

CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: Council Conference Room, City Hall, 288 Central Ave, Dover NH 03820
Meeting Date: **Thursday, August 6, 2026**
Meeting Time: **10:30 AM**

1. Site Plan for Chestnut Food Store, LLC, Assessor's Map 31, Lots 77 & 77-A, zoned CBD-G, located at 16 Sixth Street and 7 Chestnut Street. (Proposal redevelopment of the two parcels to create a five (5) story mixed use, 20,384 sqft building with retail on the first floor and residential on the remaining four (4) floors.) (SITE-2026-0012)



PLAN SNAPSHOT REPORT SITE-2026-0012 FOR CITY OF DOVER, N.H.

Plan Type: Site Plan - Major
Work Class: New Construction
Status: In Review
Valuation: \$0.00

Project:
District: None
Square Feet: 0.00
Assigned To: Blonigen, Rachel

App Date: 07/16/2026
Exp Date: 09/19/2026
Completed: NOT COMPLETED
Approval Expire Date:

Description: Re-development of two parcels (16 Sixth Street & 7 Chestnut Street) to create a 5 story mixed use building with retail units on the first floor and residential units on the upper 4 floors.

Parcel: 31077-000000	Address: 7 Chestnut St Dover, 03820	Zone: CBD-G(Central Business District - General)
31077-A00000 Main	16 Sixth St Dover, NH Main	

Owner
Moses Lawrence
7 Chestnut st
Dover, NH 03820
Home: (603) 749-9999
Business: (603) 749-9999
Mobile: (508) 270-2684

Applicant
Civilworks New England
Steve Haight
181 Watson Road PO Box
1166
Dover, NH 03820
Business: (603) 749-0443
Mobile: (603) 817-6651

Plan Custom Fields

Total2	0	Total3	0	Total	0
Total5	0	Total4	0	Total6	0
Total7	0	Total9	0	Total8	0
Street Classification Type	Municipal	Recording Number		Net Change in # Parking Spaces (+/-)	36
Water Service	Municipal	Sewer Service	Municipal	Deed Book	5081
Total Acres (GIS)	0.159	Deed Page	357	Total SQFT	6926.04
Deed Date		Proposed Property Use	5 story mixed use building with retail on the first floor and residential on the upper 4 floors.	Area of Parcel to be Developed (SQFT)	7535
Number of Parking Spaces Existing	5	Number of Parking Spaces Proposed	41	Number of Employees Total	8
Number of Employees in Max Shift	8	Distance to City Water	25	Distance to City Sewer	25
Type of Building to be Built	Concrete/steel metal deck with wood framed upper floors.	Estimated Construction Value	250000.00	Refuse Removal	Private
Existing Conservation Easement Details		Total of Impact Fees to be Assessed	0.00	TotalImpactFeeSDTOD	0.00
Sub Total Residential	0.00	TotalImpactFeeTHTOD	0.00	TotalImpactFee23FTOD	0.00
TotalImpactFeeA4TOD	0.00	TotalImpactFeeMHTOD	0.00	TotalImpactFeeADUTO	0.00
TotalImpactFeeAONRT	0.00	TotalImpactFeeAR55TC	0.00	TotalImpactFeeAR62TC	0.00
OD		Sub Total	0.00	TotalImpactFeeOCSTO	0.00
TotalImpactFeeRIRCTO	0.00	Non-Residential		D	
D		TotalImpactFeeNHALT	0.00	TotalImpactFeeOIUTOD	0.00
TotalImpactFeeITWCTO	0.00	D			
D					
TotalImpactFeeAFAOT	0.00				
OD					

PLAN SNAPSHOT REPORT (SITE-2026-0012)

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Steve_Haight_7/16/2026.jpg	07/16/2026 11:14	Haight, Steve		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-2026002666	Planning General Application Fee	\$250.00	\$250.00
Total for Invoice INV-2026002666		\$250.00	\$250.00
Grand Total for Plan		\$250.00	\$250.00

Meeting Type	Location	Scheduled Date	Subject
Technical Review Committee Meeting v.1	City Hall, Second Floor Conference Room	08/06/2026	Technical Review Committee Meeting

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Land Use Plan Technical Review v.1	In Review	07/21/2026	08/18/2026		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Business Development	Business Development	Burdin, James	In Review	07/21/2026	08/18/2026	

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
City Engineer	Community Services - Engineering	Semprini, Jillian	In Review	07/21/2026	08/18/2026	

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning	Planning	Crouser, Paul	In Review	07/21/2026	08/18/2026	

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Zoning Administrator	Planning	Crouser, Paul	In Review	07/21/2026	08/18/2026	

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
IS Building Official	Planning / Inspection Services	Maxfield, Jim	In Review	07/21/2026	08/18/2026	

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Traffic	Police	Mitrushi, Alex	In Review	07/21/2026	08/18/2026	

Workflow Step / Action Name	Action Type	Start Date	End Date
Review v.1		07/16/2026 12:47	
Confirm application complete v.1	Generic Action		07/16/2026 12:48
Technical Review Committee Meeting Agenda v.1	Task	07/16/2026 12:47	07/21/2026 10:21
Land Use Plan Technical Review v.1	Receive Submittal	07/21/2026 0:00	
Technical Review Committee Meeting v.1	Hold Meeting	07/21/2026 10:20	

Planning Board v.1	
Planning Board Agenda v.1	Task
Invoice for Notices v.1	Task
Send Notices v.1	Task
Planner Creates Staff Recommendations v.1	Plan Activity
Distribute Planning Board Materials v.1	Task
Planning Board Hearing v.1	Hold Hearing
Planning Board Decision v.1	Plan Activity
NOD Sent to Applicant v.1	Create Report

Final Plan v.1	
Land Use Plan Stamped and Signed v.1	Generic Action

PLAN SNAPSHOT REPORT (SITE-2026-0012)

Recording v.1	Task
Document Archival v.1	Generic Action
Internal Notification of Plan Completion v.1	Generic Action
Building Official Notifies Address v.1	Generic Action
Pre-Con Meeting v.1	Hold Meeting
Create/Link to Records v.1	
Create / Link to Permit - Building Major v.1	Create Sub Permit
Create / Link to Permit - Site Work, Construction v.1	Create Sub Permit



City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: July 1, 2021]

Office Use Only

Project #: _____

Date Received: _____

Amount Paid: _____

Time Received: _____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Chestnut Food Store LLC Telephone # 508-270-2684

Address of Applicant: 10 E Meadow Lane Middleton, MA 01949

E-Mail Address: ind012@yahoo.com

Name of Property Owner (if different from applicant): _____ Telephone # _____

Address of Property Owner: _____

PROPERTY INFORMATION

Address of Property: 16 Sixth Street & 7 Chestnut Street

Assessor's Map # 31 Lot(s) # 77A, & 77

Zoning District(s) CBD-G Overlay District(s) _____

Size of Parcel: 6,923 sq. ft. 0.159 ac. Property Deed: Book 5081 Page: 357

Existing Use of Property: Commercial Businesses on both parcels

SITE PLAN INFORMATION

Describe Proposed Use: Construction of a 5 story mixed use building, with commercial units on the first floor, and residential units on the upper 4 floors.

Area of Parcel to be Developed: 7,535 sq. ft.

If Multi-family Residential: Number of Units 28 & Buildings Proposed 1

If lodging: Number of Units _____ & number of Buildings _____

Number of Parking Spaces: Existing 5 Proposed 5 on site, 36 at Dover Travel Center

Highway Access (check where applicable): ☒ City Street _____ State Highway _____

Number of Employees Total: 8 In Maximum Shift: 8

Disposition of Parcel:

Building Setbacks:

Building Footprint 5,995 sq. ft.

Front Yard 5 ft.

Total Building Area 20,384 sq. ft.

Rear Yard 10 ft.

Paved Area _____ sq. ft.

Side Yard: Right 0 ft. Left 0 ft.

City Water? ☒ Yes ☐ No How far is city water from the property? 25 feet

City Sewer? ☒ Yes ☐ No How far is city sewer from the property? 25 feet

TRANSFER OF DEVELOPMENT RIGHTS INFORMATION

Type of TRANSFER OF DEVELOPMENT RIGHT REQUEST (Check All That Apply):

☐ Residential ☐ Residential (reduced size) ☐ Industrial | ☐ Purchase ☐ Land Preservation

Relief sought (Check All That Apply):

☐ Lot Size ☐ Frontage ☐ Setback ☐ 30' Buffer ☐ Increase by _____ units

Describe Proposed Use or Activity that requires TDR; describe any impacts and document mitigation:

BUILDING INFORMATION

Type of Building to be Built: Concrete/steel metal deck with wood framed upper floors.

Height of Building: 58 ft Finished Floor Elevation: 65.75 ft

Number of Seats (where applicable) N/A

Estimated value of construction: \$250,000 Refuse removal: Public ☒ Private (circle one)

WAIVER REQUESTS

Site Review Regulations section(s) to be waived: Article IV 153-13 A.12 Licensed Landscape Architect

Justification for waiver request(s) (*attach additional sheets as needed*):

The site will consist of a 5-store mixed-use building on an existing footprint that provides approximately 89% lot coverage. The remaining area will contain various hard-scape features. Greenspace will be provided in the little space that will remain for landscaping.

SURVEYOR INFORMATIONName of Surveyor and Company (Licensed in N.H.) Kevin McEneaney, LLS - McEneaney Survey AssociatesAddress P.O. Box 1166 Dover, NH 03821 Telephone #: 603-749-0443Professional License #: NH LLS # 661 E-mail address: kevin@surveynh.com**ENGINEER INFORMATION**Name of Engineer and Company (Licensed in N.H.) Stephen J. Haight, PE - Civilworks New EnglandAddress P.O. Box 1166 Dover, NH 03821 Telephone #: 603-749-0443Professional License #: NH PE # 7978 E-mail address: shaight@civilworksne.com**ARCHITECT INFORMATION**Name of Architect and Company (Licensed in N.H.) Nick Isaak, AIA, LEED AP - Isaak Design, PLLCAddress 35 Oyster River Road Durham, NH 03824 Telephone #: 603-969-6711Professional License #: NH # 03202 E-mail address: nick@isaakdesign.com**LANDSCAPE ARCHITECT INFORMATION**

Name of Landscape Architect and Company (Licensed in N.H.) _____

Address _____ Telephone #: _____

Professional License #: _____ E-mail address: _____

SOIL SCIENTIST INFORMATION

Name of Soil Scientist and Company (Licensed in N.H.) _____

Address _____ Telephone #: _____

Professional License #: _____ E-mail address: _____

CONSERVATION EASEMENT HOLDER

Name of Easement Holder: _____ Telephone # _____

Address Easement Holder: _____

Signature of Applicant (if different from owner): _____ Date: _____

***CITY OF DOVER SITE REVIEW
LIST OF ABUTTERS***

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS
31	77A & 77	Chestnut Food Store LLC	10 E Meadow Lane Middleton, MA 01949

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	MAILING ADDRESS
Stephen J. Haight - PE	Civilworks New England	P.O. Box 1166 Dover, NH 03821
Kevin McEneaney, LLS	McEneaney Survey Associates	P.O. Box 1166 Dover, NH 03821

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS

PLANNING BOARD FEE SCHEDULE/INVOICE

(Revised July 24, 2023)

Below are the fees associated with plan review and are subject to a nonrefundable application fee to cover administrative expenses. Please complete the information below and provide payment with your application submittal. **Plan review fees shall be paid prior to technical review committee (TRC) being scheduled.** For plans not requiring TRC review, **fees are due 21 days prior** to the Planning Board meeting. Staff will coordinate abutter/notice fees, which will be invoiced and must be paid 28 hours before the Planning Board meeting for an application to be heard. Fees shall be paid by cash or check made payable to "City of Dover".

A. Plan Review Fees

1. Application fee for the following (SELECT ALL THAT APPLY):

- ☐ SUBDIVISION Application fee \$200.00 + \$150.00 x # _____ new lots created = \$ _____
- ☐ LOT LINE ADJUSTMENT Application fee \$200.00 + \$100.00 X # _____ of lots involved = \$ _____
- ☐ TRANSFER OF DEVELOPMENT RIGHTS Application fee \$200.00 = \$ _____
- ☒ SITE REVIEW – RESIDENTIAL Application fee \$200.00+ \$100.00 x # 28 per dwelling unit = \$ 3,000.00
- ☒ SITE REVIEW – NON-RESIDENTIAL Application fee \$200.00 + (not to exceed \$10,000)
 - ☐ New construction \$.15 sq. ft. x # 4,800 sq. ft. = \$ 920.00
 - ☐ Additions (new floor space) \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- ☐ MOTEL/HOTEL \$35.00 x # _____ per lodging unit = \$ _____
- ☐ CHANGE OF USE Application fee \$200.00 + (not to exceed \$5,000)
 - ☐ Existing floor spaces \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- ☐ CONDITIONAL USE PERMIT Application fee \$200.00 x # _____ per Application = \$ _____
- ☐ GRAVEL PIT/ EXCAVATIONS
 - ☐ Application fee \$50.00 = \$ _____
 - ☐ Permit fee \$75.00 = \$ _____
- ☐ EXTENSIONS/AMENDMENTS/WAIVERS FOR AN APPROVED PLAN Application fee \$200.00 = \$ _____
- ☐ REQUEST FOR REZONING Application fee \$200.00 = \$ _____
- ☐ DRIVEWAY WAIVER Application fee \$200.00 = \$ _____
- ☐ **TOTAL IMPERVIOUS PAVED AREA** (for new development, roadways or additions to existing parking lots, (not to exceed \$10,000)) Application fee of \$200.00 is N/A if it is part of a Site Review or Subdivision Plan. \$200.00 + \$.07 per sq. ft. x # _____ sq. ft. = \$ _____

SUBTOTAL PLAN REVIEW FEE = \$ 3,920.00

AND

B. Abutter Notification/Mailing Labels - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will review the list for accuracy and provide to us the engineer, architect, licensed land surveyor (LLS), licensed landscape architect (LLA) and/or soil scientist whose professional seal appears on the plan with names and addresses for notices.

- ☒ Applicant & Owner, engineer, architect, LLS, LLA and/or soil scientist
 - ☐ Certified letters fee # _____ of x \$10.00 = \$ _____
- ☐ Certified letters fee: # of abutters _____ X \$10.00 = \$ _____
- ☐ First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X \$1.00 = \$ _____
- ☐ Creating/Printing Abutter Labels in triplicate per sheet _____ x \$10.00 = \$ _____

C. Foster's newspaper public notice fee \$120.00 x # _____ applications = \$ _____

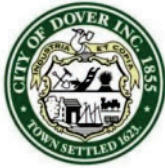
SUBTOTAL = \$ _____

TOTAL INVOICE AMOUNT = \$ _____

PLAN REVIEW FEE COLLECTED/PAID = \$ _____

BALANCE DUE = \$ _____

The amount due must be paid 28 hours prior to the Planning Board Meeting, to be heard.



City of Dover, New Hampshire SITE PLAN REVIEW SUBMISSION CHECKLIST

[Revision Date: June 4, 2019]

This site plan review checklist, as required by Chapter 153-6-B(2), should be completed by the applicant. It is intended to assist the applicant in the planning process of preparing a Site Plan Review application for Planning Board action. The size of the project will determine the types of information required for review, therefore, a **pre-application conference** with the Planning Department to determine the list of items that must be completed is strongly encouraged.

The first step would be to appear before the Technical Review Committee, to apply, eight (8) folded copies of the site plan with scale of not less than 1"=50' or 1"=100' for larger site plans, need to be provided, along with payment of plan review fees.

Two weeks prior to Planning Board, three (3) full size and twelve (12) half size (11x17), folded, copies of the plan set and materials, including response to TRC comments, will be due. Abutter/Notice Fees will be invoiced and need to be paid 28 hours prior to the Planning Board meeting.

The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan Review Regulations for full details.

APPLICANT: Chestnut Food Store LLC File Number: _____

PROJECT TITLE: 16 Sixth Street & 7 Chestnut Street

PROPERTY LOCATION: 16 Sixth Street & 7 Chestnut Street Tax Map: 31 Lot: 77A, & 77

	Where/How Provided	Reviewed
1. Completed and signed Application form	✓	
2. Plan Review Fees are provided	✓	
3. Electronic copy of the engineered/surveyed plan layout	✓	
4. Electronic copy of supplementary materials and application	✓	
5. Traffic Impact Assessment and Analysis (Standard or Advanced)	✓	
6. Waiver requests to the Site Plan Review Regulations, with written justification	✓	
7. Conditional Use Permit applications	N/A	
8. A colored rendering of the streetscape that will be created along the existing public right-of-way	✓	
9. A colored architectural plan showing all sides of buildings	✓	
10. Folded copies of site plan w/scale of not less than 1"=50' or 1"=100' for larger site plans, for TRC. Plans shall contain the following items as appropriate:	✓	
Location map at appropriate scale	✓	
Proposed Project name and title and Planning File #	✓	
Date, north arrow and scale	✓	
Names of all abutting property owners	✓	
Name and address of owners and/or applicants	✓	
Signature & stamp of NH licensed land surveyor and/or engineer	✓	
Zoning District boundaries, including any special or overlay districts	✓	
Location of Conservation District areas	N/A	
Location, names and widths of existing and proposed streets, including pavement widths, grades, curbs and crosswalks	✓	
Location and widths of existing & proposed easements & right of ways	✓	
Location and width of existing and proposed access/egress ways	✓	

	Explain How Provided	Reviewed
Depict pedestrian walkways and accessible access	✓	
Existing and proposed property lines with dimensions and bearings tied into Dover's Geographic Information System coordinate system	✓	
Existing and proposed topographic information at two foot intervals	N/A	
Existing and proposed buildings and structure locations	✓	
Minimum building setbacks or build to lines on all lots	✓	
Location and size of existing and proposed electric, telephone, gas cable and other underground utilities	✓	
Existing and proposed water lines and fire hydrants, including materials and capacity needed	✓	
Location and materials of sanitary sewage facilities within project site and projected additional peak hour sewer load	✓	
Existing and proposed stormwater lines and facilities	N/A	
Lighting plan depicting all existing and proposed exterior light fixtures and a lighting level analysis for parking lots	✓	
Location of Flood Hazard Zone	N/A	
Location of all bodies of water and watercourses	N/A	
Location of wetlands and buffers	N/A	
Neighborhood plan with aerial underlay showing how project relates to abutting uses within the plan set	✓	
Existing natural features and/or significant vegetation on property	✓	
Depict existing contours up to 100 ft. beyond project limits	N/A	
Landscape plan depicting existing and proposed landscaping, prepared by a licensed Professional Landscape Architect	N/A	
Location of parking layout delineating spaces and arrangement; note addressing maximum required spaces	✓	
Location, material and size of existing and proposed pavement area	✓	
Location of proposed fire lanes	N/A	
Specify finished floor elevations of buildings	✓	
Location of solid waste disposal facilities (dumpster, pad and screening, etc.), including required screening	✓	
Depict all service, storage, loading bays and utility areas	✓	
All applicable Dover Common Site Plan notes	✓	
11. Additional Information if appropriate		
Stormwater Management Plan depicting the existing & proposed storm drainage system and engineered drainage analysis	✓	
Stormwater Management System Operation and Maintenance Plan	✓	
Letter to Serve from Public and Private Utilities	✓	
Erosion and Sedimentation Control Plan	✓	
Landscape Operation and Maintenance Plan	N/A	
Proposed restrictive covenants or homeowners association documents	N/A	
Dates and permit numbers of all required state and federal permits	N/A	
If wetland buffer, indicate placards locations, as applicable	N/A	
Depict test boring locations, groundwater elevations and soil profiles and/or soils types call-outs	N/A	
Location of proposed drive-in facilities	N/A	
Provide additional exhibits/technical data determined appropriate by the Planning Board or its staff as required	✓	

REVIEWED BY: _____ DATE _____ TRC DATE _____

Chestnut Food Store LLC
10 E Meadow Lane
Middleton, MA 01949

July 16, 2026

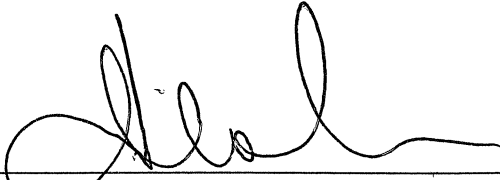
City of Dover
288 Central Avenue
Dover, NH 03820

Attn: Planning Board

Re: **LETTER OF APPLICANT/OWNER AUTHORIZATION**
Site Plan Review Applications & Approvals
16 Sixth Street & 7 Chestnut Street – Tax Map 31, Lots 77A, 77

I, Moses Lawrence, as Member of Chestnut Food Store LLC (Owner and Applicant), authorize Civilworks New England and McEaney Survey Associates to represent all applications made on behalf of me to the City of Dover Planning Board and any other Dover Board or Committee, as well as any State of NH departments, as necessary, relative to the pursuit of approvals and permits for the development of the subject parcel.

Respectfully,

 07/14/26

Moses Lawrence, Member - Chestnut Food Store LLC

PROJECT NARRATIVE

for

Chestnut Food Store LLC

Site Plan Review

Tax Map 31, Lots 77A & 77

16 Sixth Street & 7 Chestnut Street

PROJECT OVERVIEW & SITE CHARACTERISTICS

The subject project area consists of two parcels totaling 0.159 acres located at the corner of 16 Sixth Street and 7 Chestnut Street and is within the Commercial Business District - General (CBD-G). The site design proposes the redevelopment of the subject project area to create a five-story mixed use building, to create two (2) retail units on the first floor and twenty-eight (28) residential rental units. Each residential floor consists of six (6) one-bedroom apartments and one (1) two-bedroom apartment, totaling 28 units.

The proposal includes site improvements associated with the redevelopment, such as grading & drainage improvements, and underground utility service improvements, a dumpster location and building lighting.

The project site consists of the following general improvement plan:

- Demolition of incidental buildings;
- Improvements to grading and drainage;
- Upgrade utility connections, as necessary;
- Stabilize remaining areas with loam and seed;
- Building lighting.

DRIVEWAY AND PARKING LOT

The proposed development will maintain 5 angled parking spaces on Lincoln Street, while the remaining parking spaces for employees and residents will be accommodated at the Dover Travel Center Parking Lot.

DRAINAGE

The project proposes the redevelopment of the subject project area to create a five-story mixed use building, which includes associated grading & drainage improvements, and underground utility services. The site design will incorporate the use of existing stormwater drainage structures in Sixth Street by routing all roof runoff to the existing catch basin in Sixth Street. Drainage functionality will be maintained by the project proponent as outlined within the Stormwater Management System Inspection & Maintenance Manual.

TRAFFIC

A traffic assessment was completed for the project and is attached as a report to this submittal. The traffic assessment indicates there would be a minimal increase in traffic as a result of the proposed development and would not significantly impact Sixth Street, Chestnut Street or the surrounding area.

UTILITIES

The proposed project will connect to the existing City of Dover water service and sewer service located in Sixth Street. Existing electric, communication services will come from an existing pole on Lincoln Street and gas are also located on Sixth Street. Building and utility connections will be made per the City's Community Services Utility Division and Fire Department requirements and standards.

Michael Menary

From: Heather Mulligan
Sent: Tuesday, July 14, 2026 9:14 AM
To: j.semprini@doover.nh.gov
Cc: Michael Menary
Subject: CNE # 25193 - 16 Sixth Street & 7 Chestnut Street Dover - Tax Map 31 Lots 77A & 77
Attachments: 25193-DRAFT UTILITY PLAN.pdf

Hello Jillian:

Chestnut Food Store LLC is proposing to build a five (5) story mixed use building on 16 Sixth Street, and 7 Chestnut Street. The building consists of 2 retail units on the first floor; the larger retail space will likely be the existing market, and the smaller retail space is unspecified but will likely be a dry goods store. While the residential floors consist of 6 one bedroom units and 1 two bedroom unit, with 4 floors of residential, totaling 28 units. Design flow rates are based on NHDES Env-Wq 1008.03 Table 1008-1 Design Flow figures as follows:

- Apartment or Condo – Studio or Single Bedroom = 225 GPD/ Unit = 225 GPD x 24 (one bed units)= 5,400 GPD
- Apartment or Condo having 2 or more Bedrooms = 150 GPD/ Bedroom = 150 GPD x 2 Bedrooms x 4 (two bed units) = 1,200 GPD
- Supermarket with Meat Dept. with Garbage Grinder = 11 GPD/ 100 SF = 11 GPD x 3,111 SF/100 SF = 343 GPD
- Dry Goods = 5 GPD/ 100 SF plus 10 GPD/ employee = 5 GPD x 1685 SF/ 100 SF + 10 GPD x 4 empl = 125 GPD
- Total = 7,068 GPD

Attached is a draft utility plan to depict the location, site layout of the building project and utility services. Please advise on the availability of sewer and water service to the project. If you have any questions or require more information do not hesitate to get back to myself or Michael Menary.

Thank you again for your assistance on these projects.

Heather Mulligan

Project Administration Support
Office: (603) 749-0443

Civilworks New England

McEneaney Survey Associates of New England

P.O. Box 1166 Dover, NH 03821
181 Watson Road Dover, NH 03820

20 Homestead Place, Suite B
Alton, NH 03809

<https://civilworksne.com>



July 15th, 2026

Michael Menary
Project Engineer
Civil Works New England
181 Watson Road
Dover, New Hampshire

Natural Gas to Proposed Mixed-Use Development at Tax Map 31, Lots 77A and 77, Dover NH

Hello Mike.

Unitil/Northern Utilities Natural Gas Division has reviewed the requested site for Natural Gas service.

Unitil hereby confirms that Natural Gas is available for the proposed development at the corner of Sixth St and Chestnut St (Tax Map 31, Lots 77A and 77) in Dover, NH.

If you have any questions, please contact me at 603-264-2033.

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Wilk", with a stylized flourish at the end.

Josh Wilk
Senior Business Development Rep



T 603.227.4628
M 603.264.2033
F 603.294.5264
Email wilkj@unitil.com

Michael Menary

From: Heather Mulligan
Sent: Tuesday, July 14, 2026 11:48 AM
To: Emmons, Trevor S
Cc: Michael Menary; Massuk, Dana J; Kosko, Nickolai E
Subject: Re: CNE # 25193 - 16 Sixth Street & 7 Chestnut Street Dover - Tax Map 31 Lots 77A & 77

Hi Trevor,

We do not have a work order at this time. Another party involved in the project plans to reach out to you at a later date with that information.

Thank you,

Heather Mulligan

Project Administration Support

Office: (603) 749-0443

Civilworks New England

McEneaney Survey Associates of New England

P.O. Box 1166 Dover, NH 03821
181 Watson Road Dover, NH 03820

20 Homestead Place, Suite B
Alton, NH 03809

<https://civilworksne.com>

From: Emmons, Trevor S <trevor.emmons@eversource.com>

Sent: Tuesday, July 14, 2026 10:08 AM

To: Heather Mulligan <hmulligan@civilworksne.com>

Cc: Michael Menary <mmenary@civilworksne.com>; Massuk, Dana J <dana.massuk@eversource.com>; Kosko, Nickolai E <nickolai.kosko@eversource.com>

Subject: RE: CNE # 25193 - 16 Sixth Street & 7 Chestnut Street Dover - Tax Map 31 Lots 77A & 77

Heather,

Do you have a WO for this job with a designer assigned to you?

Trevor S. Emmons
Lead Engineer
Eastern and Western Field Engineering
B: 603-332-7515 C: 207-651-8133
Email: trevor.emmons@eversource.com

For emergencies or outage reporting, please call 1-800-468-0034 - 24 hours a day, 7 days a week.

From: Heather Mulligan <hmulligan@civilworksne.com>

Sent: Tuesday, July 14, 2026 9:52 AM

To: Emmons, Trevor S <trevor.emmons@eversource.com>

Cc: Michael Menary <mmenary@civilworksne.com>

Subject: CNE # 25193 - 16 Sixth Street & 7 Chestnut Street Dover - Tax Map 31 Lots 77A & 77

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Hi Trevor,

Per the City of Dover, as part of the site review permit process we are required to provide a "will serve" letter stating that electric utilities are available for our proposed project. The project is located on the corner of 16 Sixth Street & 7 Chestnut Street, Tax Map 31, Lots 77A & 77.

The project consists of the construction of a five (5) story mixed-use building. The building consists of 2 retail units on the first floor; the larger retail space will likely be the existing market, and the smaller retail space is unspecified but will likely be a dry goods store. The residential floors consist of 6 one-bedroom units and 1 two-bedroom unit, with 4 floors of residential, totaling 28 units.

Attached is a draft utility plan to depict the location, site layout of the building and anticipated utility services.

The project proponent will be in contact with you at a later date to set up a work order and provide additional information.

If you have any questions or require more information do not hesitate to get back to us.

Thank you for your assistance with these projects.

Heather Mulligan

Project Administration Support

Office: (603) 749-0443

Civilworks New England

McEneaney Survey Associates of New England

P.O. Box 1166 Dover, NH 03821

181 Watson Road Dover, NH 03820

20 Homestead Place, Suite B

Alton, NH 03809

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WAIVER REQUEST
FOR
SITE PLAN REVIEW APPLICATION

Five Story Mixed-Use Building
Tax Map , Lot 77 & 77A
16 Sixth Street & 7 Chestnut Street

ARTICLE IV
Site Design and Development Criteria
§ 153-13. Site development plan.

- A. (12) A landscape plan that delineates the arrangement, species and dimensions of all existing and proposed landscaping materials. The landscape plan, in sufficient detail to indicate compliance with these regulations, shall be prepared by a professional landscape architect who is licensed by the State of New Hampshire. The licensed landscape architect shall sign the plan. The landscape plan shall be certified by the licensed landscape architect and include his/her State of New Hampshire license number.

Requesting relief from the requirement to have a landscape plan certified by a New Hampshire Licensed Landscape Architect.

The site will consist of a 5-story mixed-use building on an existing footprint that provides approximately 89% lot coverage. The remaining area will contain various hard-scape features, such as walkways, a dumpster pad, and a small parking area along Lincoln Street. This leaves little to no space for landscape areas, although greenspace will be provided in the spaces between the sidewalk and the building, and between the sidewalk and the road.

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P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443

TRAFFIC ASSESSMENT MEMORANDUM

July 16, 2026

INTRODUCTION

Civilworks New England has prepared this traffic-assessment memorandum (TAM) regarding the redevelopment project proposed at 16 Sixth Street and 7 Chestnut Street, Tax Map 31, Lots 77 and 77A, in Dover, NH. The redevelopment involves the demolition of the two existing buildings on the property that will be replaced by a single, 5-story, mixed-use building; with the existing and proposed uses being described in more detail below.

This TAM includes:

- existing site description
- proposed project description
- road description
- public transit
- trip generation
- trip distribution/assignment
- potential traffic impacts

This TAM concludes that the proposed project is not anticipated to add significant new traffic to the area.

EXISTING SITE DESCRIPTION

The project “site”:

- is located on the west side of Sixth Street at intersections of Sixth Street, Chestnut Street and Lincoln Street;
- has two buildings. One of which contains the food market and café known as Dover Natural Foods Café & Marketplace with an address of 17 Chestnut Street. The second, at 16 Sixth Street, contains a retail store known as Geeked Out Comics on the first floor and a mixed office use on the second floor. The café has only 4 outdoor seats for seasonal use.
- has six on-street, head-in, diagonal parking behind the building on Lincoln Street

PROPOSED PROJECT DESCRIPTION

The existing buildings will be replaced by a single, 5-story, mixed-use building. The ground floor will contain commercial space consisting of 2 retail units; Unit 2 (3,111 SF) will be the new “home” of Dover Natural Foods and Unit 1 (1,522 SF) will have a general retail occupant that is yet to be determined. The four residential floors above will each contain six 1-bedroom rental units and one 2-bedroom unit for a total of 28 new apartments in the building.

Parking will primarily be off-site other than five potential on-street, head-in, diagonal parking behind the new building on Lincoln Street.

ROAD DESCRIPTION

Sixth Street:

- is under the jurisdiction of the City of Dover
- is oriented northwest – southeast with a straight/linear horizontal alignment.
- has a sidewalk along the site frontage.
- streetside parking is allowed.

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- has a statutory speed limit of 30 MPH in the vicinity of the property.
- has a total average daily traffic (ADT) volume of 6,051 vehicles, with 3,436 north-bound vehicles and 3,555 south-bound vehicles, as measured on Sixth Street in close proximity to the site as reported by the NHDOT for 2025.

Chestnut Street:

- is under the jurisdiction of the City of Dover.
- is oriented generally north – south with a relatively straight/linear horizontal alignment in the project vicinity.
- is one-way in the project vicinity with two marked travel lanes in the northbound direction.
- has a sidewalk along the site frontage.
- streetside parking is allowed for a period of 2 hours.
- has a statutory speed limit of 30 MPH in the vicinity of the property.

Lincoln Street:

- is oriented generally east – west with a straight/linear horizontal alignment.
- is one-way in the project vicinity with one unmarked travel lane in the westerly direction (away from Chestnut Street).
- has a sidewalk on the opposite side of the street from the site.
- streetside parking is allowed with six parking spaces existing along the site frontage.
- has a statutory speed limit of 30 MPH in the vicinity of the property.

PUBLIC TRANSIT

Collaborative Alliance for Seacoast Transportation (COAST) provides bus service to downtown Dover. Route 1 passes the site along Sixth Street and Chestnut Street. Route 12 also provides service along Central Ave nearby with a leg to the intersection framing the site. Service is provided on Mondays through Saturdays, except holidays with connections to Somersworth, Rochester and Berwick, ME as well as the Dover Transportation Center = COAST Transit Center and Amtrak “Downeaster” train station. Use of this service would reduce vehicle trips.

CALCULATED TRIP GENERATION

The Institute of Transportation Engineers (ITE) compiles and publishes trip-generation information for a variety of land uses in *Trip Generation Manual*.¹ This authoritative guide for calculating site traffic includes vehicle trip information for the existing and proposed uses.

It is important to note that the food store and café, retail and mixed office uses have existed on the property for some time and were likely to be a measurable vehicle trip generator. It is therefore relevant to consider the proposed project trips on a net basis versus the prior uses.

Tables 1, 2 and 3 show calculated vehicle trip ends associated with the newly proposed residential units, the proposed food store in and the proposed retail space #1. Tables 4, 5 and 6 show the trips associated with the existing retail and office spaces that will be eliminated. For purposes of this analysis, these are considered to be the “proposed” and “existing” uses for the project.

¹ ITE, *Trip Generation Manual*, 11th edition (Washington DC, September 2021)

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For the existing office size (1,800 +/- SF), at the rate of 150 SF per person, occupancy would be 12 people. This is clearly too many people for the office in this case. Therefore, a more reasonable total of 4 employees using the space is utilized for vehicle trip calculations.

Table 1: Trip Generation - Multifamily Housing (28 Units)

Weekday Period	Avg. Trips	Vehicle Trips*			
		Proposed Units	Total	In	Out
Daily	See Equation	28	254.8	127.4	127.4
AM Peak Hour of Generator	See Equation	28	37.9	9.1	28.8
PM Peak Hour of Generator	See Equation	28	46.5	28.8	17.6
AM Peak Hour of Adjacent Street Traffic	See Equation	28	31.5	7.5	24
PM Peak Hour of Adjacent Street Traffic	See Equation	28	32.6	20.5	12.1

* ITE, *Trip Generation Manual*, Multifamily Housing (Low-Rise) Not Close to Rail Transit, Land Use Code 220

Weekday Trips = $T = 6.41(X) + 75.31$ (50% entering, 50% exiting)

AM Trips - Gen. = $T = 0.35(X) + 28.13$ (24% entering, 76% exiting)

PM Trips - Gen. = $T = 0.42(X) + 34.78$ (62% entering, 38% exiting)

AM Trips - A.S.T. = $T = 0.31(X) + 22.85$ (24% entering, 76% exiting)

PM Trips - A.S.T. = $T = 0.43(X) + 20.55$ (63% entering, 37% exiting)

Table 2: Trip Generation - Proposed Food Store & Café (Retail Unit 2 (3,111 SF))

Weekday Period	Avg. Trips / 1,000 SF	Proposed Units	Vehicle Trips*		
			Total	In	Out
Daily	63.66	3.1	197.3	98.7	98.7
AM Peak Hour of Generator	4.51	3.1	14	7.0	7
PM Peak Hour Generator	7.42	3.1	23	11.5	11.5
AM Peak Hour of Adjacent Street Traffic	3.04	3.1	9.4	5.2	4.2
PM Peak Hour of Adjacent Street Traffic	6.70	3.1	20.8	10.6	10.6

* ITE, *Trip Generation Manual* = Use "Variety Store" - Land Use Code 814

Weekday Trips = No Equation => Ave. Rate = 63.66 / 1,000 SF (50% entering, 50% exiting)

AM Trips - Gen. = No Equation => Ave. Rate = 4.51 / 1,000 SF (50% entering, 50% exiting)

PM Trips - Gen. = No Equation => Ave. Rate = 7.42 / 1,000 SF (50% entering, 50% exiting)

AM Trips - A.S.T. = No Equation => Ave. Rate = 3.04 / 1,000 SF (55% entering, 45% exiting)

PM Trips - A.S.T. = No Equation => Ave. Rate = 6.70 / 1,000 SF (51% entering, 49% exiting)

(Tables 3 and 4 Next Page)

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Table 3: Trip Generation - Proposed Retail Unit 1 (1,522 sf)

Weekday Period	Vehicle Trips*				
	Avg. Trips / 1,000 SF	Proposed Units	Total	In	Out
Daily	63.66	1.5	95.5	47.7	47.7
AM Peak Hour of Generator	4.51	1.5	6.8	3.4	3.4
PM Peak Hour Generator	7.42	1.5	11.1	5.6	5.6
AM Peak Hour of Adjacent Street Traffic	3.04	1.5	4.6	2.5	2.1
PM Peak Hour of Adjacent Street Traffic	6.70	1.5	10	5.1	4.9
* ITE, <i>Trip Generation Manual</i> = Use "Variety Store" - Land Use Code 814					

Weekday Trips = No Equation => Ave. Rate = 63.66 / 1,000 SF (50% entering, 50% exiting)

AM Trips - Gen. = No Equation => Ave. Rate = 4.51 / 1,000 SF (50% entering, 50% exiting)

PM Trips - Gen. = No Equation => Ave. Rate = 7.42 / 1,000 SF (50% entering, 50% exiting)

AM Trips - A.S.T. = No Equation => Ave. Rate = 3.04 / 1,000 SF (55% entering, 45% exiting)

PM Trips - A.S.T. = No Equation => Ave. Rate = 6.70 / 1,000 SF (51% entering, 49% exiting)

Table 4: Trip Generation - Existing Food Store & Café (2,477 SF - 4 Outdoor Seats)

Weekday Period	Vehicle Trips*				
	Avg. Trips / 1,000 SF	Proposed Units	Total	In	Out
Daily	63.66	2.48	157.9	78.9	78.9
AM Peak Hour of Generator	4.51	2.48	11.2	5.6	5.6
PM Peak Hour Generator	7.42	2.48	18.4	9.2	9.2
AM Peak Hour of Adjacent Street Traffic	3.04	2.48	7.5	4.1	3.4
PM Peak Hour of Adjacent Street Traffic	6.70	2.48	16.6	8.5	8.1
* ITE, <i>Trip Generation Manual</i> = Use "Variety Store" - Land Use Code 814					

Weekday Trips = No Equation => Ave. Rate = 63.66 / 1,000 SF (50% entering, 50% exiting)

AM Trips - Gen. = No Equation => Ave. Rate = 4.51 / 1,000 SF (50% entering, 50% exiting)

PM Trips - Gen. = No Equation => Ave. Rate = 7.42 / 1,000 SF (50% entering, 50% exiting)

AM Trips - A.S.T. = No Equation => Ave. Rate = 3.04 / 1,000 SF (55% entering, 45% exiting)

PM Trips - A.S.T. = No Equation => Ave. Rate = 6.70 / 1,000 SF (51% entering, 49% exiting)

(Tables 5 and 6 Next Page)

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Table 5: Trip Generation - Existing Comic Book Store (2,152 SF)

Weekday Period	Vehicle Trips*				
	Avg. Trips / 1,000 SF	Proposed Units	Total	In	Out
Daily	63.66	2.15	136.9	68.4	68.4
AM Peak Hour of Generator	4.51	2.15	9.7	4.8	4.8
PM Peak Hour Generator	7.42	2.15	16	8.0	8
AM Peak Hour of Adjacent Street Traffic	3.04	2.15	6.5	3.6	2.9
PM Peak Hour of Adjacent Street Traffic	6.70	2.15	14.4	7.3	7.1

* ITE, *Trip Generation Manual* = Use "Variety Store" - Land Use Code 814

Weekday Trips = No Equation => Ave. Rate = 63.66 / 1,000 SF (50% entering, 50% exiting)

AM Trips - Gen. = No Equation => Ave. Rate = 4.51 / 1,000 SF (50% entering, 50% exiting)

PM Trips - Gen. = No Equation => Ave. Rate = 7.42 / 1,000 SF (50% entering, 50% exiting)

AM Trips - A.S.T. = No Equation => Ave. Rate = 3.04 / 1,000 SF (55% entering, 45% exiting)

PM Trips - A.S.T. = No Equation => Ave. Rate = 6.70 / 1,000 SF (51% entering, 49% exiting)

Table 6: Trip Generation - Small Office (Existing, 1,800 SF, 4 +/- Employees)

Weekday Period	Vehicle Trips*			
	No. Employees = X	Total	In	Out
Daily	4	30	15	15
AM - Peak Hour of Generator	4	6.7	4.3	2.4
PM - Peak Hour of Generator	4	7.9	3.9	4
AM - Peak Hour of Adjacent Street Traffic	4	4.3	3.6	0.7
PM - Peak Hour of Adjacent Street Traffic	4	4.3	1.4	2.9
* ITE, <i>Trip Generation Manual</i> , Small Office Building - Land Use Code 712				

* ITE, *Trip Generation Manual*, Small Office Building - Land Use Code 712

Weekday Trips = $\ln(T) = 0.83 \ln(X) + 2.25$ (50% entering, 50% exiting)

AM Trips - Generator vs. Employees = $\ln(T) = 0.85 \ln(X) + 0.72$ (64% entering, 36% exiting)

PM Trips - Generator vs. Employees = $T = 1.44(X) + 2.16$ (49% entering, 51% exiting)

AM Trips - A.S.T. = $T = 0.96(X) + 0.44$ (85% entering, 15% exiting)

PM Trips - A.S.T. = No Equation Use Average Rate = 1.08 Trips per Employee (33% entering, 67% exiting)

TRIP DISTRIBUTION/ASSIGNMENT

The vast majority of project-related trips will be accessing and egressing off-site parking areas and not the site directly. The calculated vehicle trip generation for the development project relative to the number of vehicles already on the roadways in the surrounding area, including those from the existing uses, is such that area traffic operations are not sensitive to trip distribution/assignment of project vehicle trips.

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PHONE: 603.749.0443

POTENTIAL TRAFFIC IMPACTS

The calculations show an increase in vehicle trips resulting from the project use conversion as:

Daily (weekday) = 547.6 total trips (273.8 in and 273.8 out) proposed vs.
324.8 existing trips (162.4 in and 162.4 out)
Net Increase = 222.8 trips (111.4 in and 111.4 out)

AM peak hour (weekday) = 58.7 total trips (19.5 in and 39.2 out) proposed vs.
27.6 existing trips (14.7 in and 12.8 out)
Net Increase In = 31.1 total trips (4.8 in and 26.4 out)

PM peak hour (weekday) = 80.6 total trips (45.9 in and 34.7 out) proposed vs.
42.3 existing trips (21.1 in and 21.2 out)
Net Increase = 38.3 trips (24.8 in and 13.5 out)

Note that the peak hour trips associated with the generator tend to be higher than those associated with the adjacent street traffic for all of the use calculations. Therefore, generator-related trips have been utilized for the peak hour comparisons.

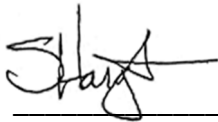
The net increase in weekday trips represents only 3.68 percent of the ADT on Sixth Street as measured near the project site in 2025. Therefore, the traffic anticipated for the proposed project should not significantly impact the surrounding area.

CONCLUSION

The small increase in traffic anticipated from the proposed project, in comparison to the previous uses of the property, will not negatively impact the surrounding area in any meaningful way.

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Sincerely,



Stephen J. Haight, PE

Cc: Chestnut Food Store, LLC

Michael Menary

From: Steve Haight
Sent: Wednesday, July 15, 2026 12:27 PM
To: Simons, William; Benton, Donna (d.benton@doover.nh.gov)
Cc: ind012@yahoo.com; Michael Menary; Heather Mulligan; Cheryl
Subject: RE: CNE # 25193 16 - 6Th Steet Redevelopment project parking request

Good afternoon, Bill

We are in the process of finalizing our site plan application and submittal (for Thursday this week). This proposal for a mixed-use redevelopment project at the corner of Chestnut and Sixth Streets (the Health Food store and the abutting parcel). There will be retail on the first floor and 4 floors of residential above. We are looking at 28 residential units (28 parking spaces) and 4,600 sf of retail (8 employee spaces max shift) for a total of 36 spaces needed.

Are you able to provide us with an email confirming that this project can has **36 spaces** allocated from the travel center parking lot?

We have reached out to abutting properties and have had no luck in securing other parking for this project.

Thank you

Steve

Stephen J. Haight, P.E.
President
Civilworks New England/Haight Engineering, LLC
181 Watson Road
P.O. Box 1166
Dover, New Hampshire 03821
O: 603.749-0443
C: 603.817.6651
F: 603.749.7348
shaight@civilworksne.com
www.civilworksne.com

From: Simons, William <W.Simons@doover.nh.gov>
Sent: Wednesday, April 8, 2026 7:46 AM
To: Steve Haight <shaight@civilworksne.com>
Cc: ind012@yahoo.com
Subject: RE: CNE # 25193 16 - 6Th Steet Redevelopment project parking request

We can do Wednesday, 4/15 at 1 pm.

Still a good time/date for you?

We can meet at City Hall and I will forward an invite once confirmed.

Bill Simons

From: Steve Haight <shaight@civilworksne.com>
Sent: Tuesday, April 7, 2026 1:27 PM
To: Simons, William <W.Simons@dover.nh.gov>
Cc: ind012@yahoo.com
Subject: RE: CNE # 25193 16 - 6Th Steet Redevelopment project parking request

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Wednesday 4/15 after 1 pm
Thursday 4/16 9 am – noon
Friday 4/17 anytime

Stephen J. Haight, P.E.
President
Civilworks New England/Haight Engineering, LLC
181 Watson Road
P.O. Box 1166
Dover, New Hampshire 03821
O: 603.749-0443
C: 603.817.6651
F: 603.749.7348
shaight@civilworksne.com
www.civilworksne.com

From: Simons, William <W.Simons@dover.nh.gov>
Sent: Tuesday, April 7, 2026 10:54 AM
To: Steve Haight <shaight@civilworksne.com>
Cc: ind012@yahoo.com
Subject: RE: CNE # 25193 16 - 6Th Steet Redevelopment project parking request

Hi Steve

At this point I think we should have a meeting with you, myself, Chris Parker and Donna Benton.

Please give me some dates/times that work for you over the next week and a half so I can coordinate getting us together.

Bill Simons

From: Steve Haight <shaight@civilworksne.com>
Sent: Friday, March 27, 2026 5:50 PM
To: Simons, William <W.Simons@doover.nh.gov>
Cc: ind012@yahoo.com
Subject: RE: CNE # 25193 16 - 6Th Steet Redevelopment project parking request

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Bill

We have reached out to 3 properties in the immediate area to our project on 6th street... we have not had a response back yet

We will plan on attending the 4/21 meeting and bring you up to date... hopefully we will have info to share

Steve

Stephen J. Haight, P.E.
President
Civilworks New England/Haight Engineering, LLC
181 Watson Road
P.O. Box 1166
Dover, New Hampshire 03821
O: 603.749-0443
C: 603.817.6651
F: 603.749.7348
shaight@civilworksne.com
www.civilworksne.com

From: Simons, William <W.Simons@doover.nh.gov>
Sent: Friday, March 27, 2026 9:46 AM
To: Steve Haight <shaight@civilworksne.com>
Cc: ind012@yahoo.com
Subject: RE: CNE # 25193 16 - 6Th Steet Redevelopment project parking request

Hi Steve/Moses,

The next Parking Commission meeting is 4/21. Any progress with the other options for parking?

Bill Simons
Dover Parking

From: Steve Haight <shaight@civilworksne.com>
Sent: Tuesday, March 10, 2026 2:20 PM
To: Simons, William <W.Simons@doover.nh.gov>
Cc: Bassegio, Erin <E.Bassegio@doover.nh.gov>; Joseph Griffin <jgriffin@civilworksne.com>; Moses Lawrence

<ind012@yahoo.com>; Nick Isaak <nick.isaak@gmail.com>; Benton, Donna <d.benton@dover.nh.gov>

Subject: CNE # 25193 16 - 6Th Steet Redevelopment project parking request

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Good afternoon, Bill

We met with Planning this afternoon to review a proposal for a redevelopment project at the corner of Chestnut and Sixth Streets (the Health Food store and the abutting parcel). The proposal is for a mixed-use building with retail on the first floor and 4 floors of residential above. We are looking at 28 residential units (28 parking spaces) and 4,600 sf of retail (8 employee spaces max shift) for a total of 36 spaces needed.

Planning let us know that your committee meets on the 3rd Tuesday of every month with your next meeting on Tuesday 3/17/26.

Would you be able to place us on that agenda to discuss parking availability?

Attached is a rendering to give you an idea of the scale of the project. The plan is schematic at this point and is subject to change.

Please let me know if there is anything you need in advance of the meeting or if you have any questions.

Best regards

Steve

Stephen J. Haight, P.E.

President

Civilworks New England/Haight Engineering, LLC

181 Watson Road

P.O. Box 1166

Dover, New Hampshire 03821

O: 603.749-0443

C: 603.817.6651

F: 603.749.7348

shaight@civilworksne.com

www.civilworksne.com

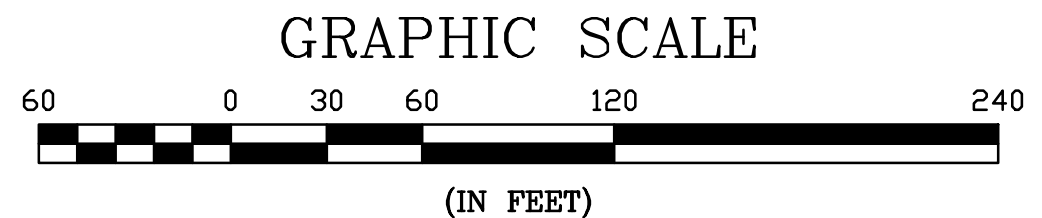
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TRAIN STATION PARKING LOT
33 CHESTNUT STREET
96 YELLOW STRIPED SPACES

DOVER PLANNING FILE NO.: SITE-2026-XXXX



PARKING LOT EXHIBIT

No.	Appd	Date
REVISIONS		

FIVE STORY
MIXED USE BUILDING
16 SIXTH STREET
& 7 CHESTNUT STREET
DOVER, NH 03820

DATE: 4-22-26
SCALE: AS SHOWN
DESIGNED BY: MJM
DRAWN BY: SRD
APPROVED BY: SJH
PROJECT NO.: 25193
FILE: PRK LOT EXHIBIT

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

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603.749.0443

EX-1

CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443 FAX: 603.749.7348

Stormwater Management Narrative

**Tax Map 31, Lot 77A & 77
16 Sixth Street & 7 Chestnut Street**

The subject project area located at 16 Sixth Street & 7 Chestnut Street consisting of 2 parcels totaling 1.59 acres within the Central Business District – General (CBD-G). The site design proposes the redevelopment of the subject project area to create a five-story mixed use building, creating two (2) retail units on the first floor and twenty-eight (28) residential units for the remaining four floors.

The existing site's drainage is accommodated by surface runoff to City streets captured by existing catch basins in Sixth Street. All storm water is currently and will continue to be captured by the existing stormwater system in Sixth Street. With the addition of the improvements to the drainage on site, there is a reduction in impervious area to the lot. Existing lot coverage on site was 96% while the proposed site will have 89% lot coverage.

The proposed drainage of the site will consist of roof drains that are routed to an existing catch basin in Sixth Street. This improvement will eliminate the overland flows associated with the existing site. The roof drains will be maintained by the project proponent as outlined within the Stormwater Management System Inspection & Maintenance Manual. It is our opinion that this project will have no effect on the stormwater on-site.

Stormwater Management System Inspection & Maintenance Plan

**Tax Map 31, Lots 77 & 77A
16 Sixth Street
7 Chestnut Street
Dover, NH
Strafford County**

JULY 2026

Prepared for:

**Chestnut Food Store, LLC
10 E Meadow Lane
Middleton, Massachusetts 01949**

Prepared By:

**CIVILWORKS NEW ENGLAND
P.O. Box 1166
181 Watson Road
Dover, New Hampshire 03821**

Introduction

Civilworks New England has prepared the following Stormwater Management System Inspection & Maintenance Plan for **Chestnut Food Store, LLC**. The intent of this plan is to provide a list of procedures that document the inspection and maintenance requirements of the Stormwater Management System for this site.

The inspection and maintenance requirements outlined in this document are required to be performed in perpetuity. In the event the property is sold, future owners will be responsible for implementing the responsibilities outlined in this document.

The following inspection and maintenance program is necessary in order to keep the Stormwater Management System functioning properly. These measures will also help to minimize potential environmental impacts to the areas surrounding the developed site. By following the enclosed procedures, the property owners, and maintenance personnel will be able to maintain the functional design of the Stormwater Management System and maximize its ability to remove sediment and other contaminants from site generated stormwater runoff.

This plan also requires the Owner/Operator to prepare and implement a salt minimization plan to reduce salt usage on-site and ultimately within the watershed. This plan will allow the owner/operator to monitor and modify how much salt is needed, when it should be applied, where it needs to be applied; with the ultimate goal of reducing salt-use without compromising safety. It is expected that salt-use reduction will lead to long-term cost-savings as a result of purchasing less salt and reduced impacts on vegetation (e.g., landscaping) and corrosion of infrastructure.

The salt minimization plan should include the retention of a contractor who has completed the Green SnowPro Training course and obtained NHDES Salt Application Certification.

It is anticipated that this be a living document that will be updated at regular intervals (recommend updating annually in advance of the winter season in order to facilitate adjustments).

Owner:

**Chestnut Food Store, LLC
10 E Meadow Lane
Middleton, Massachusetts 01949**

In the event of a change in ownership, this Inspection and Maintenance Plan shall be transferred to the new party.

Contact / Responsible Party:

**Chestnut Food Store, LLC
10 E Meadow Lane
Middleton, Massachusetts 01949**

**Moses Lawrence
Phone: (508)-270-2684
Email: ind012@yahoo.com**

The contact information for the Contact / Responsible Party shall be kept current.

Management Company:

**Chestnut Food Store, LLC
10 E Meadow Lane
Middleton, Massachusetts 01949**

**Moses Lawrence
Phone: (508)-270-2684
Email: ind012@yahoo.com**

The contact information for the Management Party shall be kept current.

Inspection Schedule / Record Retention

Inspection frequency should, at a minimum, be in accordance with the New Hampshire Stormwater Manual, Volume 2, latest edition, as updated by NHDES. See the Inspection and Maintenance Plan for frequency requirements. Inspections shall include a photograph of each practice that is subject to the I&M requirements each time it is inspected. A copy of the completed Stormwater Management System's Inspection & Maintenance Log, inspection photographs, and Deicing Salt Quantity Use Log shall be maintained, kept on-site, and made available to the City of Dover upon request. All inspection and maintenance records must be provided to the City of Dover Community Services Department annually before December 15th.

Stormwater Management System Components

The Stormwater Management System associated with the project is designed to mitigate both the quantity and quality of site-generated stormwater runoff. As a result, its design includes the following elements:

- Roof Drain
- Catch Basins
- Pavement
- Litter / Trash Removal

Design elements are identified in the design plans, a copy of which shall be maintained with this Inspection and Maintenance Plan.

Control of Invasive Species

During maintenance activities, check for the presence of invasive plants and remove in a safe manner. Invasive plants shall be controlled to prevent them from reproducing, spreading, or re-growing. See the University of New Hampshire – Cooperative Extension's "Method for Disposing Non-Native Invasive Plants", included at the end of this manual, for guidance on the removal and disposal of invasive species.

Inspection and Maintenance Plan

By implementing the following procedures, the owners will be able to maintain the functional design of the Stormwater Management System and maximize the system's ability to remove sediment and other contaminants from site generated stormwater runoff.

PAVEMENT:

- Minimize sanding.
- Minimize application of salt for ice control.
- Clean periodically (1-2 times per year) using a sweeper or vacuum sweeper. Vacuum sweeping is the preferred method.

LITTER / TRASH REMOVAL:

- Routinely patrol site for litter pick-up.
- Minimum leaf litter pickup efforts require two inspections annually in any season.

CATCH BASINS:

- Inspect twice per year (recommended in the spring and fall).
- Inspect for floatables, sediment accumulation, and hydrocarbons (oils and grease).
- Remove all floatables immediately.
- Sediment should be removed when it approaches half the sump depth. If no sump, remove sediment accumulation $\geq 6"$.

ROOF DRAINS:

- Inspect once per year.
- Inspect for clogging and sediment accumulation.
- Remove all debris immediately and sediment accumulations when necessary.

Inspection & Maintenance Table

System Component / BMP	Minimum Inspection Frequency	Minimum Inspection Requirements	Maintenance / Cleanout Threshold
Pavement • Sanding • Salt Applications • Sweep/Vacuum • Trash/Debris	Limit use As required 1 - 2 x's Year Periodically	• Minimize use to prevent tracking issues • RECORD APPLICATION RATES • Sweep or vacuum to prevent tracking issues • Check for trash/debris	Sweep to prevent issues Minimize (as required) Sweep/Vac as needed Remove when noticed
Litter / Trash Removal	Periodically	• Check for litter and trash	Remove when noticed
Catch Basins	Bi-Annually	• Check for floatables • Check for sediment accumulation • Check for hydrocarbons (oil)	Remove immediately Half of the sump depth Remove immediately
Roof Drain	Annually	• Check for sediment accumulation • Check for clogging	Clean when necessary Remove when noticed

Inspection & Maintenance Checklist/Log

The following pages contain a blank copy of the Stormwater Management System's Inspection & Maintenance Log and a Deicing Salt Quantity Use Log. These forms are provided to assist the owners with the inspection and maintenance of the aforementioned Stormwater Management System.

Stormwater Management System's Inspection & Maintenance Log

Date of Inspection/Maintenance _____ Inspector: _____

[illegible]

Deicing Salt Quantity Use Log

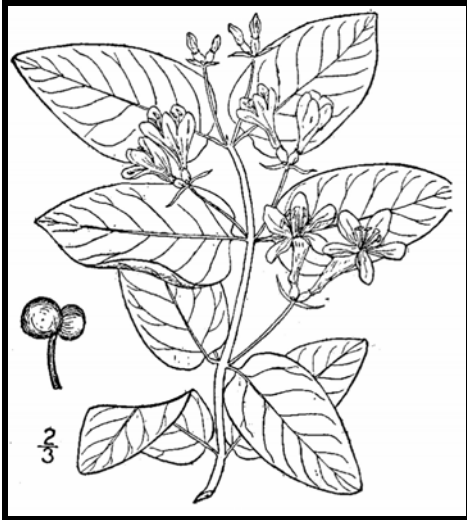
[illegible]

Attachments

- A. UNH Methods for Disposing Non-Native Invasive Plants
[UNH COOP Method for Disposing Non-Native Invasive Plants.pdf](#)

Methods for Disposing Non-Native Invasive Plants

Prepared by the Invasives Species Outreach Group, volunteers interested in helping people control invasive plants. Assistance provided by the Piscataquog Land Conservancy and the NH Invasives Species Committee. Edited by Karen Bennett, Extension Forestry Professor and Specialist.



Tatarian honeysuckle

Lonicera tatarica

USDA-NRCS PLANTS Database / Britton, N.L., and A. Brown. 1913. *An illustrated flora of the northern United States, Canada and the British Possessions*. Vol. 3: 282.

Non-native invasive plants crowd out natives in natural and managed landscapes. They cost taxpayers billions of dollars each year from lost agricultural and forest crops, decreased biodiversity, impacts to natural resources and the environment, and the cost to control and eradicate them.

Invasive plants grow well even in less than desirable conditions such as sandy soils along roadsides, shaded wooded areas, and in wetlands. In ideal conditions, they grow and spread even faster. There are many ways to remove these non-native invasives, but once removed, care is needed to dispose the removed plant material so the plants don't grow where disposed.

Knowing how a particular plant reproduces indicates its method of spread and helps determine the appropriate disposal method. Most are spread by seed and are dispersed by wind, water, animals, or people. Some reproduce by vegetative means from pieces of stems or roots forming new plants. Others spread through both seed and vegetative means.

Because movement and disposal of viable plant parts is restricted (see NH Regulations), viable invasive parts can't be brought to most transfer stations in the state. Check with your transfer station to see if there is an approved, designated area for invasives disposal. This fact sheet gives recommendations for rendering plant parts non-viable.

Control of invasives is beyond the scope of this fact sheet. For information about control visit www.nhinvasives.org or contact your UNH Cooperative Extension office.

New Hampshire Regulations

Prohibited invasive species shall only be disposed of in a manner that renders them nonliving and nonviable. (Agr. 3802.04)

No person shall collect, transport, import, export, move, buy, sell, distribute, propagate or transplant any living and viable portion of any plant species, which includes all of their cultivars and varieties, listed in Table 3800.1 of the New Hampshire prohibited invasive species list. (Agr. 3802.01)

How and When to Dispose of Invasives?

To prevent seed from spreading remove invasive plants before seeds are set (produced). Some plants continue to grow, flower and set seed even after pulling or cutting. Seeds can remain viable in the ground for many years. If the plant has flowers or seeds, place the flowers and seeds in a heavy plastic bag “head first” at the weeding site and transport to the disposal site. The following are general descriptions of disposal methods. See the chart for recommendations by species.

Burning: Large woody branches and trunks can be used as firewood or burned in piles. For outside burning, a written fire permit from the local forest fire warden is required unless the ground is covered in snow. Brush larger than 5 inches in diameter can’t be burned. Invasive plants with easily airborne seeds like black swallow-wort with mature seed pods (indicated by their brown color) shouldn’t be burned as the seeds may disperse by the hot air created by the fire.

Bagging (solarization): Use this technique with softer-tissue plants. Use heavy black or clear plastic bags (contractor grade), making sure that no parts of the plants poke through. Allow the bags to sit in the sun for several weeks and on dark pavement for the best effect.

Tarping and Drying: Pile material on a sheet of plastic and cover with a tarp, fastening the tarp to the ground and monitoring it for escapes. Let the material dry for several weeks, or until it is clearly nonviable.

Chipping: Use this method for woody plants that don’t reproduce vegetatively.

Burying: This is risky, but can be done with watchful diligence. Lay thick plastic in a deep pit before placing the cut up plant material in the hole. Place the material away from the edge of the plastic before covering it with more heavy plastic. Eliminate as much air as possible and toss in soil to weight down the material in the pit. Note that the top of the buried material should be at least three feet underground. Japanese knotweed should be at least 5 feet underground!

Drowning: Fill a large barrel with water and place soft-tissue plants in the water. Check after a few weeks and look for rotted plant material (roots, stems, leaves, flowers). Well-rotted plant material may be composted. A word of caution- seeds may still be viable after using this method. Do this before seeds are set. This method isn’t used often. Be prepared for an awful stink!

Composting: Invasive plants can take root in compost. Don’t compost any invasives unless you know there is no viable (living) plant material left. Use one of the above techniques (bagging, tarping, drying, chipping, or drowning) to render the plants nonviable before composting. Closely examine the plant before composting and avoid composting seeds.



Japanese knotweed
Polygonum cuspidatum
USDA-NRCS PLANTS Database /
Britton, N.L., and A. Brown. 1913. *An illustrated flora of the northern United States, Canada and the British Possessions*. Vol. 1: 676.

Be diligent looking for seedlings for years in areas where removal and disposal took place.

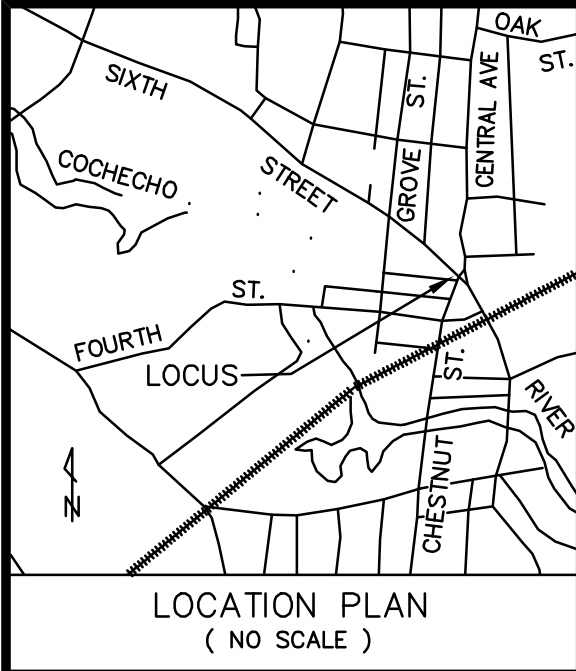
Suggested Disposal Methods for Non-Native Invasive Plants

This table provides information concerning the disposal of removed invasive plant material. If the infestation is treated with herbicide and left in place, these guidelines don't apply. Don't bring invasives to a local transfer station, unless there is a designated area for their disposal, or they have been rendered non-viable. This listing includes wetland and upland plants from the New Hampshire Prohibited Invasive Species List. The disposal of aquatic plants isn't addressed.

Woody Plants	Method of Reproducing	Methods of Disposal
Norway maple <i>(Acer platanoides)</i> European barberry <i>(Berberis vulgaris)</i> Japanese barberry <i>(Berberis thunbergii)</i> autumn olive <i>(Elaeagnus umbellata)</i> burning bush <i>(Euonymus alatus)</i> Morrow's honeysuckle <i>(Lonicera morrowii)</i> Tatarian honeysuckle <i>(Lonicera tatarica)</i> showy bush honeysuckle <i>(Lonicera x bella)</i> common buckthorn <i>(Rhamnus cathartica)</i> glossy buckthorn <i>(Frangula alnus)</i>	Fruit and Seeds 	Prior to fruit/seed ripening Seedlings and small plants ▪ Pull or cut and leave on site with roots exposed. No special care needed. Larger plants ▪ Use as firewood. ▪ Make a brush pile. ▪ Chip. ▪ Burn.
		After fruit/seed is ripe Don't remove from site. ▪ Burn. ▪ Make a covered brush pile. ▪ Chip once all fruit has dropped from branches. ▪ Leave resulting chips on site and monitor.
oriental bittersweet <i>(Celastrus orbiculatus)</i> multiflora rose <i>(Rosa multiflora)</i>	Fruits, Seeds, Plant Fragments 	Prior to fruit/seed ripening Seedlings and small plants ▪ Pull or cut and leave on site with roots exposed. No special care needed. Larger plants ▪ Make a brush pile. ▪ Burn.
		After fruit/seed is ripe Don't remove from site. ▪ Burn. ▪ Make a covered brush pile. ▪ Chip – only after material has fully dried (1 year) and all fruit has dropped from branches. Leave resulting chips on site and monitor.

Non-Woody Plants	Method of Reproducing	Methods of Disposal
garlic mustard (<i>Alliaria petiolata</i>) spotted knapweed (<i>Centaurea maculosa</i>) ▪ Sap of related knapweed can cause skin irritation and tumors. Wear gloves when handling. black swallow-wort (<i>Cynanchum nigrum</i>) ▪ May cause skin rash. Wear gloves and long sleeves when handling. pale swallow-wort (<i>Cynanchum rossicum</i>) giant hogweed (<i>Heracleum mantegazzianum</i>) ▪ Can cause major skin rash. Wear gloves and long sleeves when handling. dame's rocket (<i>Hesperis matronalis</i>) perennial pepperweed (<i>Lepidium latifolium</i>) purple loosestrife (<i>Lythrum salicaria</i>) Japanese stilt grass (<i>Microstegium vimineum</i>) mile-a-minute weed (<i>Polygonum perfoliatum</i>)	Fruits and Seeds 	Prior to flowering Depends on scale of infestation Small infestation ▪ Pull or cut plant and leave on site with roots exposed. Large infestation ▪ Pull or cut plant and pile. (You can pile onto or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material. During and following flowering Do nothing until the following year or remove flowering heads and bag and let rot. Small infestation ▪ Pull or cut plant and leave on site with roots exposed. Large infestation ▪ Pull or cut plant and pile remaining material. (You can pile onto plastic or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material.
common reed (<i>Phragmites australis</i>) Japanese knotweed (<i>Polygonum cuspidatum</i>) Bohemian knotweed (<i>Polygonum x bohemicum</i>)	Fruits, Seeds, Plant Fragments Primary means of spread in these species is by plant parts. Although all care should be given to preventing the dispersal of seed during control activities, the presence of seed doesn't materially influence disposal activities.	Small infestation ▪ Bag all plant material and let rot. ▪ Never pile and use resulting material as compost. ▪ Burn. Large infestation ▪ Remove material to unsuitable habitat (dry, hot and sunny or dry and shaded location) and scatter or pile. ▪ Monitor and remove any sprouting material. ▪ Pile, let dry, and burn.

January 2010



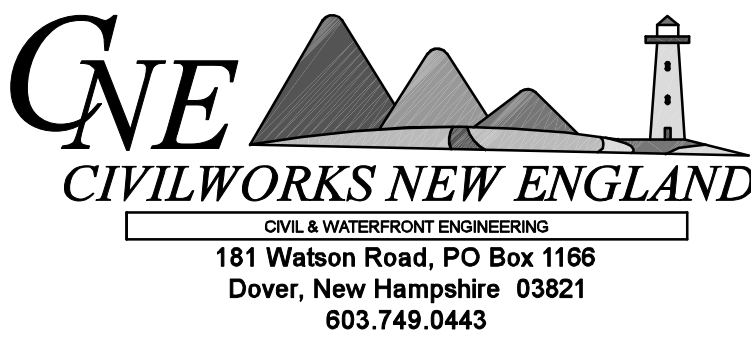
SITE PLAN FOR FIVE STORY MIXED USE BUILDING

TAX MAP 31, LOT 77A & 77
16 SIXTH & 7 CHESTNUT STREET
JULY 16, 2025

OWNER/APPLICANT

CHESTNUT FOOD STORE LLC
10 E MEADOW LANE
MIDDLETON, MA 01949

SITE CIVIL
ENGINEER



LAND SURVEYOR

MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND
P.O. BOX 1166
DOVER, NH 03821
(603) 742-0911

ARCHITECT

ISAAK DESIGN, PLLC
ARCHITECTURE & URBAN DESIGN
35 OYSTER RIVER ROAD
DURHAM, NH 03824
NICK ISSAK, AIA, LEED AP

PERMIT SUMMARY/ WAIVER SUMMARY:
1. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE
SUBJECT PROPERTY:

N/A

2. LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING
BOARD OF ADJUSTMENT OR CONDITIONAL USE PERMITS GRANTED BY THE
PLANNING BOARD FOR THE PROPOSED USE OR STRUCTURE, INCLUDING THE
CASE NUMBER AND DATE OF DECISION AND ANY CONDITIONS.

SITE PLAN: SITE-2026-XXXX

3. WAIVERS REQUESTED: THE PLANNING BOARD HAS FOUND THE CRITERIA OF
CHAPTER 153-21 HAVE BEEN MET AND HAVE APPROVED THE FOLLOWING
WAIVERS, DATE: PENDING

*A WAIVER REQUEST FROM 153-13A.12 RELIEF FROM NEW HAMPSHIRE
LICENSED LANDSCAPE ARCHITECT CERTIFIED LANDSCAPE PLAN.

NOTES:
LANDSCAPING BOND OR OTHER FORM OF SECURITY ACCEPTABLE TO THE CITY FOR A PERIOD
OF 3 YEARS AFTER CERTIFICATION OF OCCUPANCY IS ISSUED TO ENSURE LANDSCAPING IS
MAINTAINED OR REPLACED IF NEEDED.

<u>SHEET INDEX</u>	<u>SHEET</u>
COVER SHEET	1
NEIGHBORHOOD PLAN	2
EXISTING CONDITIONS PLAN (BY MCENEANEY SURVEY)	3
NOTE SHEET	4
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SITE PLAN	6
GRADING, DRAINAGE & EROSION CONTROL PLAN	7
UTILITY PLAN	8
EROSION CONTROL NOTES	9
EROSION CONTROL DETAILS	10
DETAIL SHEETS	11-12
LIGHTING PLAN	13

<u>ARCHITECTURAL PLANS (BY ISAAK DESIGN, PLLC)</u>	
COVER SHEET	A0.00
CODE, ABBREV. & LEGENDS	A0.06
SITE PLAN	A0.08
FLOOR PLANS	A1.01 - A1.06
ELEVATIONS	A2.01
STREETSCAPE RENDERING	

PLANNING FILE NO.: SITE - 2026-XXXX



5 15	5	15	FIVE POINTS DEVELOPMENT 340 CENTRAL AVE STE 202 DOVER, NH 03820
5 13	5	13	MAPLE SUGAR INVESTMENTS LLC P.O. BOX 132 DOVER, NH 03820
5 11	5	11	FIVE POINTS DEVELOPMENT 340 CENTRAL AVE STE 202 DOVER, NH 03820
5 14	5	14	KUS EVAN 10 SIXTH STREET APT2 DOVER, NH 03820

31 72	31	72	VU MINH D TRUSTEE VU MINH D REVOCABLE TRUST OF 2018 379 OCEAN ROAD PORTSMOUTH, NH 03801
31 71	31	71	CARSWELL WILLIAM H LI & SANDRA TRUSTEE CARSWELL FAMILY 2018 REVOCABLE TRUST 16 CONSTITUTION WAY DOVER, NH 03820
31 70-A	31	70-A	H&H CHESTNUT PROPERTIES LLC P.O. BOX 978 DOVER, NH 03821
31 70	31	70	H&H CHESTNUT PROPERTIES LLC 11 CHESTNUT STREET DOVER, NH 03820

ABUTTERS LIST (WITHIN 200 FT)				
TAX MAP	LOT NO.	NAME & ADDRESS		
31 77-A	31	77-A	CHESTNUT FOOD STORE LLC 10 E MEADOW LANE MIDDLETON, MA 01949	
31 77	31	77	CHESTNUT FOOD STORE LLC 10 E MEADOW LANE MIDDLETON, MA 01949	
5 17	5	17	GREATER DOVER CHAMBER OF COMMERCE 550 CENTRAL AVE DOVER, NH 03820	
30 115-A	30	115-A	1 CHESTNUT ST NH HOLDINGS LLC 17 SMITH FARM TRAIL LYNNFIELD, MA 01940	
30 114	30	114	BOLTON REALTY TRUST LLC 61 AIRPORT DRIVE UNIT 4 ROCHESTER, NH 03867	
30 113-0-1	30	113-0-1	HAMANNFORD LLC 8 FOOTBRIDGE LANE DOVER, NH 03820	
30 113-0-2	30	113-0-2	STEWART ALEXIS N 15 SIXTH STREET DOVER, NH 03820	
30 113-0-3	30	113-0-3	WOODWARD SPENCER N 133 GROVE STREET DOVER, NH 03820	
30 113-0-4	30	113-0-4	SPEAR JANE 7 GERRISH DRIVE DURHAM, NH 03820	
30 113	30	113	SIXTH ST COURTYARD CONDOMINIUMS C/O/ WOODWARD SPENCER N 17 SIXTH STREET DOVER, NH 03820	
31 80	31	80	SHEN RONG HUA & PU AI HUA 32 JOCO DRIVE TYNGSBORO, MA 01879	
31 81	31	81	MCCABE EDMUND J JR & WALTER & MCCABE ET AL 29 LINCOLN STREET DOVER, NH 03820	
31 79-0-1	31	79-0-1	MALLORY ANNA C 17 LINCOLN STREET DOVER, NH 03820	
31 79-0-2	31	79-0-2	MANNING PATRICK M 19 LINCOLN STREET DOVER, NH 03820	
31 79-0-3	31	79-0-3	CHEN QU 19 NEWHALL STREET MALDEN, MA 02148	
31 79-0-4	31	79-0-4	CHEN QU 19 NEWHALL STREET MALDEN, MA 02148	
31 79	31	79	SIXTH & LINCOLN CONDOMINIUMS C/O REALE JAMES F P.O. BOX 702 STRATHAM, NH 03885	
31 78	31	78	D & N MORRISETTE PROPERTIES LLC 59 JUDY LANE STAMFORD, CT 06906	
31 73	31	73	PAOLINI ROBERT V & NICHOLAS O CO-TRUSTEE NRP REALTY TRUST 54 DOVER POINT ROAD STE 103 DOVER, NH 03820	
31 67	31	67	12 LINCOLN ST DOVER LLC P.O. BOX 571 GREENLAND, NH 03840	
31 68	31	68	WITHAM MARTHA A 19 FIFTH STREET DOVER, NH 03820	
31 69	31	69	H&H CHESTNUT PROPERTIES LLC 11 CHESTNUT STREET DOVER, NH 03820	

PLANNING FILE NO.: SITE-2026-XXXX

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

CNE

CIVILWORKS NEW ENGLAND

181 Watson Road, PO Box 1166
Dover, NH 03821

DATE: 7-16-26

SCALE: 1"=40'

DRAWN BY: MJM

DESIGN BY: MJM

APPROVED BY: JH

PROJECT NO: 25193

FILE: 25193-SITE

NO.

REVISION

APPD

DATE

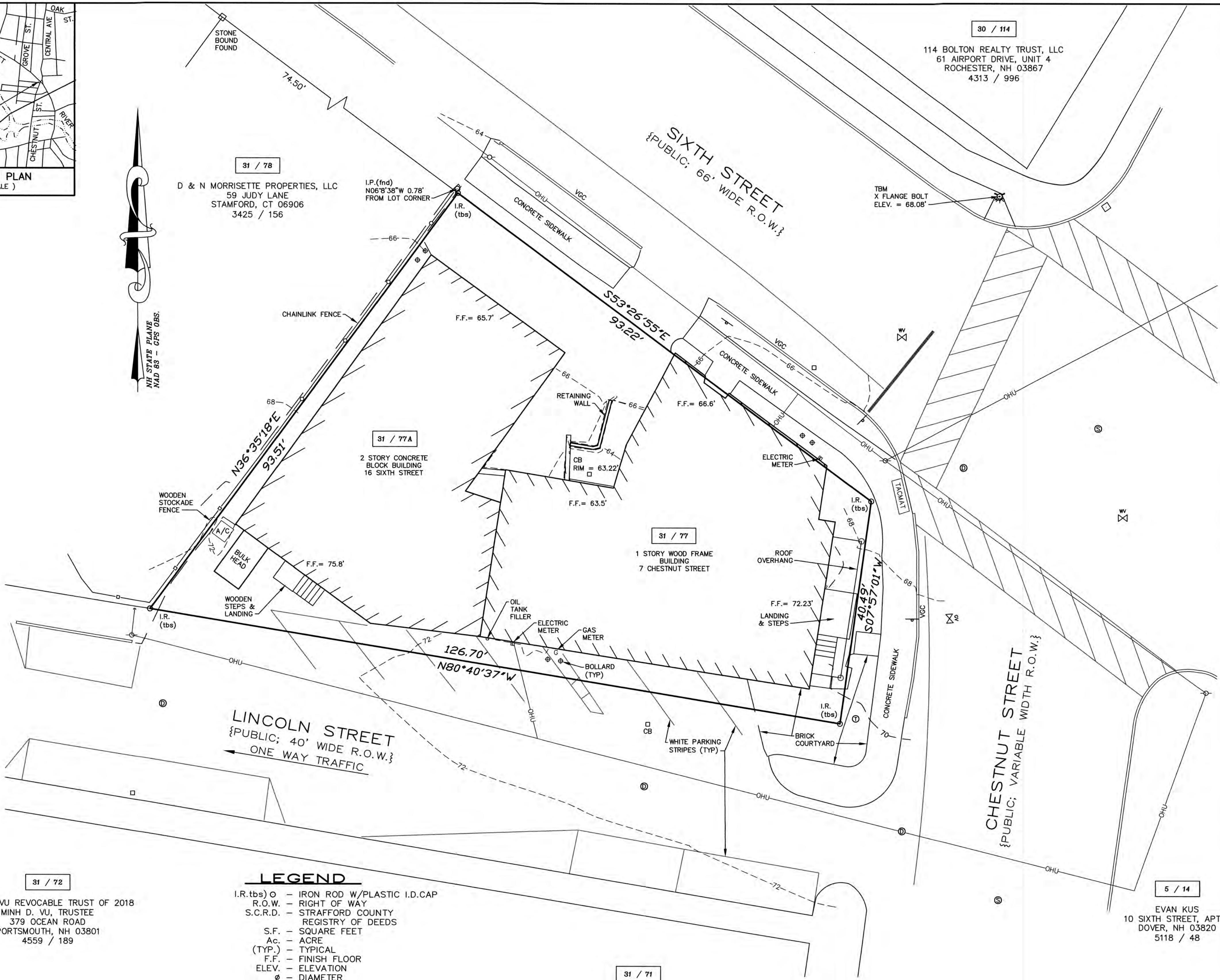
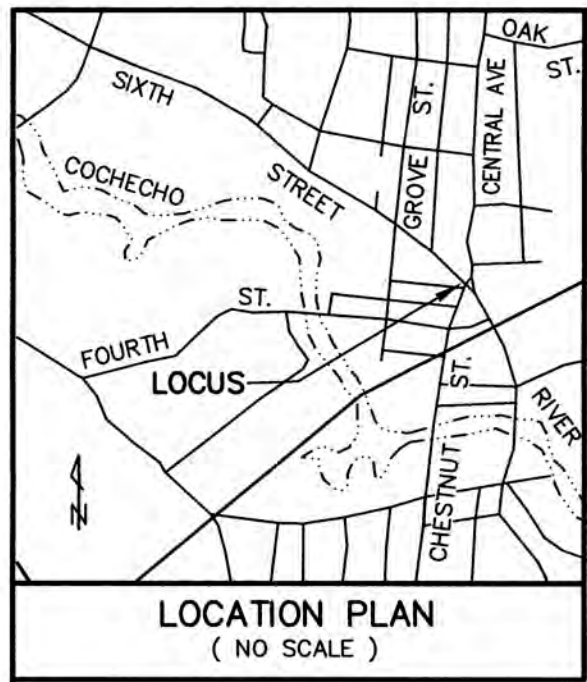
NEIGHBORHOOD PLAN

CHESTNUT FOOD STORE LLC
10 E MEADOW LANE
MIDDLETON, MA 01949

FIVE STORY
MIXED USE BUILDING
16 SIXTH STREET
& 7 CHESTNUT STREET
DOVER, NH 03820

2

18/02/2026 14:58:21 File: P:\05\193 - 16 Sixth Street Dover NH Moses Lawrence\Survey\Drawings\25193 EXISTING CONDITIONS.dwg Layout EC



REFERENCE PLANS:

- 1.) SITE PLAN - CONDOMINIUM PLAN IN DOVER, NH SHOWING UNITS 17, 19, 2, AND 24 OF THE SIXTH & LINCOLN CONDOMINIUM AT 17 & 19 LINCOLN STREET AND 22 & 24 SIXTH STREET (ASSESSORS MAP 31 LOT 79); SCALE: 1" = 10'; DATED: JUNE 22, 2006; BY: MILLENNIUM ENGINEERING, INC.; RECORDED S.C.R.D. PLAN 87-79.
- 2.) LOT LINE ADJUSTMENT PLAN PREPARED FOR CITY OF DOVER AND ANNE S. POPE, TAX MAP 31, LOT Nos. 69 & 72, 17 FIFTH STREET & #9 - #10 LINCOLN STREET, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE; SCALE: 1" = 15'; BY: McENEANEY SURVEY ASSOCIATES, INC.; RECORDED S.C.R.D. PLAN 88-46.

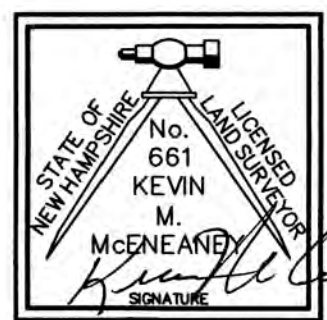
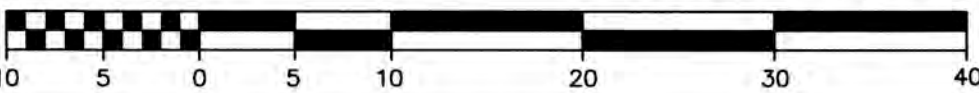
NOTES:

- 1.) OWNER OF RECORD: CHESTNUT FOOD STORE LLC 10 E MEADOW LANE MIDDLETON, MA 01949 S.C.R.D. VOLUME 5081, PAGE 357
- 2.) 31 / 77 - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) COMBINED PARCEL AREAS = 6,923 S.F. / 0.159 Ac.
- 4.) THE INTENT OF THIS PLAN IS TO DEPICT THE PARCEL BOUNDARY AND EXISTING SITE CONDITIONS AS OF DECEMBER 19, 2025.
- 5.) ZONING DISTRICT: CBD GENERAL SUB-DISTRICT. BUILDING DIMENSIONAL REQUIREMENTS: FRONT BUILD TO LINE (EXPANSION) = AVERAGE -5 FEET SIDE SETBACK = 0 FEET MIN. / 24 FEET MAX. REAR SETBACK = 10 FEET LOT COVERAGE = 75 PERCENT FRONTAGE BUILD-OUT = 70% MAXIMUM BUILDING HEIGHT = 2 STORY MIN. / 5 STORY MAX.
- 6.) THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145, PANEL 0310; SUFFIX E; MAP NUMBER 33017C0310E; EFFECTIVE DATE SEPT. 30, 2015.
- 7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED AUGUST 3, 2017. VERTICAL DATUM IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED NOVEMBER 5, 2025
- 8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY McENEANEY SURVEY ASSOCIATES OF NEW ENGLAND ON WITH AN ERROR NOT GREATER THAN 1 IN 10,000.
- 9.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

EXISTING CONDITIONS PLAN
PREPARED FOR
CHESTNUT FOOD STORE, LLC
TAX MAP 31, LOT Nos. 77 & 77A
16 SIXTH STREET & 7 CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No.

DRAWN BY: KJP FILE: P:\25193\SD\25193 EC
SCALE: 1" = 10' DATE: DECEMBER 22, 2025



Mcneaney
Survey
Associates
of NEW ENGLAND

P.O. Box 1166 - 181 WATSON ROAD
DOVER, NH 03821 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

LEGEND

- I.R.(tbs) O - IRON ROD W/PLASTIC I.D.CAP
- R.O.W. - RIGHT OF WAY
- S.C.R.D. - STRAFFORD COUNTY REGISTRY OF DEEDS
- S.F. - SQUARE FEET
- Ac. - ACRE
- (TYP.) - TYPICAL
- F.F. - FINISH FLOOR
- ELEV. - ELEVATION
- Ø - DIAMETER
- SMH - SEWER MANHOLE
- CB - CATCH BASIN
- W/ - WITH
- VGC - VERTICAL GRANITE CURB
- TM - TELECOMMUNICATIONS MANHOLE
- DM - DRAINAGE MANHOLE
- OHU - OVERHEAD UTILITY LINES
- 72- - CONTOUR LINE
- TBM - TEMPORARY BENCHMARK
- W - FIRE HYDRANT
- W - WATER GATE VALVE
- G - GAS VALVE
- A/C - AIR CONDITIONING UNIT

NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
25193	EC	25-09	41-43	
PROJECT NO	TYPE	FIELDBOOK & PAGES		

CARSWELL FAMILY 2018 REVOCABLE TRUST
WILLIAM H. II & SANDRA CARSWELL, TRUSTEES
CONSTITUTION WAY
DOVER, NH 03820
4604 / 450

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

DOVER NOTES:

1. OWNER OF RECORD:
CHESTNUT FOOD STORE LLC
10 E MEADOW LANE
MIDDLETON, MA 01949
S.C.R.D. VOLUME 5081, PAGE 357
2. 81 / 77 - DENOTES TAX MAP AND PARCEL NUMBER.
3. COMBINED PARCEL AREAS = 6,923 S.F. / 0.159 Ac.
4. THE INTENT OF THIS PLAN IS TO DEPICT THE REDEVELOPMENT OF THE SUBJECT PARCEL TO BE FIVE STORY MIXED USE BUILDING.
5. ZONING DISTRICT:
CBD GENERAL SUB-DISTRICT.
BUILDING DIMENSIONAL REQUIREMENTS:

- | | REQUIRED | PROPOSED |
|---------------------------------|------------------------|----------|
| FRONT BUILD TO LINE (EXPANSION) | = AVERAGE -5 FT | 1 FT |
| SIDE SETBACK | = 0 FT MIN./24 FT MAX. | 1.3 FT |
| REAR SETBACK | = 10 FT | 3.6 FT |
| LOT COVERAGE | = 75% | 89% |
| FRONTAGE BUILD-OUT | = 70% | 96% |
6. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145; PANEL 0310; SUFFIX E; MAP NUMBER 33017C0310E; EFFECTIVE DATE SEPT. 30, 2015.
7. BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED AUGUST 3, 2017.
8. PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND ON WITH AN ERROR NOT GREATER THAN 1 IN 10,000.
9. THE IMPROVEMENTS AND UTILITIES SHOWN ARE FROM OBSERVATIONS MADE IN THE FIELD OR REFERENCE PLANS. LOCATIONS OF UNDERGROUND UTILITIES NOT MARKED ON THE SURFACE. WHERE LOCATED, ALL VISIBLE UTILITIES ARE SHOWN.
10. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
11. THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.
12. UNDERGROUND UTILITIES ARE AS SHOWN ON EXISTING CONDITIONS PLAN ONLY. VISIBLE STRUCTURES WERE LOCATED BY THIS OFFICE.
13. AS-BUILT PLANS OF THE SITE PLAN SHALL BE SUBMITTED ON PAPER AND IN DIGITAL FORMAT AUTOCAD DWG, AUTOCAD DXF OR ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
14. THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED.
15. THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
16. ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE CITY OF DOVER COMMUNITY SERVICES REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
17. EROSION CONTROL NOTES INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
18. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
19. ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
20. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED, AND THE APPROVED CONSTRUCTION SIGN INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
21. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
22. SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM, SATURDAY 9 AM-4 PM. HOURS OF CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR PLANNING DIRECTOR. WORK PRECLUDED ON SUNDAYS AND FEDERAL HOLIDAYS.
23. BUILDING ADDRESSES (INCLUDING APT/UNIT NUMBERS, IF APPLICABLE) SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
24. THE PROPOSED USE FOR THE SITE IS A 5-STORY MIXED USE BUILDING WITH RETAIL ON THE FIRST FLOOR AND RESIDENTIAL ON THE REMAINING 4 FLOORS.
25. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY: (SEE PROJECT VARIANCE/PERMIT SECTION)
26. COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM TO DOVER CITY CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
27. ANY RETAINING WALL TALLER THAN FOUR FEET (4') REQUIRES THE ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.
28. ANY FENCE TALLER THAN SEVEN FEET (7') REQUIRES THE ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.
29. APPLICANT SHALL COMPLETE LAND USE DEVELOPMENT TRACKING FORM, MOST RECENTLY REVISED VERSION, UTILIZING THE ONLINE POLLUTION TRACKING AND ACCOUNTING PILOT PROJECT (PTAPP) PORTAL.
[HTTPS://WWW.UNH.EDU/UNHSC/PTAPP](https://www.unh.edu/unhsc/ptapp)
30. IF APPLICABLE, THE OWNER OF RECORD SHALL RECORD AT THE REGISTRY OF DEEDS DOCUMENTATION SUFFICIENT TO PROVIDE NOTICE TO ALL PERSONS/ENTITIES THAT MAY ACQUIRE ANY PROPERTY SUBJECT TO THE REQUIREMENTS AND RESPONSIBILITIES DESCRIBED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE NOTICE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR RECORDING CONTAINED IN RSA 477 AND 478. THE NOTICE NEED NOT SET FORTH THE REQUIREMENTS AT LENGTH, SO LONG AS IT IS SUFFICIENT TO PROVIDE NOTICE TO PROSPECTIVE PURCHASERS TO THE REQUIREMENTS FOR MAINTENANCE AND REPORTING.
31. FIRE DEPARTMENT ACCESS ROAD(S) SHALL BE INSTALLED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS IN ALL WEATHER CONDITIONS AT ALL TIMES.
32. THE MAXIMUM PARKING SPACE CALCULATION FOR THIS USE IS 36 SPACES. THE PROPOSED PROJECT PROVIDES 5 ANGLE SPACES ON LINCOLN STREET, WHILE THE REMAINING WILL BE ACCOMMODATED AT THE DOVER TREVOL CENTER PARKING LOT.
33. EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 153-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
34. TOPOGRAPHIC SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATE, DECEMBER 2025.
35. A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 45, ARTICLE I, SECTION 45-2 OF THE CODE OF THE CITY OF DOVER. (AS APPLICABLE)
36. APPROVED BACKFLOW PREVENTERS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
37. THE PROPOSED STRUCTURES SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED BY CHAPTER 81 - 30 OF THE CODE OF THE CITY OF DOVER AND THE ADOPTED STATE OF NH BUILDING AND FIRE CODES.
38. SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED AND APPROVED BY INSPECTION SERVICES PRIOR TO CONNECTION OF THE BACKFLOW DEVICE.
39. FIRE DEPARTMENT CONNECTION(S) SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13. ACCESS TO THE FDC SHALL MAINTAIN A CLEAR AND UNOBSTRUCTED PATH AT ALL TIMES.

DOVER NOTES CONTINUED:

40. THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. (I.E. IBC, ANSI-117.1) AND NH RSA 155-A:5.
41. DESIGN ENGINEER SHALL PROVIDE SIGNED LETTER TO CITY ENGINEER CERTIFYING THAT THE STORMWATER MANAGEMENT SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
42. ALL MANHOLE COVERS SHALL BE LIFTMATE R-1743-LM OR APPROVED EQUAL WITH 90 DEGREE HINGE.
43. REQUIRED BLASTING AND EXCAVATION - DOVER FIRE DEPARTMENT SHALL BE NOTIFIED PRIOR TO ANY BLASTING ACTIVITIES AND A BLASTING PERMIT FROM THE DOVER FIRE DEPARTMENT MUST BE OBTAINED.
44. THE WATER MAIN SHALL BE POLY WRAPPED IN ACCORDANCE WITH THE CITY OF DOVER STANDARDS.
45. ALL SEWER MAINS AND MANHOLES SHALL BE TESTED IN ACCORDANCE WITH NHDES ENV-WQ 700 REQUIREMENTS. COPIES OF TEST RESULTS SHALL BE PROVIDED TO THE CITY OF DOVER ENGINEERING DEPARTMENT.
46. ALL FITTINGS MUST BE CLASS 140 WATER FITTINGS.
47. ALL GATE VALVES MUST BE MANUFACTURED BY MUELLER OR CLOW.

DEMOLITION NOTES:

1. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
2. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY DEMOLITION/ CONSTRUCTION ACTIVITIES. (811).
4. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, UTILITIES AND PAVEMENT ON THE SITE TO THE LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT ALREADY OBTAINED BY THE OWNER AND ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
8. STONES FROM REMOVED STONEWALLS SHALL REMAIN ON-SITE. STONES SHALL BE REPURPOSED ON-SITE AND SHALL NOT BE USED AS FILL.
9. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
10. ALL MATERIALS REMOVED OR REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.
11. LEDGE REMOVAL VOLUMES ARE ENGINEERS ESTIMATES. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING ADDITIONAL SUBSURFACE INVESTIGATIONS IF NECESSARY TO DETERMINE ESTIMATED VOLUMES.

SITE NOTES

1. REVIEW DOVER NOTES FOR ALL APPLICABLE NOTES.
2. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
3. ALL CONSTRUCTION LAYOUT SHALL BE DONE BY A LICENSED SURVEYOR UNDER CONTRACT WITH THE CONTRACTOR.
4. SEE DETAILS FOR SIGN LEGENDS.
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICAN WITH DISABILITIES ACT, LATEST EDITIONS.
6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE FACILITIES AND THEIR COMPONENTS DURING DEMOLITION AND CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNERS REPRESENTATIVE. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS. SUCH MATERIALS SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF THE PROJECT.
7. METHODS OF DEMOLITION, CONSTRUCTION AND ERECTION ARE THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY FEDERAL, STATE AND MUNICIPAL REGULATIONS AND PERMITS. ENVIRONMENTAL CONTROLS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO DUST CONTROL AND SILT BARRIERS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO STRUCTURES OR UTILITIES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION PHASE CAUSED BY HIMSELF, HIS EMPLOYEES, HIS SUBCONTRACTORS OR EMPLOYEES OF SAME. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY FACILITIES FOR THE PROTECTION OF THE WORK, WORKERS AND PUBLIC SAFETY.
9. THE SITE SHALL BE MAINTAINED TO PROVIDE ACCESSIBILITY IN ALL WEATHER CONDITIONS.
10. REFUSE PICKUP WILL BE VIA DUMPSTER ON-SITE.
11. SNOW STORAGE WILL BE ACCORDING TO THE OPERATION AND MAINTENANCE PLAN AND WITHIN AREAS AS INDICATED. ON-SITE SNOW STORAGE SHALL OCCUR ALONG THE EDGES OF PROPOSED PAVEMENT.
12. ALL EXTERIOR DOORS ARE MANUAL AND OPENED FROM THE INTERIOR BY PANIC HARDWARE. ALL EXTERIOR DOORS SHALL COMPLY WITH ADA AND ALL LOCAL BUILDING CODE REQUIREMENTS.
13. PROPOSED BUILDINGS TO BE SOLAR READY.

GRADING NOTES:

1. REVIEW DOVER NOTES FOR ALL APPLICABLE NOTES.
2. CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEERING CONSULTANT APPROVED BY THE OWNER, TO CONDUCT COMPACTION TESTING AND FILL GRADATION MONITORING.
3. SEE EROSION CONTROL NOTES & DETAIL SHEET FOR TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
4. ALL DRAINAGE PIPES SHALL BE HDPE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
5. ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 6" OF HIGH QUALITY LOAM AND SHALL BE SEEDED WITH GRASS.
6. ALL SITEWORK CONSTRUCTION SHALL BE ADVANCED USING "BEST MANAGEMENT PRACTICES" SANCTIONED BY THE USDA, SCS AND NHDES.
7. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED, UTILIZED AND MAINTAINED UNTIL BASE MATERIALS ARE CONSTRUCTED.
8. CONTRACTOR SHALL PROVIDE A FINISH GRADED SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND UNDER RAISED STRUCTURES.
9. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND AS SHOWN ON PLAN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED AND UPSTREAM AREAS HAVE BEEN STABILIZED.
10. INSPECT SILT BARRIERS AFTER EACH RAIN STORM OF 1/4 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF THE FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
11. LIMIT TREE CLEARING TO ONLY THE EXTENT NECESSARY FOR CONSTRUCTION.
12. CONTRACTOR SHALL NOTIFY THE CITY OF DOVER AND THE DESIGN ENGINEER 48 HOURS PRIOR TO THE INSTALLATION OF PERMANENT STORMWATER BMP'S TO PROVIDE THE CITY AND THE ENGINEER THE OPPORTUNITY TO WITNESS THE CONSTRUCTION AND MATERIALS. THE DESIGN ENGINEER MUST CERTIFY THAT THE STORMWATER MANAGEMENT SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
13. DENSITY REQUIREMENTS:

LOCATION	MINIMUM DENSITY
BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREA	90%
* ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-238 AND T-239.	

UTILITY NOTES:

1. REVIEW DOVER NOTES FOR ALL APPLICABLE NOTES.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE, AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
3. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
4. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
5. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
6. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, DOUBLE CEMENT LINED DUCTILE IRON PIPE OR TYPE "K" COPPER, OR CITY APPROVED MATERIAL.
7. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF DOVER WATER DEPARTMENT.
8. ALL GRAVITY SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED AND CONFORM TO THE REQUIREMENTS OF THE CITY OF DOVER SEWER DEPARTMENT STANDARDS.
9. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE CITY OF DOVER COMMUNITY SERVICES DEPARTMENT STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
10. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
11. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
12. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
13. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
14. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
15. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES. COORDINATE WITH GAS COMPANY.
16. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
17. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
18. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
19. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
20. GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF DOVER.
21. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF DOVER.
22. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
23. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
24. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PREPARED BY THE PROJECT ELECTRICAL ENGINEER.
25. THE PROPOSED STRUCTURE SHALL COMPLY WITH CHAPTER IV, ARTICLE IV, SECTION 81-27 AND THE STATE BUILDING CODES OF THE CODE OF THE CITY OF DOVER.
26. FIRE SUPPRESSION PLANS SHALL BE PROVIDED TO THE FIRE/INSPECTION DEPARTMENT PRIOR TO INSTALLATION.
27. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
28. SEWAGE LOADING (PER NHDES ENV-WQ 1008.03) BUILDING :
- | | |
|---|-------------|
| APARTMENT OR CONDO-225 GPD x 24 UNITS | = 5,400 GPD |
| APARTMENT OR CONDO-2 OR MORE BEDROOM:150 GPD x 2 BEDS x 4 UNITS | = 1,200 GPD |
| SUPERMARKET WITH MEAT DEPT. WITH GARBAGE GRINDER:11 GPD x 3,111SF/100SF | = 343 GPD |
| DRY GOODS: 5 GPD x 1,685SF/100SF +10 GPD x 4 EMPL. | = 125 GPD |
| TOTAL | = 7,068 GPD |
29. PUMP CHAMBERS AS APPLICABLE ARE UNNECESSARY.

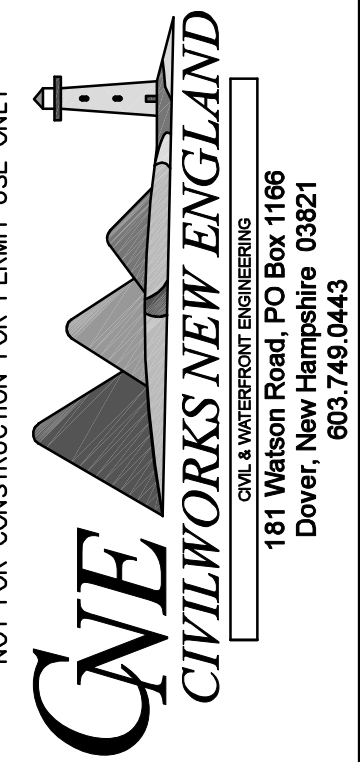
LEGEND

S.F.	SQUARE FEET
Ac.	ACRE
±	MORE OR LESS
(TYP.)	TYPICAL
S.C.R.D.	STRAFFORD REGISTRY OF DEEDS
NHHD	NEW HAMPSHIRE HIGHWAY DEPT.
TBR	TO BE REMOVED
ELEV.	ELEVATION
INV.	INVERT
SGC	SLOPED GRANITE CURB
BCC	BITUMINOUS CONCRETE CURB
V.I.F	VERIFY IN FIELD
R.O.W.	RIGHT-OF-WAY
FES	FLARED END SECTION
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING WATER SHUT-OFF
—OHW—	OVERHEAD UTILITIES
—E—	EXISTING ELECTRIC
—G—	EXISTING GAS LINE
—W—	EXISTING WATER LINE
—S—	EXISTING SEWER LINE
—D—	EXISTING DRAINAGE LINE
—UGT—	EXISTING UNDERGROUND TELEPHONE
	EXISTING WATER VALVE
	EXISTING GAS VALVE
	EXISTING HYDRANT
	EXISTING LIGHT/SIGNAL POLE
	EXISTING SEWER MANHOLE
	EXISTING DRAINAGE MANHOLE
	EXISTING CATCHBASIN
5'R	PAVEMENT RADIUS
x 74.00	EXISTING SPOT GRADE
-----94-----	EXISTING GRADE
—[74]—	PROPOSED FINISH GRADE
x[74.00]	PROPOSED SPOT GRADE
—	PAVEMENT WITH CURB
—	SILT BARRIER
—PS—	PROPOSED SEWER
—PW—	PROPOSED WATER
—PE—	PROPOSED UNDERGROUND UTILITIES
—PG—	PROPOSED GAS
—RD—	PROPOSED GAS

NOTE SHEET

MIXED USE BUILDING
16 SIXTH STREET
& 7 CHESTNUT STREET
DOVER, NH 03820

CHESTNUT FOOD STORE LLC
10 E MEADOW LANE
MIDDLETON, MA 01949

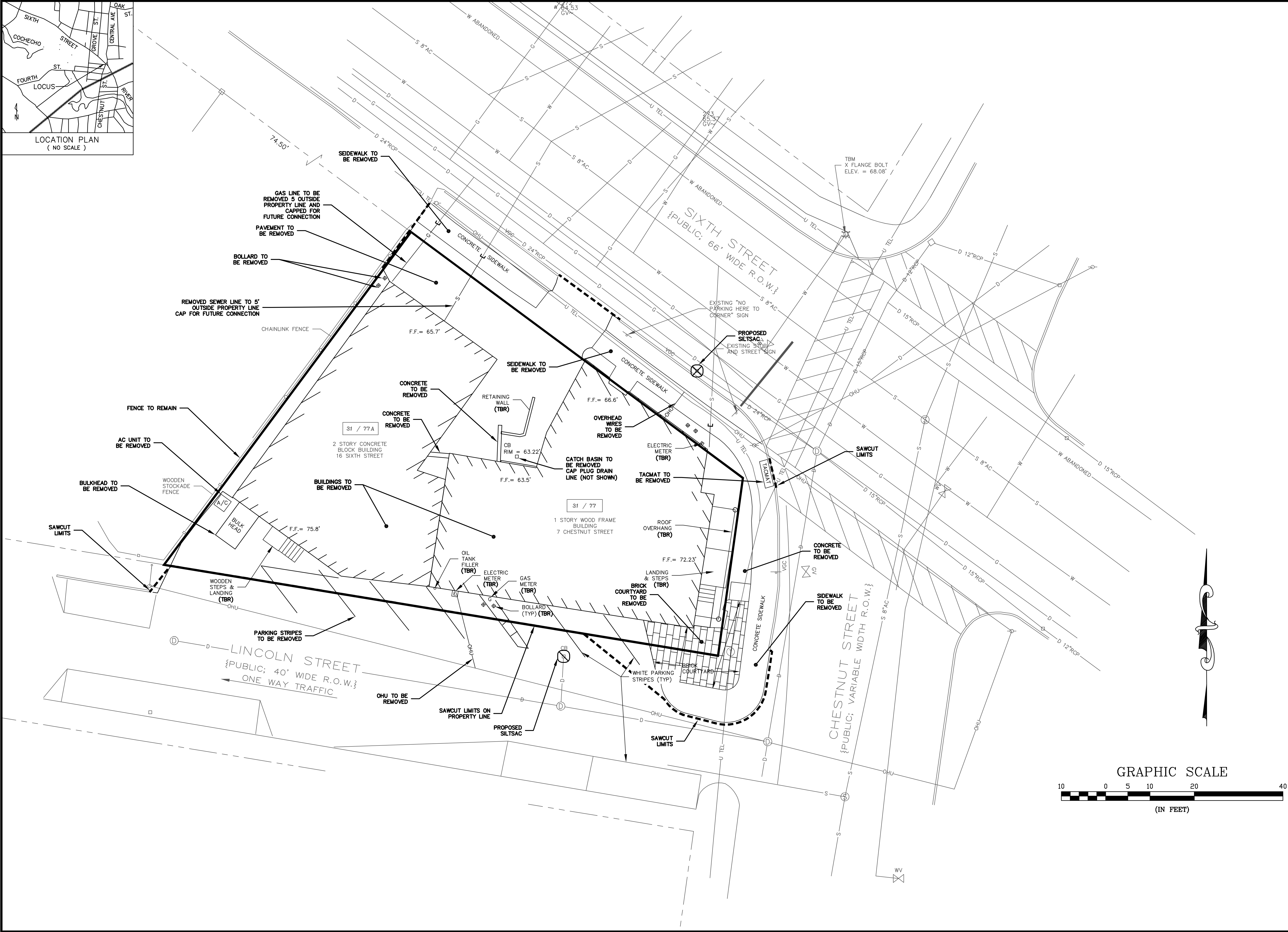
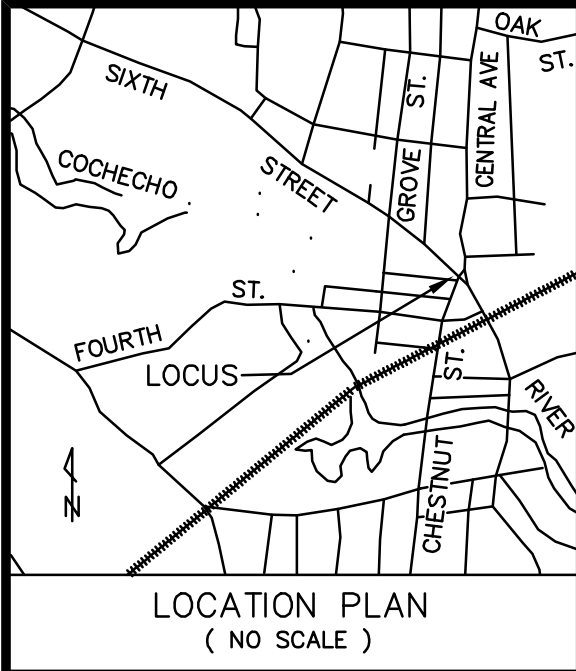


181 Watson Road, PO Box 1166
Dover, NH 03820
603.748.0443

PLANNING FILE NO.: SITE-2026-XXXX

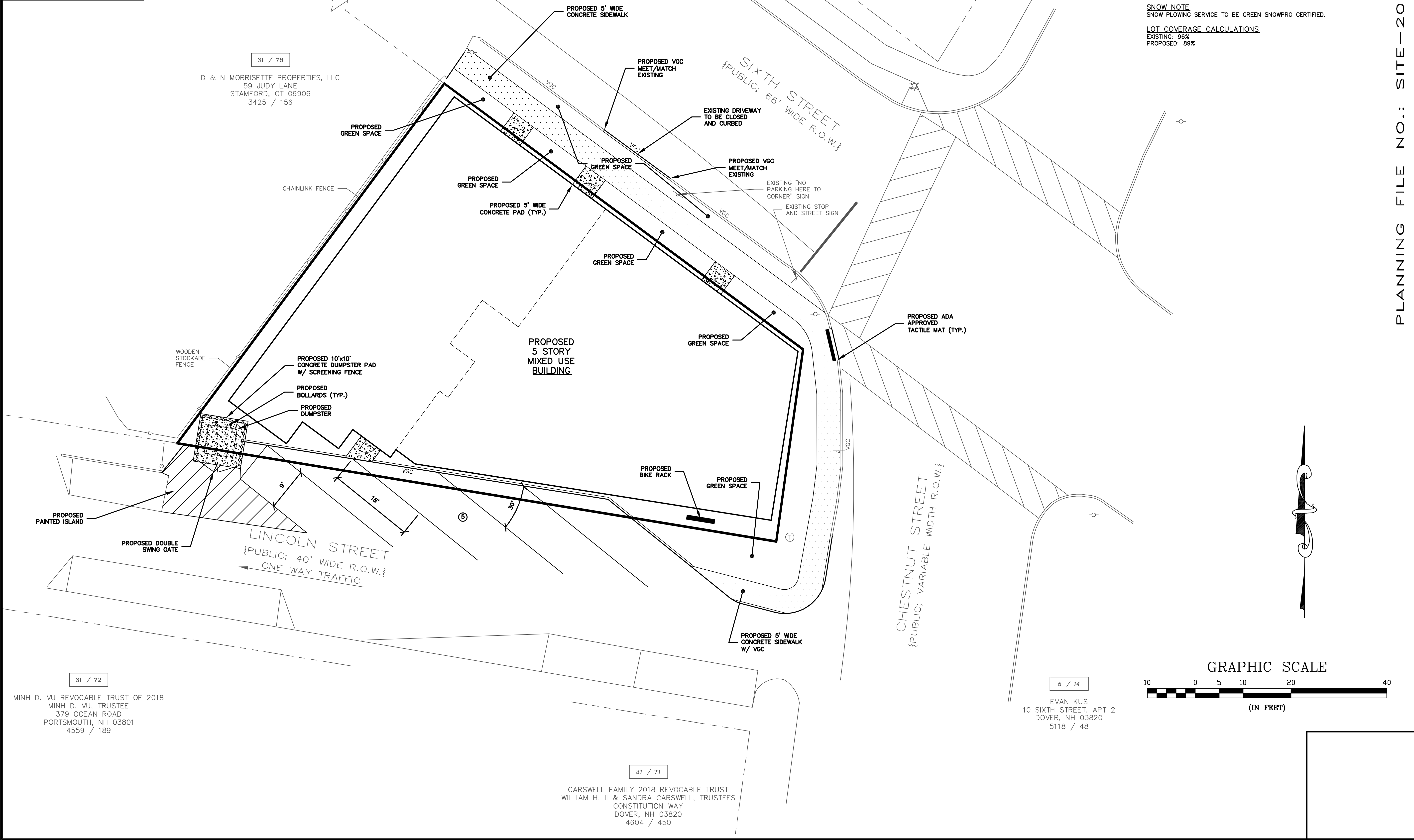
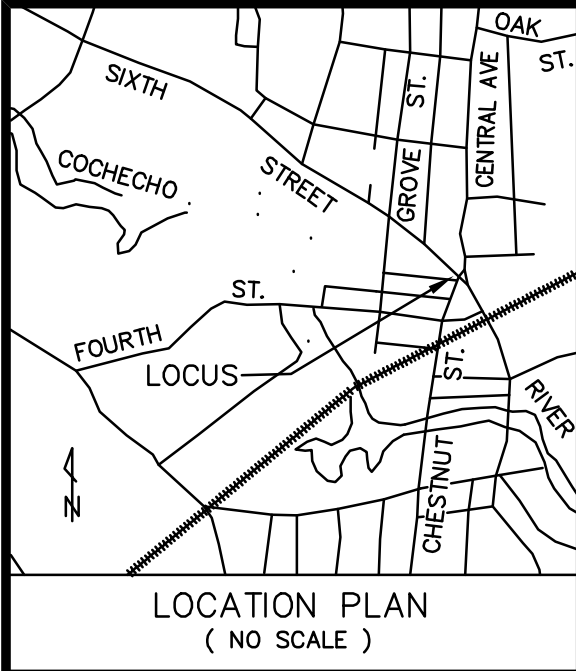
DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	FILE	REVISION	APP'D	DATE
7-16-26	NTS	MJM	MJM	BSJH	25193	SITE			

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY



PLANNING FILE NO.: SITE-2026-XXXX

DEMOLITION PLAN		NOT FOR CONSTRUCTION FOR PERMIT USE ONLY									
5	FIVE STORY MIXED USE BUILDING 16 SIXTH STREET & 7 CHESTNUT STREET DOVER, NH 03820	CHESTNUT FOOD STORE LLC 10 E MEADOW LANE MIDDLETON, MA 01949									
		DATE: 7-16-26									
		SCALE: 1"=10'									
		DRAWN BY: MJM									
		DESIGN BY: MJM									
		APPROVED BY: JH									
		PROJECT NO: 25193									
		FILE: 25193-SITE NO.									



- SITE NOTES**
1. THE INTENT OF THIS PLAN IS FOR A FIVE STORY MIXED USE BUILDING W/ 4,800 SF OF RETAIL SPACE ON THE FIRST FLOOR AND 28 RESIDENTIAL UNITS ON THE UPPER 4 FLOORS.
 2. PATRON PARKING WILL BE ON STREET PARKING. EMPLOYEE AND TENANT PARKING WILL BE AT THE DOVER TRAVEL CENTER (TRAIN STATION) AND LEASED FROM THE CITY OF DOVER.
 3. DELIVERIES WILL BE BY TAILGATE DELIVERIES.

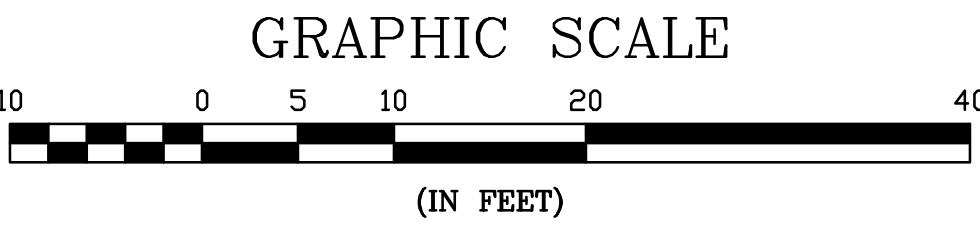
PARKING CALCULATIONS
RESIDENTIAL 1 SPACE*UNIT
RETAIL 1 SPACE*EMPLOYEE

RESIDENTIAL: 1 * 28 UNITS = 28
RETAIL: 1 * 8 EMPLOYEES = 8
ALLOWED = 36
PROVIDED = 36

SNOW STORAGE CALCULATIONS
NOT APPLICABLE

SNOW NOTE
SNOW PLOWING SERVICE TO BE GREEN SNOWPRO CERTIFIED.

LOT COVERAGE CALCULATIONS
EXISTING: 96%
PROPOSED: 89%



PLANNING FILE NO.: SITE-2026-XXXX

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

CIVILWORKS NEW ENGLAND

CIVIL & WATERBENT ENGINEERING

181 Watson Road, PO Box 1166
Dover, NH 03820

NO.	REVISION	APP'D	DATE

DATE: 7-16-26

SCALE: 1"=10'

DRAWN BY: MJM

DESIGN BY: MJM

APPROVED BY: JH

PROJECT NO: 25193

FILE: 25193-SITE

CHESTNUT FOOD STORE LLC

10 E MEADOW LANE

MIDDLETON, MA 01949

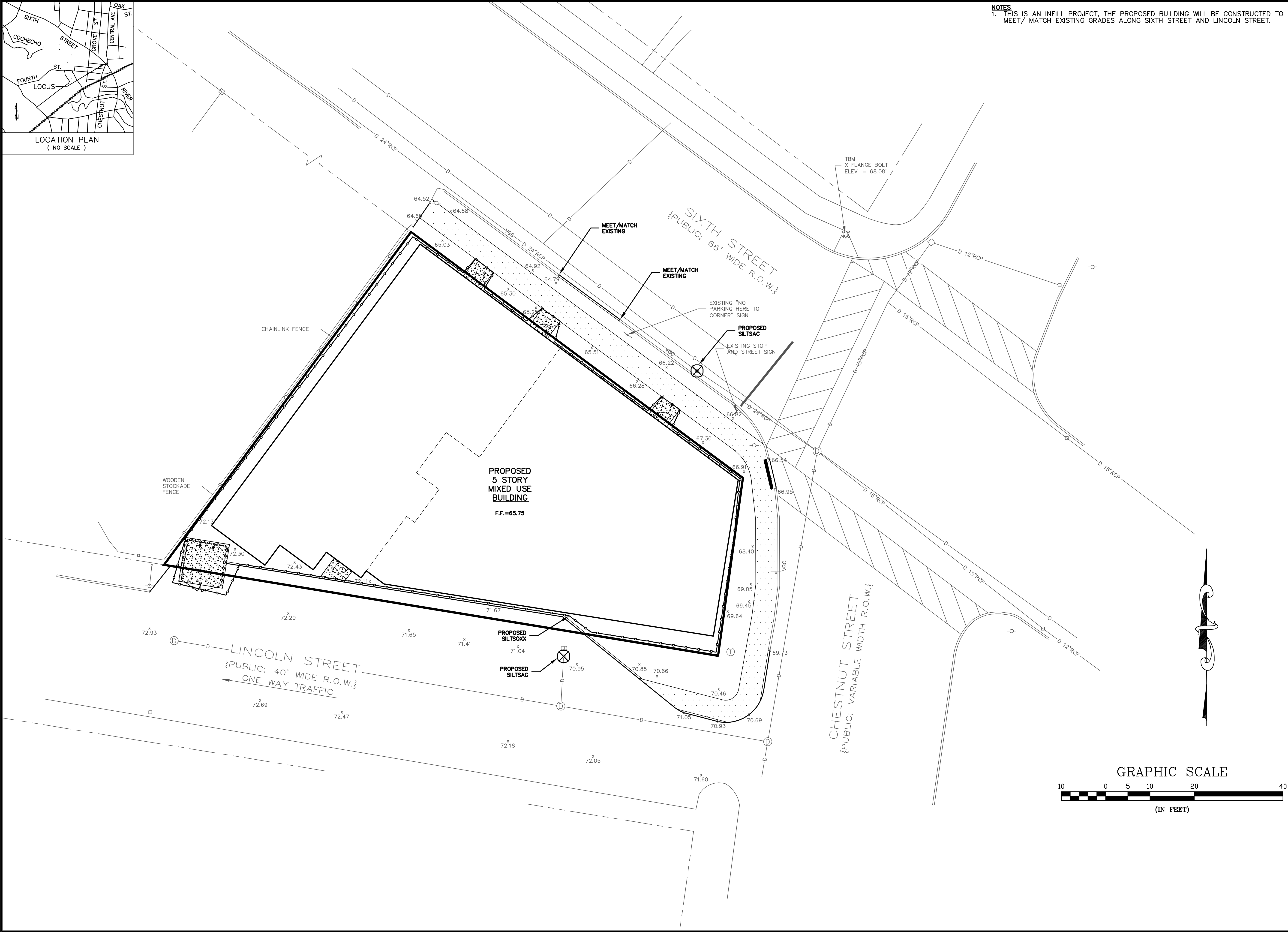
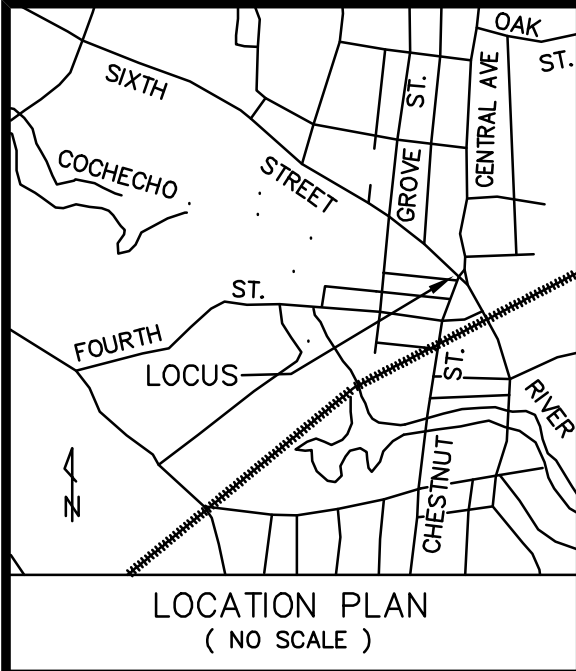
SITE PLAN

FIVE STORY MIXED USE BUILDING

16 SIXTH STREET & 7 CHESTNUT STREET

DOVER, NH 03820

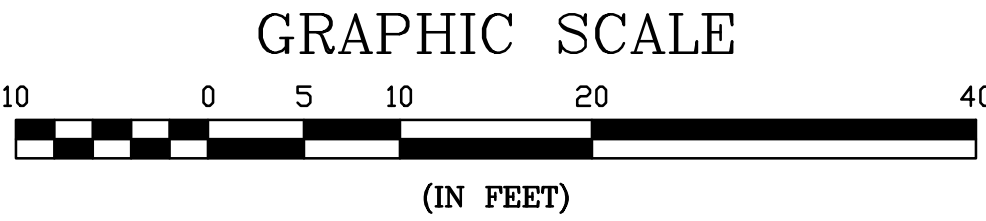
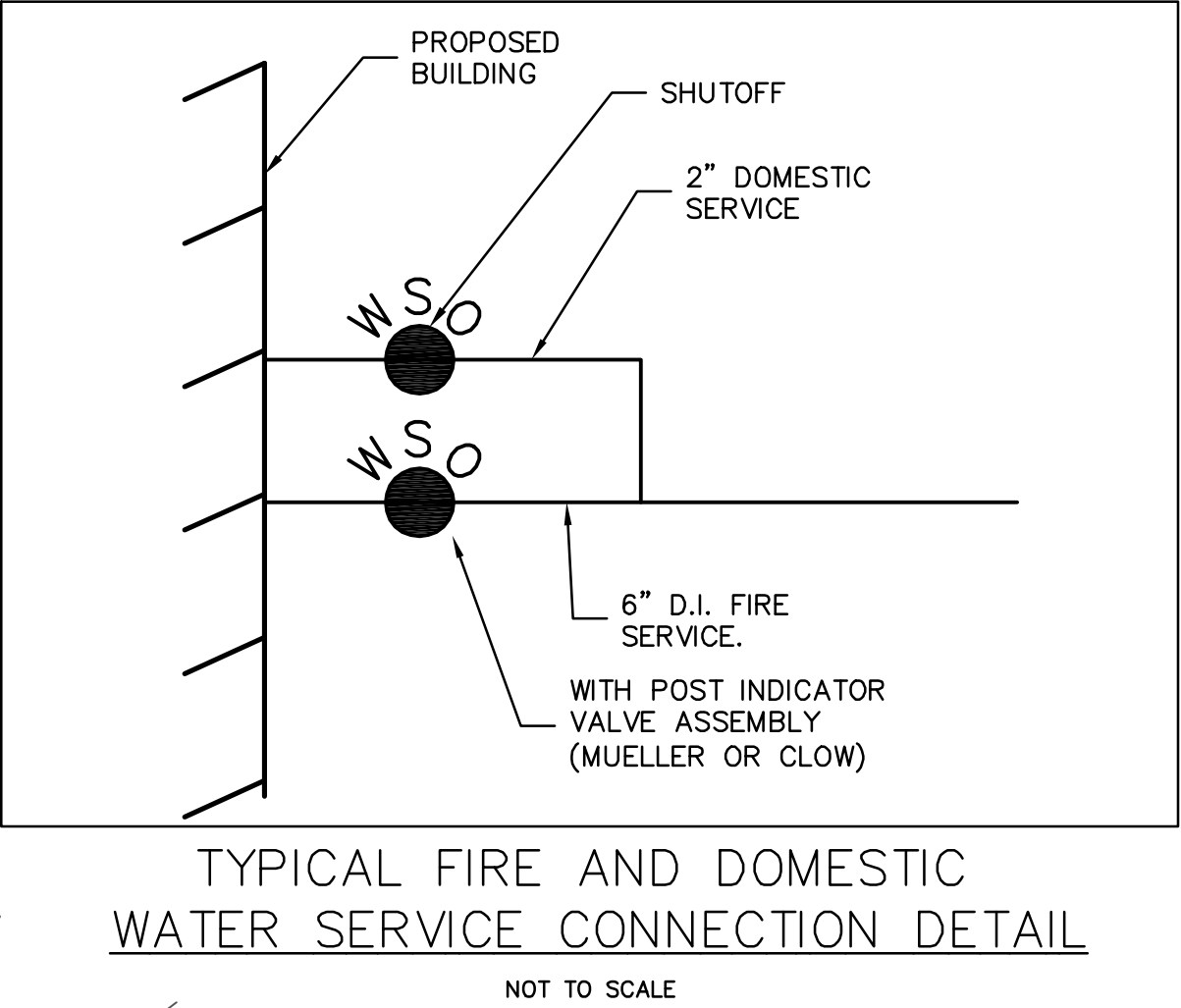
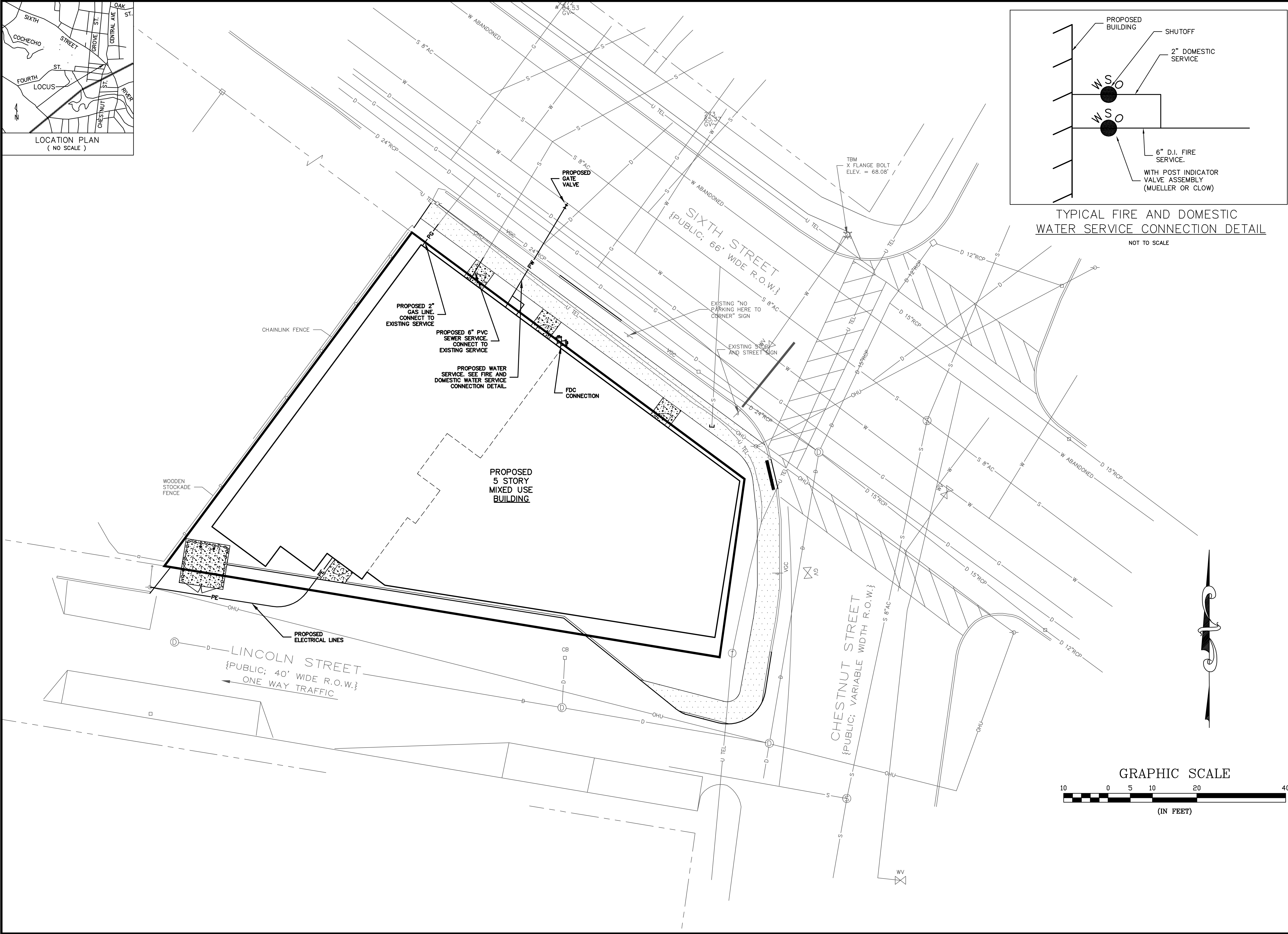
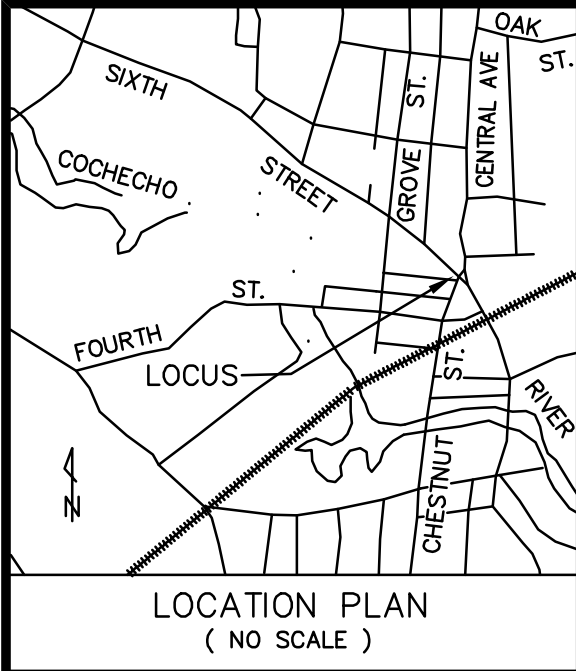
6



NOTES
1. THIS IS AN INFILL PROJECT, THE PROPOSED BUILDING WILL BE CONSTRUCTED TO MEET/ MATCH EXISTING GRADES ALONG SIXTH STREET AND LINCOLN STREET.

PLANNING FILE NO.: SITE-2026-XXXX

GRADING DRAINAGE & EROSION CONTROL PLAN		CHESTNUT FOOD STORE LLC 10 E MEADOW LANE MIDDLETON, MA 01949		FIVE STORY MIXED USE BUILDING 16 SIXTH STREET & 7 CHESTNUT STREET DOVER, NH 03820	
NOT FOR CONSTRUCTION FOR PERMIT USE ONLY	DATE: 7-16-26	SCALE: 1"=10'	DRAWN BY: MJM	DESIGN BY: MJM	APPROVED BY: JH
	PROJECT NO: 25193	FILE: 25193-SITE	NO.	REVISION	DATE
CIVILWORKS NEW ENGLAND 181 Watson Road, PO Box 1166 Dover, NH 03820 603.749.0443					



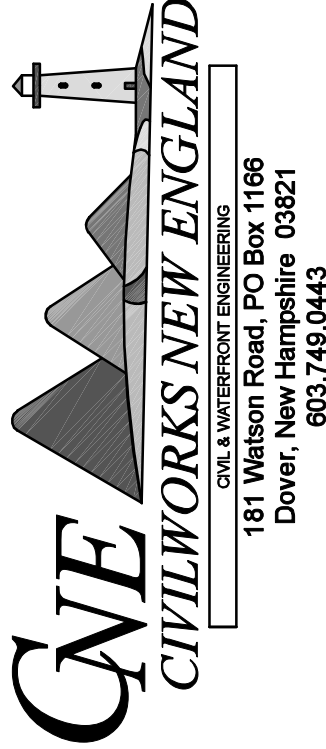
PLANNING FILE NO.: SITE-2026-XXXX

UTILITY PLAN

FIVE STORY
MIXED USE BUILDING
16 SIXTH STREET
& 7 CHESTNUT STREET
DOVER, NH 03820

CHESTNUT FOOD STORE LLC
10 E MEADOW LANE
MIDDLETON, MA 01949

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY



DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	FILE NO.	NO.	REVISION	APP'D	DATE
7-16-26	1"=10'	MJM	MJM	BY: SJH	25193	25193-SITE				

SILTSACK[®]

SPECIFICATIONS

NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS. AS SUPPLIED BY AH HARRIS OF PORTSMOUTH OR APPROVED EQUAL

REGULAR FLOW SILTSACK®

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOIDAL TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPROXIMATE OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

HI-FLOW SILTSACK®

(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4553	45 LBS
UV RESISTANCE	ASTM D-3535	90 %
APPROXIMATE OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	1.00 GAL./MIN./SQ. FT.
PERMITTIVITY	ASTM D-4491	2.5 SEC. -1

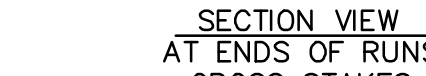
OIL-ABSORBANT SILTSACK

(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)
 DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK® CAN BE MADE FROM EITHER
 ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLow INSERT OR, MADE COMPLETELY
 FROM AN OIL-ABSORBANT SILTSACK®, WITH A WOVEN PILLow INSERT.



DETAIL OF INLET SEDIMENT CONTROL DEVICE

NOT TO SCALE



NOTES:

1. ALL MATERIALS TO MEET FILTREXX SPECIFICATION OR APPROVED EQUAL.
2. FILTERSOXX COMPOST/ SOIL/ ROCK/ SEED FILL TO MEET APPLICATION REQUIREMENTS OR APPROVED EQUAL.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

- ## NOTES

1. ALL MATERIALS TO MEET FILTREXX SPECIFICATION OR APPROVED EQUAL.
2. SILT/SOXX COMPOST/ SOIL/ ROCK/ SEED FILL TO MEET APPLICATION REQUIREMENTS OR APPROVED EQUAL.
3. EROSION CONTROL SOCK DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

EROSION CONTROL SOCK DETAILS

NOT TO SCALE



PLAN VIEW

PROFIL

- ## NOTES

1. SEE EROSION CONTROL NOTES BELOW FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.
2. TO BE INSTALLED AT EACH POINT OF EGRESS FROM THE WORK AREA.

STABILIZED CONSTRUCTION ENTRANCE

1. SPECIFICATIONS
- A. AGGREGATE SIZE: USE THREE (3) INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
 - C. WIDTH TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
 - D. LENGTH: AS REQUIRED, BUT NOT LESS THAN SEVENTY-FIVE (75) FEET. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.
 - E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE.
 - F. CRITERIA FOR GEOTEXTILE: THE FABRICS SHALL BE TREVIA SPUNBOND 1135, MIRAFI 600X OR EQUAL.

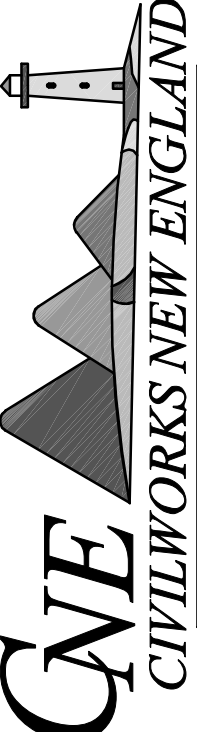
2. MAINTENANCE
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

PLANING FILE NO.: SITE-2026-XXXX

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY



81 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.749.0443

[illegible]

EROSION CONTROL DETAILS

**FIVE STORY
MIXED USE BUILDING
16 SIXTH STREET
& 7 CHESTNUT STREET**

10

TRELLEBORG PIPE SEALS

Kor-N-Seal® I Stainless Steel Wedge Connector (WS Series)

Installation Instructions

CONNECTOR INSTALLATION

1. Check to be sure the Stainless Steel Waveband® is properly located in Connector groove.
2. Inspect the inside surface of the cored/formed hole. If there is porosity or wire-to-concrete separation, use patching or hydraulic cement to smooth the surface.
3. Insert Connector Assembly into hole with Wedge Expander at top of hole.
4. Position Connector so it is square to manhole both vertically and horizontally.
5. Tighten Wedge Expander using 1/2" socket wrench to 12 foot pounds.
6. Retorquing prior to shipment is recommended but not required.

Note if Vacuum Testing

Testing should be done prior to backfilling so that leaks can be easily located and repaired.

All lift holes need to be plugged with a nonshrinking mortar.

Plug all pipes entering the manhole, taking care to securely brace the pipes and plugs.

Patented Waveband technology "captures" the rubber between itself and the concrete, creating a more effective seal.



*Covered under US Patent No. 5,738,369

PIPE INSTALLATION

1. Be sure sealing area of pipe is smooth and free of defects. Repair if needed.
2. Center pipe in Connector opening. (Pipe must not rest on Connector Korband).
3. Position the Pipe Clamp in the Connector's Pipe Clamp groove with the screw at the top.
4. Tighten the Pipe Clamp screw to 60 inch pounds with a T-handle Torque Wrench, P/N 80090

Note:

On minimum pipe O.D. installations, tension the rubber under the pipe clamp by lifting the rubber toward pipe clamp screw housing by hand. This will help prevent the rubber from wrinkling or folding over during tightening of hose clamp. Application of a very small amount pipe lube on the pipe clamp track will allow the pipe clamp to slide on the rubber and improve the performance of the hose clamp. Make sure to torque all screw locations on the pipe clamps.

Caution:

Do not use an impact wrench for installation.

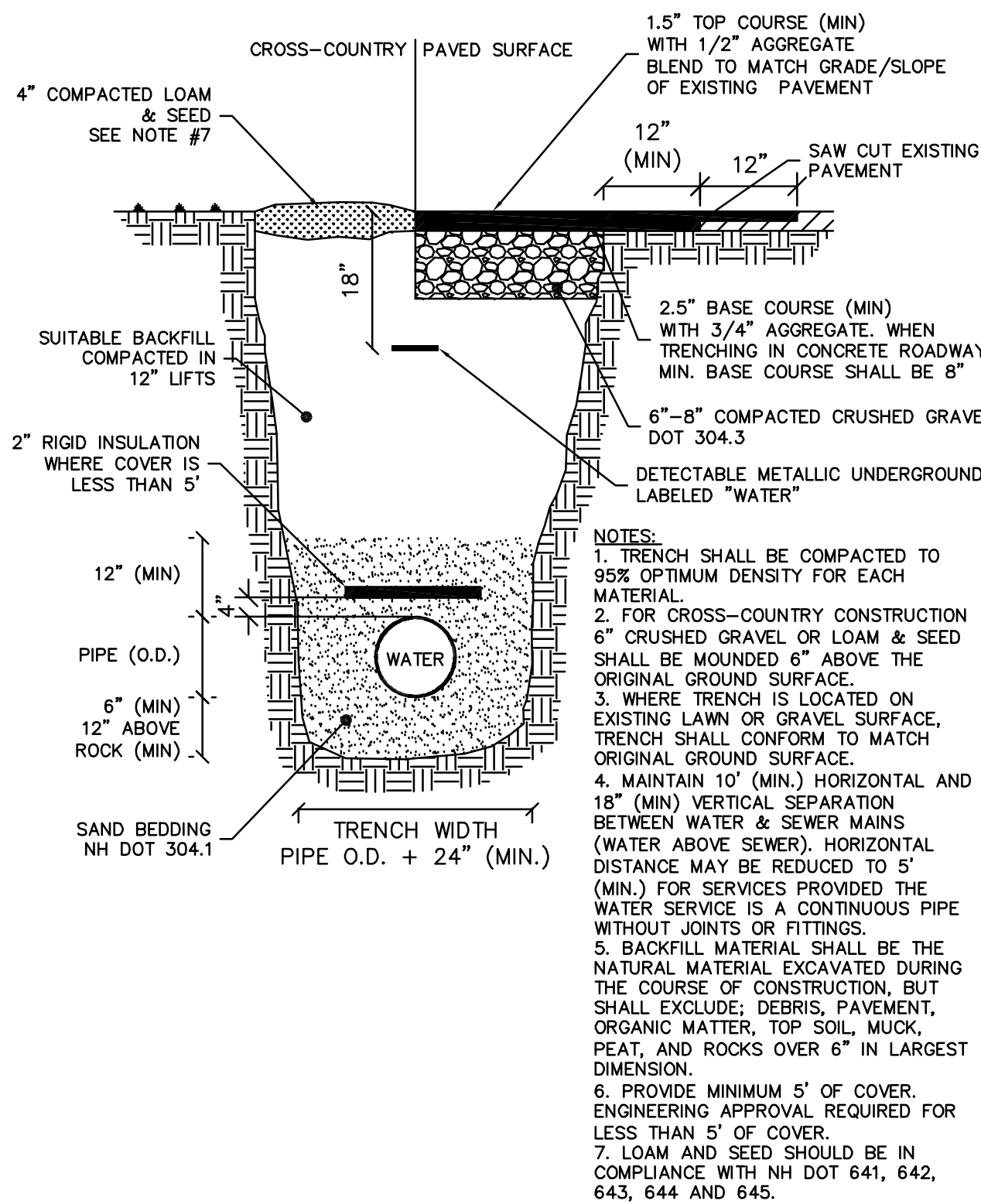
All pipe stubs must be restrained.

Adapters are required when using Corrugated Pipe. Refer to the Corrugated Pipe Adapter Data Sheet for more information.

Check calibration of torque limiters monthly.

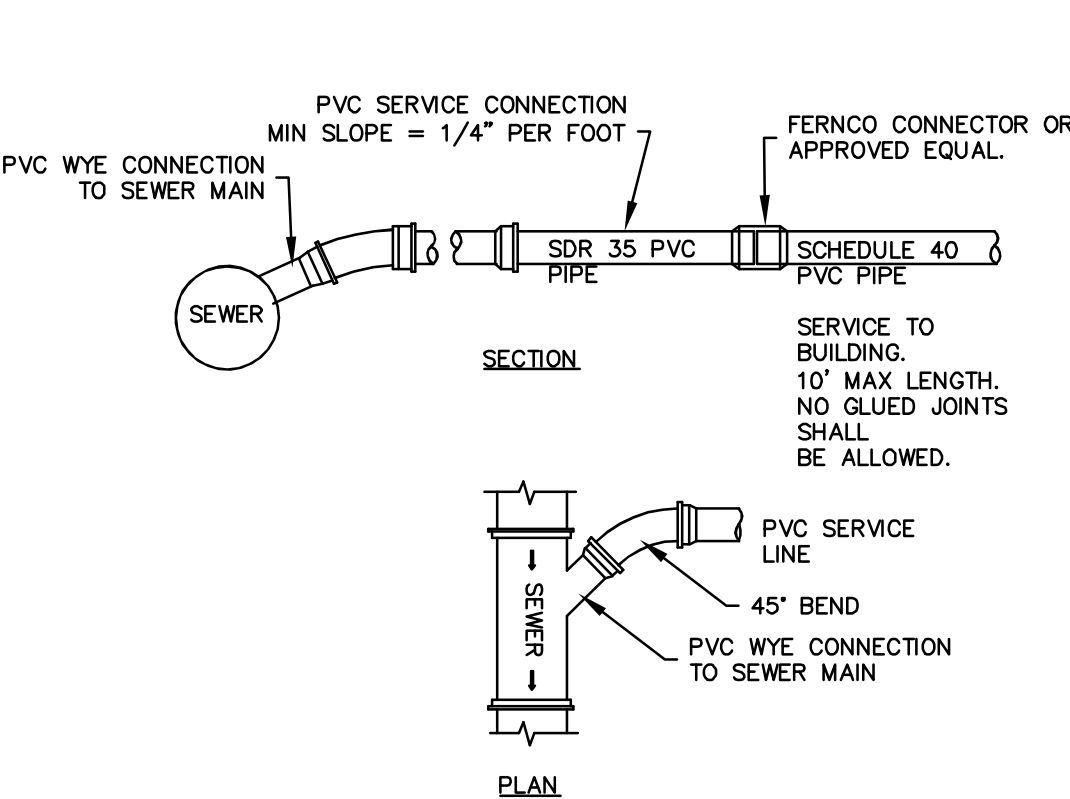
Torque limiters are available for connectors that can be used with cordless drills and hand or air ratchets.

Call 800-626-2180 for information.



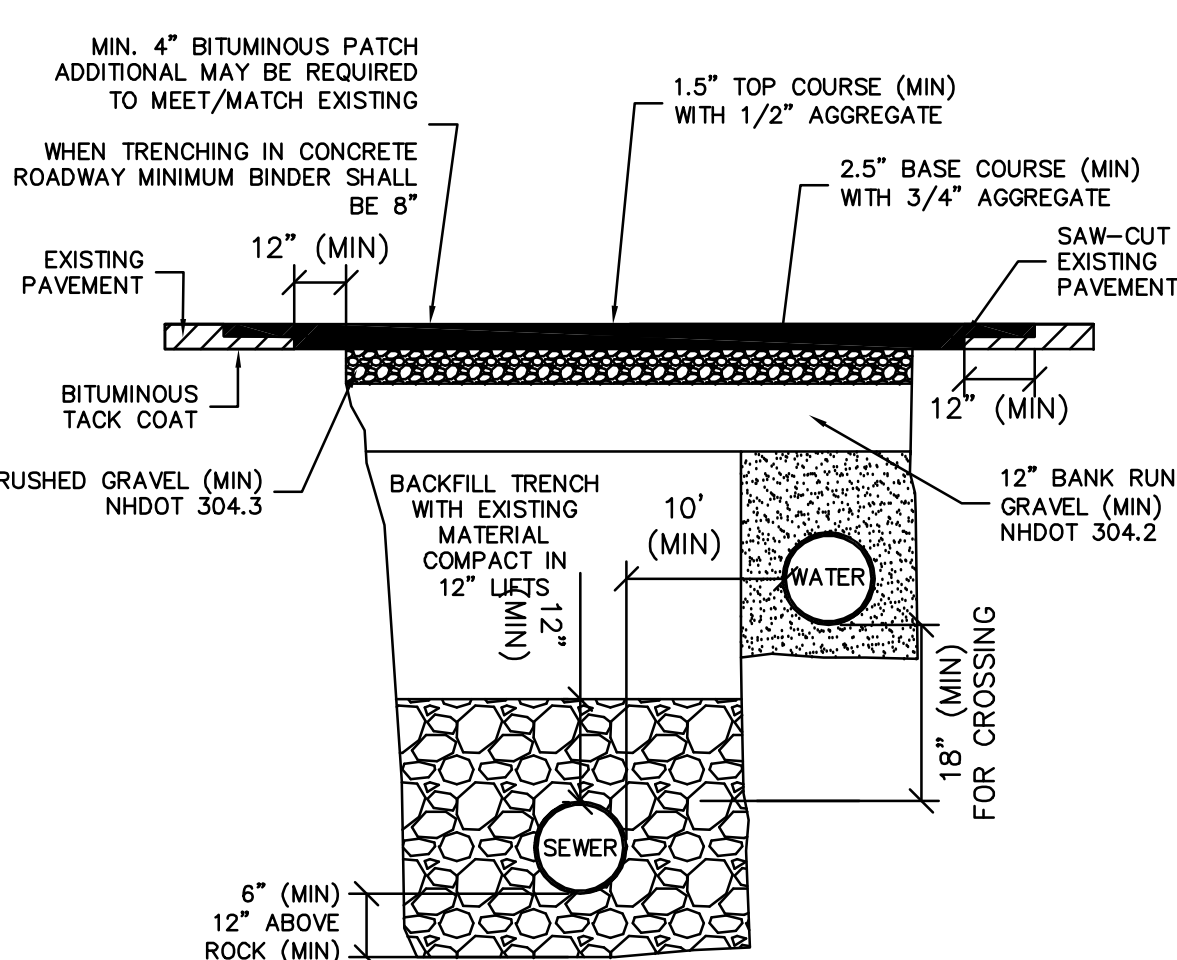
CITY OF DOVER D-4
WATER TRENCH DETAIL

NOT TO SCALE



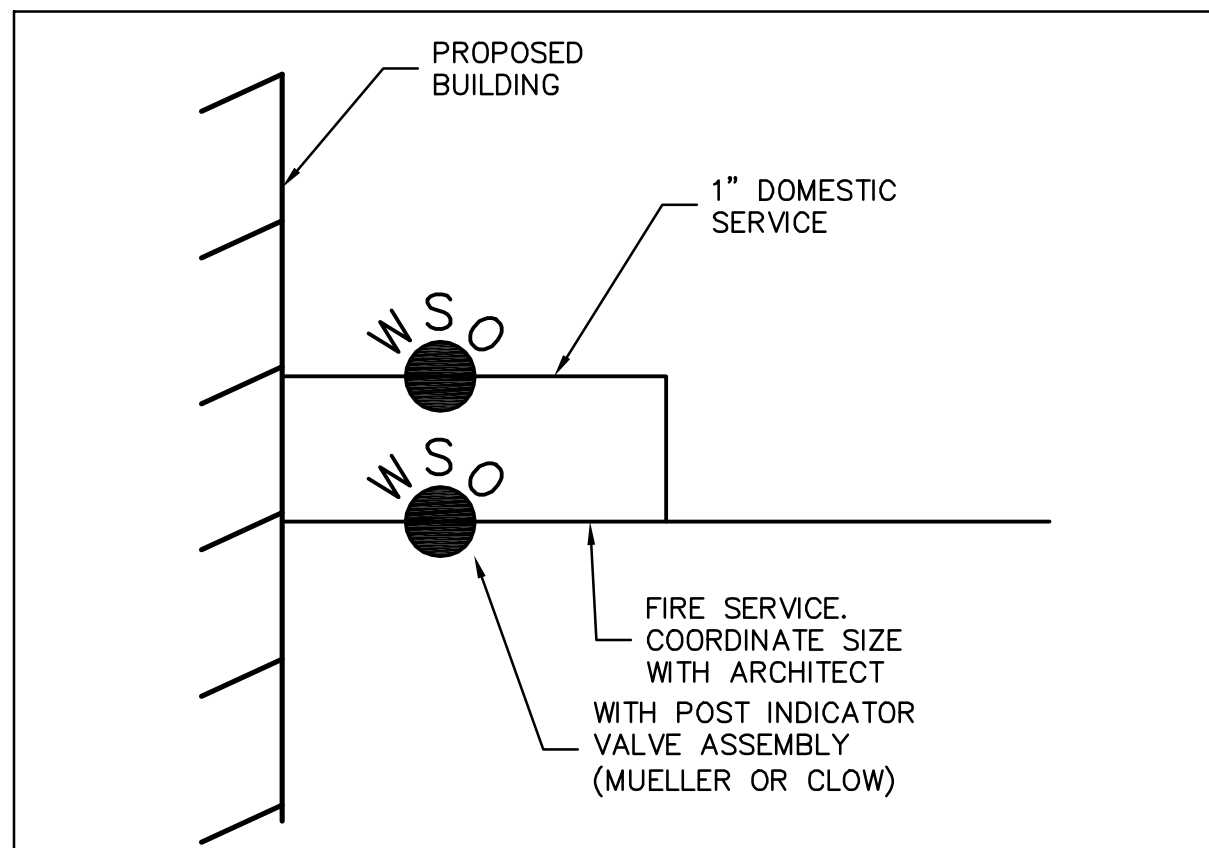
CITY OF DOVER D-17
SEWER SERVICE DETAIL

NOT TO SCALE



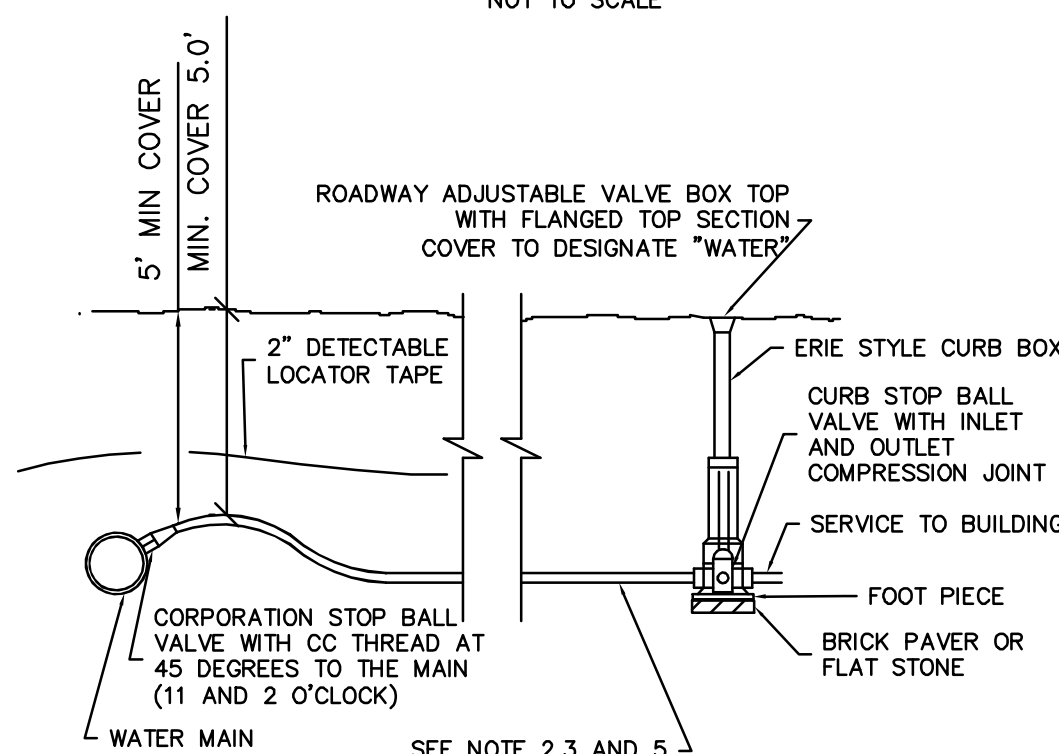
CITY OF DOVER
TYPICAL TRENCH DETAIL

NOT TO SCALE



TYPICAL FIRE AND DOMESTIC
WATER SERVICE CONNECTION DETAIL

NOT TO SCALE

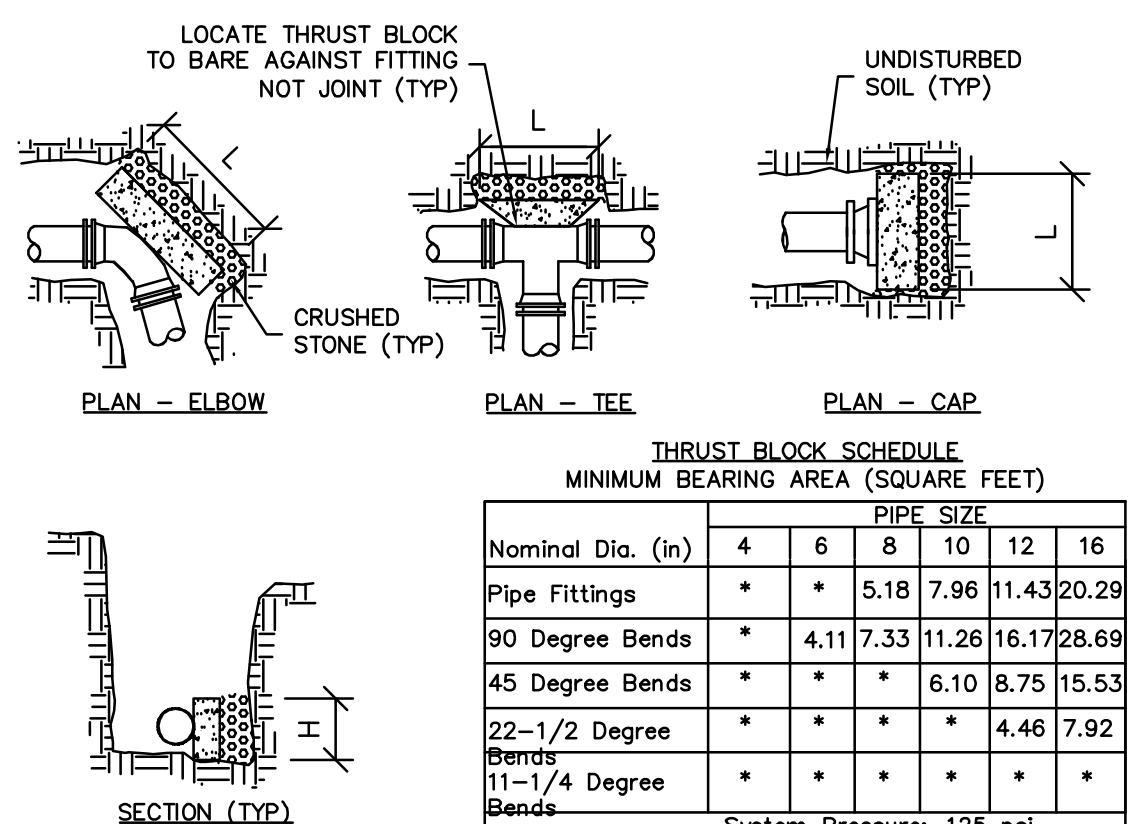


NOTES:

1. ALL WATER LINES 4" OR GREATER SHALL BE DUCTILE IRON WITH AN 8 MIL POLYETHYLENE WRAP, INCLUDING TEE AND OTHER CONNECTIONS.
2. WATER SERVICE LINES SHALL BE COPPER TUBING (TYPE K) BETWEEN MAIN AND CURB STOP.
3. SERVICE BETWEEN CURB STOP AND BUILDING MAY BE (BLUE OR BLACK) CTS SDR 9 PLASTIC POLYETHYLENE RATED FOR 250 psi.
4. CAM-LOCK REQUIRED FOR CTS OR IPS, MJ ADAPTER REQUIRED FOR HDPE.
5. ALL SERVICES SHALL BE 1". PROVIDE 1" TO 3/4" REDUCER COUPLING WHERE EXISTING SERVICES ARE 3/4". SUBSIDIARY.
6. 3/4" - COPPER, CTS
7. 1" - COPPER, CTS
8. 2" - CTS, HDPE, IPS
9. ALL SADDLES USED AS SPECIFIED SHALL HAVE DOUBLE STAINLESS STEEL STRAPS.
10. TAPS TO BE MADE AT APPROX. 2:00 AND 10:00.

CITY OF DOVER D-13
WATER SERVICE CONNECTION DETAIL

NOT TO SCALE

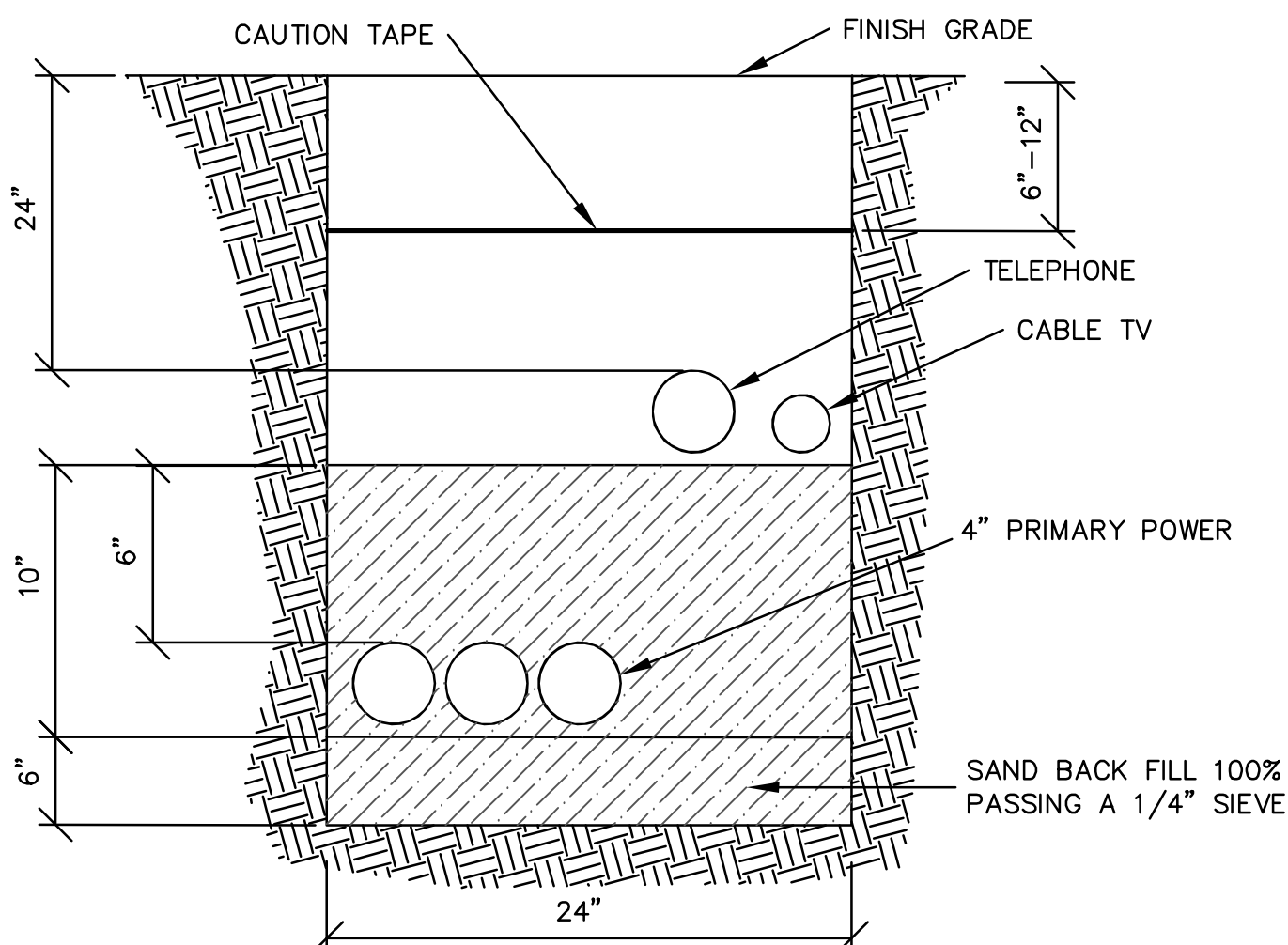


NOTES:

1. ALL THRUST BLOCKS SHALL BE PRE-CAST CONCRETE UNLESS APPROVED BY THE CITY ENGINEER.
2. 2"x2"x2" MINIMUM THRUST BLOCK REQUIRED, ANY BEARING AREA OVER 4SF REQUIRES THRUST BLOCKS, RESTRAINED JOINTS AND CALCULATIONS ASSOCIATED WITH THE JOINT.
3. THE MINIMUM BEARING AREAS SHOWN IN THE THRUST BLOCK SCHEDULE ARE BASED ON A SYSTEM PRESSURE OF 125 PSI. IF THE SYSTEM PRESSURE IS ABOVE 125 PSI, INCREASE THE NOTED AREAS PROPORTIONALLY TO THE ACTUAL SYSTEM PRESSURE.
4. FOR MINIMUM BEARING AREAS OVER 4 SF, THE LENGTH (L) OF THE BLOCK IS APPROXIMATELY TWICE AS LONG AS THE HEIGHT (H).
5. PLACE CRUSHED STONE BEHIND THRUST BLOCK AGAINST UNDISTURBED SOIL.
6. PLACE THRUST BLOCK ALONG MAXIMUM LENGTH OF THE FITTING TO MAXIMIZE BEARING AREA.
7. CONCRETE COMPRESSIVE STRENGTH: 2,000 PSI MINIMUM.
8. USE OF THRUST BLOCKS DOES NOT ELIMINATE THE REQUIREMENT OF OTHER RESTRAINTS OR VICE VERSA.

CITY OF DOVER D-15
THRUST BLOCK DETAIL

NOT TO SCALE



NOTES:

1. TELEPHONE CONDUIT SHALL BE 3" SCHEDULE 40 PVC, WITH STEEL SWEEPS AT RISER POLE, 90° BENDS AND AT BUILDING.
2. LEAVE PULL ROPE IN ALL CONDUITS FOR CABLE INSTALLATION.
3. FOR COMPLETE SPECIFICATIONS SEE "REQUIREMENTS FOR ELECTRIC SERVICE CONNECTIONS - INFORMATIONS AND REQUIREMENTS FOR ELECTRIC SUPPLY BY EVERSOURCE ENERGY".
4. CONTRACTOR SHOULD VERIFY THE NUMBER & SIZE OF CONDUIT WITH THE APPROPRIATE UTILITIES PROVIDERS.

UTILITY TRENCH

NOT TO SCALE

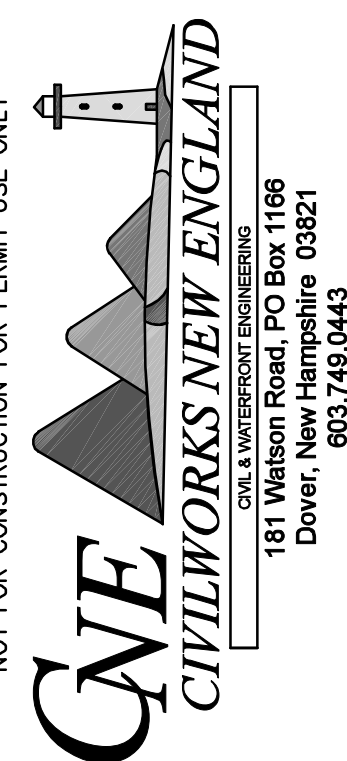
PLANNING FILE NO.: SITE-2026-XXXX

DETAIL SHEET

CHESTNUT FOOD STORE LLC
10 E MEADOW LANE
MIDDLETON, MA 01949

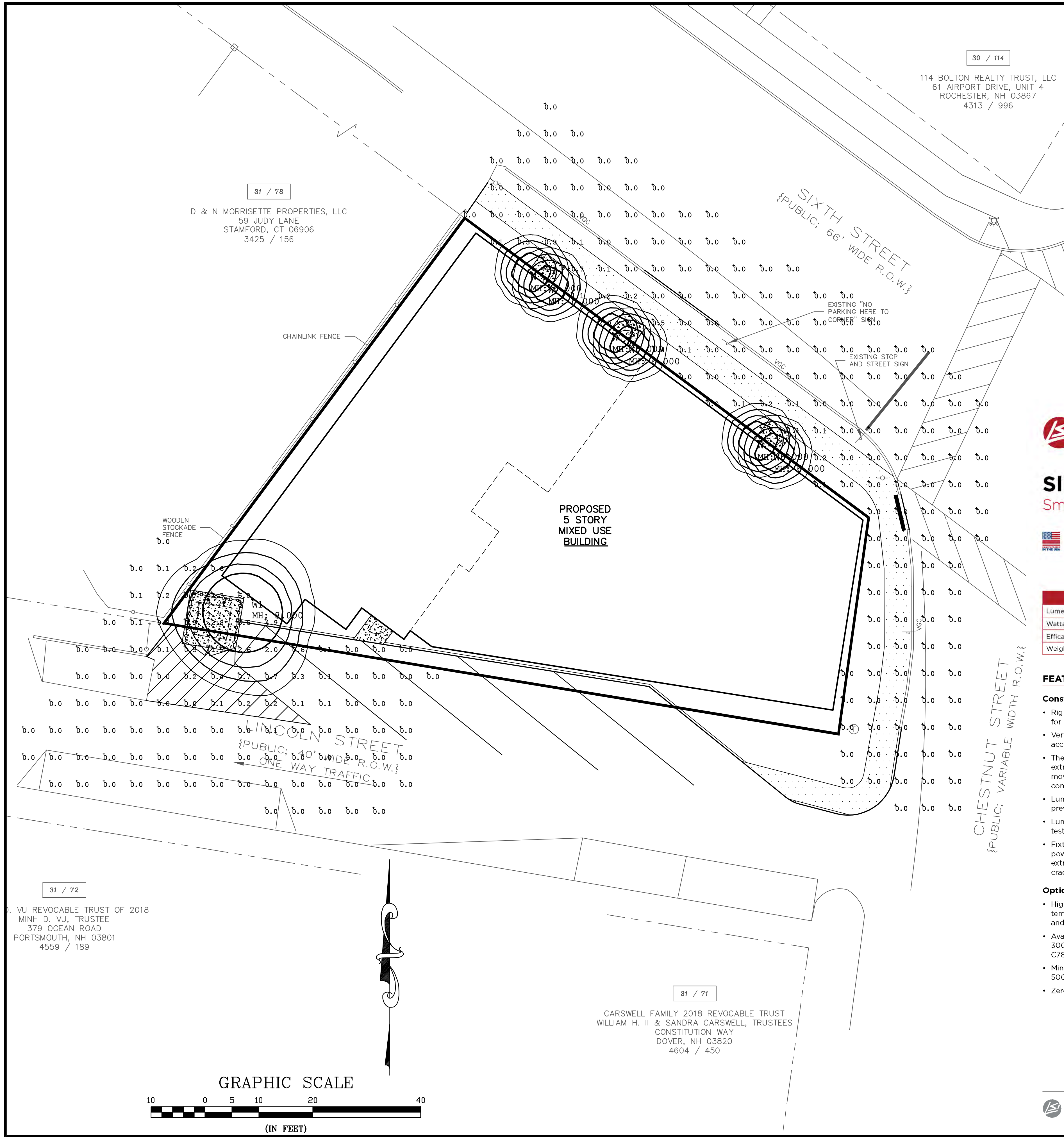
FIVE STORY
MIXED USE BUILDING
16 SIXTH STREET
& 7 CHESTNUT STREET
DOVER, NH 03820

12



NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

181 Watson Road, PO Box 1166
Dover, NH 03820
603.749.0443



LIGHTING DESIGN AND PHOTOMETRIC DESIGN BY:
KEN SWEENEY | APPLICATIONS ENGINEER
CELL: 603.759.1043
501 ISLINGTON ST | UNIT 1A | PORTSMOUTH, NH 03801 | 603.601.8080
EXPOSURE2LIGHTING.COM | ESS-LLC.US
NEW ENGLAND'S PREMIER LIGHTING, CONTROLS & ELECTRICAL REP AGENCY

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	[MANUFAC]
W	6	W	Single	P560137-031-30	PROGRESS
W1	1	W1	Single	WPSLS-1L-UNV-DIM-30-PCIUNV-BLK	LSI INDUSTRIES, INC.



Slim Wall Pack (WPSLS)

Small LED Slim Wall Pack



OVERVIEW	
Lumen Package (lm)	1,000 - 4,000
Wattage Range (W)	9 - 36
Efficacy Range (LPW)	105 - 119
Weight lbs (kg)	4.4 (2.0)



QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rigid Precision Die cast-aluminum housing for durability and consistency.
- Vertical fins serve as a heat sink and resist accumulation of dust and debris.
- Thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
- Luminaire hinges open from the bottom to prevent leakage.
- Luminaire is proudly manufactured and tested in the U.S.
- Fixtures are finished with polyester powder coat finishing process to withstand extreme weather changes without cracking or peeling.

Optical System

- High-performance LEDs behind clear tempered glass for maximum light output and durability.
- Available in 5000K, 4500K, 4000K, and 3000K color temperatures per ANSI C78.377
- Minimum CRI of 80 for 4000K, 4500K, 5000K. Minimum CRI of 70 for 3000K.
- Zero uplight.

Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: >200k Hours
- Total harmonic distortion: <20%
- Power factor: >.85
- Input power stays constant over life.
- Driver Off-State Power is 0 watts.
- LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5kV surge rating
- Operating temperature: -40°C to +50°C (-40°F to +122°F).

Controls

- Optional 120V-277V electronic button Photocontrol.
- Apertures for field or factory installed photocontrol.

Installation

- Surface mounts direct to J-box or wall.
- Features a bubble level and removable hinged face frame for ease of installation.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on optional Button Photocell.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- DarkSky Approved with 3000K color temperature selection.
- CSA Listed
- RoHS Compliant.
- State of California Title 24.
- Suitable For Wet Locations.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

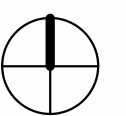
DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	FILE	NO.	REVISION	APP'D	DATE
7-16-26	1"=10'	MJM	MJM	BYSLH	25193	25193-SITE				



ARCHITECT
Rick Isaak, AIA, LEED AP
5 Oyster River Rd.
Durham, NH 03824
Phone: 603-969-6711
rick@isaakdesign.com

Consultant
address
address
phone
fax
e-mail

Scale 1" = 10'-0"





ARCHITECT
Isaac Isaak, AIA, LEED AP
100 Oyster River Rd.
Durham, NH 03824
Phone: 603-969-6711
isaak@isaakdesign.com

consultant
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6 SIXTH ST.
DOVER, NH

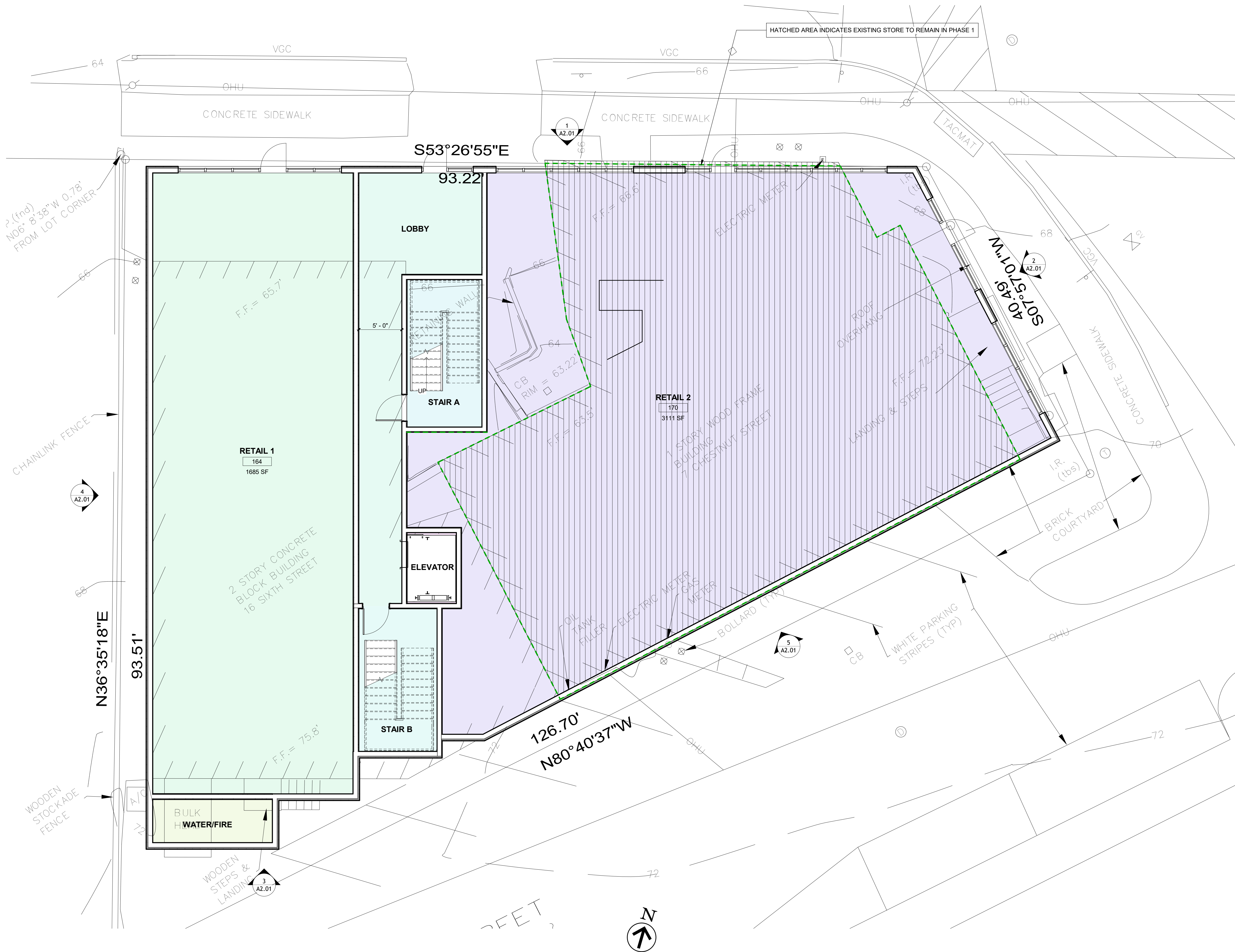
FLOOR PLANS

Project number	2523
Date	02/12/26
Drawn by	NI
Checked by	NI

1.01

Scale $3/16" = 1'-0"$

2/12/2026 4:11:06 PM



1 LEVEL 1 - FLOORPLAN
3/16" = 1'-0"

SCHEMATIC





ARCHITECT
David Isaak, AIA, LEED AP
100 Oyster River Rd.
Durham, NH 03824
Phone: 603-969-6711
d@isaakdesign.com

consultant
address
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phone
fax
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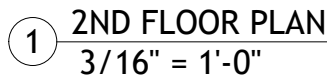
6 SIXTH ST.
DOVER, NH

EVEL 2 - FLOORPLAN

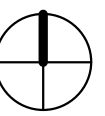
Project number	2523
Date	02/12/26
Drawn by	Author
Checked by	Checker

A1.02

Scale $3/16" = 1'-0"$



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ARCHITECT
Jack Isaak, AIA, LEED AP
Oyster River Rd.
Durham, NH 03824
Phone: 603-969-6711
jack@isaakdesign.com

consultant
address
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phone
fax
mail

consultant
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phone
fax
mail

consultant
address
address
phone
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consultant
address
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phone
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mail

6 SIXTH ST.
DOVER, NH

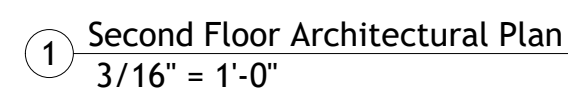
EVEL 3 - FLOORPLAN

Project number	2523
Date	02/12/26
Drawn by	Author
Checked by	Checker

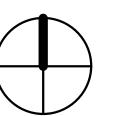
A1.03

Scale $3/16" = 1'-0"$

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HITECT
Isaak, AIA, LEED AP
Oyster River Rd.
Ham, NH 03824
Tel: 603-969-6711
isaakdesign.com

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6 SIXTH ST.
DOVER, NH

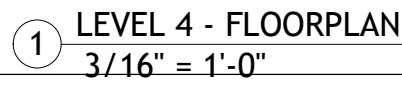
EVEL 4 - FLOORPLAN

Project number	2523
Date	02/12/26
Drawn by	Author
Checked by	Checker

A1.04

Scale $3/16" = 1'-0"$

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ARCHITECT
Rick Isaak, AIA, LEED AP
Oyster River Rd.
Durham, NH 03824
Phone: 603-969-6711
rick@isaakdesign.com

consultant
address
address
none
fax
mail

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6 SIXTH ST.
DOVER, NH

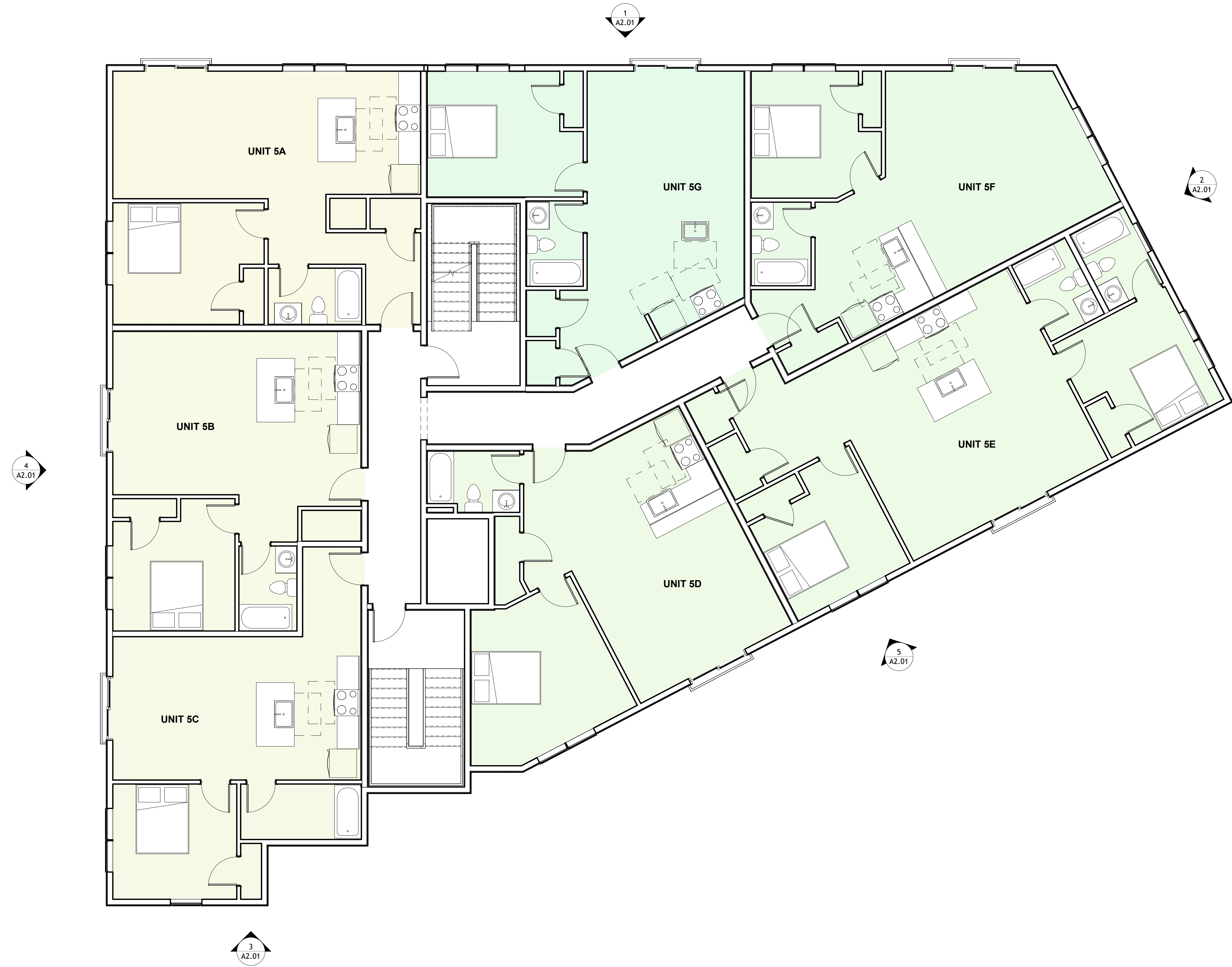
EVEL 5 - FLOORPLAN

Project number	2523
Date	02/12/26
Drawn by	Author
Checked by	Checker

A1.05

Scale $3/16" = 1'-0"$

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1 LEVEL 5 - FLOORPLAN
3/16" = 1'-0"

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ARCHITECT
Rick Isaak, AIA, LEED AP
Oyster River Rd.
Durham, NH 03824
Phone: 603-969-6711
rick@isaakdesign.com

consultant
address
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none
fax
mail

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6 SIXTH ST.
DOVER, NH

ROOF PLAN

Project number	2523
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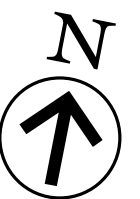
Date	02/12/26
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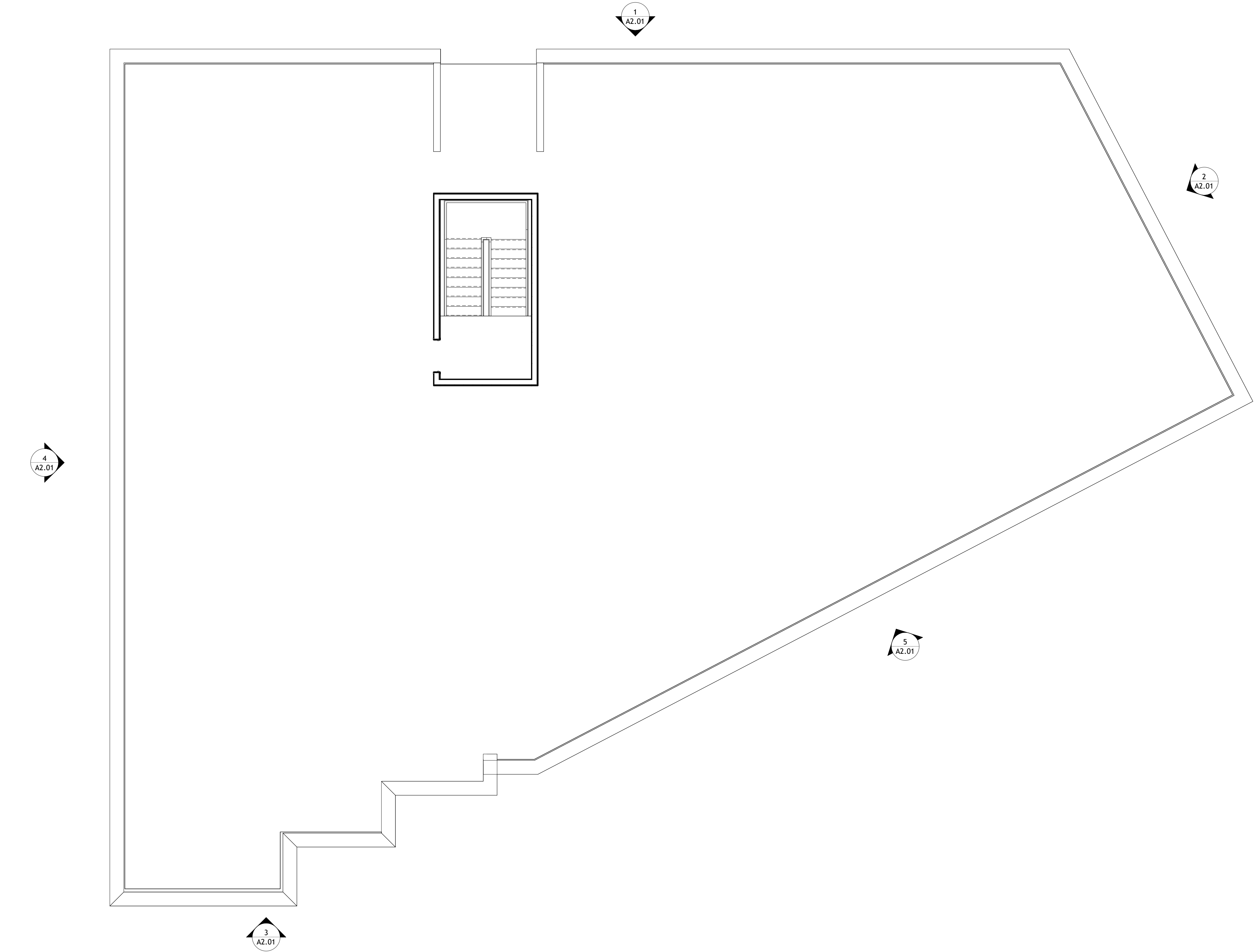
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A1.06

Scale $3/16" = 1'-0"$



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1 ROOF
3/16" = 1'-0"



ARCHITECT
Rick Isaak, AIA, LEED AP
Oyster River Rd.
Durham, NH 03824
Phone: 603-969-6711
rick@isaakdesign.com

consultant
address
address
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fax
mail

consultant
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fax
mail

consultant
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S SIXTH ST.
DOVER, NH

ELEVATIONS

Project number	2523
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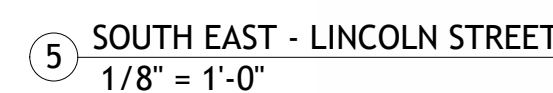
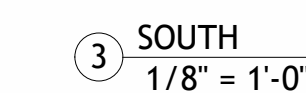
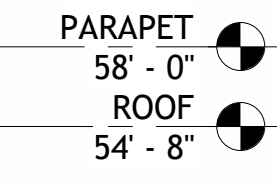
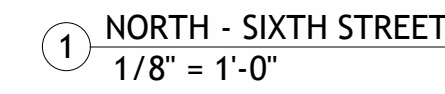
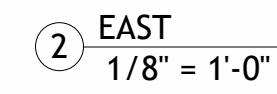
Date 02/12/26

Drawn by NI

Checked by NI

A2.01

Scale $1/8" = 1'-0"$



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