architect. He has extensive experience supporting municipalities across diverse project types, including riverwalks, parks and playgrounds, athletic and recreation facilities, and Complete Streets streetscapes.

Ironwood has a history of leveraging innovation in engineering and horticulture to support the health and longevity of landscape trees and shrubs. In 2008, our firm designed and supervised installation of the first Silva Cell tree box in New Hampshire. (Silva Cell is a tree box device designed to capture and manage stormwater while supporting the growth of street trees.) Today these Silva Cell trees are going strong after 18 years, and this success has been repeated in other municipalities in New Hampshire.



Firm Snapshot

- Serving 27 states from nearly 100 offices; ~1,500 staff
- Local offices in Dover / Portsmouth
- Deep bench of scientific staff supporting local arborists and field technicians

Why Bartlett Tree Experts

- Proven expertise supporting tree health in NH Seacoast
- Deep familiarity with the City of Dover
- Extensive expertise supporting urban tree health
- Knowledgeable of historic and emerging tree pests and disease

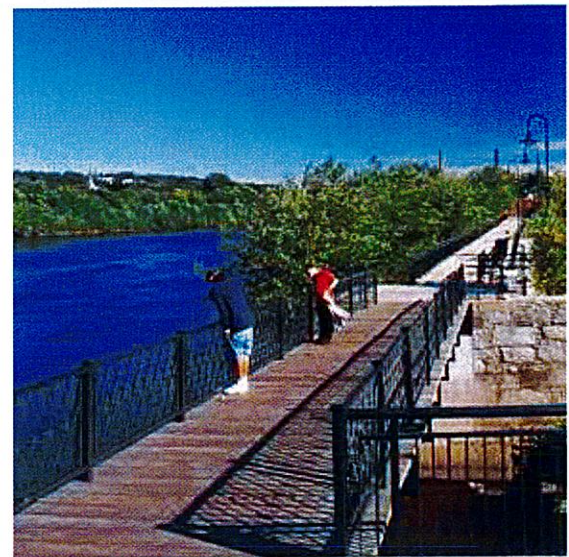
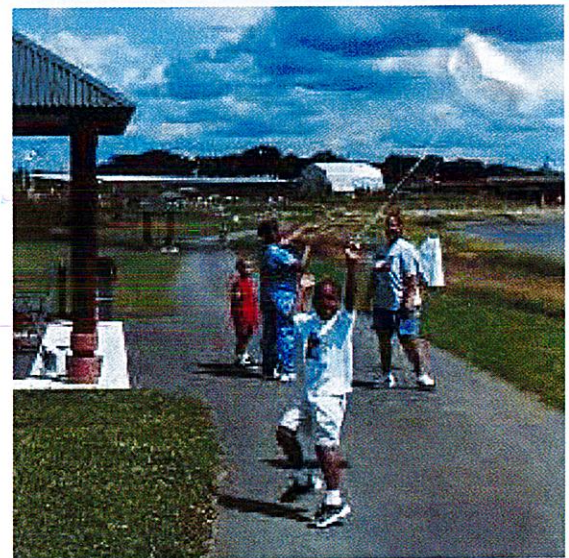
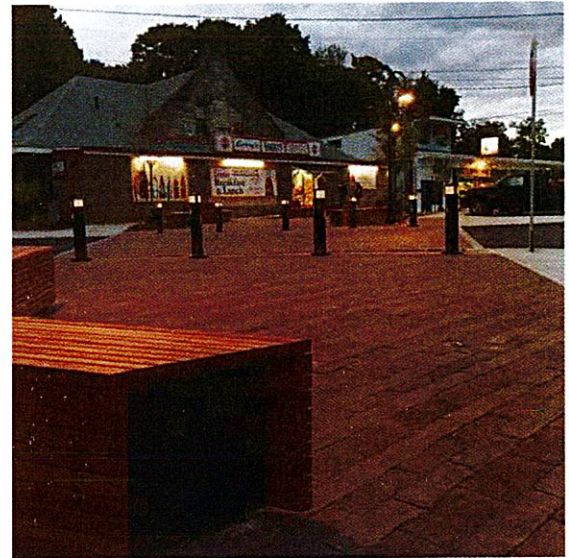
Bartlett Tree Experts are experienced in managing tree health from best management practices, tree inventories, urban planning, and pest and disease management. Its corporate structure affords a staff of scientists and plant pathologists to aid those in the field with the most difficult tree health challenges. Its staff use of advanced arboricultural technology including GIS plant mapping locations and receive ongoing training in safety techniques and procedures. Founded in 1907, Bartlett is committed to nurturing tree health - so much that the company established a 350 acre tree research lab in North Carolina to stay on the leading edge.



Ironwood Design Group is a client-focused design practice providing a full complement of landscape architectural services including landscape and urban design, low impact development, master planning and feasibility studies, and public outreach and participation.

The firm's record of success and service excellence is known throughout New England and can be attributed to a thoughtful attention to detail and a working atmosphere of collaboration, clear communication, and creativity. Staff is committed to developing productive partnerships and understanding the fundamental needs of clients who are municipalities, public agencies, companies, private individuals, and allied professionals.

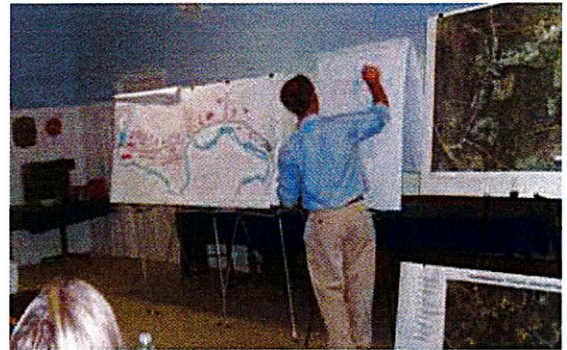
Woven through each project is a passion for sustainability and a commitment to responsible highest and best land use. Ironwood project experience inspires a contextual approach to spatial design and planning. Project goals balance resiliency and economics to strike a beneficial equilibrium.



Ironwood Design Group supports private and public sector clients throughout New England. From the biggest of plans to the smallest details, the firm's services are comprehensive.

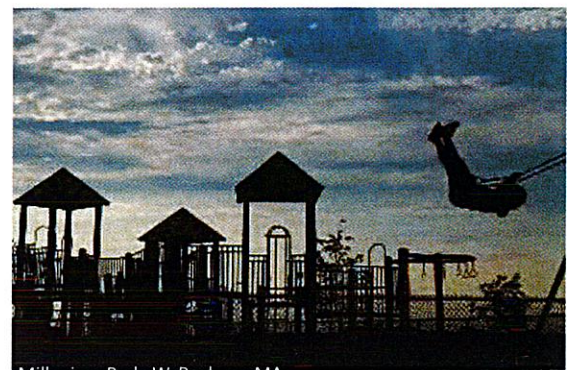
Landscape Architecture

- Open space and greenway planning and design
- Recreation facility and park planning and design
- Institutional and corporate campus planning and design
- Pedestrian and bicycle path planning and design
- Park and playground planning and design
- Historic landscape rehabilitation, restoration, and adaptive reuse
- Public art commissions
- Public performance spaces
- Residential site and garden design
- Residential community planning and design
- Resort and ecotourism planning and design
- Commercial and retail site planning and design
- Site maintenance programming and management
- Cemetery design and planning



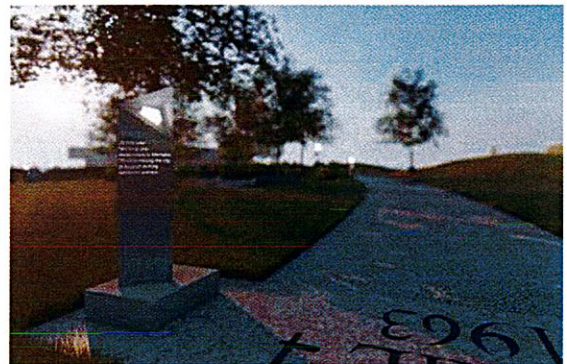
Planning

- Community visioning and outreach initiatives
- Site selection and feasibility studies
- Site analysis and master planning
- Vegetation inventories
- Land preservation studies
- Scenic resource assessments and viewshed studies
- Design guidelines and standards
- Smart Growth initiatives and Form-based codes



Urban Design

- Streetscape design and urban revitalization
- Gateway design and place-making
- Town centers and transit oriented planning and design
- Urban massing studies
- Hardscape and plaza design
- ADA compliance and universal accessibility
- Adaptive redevelopment
- Green urbanism

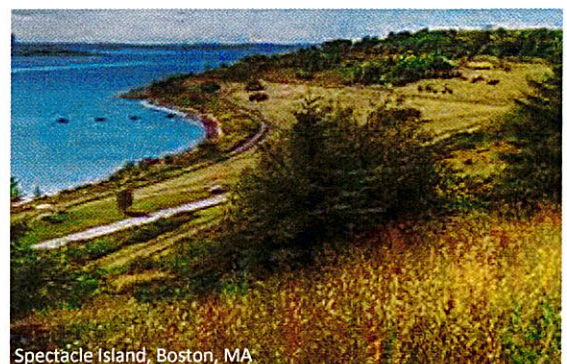


Sustainable Design and Planning

- Low impact development
- Permaculture
- Stormwater management planning
- Bioretention and rain garden design
- Pond, wetlands, waterway creation and restoration
- Habitat creation and restoration
- Ecological inventories, assessments, and permitting
- Natural resource preservation, restoration, and mitigation
- Erosion and sediment control design
- Green roof design

Support Services

- Illustrative presentation plans and visualizations
- 3-D computer modeling
- Signage and wayfinding design
- Graphic design



Spectacle Island, Boston, MA



FACT SHEET

Bartlett Tree Experts maintains healthy trees and shrubs through services including:

- ◆ Pruning
- ◆ Fertilization
- ◆ Soil Analysis
- ◆ Pest & Disease Management
- ◆ Cabling & Bracing
- ◆ Tree Lightning Protection Systems
- ◆ Tree/Stump Removal
- ◆ Tree Inventories
- ◆ Street Tree Maintenance
- ◆ Urban Planning & Consultation

With an experienced staff of arborists as well as a unique scientific research facility, Bartlett offers unparalleled expertise, innovation and service in the arboricultural industry. Founded in 1907 by Francis A. Bartlett, the company is now under its third generation of family management. Its corporate headquarters is located in Stamford, Connecticut.

Highlights

- Nearly 100 local offices serving 27 U.S. states, Canada, Great Britain and Ireland.
- A commitment to treating trees and nurturing them back to good health – to achieve a balance of nature, science and environmental responsibility.

- A staff of scientists including Ph.D.s and technicians trained in plant pathology, entomology and physiology that aid our field staff in plant diagnosis and treatment.
- Advanced arboricultural technology like hand-held computers to store landscape data, global positioning systems to map plant locations and a patented root care program that leverages supersonic air tools.
- An unsurpassed safety record in the arboricultural field with a commitment to ongoing training in safety techniques and procedures.
- A tangible plan for reducing our carbon footprint through naturally-based service offerings as well as sustainable operating practices like use of bio-diesel fuels in many trucks and other equipment.
- The 350-acre Bartlett Tree Research Laboratories in Charlotte, North Carolina where new discoveries are made to benefit the industry as well as customers.
- 1,500+ employees worldwide including highly skilled arborists who understand the unique needs of the plant life in the areas in which they operate.

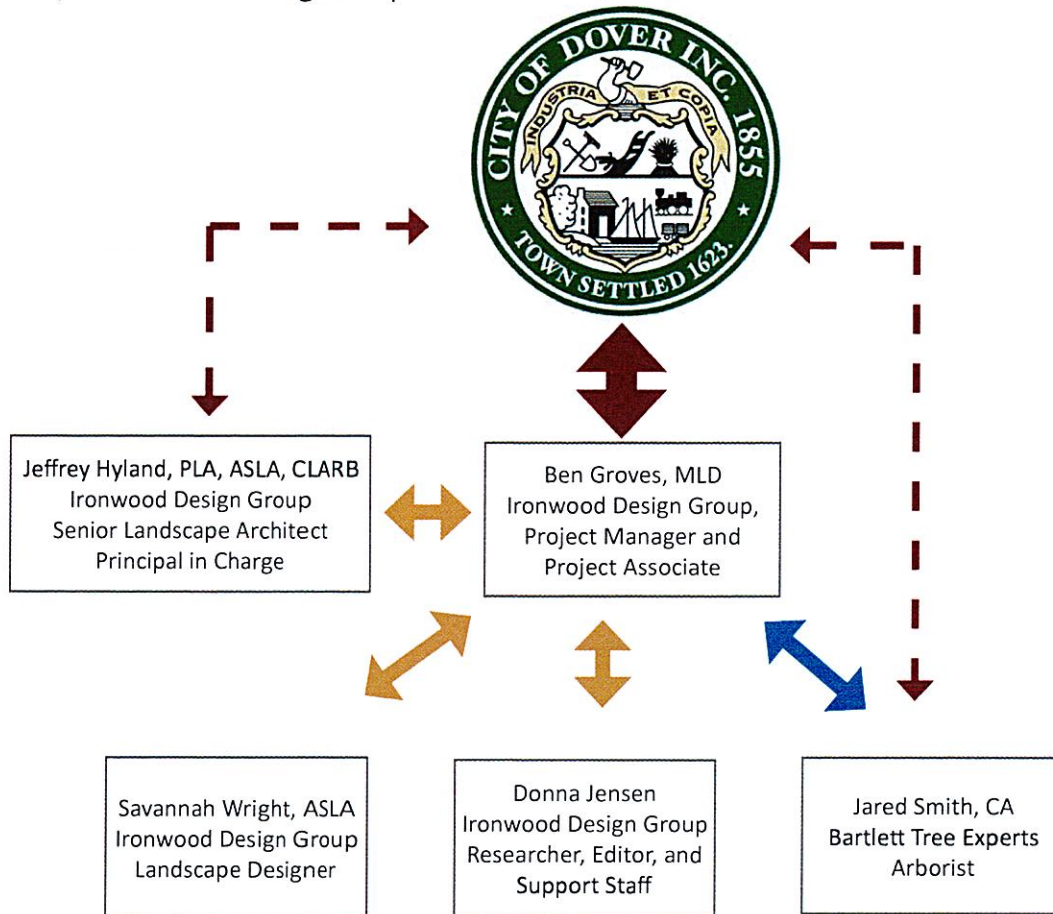


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CALL 877 BARTLETT 877.227.8538 OR VISIT WWW.BARTLETT.COM

TEAM COMPOSITION

From Ironwood Design Group, NH-registered landscape architect Jeffrey Hyland will serve as Principal in Charge, reviewing all project deliverables and attending meetings. As Project Manager and Project Associate, Ben Groves will serve as the primary contract for the City and the Project Arborist. He will contribute significantly to all deliverables and supervise the work of Savannah Wright, who will create all plan illustrations and graphics, and Donna Jensen, who will support the entire team with research and editorial tasks.

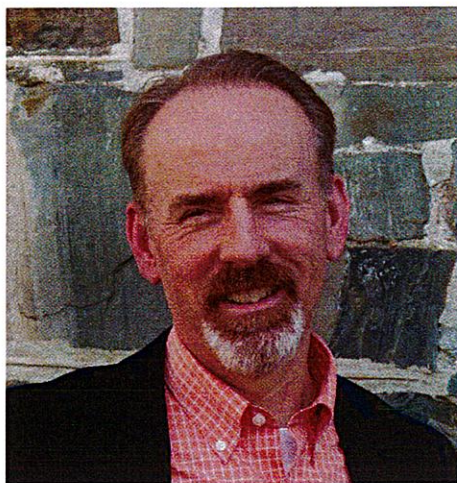
From Bartlett Tree Experts, Jared Smith will serve as Project Arborist, contributing to EAB-diseased street tree assessments and replacement prioritizations, confirming diversity tree species for planting and BMPs, as well as tree management practices.



Jeffrey R. Hyland, PLA, ASLA, CLARB

Firm Principal

Landscape Architect, Urban Designer



With over 26 years of experience throughout New England, landscape architect Jeff Hyland has an extensive portfolio of project experience spanning from transportation planning, complete streets, and green infrastructure to recreation facilities, community visioning, and master planning.

Jeff is committed to collaborative design, and has extensive experience facilitating outreach initiatives and visioning sessions for public projects. He was an early adopter of a sustainable design philosophy to encompass all aspects of design from stormwater management to economic vitality and placemaking.

Over the years Jeff's creativity, technical knowledge, and collaborative nature has made him an asset on complex projects requiring identification of shared interests between project stakeholders as the basis for developing consensus.

As Principal Landscape Architect of Ironwood Design Group, Jeff manages and directs a broad range of projects and provides oversight and leadership to firm staff. His top priorities remain understanding the goals and objectives of each project, to provide quality designs that exceed clients' expectations.

LICENSURE

State of New Hampshire, No. 026

State of Maine, No. 4319

State of Rhode Island, No. 402

CLARB, No. 4544

EDUCATION

University of Rhode Island

Bachelor of Landscape Architecture

Rhode Island School of Design

Bachelor of Art in Studio Art

VOLUNTEERISM AND AFFILIATIONS

- American Society of Landscape Architects
- Granite State Landscape Architects
- Plan NH
- Nature Conservancy Oyster Conservationist (2006-2018)
- IMBA Trail School
- Appalachian Mountain Club
- Town of Stratham Heritage Commission
- Town of Stratham Open Space and Connectivity Committee

AWARDS

Plan NH 2023 Merit Award, Androscoggin Riverwalk and Linear Park, Berlin, NH

American Council of Engineering Companies 2021 Honor Award for Public Impact and Community Engagement, Bridgton Main Street, Bridgton, ME

Memorial Design Competition Finalist 2019, Martin Luther King Memorial, Portland, ME

Plan NH 2015 Merit Award, State Street Streetscape Revitalization Project, Portsmouth, NH

Plan NH 2012 Award Winner for Excellence in Planning, Design, and Development, West Peterborough TIF District Improvement Project, Peterborough, NH

NH Chapter of the American Society for Civil Engineers 2010 Outstanding Achievement Award, State Street Utilities Streetscape Revitalization Project, Portsmouth, NH

Plan of the Year 2010, NH Planners Association, Stratham Gateway Business District Master Plan, Stratham, NH

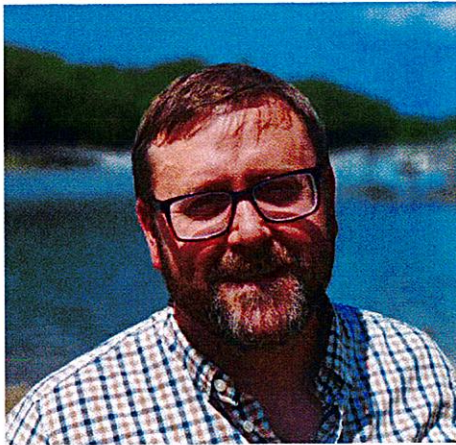
Merit Award 2006, Boston Society of Landscape Architects, Garden of Peace, Boston, MA

LECTURES

NH Planners Association Dec 2, 2022 Annual Meeting, The Importance of Streetscapes

International LID Conference 2016, Balancing Green Infrastructure and Urban Horticultural Goals

Benjamin Groves, MLD
Design Associate, Project Manager



With 20 years of landscape architecture experience, including 11 years of design - build project management experience, Ben is a capable manager and designer, providing valuable expertise across many design and planning projects. His in depth knowledge of horticulture and landscape construction is an asset to all Ironwood clients.

His primary contributions include:

- Support of site design, planting plans, grading concepts, and project documentation across the firm's residential, municipal, and commercial project portfolio.
- Coordination with clients, contractors, and consultants in all project phases — from design development through construction administration services.

EDUCATION

Conway School of Landscape Design
Master of Landscape Design

University of Vermont
Bachelor of Science

Now completing work-experience requirements for Landscape Architect licensure

INTERESTS & HOBBIES

- Hiking and the outdoors
- Renovating his 100 year-old home
- Cooking

TECHINICAL COMPETENCIES

AutoCAD • SketchUp • Adobe Creative Suite • Dynascape

- LMN

Site & Planting Design

Grading & Drainage Plans

Construction Documentation

Project Management

BUSINESS COMPETENCIES

Business Development & Budgeting

Team Leadership & Mentoring

Client & Contractor Relations

Savannah Wright

Landscape Designer



Savannah Wright joined Ironwood as a summer intern, and quickly demonstrated her remarkable capabilities. Since that time, she has provided support in some way - graphics, CAD, modeling, design - to nearly every project that has come through the office.

Her drive, insightful perspective, and generous demeanor are tremendous assets to the firm's collaborative design process. Whether she is editing drawings, researching zoning regulations, or working to find the perfect site furnishing, she supports client objectives by creating designs that are functional, innovative, and aesthetically pleasing.

EDUCATION

State University of New York, College of Environmental Science and Forestry

BS Landscape Architecture

MS Landscape Architecture

AWARDS AND ASSOCIATIONS

- Olmsted Scholar Nominee 2023
- Honor Award- ASLA New York Chapter 2023
- Daniel Zwier / Permaloc Innovation Scholarship 2023
- Unilock Paving the Future Scholarship 2023
- 2023 Class Scholar of the Department of Landscape Architecture
- ASLA-NY Equitable Public Urban Space Scholarship 2023
- Committee of Sustainability Inductee - SUNY ESF 2022

PROJECT EXPERIENCE

Meredith Prescott Park Master Plan
Rye Recreation Master Plan Update
Milford Community Center at Keyes Park
Multi-use Path on the Angroscooggin - Berlin Riverwalk and Linear Park
Woonasquatucket Adventure Park
Cochecho Waterfront Park and Development
Providence Parks - India Point Park
Providence Parks - Mounted Command Center at Roger Williams Park
Providence Parks - Pleasant Valley Parkway
Providence Parks - Boardwalk at Roger Williams Park
Newcastle Pedestrian Safe Path
Mary Bartlett Memorial Library Amphitheater Improvements
Peterborough Municipal Complex
Meredith Public Works Facility
Islington Street Streetscape Improvements
Henry Law Avenue and River Street Streetscape Improvements
Continental Mill Residence Quad
River Turn Woods Residences
Emerson Ridge Residences
Pryun Residence Pool
Gammon Academy Campus Improvements
Summerwinds Residences at Tower Hill Place

Donna Jensen, PhD

Project Administration



Donna joined the Ironwood team several year ago after having enjoyed a successful career in biotechnology and healthcare.

Since then she has become invaluable to Ironwood clients by providing:

- Program management
- Public outreach event facilitation
- Data compilations and analyses
- Report and spec writing
- Meeting presentations
- Compliance administration

Having learned landscape architecture principles through keen observation and analysis, her perspective on design and technical challenges is outside the box. When soil and water chemistry issues arise, or environmental concerns are brought to bear, her scientific background is an asset to the entire team.

EDUCATION

University of New Hampshire
Bachelor of Science in Biochemistry
Boston University School of
Medicine, PhD in Biochemistry

PROFESSIONAL AND CIVIC ASSOCIATIONS

Mary's Dogs Rescue & Adoption Board
of Directors 2016-2023

Exeter Squamscott River Local Advisory
Committee 2014-2017

UNH Cooperative Extension Master
Gardener 2009

UNH Cooperative Extension Natural
Resources Steward 2008

PROJECT EXPERIENCE

Meredith Prescott Park Master Plan
Kingston Community Library Outdoor Education Center
Mary Bartlett Memorial Library Amphitheater Improvements
Rye Recreation Master Plan Update
Milford Community Center at Keyes Park
Multi-use Path on the Angroskoggin- Berlin Riverwalk and Linear Park
Woonasquatucket Adventure Park
Cochecho Waterfront Park and Development
Newcastle Pedestrian Safe Path
North Hampton Master Plan Update
Peterborough Municipal Complex
Meredith Public Works Facility
Islington Street Streetscape Improvements
Silver Street Streetscape Improvements
Benchmark Senior Living Facility Improvements
Continental Mill Residence Quad
River Turn Woods Residences
Emerson Ridge Residences
Pryun Residence Pool
Gammon Academy Campus Improvements
Summerwinds Residences at Tower Hill Place



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603.772.0590



Meet Your Bartlett Arborist Representative

Jared Smith

Certified Arborist with the International Society of Arboriculture NE-6863A

Jared has been in the tree care industry since graduating from Unity College ME, where he earned his Bachelor of Science in Forestry. After graduating, he was eager to begin his career in the field of arboriculture. He joined the Wolfeboro, NH Bartlett office in May 2006. Jared has been representing Bartlett at various home and garden shows throughout southern New Hampshire.



jsmith@bartlett.com | <http://btexp.co/staff/jared-smith> | 603-431-1114

About Bartlett Tree Experts

Founded in 1907, Bartlett specializes in preventive health care for your trees and shrubs including pruning, insect and disease management, fertilization and soil care, cabling and bracing, tree lightning protection systems and removal. A family-owned company with over 125 offices worldwide, Bartlett brings world-class research right to your property via its Certified Arborists and Arborist Representatives.

COSTS

We have provided a draft fee according to the outlined scope of work tasks to fit with the City's stated project budget. The table provided here describes the anticipated hours contributed by each team member with their assigned hourly rate. For efficiency of project progression, we typically reallocate unused task time to subsequent project tasks.

Draft Scope of Services and Associated Fee									
Firm Role Staff Billing Rate	Ironwood Design Group (Ironwood)					Subtotal Hours	Subtotal Labor	Subtotals Other Direct Costs	Total
	Landscape Architecture								
	PLA / PM	Arborist	Design Associate	CAD / Graphics	Admin				
	\$140	\$175	\$90	\$75	\$60				
Tasks									\$ -
1. Kickoff and Existing Conditions Inventory	6	10	18	0	0				
2. Public Meeting Attendance	2	0	2	0	0				
3. Species Selection & Arboricultural Best Management Practices	2	2	18	0	0				
4. Site Design and Management Framework	4	2	20	8	0				
5. Draft Comprehensive Tree Plan and Review	4	1	20	8	16				
6. Final Comprehensive Tree Plan Delivery	2	0	4	2	2				
Hours	20	15	82	18	18	153	\$ -	\$ 200	\$ -
Labor Cost	\$2,800	\$2,625	\$7,380	\$1,350	\$1,080				
Allocation %	13%	10%	54%	12%	12%				
						153	\$ 15,235	\$ 200	\$ 15,435



WARRANTY

Because this is a professional services project (hard copy and electronic comprehensive tree plan deliverable), no product warranty applies.



State Street, Portsmouth, NH; Ironwood past project

COMMITMENTS

With kickoff of the comprehensive tree plan project in summer of 2026, the timing will work well, as the planting season is paused until autumn, and active construction supervision projects will slow down.

Furthermore, to provide additional resources for this project and others that may also start in summer of 2026, we have expended the Ironwood team.

If ever scheduling challenges arise, with our clients' permission we are able to engage freelance landscape designers who have assisted our team in the past.

REFERENCES

We invite you to contact the references listed on the provided project sheets.

Tree Planting for Heat Island Mitigation

Kittery, ME

In 2024, Ironwood Design Group was hired by the Town of Kittery to create an overall tree planting plan for public streetscape environments. As a part of the Town's climate resiliency plan, the goal of the project was to provide successful street tree planting strategies that would promote shade for pedestrians, mitigate heat island effects, and manage stormwater.

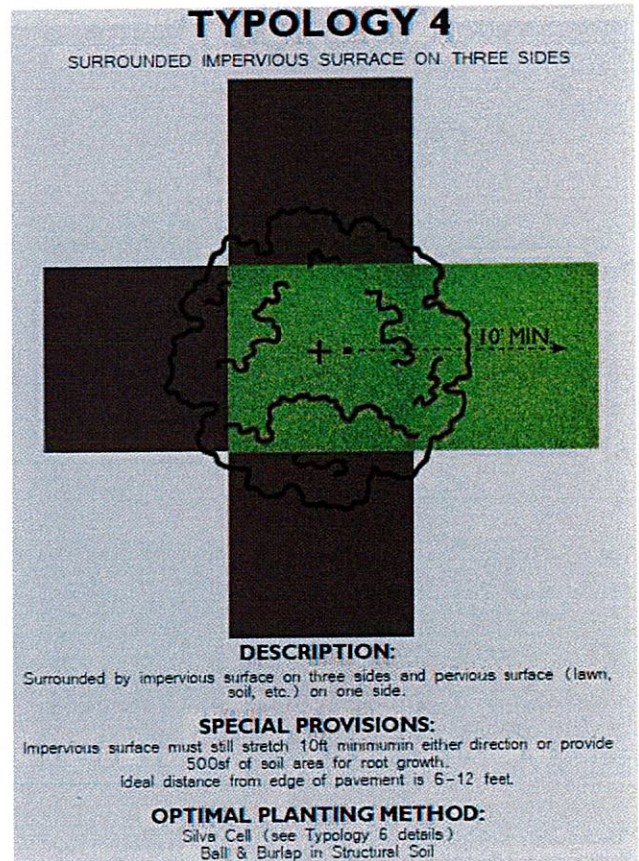
The final tree plan identified 6 distinct environment typologies within the project area. These typologies were assigned recommendations for tree planting methodologies and planting details, and included diverse species lists. Also integral to the plan were examples of each typology and illustrative graphic descriptions, so they could easily be recognized by developers, laypersons and residents, and municipal employees.

Reference

Kathy Connor, Project Planner
Town of Kittery
200 Rogers Road
Kittery, Maine 03904

Current Town Planner

Maxim Zahian
207.475.1323



Typology 4/5:

Incorporate planting islands into large parking lots
Provides additional stormwater management

RECOMMENDED PLANTING LIST:

DECIDUOUS SHADE TREES (No Overhead Utilities)		
ABRV.	NATIVE VARIETY	SCIENTIFIC NAME
ARA	✓	ACER FREEMANT 'AUTUMN BLAZE'
AR	✓	ACER RUBRUM 'OCTOBER GLORY' 'RED SUNSET' 'SUN VALLEY'
AS	✓	ACER SACCHARUM 'BONFIRE' 'GREEN MOUNTAIN'
CO	✓	CARYA OVATA
COE	✓	GYMNOCLAUS DORCUS 'ESPRESSO'
CTS	✓	GLIOBITIA TRICANTHOS 'INFERNO' 'STREET KEEPER'
LSA	✓	LIQUIDAMBAR STYRACIFLUA 'BOTYUNCULOBA'
LTA	✓	LINDERA BENTONII 'LINDERA BENTONII'
NSW	✓	NYSSA SYLVATICA 'WILDFIRE'
DV	✓	OSTRYA VIRGINIANA
PNE	✓	PLATANUS X ACERIFLUA 'EXCLAMATION'
QW	✓	QUERCUS INDOCA
QC	✓	QUERCUS COCINCA
QP	✓	QUERCUS PALUSTRIS
QR	✓	QUERCUS RUBRA
TGS	✓	TILIA CORDATA 'GREENSPIRE'
UAF	✓	ULMUS AMERICANA 'LIBERTY' 'PRINCETON'
ZSC	✓	ZELKOYA SERRATA 'GREEN VASE'
DECIDUOUS UNDERSTORY TREES (Where Overhead Utilities Exist)		
AD	✓	ADONIS GRACILEM
ARA	✓	AMPELANCIER X GRANITICORA 'AUTUMN DR. LIANCE'
BH	✓	BETULA NIGRA 'HERITAGE'
CP	✓	CARPINUS FARGESIANA

Nebi Park on the Cochecho River

Dover, NH

The City of Dover owns a 30-acre parcel of land on the Cochecho River that has been under utilized and ripe for development. The historic site was once home to a velvet mill, a coal shed, a farm, and the City's public works facility. Known soil contamination from prior uses was remediated as part of the site's redevelopment.

Ironwood Design Group is working as part of a consultant team of planners, architects, and engineers, as well as the City of Dover, and the Cochecho Waterfront Development Advisory Committee (CWDAC) to re-imagine the City's waterfront.

The project includes a mixed-use development as well as a 4-acre riverside park that has become a community destination and greenway link between Henry Law Park in downtown and Maglaras Park.

Now constructed, Nebi Park includes an accessible trail network, lighting, river access points, an accessible floating dock for crew boats, a civic plaza with flagpole and water overlook, and naturalized areas with user amenities for picnicking and passive enjoyment.

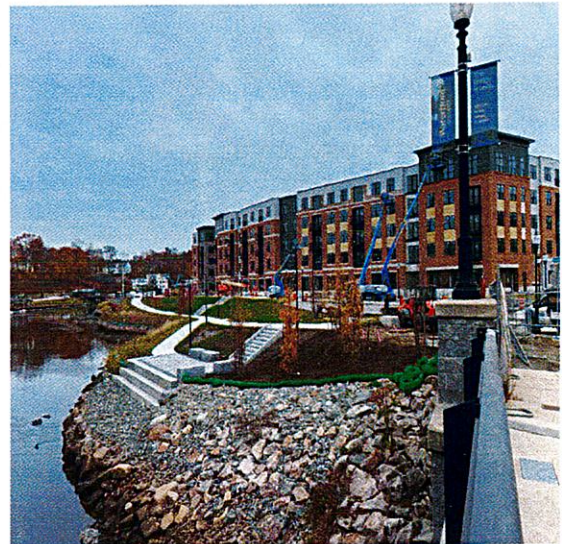
A major consideration for the design was landscape resiliency particularly as it relates to tidal fluctuations and sea-level rise projections for this area of the Cochecho River. The waterfront park is designed to accommodate storm surges, and the river bank is engineered for stability and vegetated for ecological function.

In addition to providing landscape architectural design and construction administration services, Ironwood worked closely with NH Department of Environmental Services to complete the necessary permitting for this large waterfront project. This included dock design modifications made to protect 2 threatened plant species growing in the project area.

Construction began in the fall of 2023 and the park opened in 2026.

Reference

Norm Fracassa, Chair
Cochecho Waterfront Development Advisory Committee (CWDAC)
288 Central Avenue
Dover, NH 03820-4169
nfracassa@comcast.net



INSURANCE

Provided here is a snapshot of an Ironwood certificate of insurance to demonstrate adequate and appropriate policies are currently in place, with limits typical for a landscape architecture firm.

ACORD **CERTIFICATE OF LIABILITY INSURANCE** DATE (MM/DD/YYYY)
8/29/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Arthur J. Gallagher Risk Management Services, LLC 45 Constitution Avenue P.O. Box 511 Concord NH 03302-0511 License# 0D09293 IRONDES-01	CONTACT NAME: Rebekah Persson PHONE (A/C, No, Ext): 800-238-3840 FAX (A/C, No): 603-224-8012 E-MAIL: rebekah_persson@ajg.com ADDRESS:
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INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER A: Tri-State Insurance Company of Minnesota	31003
INSURER B: MMG Insurance Company	15997
INSURER C: Associated Employers Insurance Company	11104
INSURER D: Continental Casualty Company	20443
INSURER E:	
INSURER F:	

INSURED
 Ironwood Design Group, LLC
 PO Box 873
 Exeter NH 03833

COVERAGES CERTIFICATE NUMBER: 1473223862 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSUR LTR	TYPE OF INSURANCE	ADDL SUBR (IND, NVR)	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIED PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER		ADV018922430	2/10/2026	2/10/2027	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$	
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY		KA14308207	2/10/2026	2/10/2027	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$	
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$	
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N Y	N/A	WCC50060246912026A	2/10/2026	2/10/2027	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
D	Professional Liability Claims Made: \$1,000 Ded.		LAH288247521	2/10/2026	2/10/2029	Each Claim Limit \$1,000,000 Aggregate Limit \$1,000,000	

RUSSIAN-RELATED PURCHASES

We, Ironwood Design Group and Bartlett Tree Experts, affirm certification to these terms:

- (i) our products do not contain materials or components manufactured by companies, entities, or businesses located in Russia, and
- (ii) neither firm is not owned wholly or in part by the Russian government, a Russian agency or political subdivision, a Russian-owned company, a Russian-owned entity, a Russian state enterprise, a Russian-owned business located in Russia, or any other Russian-owned or Russian-controlled interests or subsidiary located in Russia.

OTHER

Our consultant team is committed to low impact design principles.

We will always promote and recommend the purchase and use of plant products that are native or native disease-resistant cultivars for the creation of enriched habitats supporting native insects, birds, and animals.

Upon request, we can assist City purchasers to identify reputable nurseries that cultivate native trees that are appropriate street tree species for Dover, NH.



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

June 10, 2026

MATTHEW GIBBONS
271 MAST RD
DOVER NH 03820

Re: Administratively Complete Expedited Minimum Impact Wetlands Permit Application (RSA 482-A)
NHDES File Number: 2026-01477
Subject Property: Country Farm Rd, Dover, Tax Map/Block/Lot(s): B-19-1-0/no block/C-3-C-0

Dear Applicant:

On June 10, 2026, the New Hampshire Department of Environmental Services (NHDES) Wetlands Bureau received the above-referenced Expedited Minimum Impact Wetlands Permit Application (Application). On June 10, 2026, NHDES Wetlands Bureau determined the Application was administratively complete in accordance with Env-Wt 310.02, and included the signatures required by Env-Wt 310.01(h) and (i). The Application has been added to the technical review queue for compliance review.

Pursuant to Env-Wt 310.02(a), compliance review will be completed within 30 days of the above-mentioned received date. If more information is required to complete technical review, then a Request for More Information will be issued. The status of the Application is available at <https://www4.des.state.nh.us/lrmonestop/>.

Please note that with the 2022 U.S. Army Corps of Engineers NH General Permit, additional mitigation may be required under the Clean Water Act. If your project has 5,000 square feet or greater of non-tidal wetlands impacts, impacts to tidal wetlands, stream work greater than 200 linear feet or proposes discharge of dredge or fill material within a vernal pool depression, please contact the USACE at 1-978-318-8832, 1-978-318-8295, or by email at cenae-r-nh@usace.army.mil to see if additional mitigation may be required from the USACE.

Please note this letter is **not** a permit or authorization to begin work. If you have any questions, please contact the Wetlands Bureau at (603) 271-2147.

Sincerely,

Kristine M. Braman
Application Receipt Center, Wetlands Bureau
Land Resources Management, Water Division

Copied: Agent
Municipal Clerk/Conservation Commission
Local River Advisory Committee
NHDES Rivers Program



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

June 23, 2026

CITY OF DOVER, COMMUNITY SERVICES DEPARTMENT
271 MAST RD
DOVER NH 03820

**Re: Request for More Information – Expedited Minimum Impact Project Permit Application (RSA 482-A)
NHDES File Number: 2026-01242
Subject Property: 17-19 Landing Way, Dover, Tax Map #17, Lot #L-1, L-95,-1P-0**

Dear Applicant:

On June 23, 2026, the New Hampshire Department of Environmental Services (NHDES) Wetlands Bureau reviewed the above-referenced Expedited Minimum Impact Project Permit Application (Application). Pursuant to RSA 482-A:3, XIV(a)(2) and Rules Env-Wt 100 through 900, NHDES Wetlands Bureau determined the following additional information is required to complete its evaluation of the Application:

1. As submitted, this project proposes a total of 3,750 square feet (SF) of impact to previously developed tidal buffer zone and therefore does not meet minimum impact criteria in Env-Wt 610.17(c). If the applicant wishes to proceed with this application, revise the plans prepared by the City of Dover Engineering Division (CDED Plans) to reduce the total impacts for the project to be less than 3,000 square feet (SF) to the developed tidal buffer zone.

Be advised that failure to redesign the project to meet the minimum impact criteria in Env-Wt 610.17(c) will result in a denial of this application per Env-Wt 310.02(f).
2. Revise the CDED Plans to show the highest observable tide line (HOTL) as a line at the applicable elevation per Env-Wt 603.07(b)(2) as opposed to a single data point.
3. To demonstrate how stormwater flow across the properties will be altered by the project, revise the CDED Plans to show the existing and proposed contours at 2-foot intervals measured from the HOTL per Env-Wt 610.04(a).
4. Revise the CDED Plans to show the precise location of all permanent and temporary impacts labelled with the square footage of impact to jurisdictional areas as required by Env-Wt 310.01(c)(2) and Env-Wt 610.04(d)(6).
5. The impacts for the proposed “rock lined swale” as well as any changes to grading are permanent impacts as defined by Env-Wt 103.57. Revise the CDED Plans to identify these impacts as permanent impacts per Env-Wt 310.01(c)(2).
6. The CDED Application indicates that trees will be removed as a part of the project. Please clarify whether the buried root systems will remain intact with the stumps ground flush to ground-level or whether the stumps and roots will be excavated completely. Be advised that excavating the root systems is considered a permanent impact per Env-Wt 103.57 and the CDED Plans would need to be revised to identify these impacts as permanent impacts per Env-Wt 310.01(c)(2).
7. Please indicate whether any trees will be removed within the 50-foot waterfront buffer per Env-Wt 610.06. If so, then for each segment of the waterfront buffer that will be impacted by the project, revise the CDED Plans to include the location and diameter of all existing trees and saplings (at least up to that which is sufficient to meet the point requirement specified in RSA 483-B:9, V(a)(2)), and a designation of the trees to be cut during the project, if any, including the diameter of all trees and saplings at 4-½ feet from the ground, and the names of the existing species, using either the scientific names or common names, to demonstrate compliance with the Minimum Shoreland Protection Standards in RSA 483-B:9, V(a)(2)(D).

www.des.nh.gov

29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095
(603) 271-3503 • Fax: (603) 271-2867 • TDD Access: Relay NH 1-800-735-2964

8. To assess the vulnerability of the structure to flooding, revise the CDED Plans to show the location of the 100-year flood boundary zone and water elevation as shown on the applicable FEMA Flood Insurance Rate Map per Env-Wt 610.04(b).
9. Provide a list of abutters' names and mailing addresses to cross-reference with the tax map per Env-Wt 310.01(b)(2).
10. The Application indicates that the "rock lined swale" will be installed on an embankment that has a "36.3% slope," which does not meet the 25% slope limitation for structures within the tidal buffer zone per Rule Env-Wt 610.16. If the applicant wishes to continue pursuing this application, submit a [Wetlands Rule Waiver Request Form](#) for Rule Env-Wt 610.16 and include any supplementary documentation (e.g., engineering calculations justifying the inclusion of the rip-rap swale, etc.) as required to support the rule waiver request in accordance with the requirements in Env-Wt 204.

Be advised that waiver requests are reviewed on a case-by-case basis and submitting a waiver request does not guarantee approval.

Please submit the required information as soon as practicable. Pursuant to RSA 482-A:3, XIV(a)(2), **the required information must be received by NHDES Wetlands Bureau within 60 days of the date of this request (no later than August 22, 2026), or the Application will be denied.** Should additional time be necessary to submit the required information, an extension of the 60-day time period may be requested. Requests for additional time must be received prior to the deadline in order to be approved. In accordance with applicable statutes and regulations, the applicant is also expected to provide copies of the required information to the municipal clerk and all other interested parties.

Pursuant to RSA 482-A:3, XIV(a)(3), NHDES Wetlands Bureau will approve or deny the Application within 30 days of receipt of all required information, or schedule a public hearing, if required by RSA 482-A or associated rules.

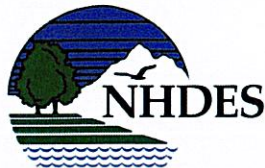
If you have any questions, please contact me at Kristin.Duclos@des.nh.gov or (603) 559-1516.

Sincerely,



Kristin L. Duclos
Wetlands Specialist, Wetlands Bureau
Land Resources Management, Water Division

Copied: Dover Municipal Clerk/Conservation Commission
City of Dover, c/o Timothy A Puls
Greg & Sara Billings
Joyce Chagan



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

June 01, 2026

SADDLE TRAIL DR HOMEOWNERS ASSOCIATION
44 SADDLE TRAIL DR
DOVER NH 03820

Re: Approved Standard Dredge and Fill Wetlands Permit Application (RSA 482-A)
NHDES File Number: 2023-00062
Subject Property: Saddle Trail Dr, Dover, Tax Map/Block/Lot(s): N/no block/8-1

Dear Owner:

On June 01, 2026, the New Hampshire Department of Environmental Services (NHDES) Wetlands Bureau approved the above-referenced amended application impact 96 square feet (SF) of upland tidal buffer zone and 1,421 SF of tidal wetland to construct a new tidal docking structure serving four residences consisting of a 4 foot by 24 foot access ramp leading to a 4 foot by 165 foot fixed pier, with a 3 foot by 57 foot ramp, to a string of four floats, consisting of a 8 foot by 25 foot float, a 6 foot by 25 foot float, and two 6 foot by 20 foot floats set at an approximately 96° angle to the fixed pier and ramp, secured with helical moorings and chains to provide shared water access to the owners of Dover Tax Map N, Lot #8-1-10, Lot #8-1-1, Lot #8-1-2, and Lot #8-1-4. The overall length of this docking structure, seaward of the highest observable tide line, is approximately 239 feet, on approximately 690 feet of frontage on the Cocheco River in Dover.

In accordance with RSA 482-A:10, RSA 21-O:14, and Rules Ec-Wet 100-200, **any person aggrieved by this decision may file a Notice of Appeal directly with the NH Wetlands Council (Council) within 30 days of the decision date, June 01, 2026.** Every ground claiming the decision is unlawful or unreasonable must be fully set forth in the Notice of Appeal. Only the grounds set forth in the Notice of Appeal are considered by the Council. Information about the Council, including Council Rules, is available at <https://www.nhec.nh.gov/wetlands-council/about>. For appeal related issues, contact the Council Appeals Clerk at (603) 271-3650.

In accordance with RSA 482-A:3, II(a) and Env-Wt 313.02(b), as your project is a major project located in a great pond or in public waters of the state, your application must also be approved by the Governor and the Executive Council. Upon expiration of the appeal period, a redacted copy of the file is submitted to the Governor and the Executive Council for their consideration. Information about the Governor and the Executive Council is available at <https://www.nh.gov/council/>.

Sincerely,

Philip Trowbridge, P.E., Manager
Land Resources Management, Water Division

Enclosure: Copy of Decision

Copied: Agent
Municipal Clerk/Conservation Commission
Abutters
Assistant Administrator, Wetlands Bureau

FILE #2023-00062
SADDLE TRAIL DR HOMEOWNERS ASSOCIATION
DOVER

DECISION DATE:
June 01, 2026

DECISION:

Impact 96 square feet (SF) of upland tidal buffer zone and 1,421 SF of tidal wetland to construct a new tidal docking structure serving four residences consisting of a 4 foot by 24 foot access ramp leading to a 4 foot by 165 foot fixed pier, with a 3 foot by 57 foot ramp, to a string of four floats, consisting of a 8 foot by 25 foot float, a 6 foot by 25 foot float , and two 6 foot by 20 foot floats set at an approximately 96° angle to the fixed pier and ramp, secured with helical moorings and chains to provide shared water access to the owners of Dover Tax Map N, Lot #8-1-10, Lot #8-1-1, Lot #8-1-2, and Lot #8-1-4. The overall length of this docking structure, seaward of the highest observable tide line, is approximately 239 feet, on approximately 690 feet of frontage on the Cocheco River in Dover.

CONDITIONS:

1. All work shall be done in accordance with the approved plan sheets C1, titled "Existing Conditions Plan," dated September 2022, and revised through June 13, 2023, C2, titled "As-Built Plan," dated March 2026, and revised through March 23, 2026, C3, titled "NHDES Permit Plan 57' Gangway 'L Dock,'" dated March 2026, and revised through March 24, 2026, and D1, titled "Dock Details," dated September 2022, and revised through March 24, 2026, by Ambit Engineering, Inc., and received by the NH Department of Environmental Services (NHDES) on March 25, 2026, in accordance with Env-Wt 307.16.
2. This permit shall not be effective until the permittee records this permit at the Strafford County Registry of Deeds. Any limitations or conditions in the permit so recorded shall run with the land beyond the expiration of the permit. The permittee shall provide the NHDES with a copy of the permit stamped by the registry with the book and page and date of receipt, in accordance with New Hampshire Administrative Rule Env-Wt 314.02(b) and (c).
3. The ramp and float portions of residential tidal docks shall be seasonal and removed from the water during the non-boating season, in accordance with Env-Wt 606.06(b).
4. Tidal docking installation shall be done by barge or upland to prevent the driving of construction equipment in or through tidal waters/wetlands or on the bottom of the inter-tidal zone, in accordance with Env-Wt 606.05(b).
5. Tidal docking construction shall be done in accordance with the standard conditions in Env-Wt 307.
6. Heavy equipment shall not be operated in any jurisdictional area unless specifically authorized by this permit, in accordance with Env-Wt 307.15(a).
7. In accordance with Env-Wt 307.03(h), equipment shall be staged and refueled outside of jurisdictional areas and in accordance with Env-Wt 307.15.
8. In accordance with Env-Wt 307.03(g)(1), the person in charge of construction equipment shall inspect such equipment for leaking fuel, oil, and hydraulic fluid each day prior to entering surface waters or wetlands or operating in an area where such fluids could reach groundwater, surface waters, or wetlands.
9. In accordance with Env-Wt 307.03(g)(2), the person in charge of construction equipment shall repair any leaks prior to using the equipment in an area where such fluids could reach groundwater, surface waters, or wetlands.
10. In accordance with Env-Wt 307.03(g)(3) and (4), the person in charge of construction equipment shall maintain oil spill kits and diesel fuel spill kits, as applicable to the type(s) and amount(s) of oil and diesel fuel used, on site so as to be readily accessible at all times during construction; and train each equipment operator in the use of the spill kits.

FINDINGS:

1. This project is classified as a major impact project per Rule Env-Wt 606.17(a)(1), for all new overwater structure construction in tidal waters/wetlands.

2. On June 29, 2023, the NHDES received correspondence from the NH Natural Heritage Bureau (NHB) dated June 14, 2023, and June 29, 2023, stating that NHB agrees with the recommendations provided by the agent to avoid direct impacts to the protected plant species and exemplary natural communities identified, and "based on the details provided on the [revised] plans, NHB agrees that impacts to [the protected plant species] will be minimized to the greatest possible extent" and that "NHB has no further concerns regarding this project" per Rule Env-Wt 311.01(b).
3. NHDES finds that the project as approved and conditioned will not have an unreasonable adverse impact on the value of such areas as sources of nutrients for finfish, crustacea, shellfish and wildlife of significant value, nor will it damage or destroy habitats and reproduction areas for plants, fish and wildlife of importance.
4. On March 1, 2023, the NHDES received correspondence from the Dover Conservation Commission stating that the "Commission voted unanimously on February 13th, 2023, to endorse the application" per Rule Env-Wt 311.06(h).
5. On May 9, 2023, the applicant obtained a statement from the Pease Development Authority, Division of Ports and Harbors regarding the projects impact on navigation and passage stating, "[w]e examined the proposed site and found that the structure will have no negative effect on navigation in the channel," per Rule Env-Wt 603.09.
6. On February 4, 2025, NHDES received correspondence from the US Army Corps of Engineers (US ACE) stating that "[T]his [correspondence] is confirmation that the Corps finds the design & location acceptable for the proposed dock."
7. In an email received by NHDES on December 6, 2023, a representative of an abutter to the project expressed concerns "that the lot over which the proposed Project is to be constructed, Tax Map #N, Lot# 8-1 ("Open Space B"), is part of the Open Space within the Saddle Trail Drive neighborhood (the "Subdivision"), and consequently that lot is to remain permanently undeveloped as Open Space. Specifically, [the abutters] believe that the proposed Project constitutes "development" which is prohibited by City of Dover Subdivision Regulations governing Open Space Subdivisions and the restriction in the deed with which Open Space B was conveyed to the Saddle Trail Drive Homeowner's Association (the "Association")."
8. The NHDES Wetlands Bureau does not regulate local planning or zoning ordinances.
9. Per Rule Env-Wt 313.01(a)(5), and as required by RSA 482-A:11, II, this permit for work to dredge or fill will not 'infringe on the property rights or unreasonably affect the value or enjoyment of property of abutting owners'.
10. NHDES finds that the requirements for a public hearing, as established in RSA 482-A, do not apply as the project will not have a significant environmental impact, as defined in New Hampshire Administrative Rule Env-Wt 104.19, on the resources protected by RSA 482-A, and, is not of substantial public interest, as defined in New Hampshire Administrative Rule Env-Wt 104.32.
11. On February 12, 2026, NHDES received a permit amendment request in accordance with Env-Wt 314.07 to extend the seasonal gangway and reconfigure the dimensions and locations of the proposed seasonal floats to improve docking access.
12. Per Rule Env-Wt 311.01(b), the applicant coordinated with the NHDES Ecological Review Section (ERS) and on March 25, 2026, the NHDES received correspondence from the NHDES Ecological Review Section (ERS) dated March 16, 2026, stating "there are no expected impacts to protected plants or exemplary natural communities."
13. NHDES finds that the project amendment as approved and conditioned will not have an unreasonable adverse impact on the value of such areas as sources of nutrients for finfish, crustacea, shellfish and wildlife of significant value, nor will it damage or destroy habitats and reproduction areas for plants, fish and wildlife of importance.
14. Per Rule Env-Wt 311.06(h), no comments were received by NHDES from the Dover Conservation Commission about this permit amendment application.
15. On February 12, 2026, NHDES obtained a statement dated February 11, 2026, from the Pease Development Authority, Division of Ports and Harbors regarding the amendment request's impact on navigation and passage stating, "[w]e examined the proposed site and found that the project will have no negative effect on navigation in the channel," per Rule Env-Wt 603.09.



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

June 01, 2026

SADDLE TRAIL DR HOMEOWNERS ASSOCIATION
44 SADDLE TRAIL DR
DOVER NH 03820

Re: Approved Standard Dredge and Fill Wetlands Permit Application (RSA 482-A)
NHDES File Number: 2023-00062
Subject Property: Saddle Trail Dr, Dover, Tax Map/Block/Lot(s): N/no block/8-1

Dear Owner:

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Sincerely,

Philip Trowbridge, P.E., Manager
Land Resources Management, Water Division

Enclosure: Copy of Decision

Copied: Agent
Municipal Clerk/Conservation Commission
Abutters
Assistant Administrator, Wetlands Bureau

www.des.nh.gov

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FILE #2023-00062
SADDLE TRAIL DR HOMEOWNERS ASSOCIATION
DOVER

DECISION DATE:
June 01, 2026

DECISION:

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CONDITIONS:

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FINDINGS:

1. This project is classified as a major impact project per Rule Env-Wt 606.17(a)(1), for all new overwater structure construction in tidal waters/wetlands.

2. On June 29, 2023, the NHDES received correspondence from the NH Natural Heritage Bureau (NHB) dated June 14, 2023, and June 29, 2023, stating that NHB agrees with the recommendations provided by the agent to avoid direct impacts to the protected plant species and exemplary natural communities identified, and "based on the details provided on the [revised] plans, NHB agrees that impacts to [the protected plant species] will be minimized to the greatest possible extent" and that "NHB has no further concerns regarding this project" per Rule Env-Wt 311.01(b).
3. NHDES finds that the project as approved and conditioned will not have an unreasonable adverse impact on the value of such areas as sources of nutrients for finfish, crustacea, shellfish and wildlife of significant value, nor will it damage or destroy habitats and reproduction areas for plants, fish and wildlife of importance.
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5. On May 9, 2023, the applicant obtained a statement from the Pease Development Authority, Division of Ports and Harbors regarding the projects impact on navigation and passage stating, "[w]e examined the proposed site and found that the structure will have no negative effect on navigation in the channel," per Rule Env-Wt 603.09.
6. On February 4, 2025, NHDES received correspondence from the US Army Corps of Engineers (US ACE) stating that "[T]his [correspondence] is confirmation that the Corps finds the design & location acceptable for the proposed dock."
7. In an email received by NHDES on December 6, 2023, a representative of an abutter to the project expressed concerns "that the lot over which the proposed Project is to be constructed, Tax Map #N, Lot# 8-1 ("Open Space B"), is part of the Open Space within the Saddle Trail Drive neighborhood (the "Subdivision"), and consequently that lot is to remain permanently undeveloped as Open Space. Specifically, [the abutters] believe that the proposed Project constitutes "development" which is prohibited by City of Dover Subdivision Regulations governing Open Space Subdivisions and the restriction in the deed with which Open Space B was conveyed to the Saddle Trail Drive Homeowner's Association (the "Association")."
8. The NHDES Wetlands Bureau does not regulate local planning or zoning ordinances.
9. Per Rule Env-Wt 313.01(a)(5), and as required by RSA 482-A:11, II, this permit for work to dredge or fill will not 'infringe on the property rights or unreasonably affect the value or enjoyment of property of abutting owners'.
10. NHDES finds that the requirements for a public hearing, as established in RSA 482-A, do not apply as the project will not have a significant environmental impact, as defined in New Hampshire Administrative Rule Env-Wt 104.19, on the resources protected by RSA 482-A, and, is not of substantial public interest, as defined in New Hampshire Administrative Rule Env-Wt 104.32.
11. On February 12, 2026, NHDES received a permit amendment request in accordance with Env-Wt 314.07 to extend the seasonal gangway and reconfigure the dimensions and locations of the proposed seasonal floats to improve docking access.
12. Per Rule Env-Wt 311.01(b), the applicant coordinated with the NHDES Ecological Review Section (ERS) and on March 25, 2026, the NHDES received correspondence from the NHDES Ecological Review Section (ERS) dated March 16, 2026, stating "there are no expected impacts to protected plants or exemplary natural communities."
13. NHDES finds that the project amendment as approved and conditioned will not have an unreasonable adverse impact on the value of such areas as sources of nutrients for finfish, crustacea, shellfish and wildlife of significant value, nor will it damage or destroy habitats and reproduction areas for plants, fish and wildlife of importance.
14. Per Rule Env-Wt 311.06(h), no comments were received by NHDES from the Dover Conservation Commission about this permit amendment application.
15. On February 12, 2026, NHDES obtained a statement dated February 11, 2026, from the Pease Development Authority, Division of Ports and Harbors regarding the amendment request's impact on navigation and passage stating, "[w]e examined the proposed site and found that the project will have no negative effect on navigation in the channel," per Rule Env-Wt 603.09.

