



**CITY OF DOVER**

## DOVER PLANNING BOARD – AGENDA

Meeting Type: Regular Meeting  
Meeting Location: Council Chambers – 288 Central Avenue, Dover, NH 03820  
Meeting Date: **Tuesday, September 23, 2014**  
Meeting Time: **7:00 pm**

### 1. CITIZENS' FORUM

### 2. APPROVAL OF THE PRIOR MINUTES

- August 26, 2014 Regular Meeting Minutes

### 3. OLD BUSINESS

- A. Consideration and possible vote on a Conditional Use Permit for Adam, Jade & Sheryl Fogg, Assessor's Map L, Lot 13, zoned R-20, located at 25 Nute Road. Replace existing house and garage with new house and garage in a single structure. Total permanent impact to the Conservation District is 3,900 sq. ft. \*(P14-23)
- B. Consideration and possible vote on a Conditional Use Permit per Chapter 170-20-B for The Housing Partnership, (Owner: Roman Catholic Bishop of Manchester, NH), Assessor's Map 27, Lots 2, 3, 4 & 15, zoned CBD-General, located at 577 Central Avenue. (Relief from 75% building coverage requirement and from requirement that the building be 24 feet or less from side property line). \*(P14-32)
- C. Consideration and possible vote on a Conditional Use Permit for reduced parking per Chapter 170-44-I for The Housing Partnership, (Owner: Roman Catholic Bishop of Manchester, NH), Assessor's Map 27, Lots 2, 3, 4 & 15, zoned CBD-General, located at 577 Central Avenue. \*(P14-33)
- D. Consideration and possible vote on a Conditional Use Permit per 170-20-B for The Housing Partnership, (Owner: Roman Catholic Bishop of Manchester, NH), Assessor's Map 27, Lots 2, 3, 4 & 15, zoned CBD-General, located at 577 Central Avenue. (Relief from prohibition of residential on first floor). \*(P14-51)
- E. Consideration and possible vote on a Site Plan for The Housing Partnership, (Owner: Roman Catholic Bishop of Manchester, NH), Assessor's Map 27, Lots 2, 3, 4 & 15, zoned CBD-General, located at 577 Central Avenue. (One mixed use 5-story building (60,918 sq. ft.) with 41 residential units and 14,018 sq. ft. of commercial space and one 21,170 sq. ft. 2-story building with 6 residential units). \*(P14-34)

### 4. NEW BUSINESS

- A. Consideration and possible posting of Zoning ordinance amendments for the Heritage Residential District.
- B. Consideration and acceptance of a Conditional Use Permit for the Storage Barn, LLC (Owner: Jeff and Diane Weeden), Assessor's Map D, Lots 15 & 16, zoned B-4, located at 389 Sixth Street. Proposal is for self storage warehouse units, driveways & site grading that impact the 50-foot wetlands buffer. \*(P14-27)
- C. Consideration and acceptance of a Conditional Use Permit for reduced parking per Chapter 170-44-I for the Storage Barn, LLC (Owner: Jeff & Diane Weeden), Assessor's Map D, Lots 15 & 16, zoned B-4, located at 389 Sixth Street. Proposal is for 57 parking spaces where 125 are required. \*(P14-28)
- D. Consideration and acceptance of a Site Plan Review for Mark Phillips & The Storage Barn, LLC, (Owner: Diane & Jeff Weeden & The Storage Barn, LLC), Assessor's Map D, Lots 15 & 16, zoned B-4, located at 385 & 387 Sixth St. (140,000 sq. ft. of warehouse in 17 structures & 2,400 sq. ft. office & apartment). \*(P14-31)
- E. Consideration and acceptance of a Minor Lot Line Adjustment for Denis & Denise Couturier and Wilbur & Shirley Drew, Assessor's Map F, Lots 8 & 8-D, zoned R-40, located at 292 Tolend Road. \*(P14-59)
- F. Consideration and acceptance of a Minor Subdivision for Richard and Stephanie Lund, Assessor's Map J, Lot 13, zoned R-40, located at 38 Piscataqua Road (1 lot subdivided into 2). \*(P14-60)

### 5. STAFF COMMENTS

### 6. MEMBER COMMENTS

### 7. ADJOURNMENT

\*Indicates that if the application is accepted for discussion, the public hearing will be held the same evening, at which time any interested party may offer comment to the Planning Board. Persons with questions or wishing to see the plans are invited to visit the Planning Office, Monday through Thursday from 8:30 am to 5:30 pm. You may also view materials at [www.dover.nh.gov](http://www.dover.nh.gov), a map showing project locations can be found at <http://www.dover.nh.gov/government/city-operations/planning/index>. Follow us on Twitter @DoverNHPlanning and find us on Facebook at <https://www.facebook.com/DoverNHPlanning>.



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## DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting  
Meeting Location: McConnell Center, Room 306, Dover, NH 03820  
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**Members Present:** Dennis Ciotti (Chair), Kirt Schuman (Vice Chair), Tom Clark, Frank Torr, Lee Skinner, Gary Green, Dave White, William Garrison (Councilor), Catherine Plante, Christopher Lawrence (Alternate), Maggie Fogarty (Alternate), Gina Cruikshank (Alternate)

**Staff Present:** Steve Bird (City Planner), Diane Britt (Recording Secretary)

The Chair began meeting at 7:02 p.m.

### 1. CITIZENS' FORUM

*Citizens Forum Open. Nobody Spoke. Citizens Forum Closed*

### 2. APPROVAL OF THE PRIOR MINUTES

- August 12, 2014 Regular Meeting Minutes

**Motion:** K.Schuman made a motion to approve the August 12, 2014 Regular Meeting Minutes. Seconded by F.Torr.

T.Clark stated he wants added "Motion Passes" at the bottom of page 4 where the vote is recorded.

Vote: U/A

### 3. OLD BUSINESS

- A. Consideration and possible vote on a Conditional Use Permit for reduced parking per Chapter 170-44-I for International Cars Limited, (Owners: M & E Jespersen Realty, LLC & Mario & Janet Dimambro), Assessor's Map K, Lots 40, 40A, 40C & Assessor's Map 17, Lot 15, zoned B-3 & R-12, located at 5 Dover Point Road & 4 Elliot Park. \*(P14-46)
- B. Consideration and possible vote on a Site Plan for International Cars Limited, (Owners: M & E Jespersen Realty, LLC & Mario & Janet Dimambro), Assessor's Map K, Lots 40, 40A, 40C & Assessor's Map 17, Lot 15, zoned B-3 & R-12, located at 5 Dover Point Road & 4 Elliot Park. (Demolish existing building and construct new 46,483 sq. ft. building with 308 parking spaces). \*(P14-47)

**Motion:** K.Schuman made a motion to remove items 3A and 3B from the table. Seconded by F.Torr. Vote: U/A

*The Chair announced that items 3A and 3B would be heard together and voted on separately.*

Attorney Richard Uchida represented the applicant and owners, and stated he was here with Marshall Jespersen, an owner, Nancy Oser, the General Manager of Dover Chevy and Dover Honda, Jason Hill of TF Moran, and Jonathan Holley and Jonathan Smith of Warren Street Architects. He summarized the plans to



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demolish the present Dover Honda building and redevelop and reconstruct the dealership. They are here for a Conditional Use Permit for reduced parking and for the site plan with four waiver requests. He stated there was a site walk on August 5, 2014 and they are in agreement with the recommended conditions of approval.

Regarding the bus stop in the area of the dealership, per their discussions with COAST, they would like to continue having the bus stop there. As part of the reconstruction of the site, the dealership has agreed to install a slab next to the sidewalk so that handicapped people can get on the bus.

D.Ciotti wanted to know the location of the bus stop.

Atty. Uchida stated the bus stop is next to the driveway opening for the Chevy dealership. He stated because of the light volume COAST did not need a covered stop, but they wanted a more formal stop.

L.Skinner asked if the pad that is going to be put down is large enough for a covered stop in the future.

J.Hill said that COAST requires a minimum pad of 4 x 3 ft. for a covered stop and the proposed pad will be 8 ft. wide x 5 ft. deep.

W.Garrison stated that the garage bays will be on the north side, closer to the residents adjacent to that area, and wanted to know the hours of operation for the service department and if noise would be a problem.

M.Jesperson stated the hours of operation currently are 8 a.m. to 5 p.m. and he stated the majority of the noise would be generated from opening and closing the garage doors.

W.Garrison asked if it was possible to put in a stipulation to restrict the hours of operation.

M.Jesperson stated he was loathe to make a promise to alleviate a problem that has not occurred yet. He stated if there is noise became a problem in the future, he would address the problem by moving the work to the bays on the other side of the building.

W.Garrison stated that the service bays are going to be closer and trees are being removed, and he explained his concern stems from situations in the past where there has been no recourse to resolve noise problems for residents living near businesses.

M.Jesperson stated they have had an operation for many years in another location like the one being discussed and have never received a complaint about noise. He stated they will work hard at being good neighbors and will be sensitive to complaints.

W.Garrison wanted to confirm details regarding the parking plan, should there be a need for more parking for customers or employees.

M.Jesperson stated they have an off-site inventory storage lot/parking area in Rowley, MA that is about 8 acres in size which they will use to create more parking at the Honda dealership if and when it is needed.



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L.Skinner expressed his concern that tire rotations are noisy and that there is not a good noise ordinance in Dover.

Atty. Uchida said they intend to be good neighbors. He stated there will be better landscaping and fencing so that sound not be a problem. The building is fully air conditioned and ventilated and he anticipates doors to service bays will be closed during business hours.

G.Green stated he was pleased to see that they will be using porous pavement. He asked if there will be a reserved parking area for the retail customers.

Atty. Uchida explained that the parking spaces for customers are along the front of the building and he pointed out another area for retail and service customers, and he stressed that inventory will be managed so that there is enough parking.

**Motion:** K.Schuman made a motion to remove the public hearing from the table. Seconded by C.Plante.  
Vote: U/A

*Public Hearing Open. Nobody Spoke. Public Hearing Closed.*

D.Ciotti commented in regards to Consistency with Land Use Regulations in the staff memo that he would like to make a change to the second paragraph, last sentence, that a vehicle inventory storage area “shall” be utilized. Regarding the COAST bus stop condition of approval, his preference is to leave it up to Planning Department approval. Regarding noise, he stated he thought the use of the outside speaker system is limited to certain hours. The lights will be on a timer and they will be dimmed earlier.

### **STAFF RECOMMENDATION (P14-46)**

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

#### **Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The Site Plan (P14-47) for the property must be approved.
2. A formal agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds.

S.Bird stated, based on the Chair’s comments, he would suggest adding 2(a) a provision to the formal agreement that if customer and employee parking demands increase the vehicle inventory storage area “shall” be utilized.

K.Schuman stated he would like to add to that wording that “an off-site” vehicle inventory storage area shall be utilized so that it would not be mandated that only the Rowley storage area be used.

There was discussion regarding the above condition and if it was necessary to include it.

S.Bird read the conditions of approval including the additional language for 2(a).

F.Torr disagreed with adding 2(a) into the conditions of approval.



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D.Ciotti asked for a show of hands of board members who wanted to include 2(a), and it was decided not to include 2(a) with the conditions of approval.

**Motion:** K.Schuman made a motion to approve subject to the original staff recommendations. Seconded by G.Green. Vote: U/A

### **STAFF RECOMMENDATION (P14-47)**

The Planning Department recommends the Planning Board approve the application with the following conditions:

#### **Conditions to Be Met Prior to Signing of Plans:**

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.
3. The approval includes the granting of the waivers requested for the reasons stated by the applicant and staff. The Board finds that the criteria of Chapter 149-19.A have been met.
4. The applicant shall have the Stormwater Management Maintenance and Inspection Plan approved by the Community Services Department.
5. The applicant shall have the Drainage Analysis reviewed and approved by the City Engineer.
6. The applicant shall complete a Lot Merger Form and have it recorded at the Strafford County Registry of Deeds.
7. The applicant shall prepare easements to address cross access, drainage and utility lines between the two lots. Said easements shall be reviewed as to form by the City Attorney.
8. The applicant shall revise the plan to add the NH Department of Environmental Services Alteration of Terrain Permit number and provide the Planning Department with a copy of the permit.
9. The applicant shall revise the plan to add the standard note regarding the installation of a security system.
10. The applicant shall revise the Landscape Plan to add a note that the 36" Maple tree adjacent to Map 17, Lot 14 or 4: will be preserved.
11. The applicant shall revise the plan to add a COAST bus pull-over along Dover Point Road in front of the Chevy dealership with Planning Department approval.

#### **Condition to Be Met Prior to Any Construction Activity:**

12. Construction hours shall be limited to Monday-Friday 7 AM-6 PM, Saturday 8 AM-5 PM, with no Sunday hours. Hours of construction shall be documented on a site construction sign along with the contact information for the general contractor. Said signage shall be located and approved by the City Engineer or Director of Planning and Community Development.

#### **Conditions to Be Met Prior to Issuance of a Building Permit:**

13. Any new building shall pay the current impact fees in place at the time of building permit application, with credit given for the existing building.
14. Any new building shall be assessed the current water/sewer investment fees in place at the time of application for water/sewer service.

#### **Condition to Be Met Prior to Issuance of a Certificate of Occupancy:**

15. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.
16. If noise complaints occur the applicant shall work with the Planning Department and the Police Department to resolve the issue.



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There was discussion that there are notes on the plan that state the speaker system hours are reduced and the lighting will be dimmed earlier.

W.Garrison asked if a condition of approval could be included regarding noise such as “the applicant will change the hours of operation to limit the noise”, or “the applicant will address any noise concerns”.

D.Ciotti explained that there are other issues going on in town where there are infractions and the board has no authority to remedy the problem. He suggested that there be a condition of approval that the applicant agrees to work with the Planning Department and the Police Department to resolve any noise complaints. He also requested that the condition regarding the COAST bus stop include that it will be “installed with Planning Department approval”, as he wants to ensure that the final design and installation meets City and COAST requirements.

S.Bird stated they would rely heavily on COAST to review the final design but this condition is acceptable.

There was discussion that the applicant should have the ability to replant the arborvitae if needed, and that not every arborvitae that is there now will remain.

**Motion:** F.Torr made a motion to approve subject to the conditions set forth by the Planning Department. Seconded by C.Plante. Vote: U/A

#### 4. NEW BUSINESS

*The Vice Chair stated that items 4A, 4B, 4C and 4D would be heard together and would have one public hearing but will be voted on separately.*

- A. Consideration and acceptance of a Conditional Use Permit per Chapter 170-20-B for The Housing Partnership, (Owner: Roman Catholic Bishop of Manchester, NH), Assessor’s Map 27, Lots 2, 3, 4 & 15, zoned CBD-General, located at 577 Central Avenue. (Relief from 75% building coverage requirement and from requirement that the building be 24 feet or less from side property line). \*(P14-32)
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Attorney Christopher Wyskiel represented the applicant, The Housing Partnership. Also with him were Marty Chapman, Executive Director of The Housing Partnership, Jack Peduzzi, Senior Project Manager, John Chagnon, Ambit Engineering, and Michael Lassell, Architect.

Atty. Wyskiel gave background information about The Housing Partnership and the areas it services. He explained that this is a mixed use development consistent with the Central Business District zoning. The Housing Partnership is the buyer's side of an option agreement with the Roman Catholic Bishop of Manchester on behalf of and in trust for the Parish of the Assumption which is the steward for the St. Charles property. He stated there will be 6,500 sq. ft. of office space, 3,000 sq. ft. of retail space, 5,000 sq. ft. of first floor space that is targeted for a Pre-K program, and 47 housing units, 41 of which will be workforce oriented, and 6 of which will be market driven units in a separate building fronting Park Street. There is a possibility that the 6 units could be changed to elderly housing or age restricted housing. The 41 units of workforce housing is the appealing portion of this mixed use project to the diocese. The property is being sold and the option agreement and the purchase and sales agreement are currently being negotiated. The property will be passed on by deed with significant use restrictions and the workforce component is mission-consistent with what the diocese does. He stated there appears to be a need for workforce housing in Dover as demonstrated by Woodbury Mills being mostly rented out in less than half the time expected. He explained that the applicant is in agreement with all staff recommendations except the one that states that none of the vehicles used for the businesses occupying the non-residential portion of the building will park on the lot overnight, and he gave the reasoning behind this.

D.Ciotti asked him to qualify the request to not park vehicles overnight and asked how many vehicles would be used in the daily operation of the businesses that would be there.

Atty. Wyskiel stated there are ongoing negotiations with one prospective tenant who may have a need for at least two vans or a couple extra cars. He explained the parking situation at Woodbury Mills would be similar to this project, and they found that one car per unit is the appropriate ratio for users of workforce housing. The other 6 units would have 2 parking spaces per unit, so the total number of parking spaces needed is 53, and the site plan includes 72 parking spaces.

Further discussion ensued regarding parking and the concern that the commercial and/or retail tenants of the property would not occupy the parking spaces at night where the residents park.

John Chagnon, Ambit Engineering Inc., stated a proposed tenant may need between 2 to 5 of those parking spaces. He stated they understand the board's concern. He explained details about the site, elevation differences, the drainage plan for the site, and the positioning of the buildings and the number of stories in each building. He spoke about traffic patterns for the site, existing utilities and planned changes, landscaping plans, demolition plans, sidewalk and crosswalk plans. He reviewed information from the parking and traffic study.

F.Torr stated he thought the landscaping plan for the property was not adequate and he also wanted to know if they received a response from the New Hampshire Division of Historical Resources regarding the new structure replacing the existing one.

J.Chagnon stated that the applicant is working with the neighbors about screening with a fence or vegetation.



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M.Chapman explained that they are working with the NH Division of Historical Resources to put a commemorative plaque or exhibit at the site and there will be a public meeting regarding this.

C.Plante stated her concern about the parking plan and the assumptions that were used in the parking analysis. There was clarification that Head Start will be running the pre-K program on the first floor and they have a 7:30 a.m. drop off time and a 2:30 p.m. pick up time.

There was discussion regarding the applicant's project at Woodbury Mills, that it is 100% workforce housing which means that tenants are working families with a few seniors on fixed incomes.

G.Green expressed his concern that snow storage could compromise visibility for drivers on the site.

J.Chagnon stated that only small amounts of snow will be stored and for large snowfalls the snow will be removed from the site.

Lengthy discussion ensued regarding the adequacy of the proposed parking plan, the requirement that workforce housing will be there for a minimum of 30 years due to funding, a crosswalk that was removed with the support of the Police Department, pedestrian access to the Park Street park and that the applicant is planning to put a sidewalk in along their frontage on Park Street, that there is adequate on-street parking in the area, that Coast plans to keep their bus stops at Ham Street and New York Street and will remove the bus stop at the old crosswalk, and that the electric service is prevented from coming into the site underground due to a Verizon easement that gives them underground rights, so it will come in on overhead wires from the street and then will go underground.

Atty. Wyskiel requested that, for the condition of approval #2 for the Conditional Use Permit for reduced parking, the word "none" be replaced with "no more than five".

**Motion:** G.Green made a motion to accept items 4A, 4B, 4C and 4D. Seconded by D.White. Vote: U/A

### *Public Hearing Open*

Blaine Glidden, 16 Nile Street, stated he owns the property at 8-10 Park Street and he would like the fence to remain or be removed and replaced because, without the fence, this area becomes a cut-through. He does not think it would be a good idea to plant vegetation there. His other concern is the drainage cistern in the parking lot which sits approximately 12-15 feet higher than the grade of the floor of his garage which is about 25 feet away and when it is saturated his garage may flood.

Megan Miller, Apt. 603, Chestnut Street, stated she has a petition to save the St. Charles Church from demolition and is seeking signatures.

Mary Hebbard, 97 Spruce Lane, expressed her concern that this proposal should not be considered for this property, there is no demonstrated need for workforce housing, and that the Gateway zoning changes are a mistake and should be repealed.



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Phyllis Woods, 1 Barry Street, stated she was concerned about one entrance to the site and the left hand turn lane to exit the site, parking along Central Avenue, and the lack of open space on the site.

Catherine Cheney, 9 Snow's Court, stated she received a lot of phone calls about this project. She wanted to know if this project was part of the LIHTC (Low Income Housing Tax Credits) program.

Karen Weston, 42 French Cross Road, stated she also received a lot of phone calls today. She had questions regarding HUD financing and workforce housing, and if it could change to subsidized housing in the future. Her other concern is changing crosswalks and the process for doing that.

Mary Ann Cooper, 45 Elm Street, stated that she is sad that St. Charles may be demolished, and that three churches in Portsmouth have been preserved. She suggested that, if the project is approved, the name could be changed to St. Charles Commons.

Rick Hebbard, 97 Spruce Lane, expressed his concern that there is no demonstrated need for a project of this kind and suggested the board consider what is best for the community when voting on it.

### *Public Hearing Closed*

J.Chagnon stated they would accept a condition of approval to replace the fence along the boundary line with Mr. Glidden's property, that they will improve drainage and build a retaining wall, and that the plan will be reviewed and approved by the city engineer.

Atty. Wyskiel explained that the diocese requested that the property buyer not use the name of the parish, and he stated they think there will be adequate on-site parking available.

D.White explained that the crosswalk was removed after going through the proper channels.

M.Chapman explained the term "workforce housing", and went elaborated on LIHTC, which is overseen by the IRS, the NH Housing Finance Authority, and the process by which expenses for the project are covered. He stated he spoke with Mr. Glidden who is agreeable to the type of fence that will replace the existing fence bordering his property.

There was discussion regarding tax credits which are sold to for-profit investors and that the applicant will pay property taxes. There was clarification about income thresholds for workforce housing, and that the state law requires communities to provide opportunities for workforce housing.

Lengthy discussion ensued regarding the left hand turn, and if the proposed building and the bend in Central Avenue or trees would affect visibility, and that parking on Central Avenue is restricted 70 feet from entrance for the needed sight distance.

D.White proposed a condition of approval to be that fencing be installed along the property lines for abutters at #4, #8 and #12/#14 Park Street.



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The Chair read into the record two emails received from Brian Fruh, 157 Locust Street, and Paul Karoutas, 3 Kennedy Circle, who owns property at 595 Central Avenue which directly abuts the church, and both did not support this project.

G.Green expressed his concern that parking regulations are not being followed and that the parking analysis for the site might not work in the future. He gave statistics from the NH Housing Finance Authority regarding declining home ownership and the growing senior citizen population. He questioned the logic for granting waivers and conditional use permits for the applicant.

L.Skinner stated he was reluctant to provide a speedy approval for this project. He would like a site walk because there is a lot of information that he would like to understand regarding this application.

W.Garrison stated he agreed and that he needed more time to absorb the information being presented.

**Motion:** W.Garrison made a motion to table items 4A, 4B, 4C and 4D for a site walk. Seconded by L.Skinner. Vote: 8/1 – Tabled (White – No)

F.Torr stated he would like communication from the NH Division of Historical Resources as to what they recommend. He also stated he wants the traffic study peer review to be done before any action is taken.

D.Ciotti agreed that a site walk is in order because this is a big project and there are many questions that need to be answered. Discussion followed that September 9 is primary day and that the Director of Planning would like to have one Planning Board meeting in the month of September which is scheduled for September 23. It was decided that the site walk will be on Thursday, September 11, 2014 at 5:30 p.m.

K.Schuman requested that the Central Avenue driveway location and turning lanes be marked off.

C.Plante asked if somehow the height of the buildings could be referenced for the site walk.

*A 15-minute recess was taken at 9:55.*

- E. Consideration and acceptance of a Conditional Use Permit for Littleworth Road Solar LLC, (Owner: Bruce Caswell), Assessor's Map G, Lot 31, zoned I-2, located at 68 Littleworth Road. (2,400 sq. ft. of impact to 50 foot wetlands buffer). \*(P14-52)
- F. Consideration and acceptance of a Site Plan for Littleworth Road Solar LLC, (Owner: Bruce Caswell), Assessor's Map G, Lot 31, zoned I-2, located at 68 Littleworth Road. (35,620 sq. ft. of solar arrays). \*(P14-53)

Andrew Kellar, the applicant, founder of New Hampshire Solar Garden, explained that community solar is an array of solar panels in one spot that will share energy with others in the area as long as they are with the same utility company. He explained the five components needed to set up a solar array: a suitable site, approval from the power company for the solar array, enough participating group members who will receive power, approval from the state, and a local permit. He has a lease in place with the land owner to have this solar array in an open field on that land. He has gotten approval from PSNH to construct the solar array.



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He has found participants for this project who would receive energy at a discount. He has gotten approval from the state utility commission, and he has gone through the local permit process. This site has a lot of wetlands and the solar placement will be in the wetland buffer. Due to this they went before the Conservation Commission and have followed their recommendations and incorporated the changes into the plans. He stated Anthony Cleaves, engineer with Whitman & Bingham Associates, was with him tonight to answer any technical questions.

F.Torr asked if the location was a problem for planes landing at Pease.

A.Kellar stated the location is far enough away from the airport that it will not be a problem.

L.Skinner asked how many panels would be installed and what their wattage rating was.

A.Kellar explained that 1200 panels would be installed and each was 410 watts.

C.Plante confirmed with A.Kellar that Littleworth Road Solar LLC was for profit and wanted to know the plan for the solar array when the lease was up.

A.Kellar explained that it was a 20-year lease with two 5-year extensions. There is a decommissioning plan to put the land back to its original condition. He explained many details regarding maintenance of the array and the location for access to the array.

S.Bird asked that the four recommendations from the Conservation Commission be explained.

A.Cleaves went over access for construction and constructing sequencing, two options for erosion control barriers, and a cross section of what will be under the panels. Also details regarding vegetation control were added to the plan. He stated standard site plan notes have been added to the plan per the staff memo.

S.Bird confirmed with A.Kellar that the height of the array and panels would be 4-1/2 to 6 feet depending on the elevation drop.

D.Ciotti asked if the panels were hooked up to an inverter above ground or below ground, and wanted to know if the arrays are fixed and what direction they faced.

A.Kellar stated the wires come off the poles at the street and then go below ground, come up to a pedestal with a meter, and from that point go underground to the array location. He explained that the panels are fixed, face south, and that they would cause no glare to oncoming traffic.

**Motion:** K.Schuman made a motion to accept items 4E and 4F. Seconded by F.Torr. Vote: U/A

*Public Hearing Open. Nobody spoke. Public Hearing Closed.*

### **STAFF RECOMMENDATION (P14-52)**

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following condition:



**CITY OF DOVER**

## DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting  
Meeting Location: McConnell Center, Room 306, Dover, NH 03820  
Meeting Date: **Tuesday, August 26, 2014**  
Meeting Time: **7:00 pm**

### Condition to Be Met Prior to the Issuance of the Conditional Use Permit:

1. The Site Plan (P14-53) for the property must be approved.

### STAFF RECOMMENDATION (P14-53)

The Planning Department recommends the Planning Board approve the Site Plan with the following conditions:

#### Conditions to Be Met Prior to Signing of Plans:

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall revise the plan to add the pedestal location and location of the underground electric line.

There was discussion regarding putting screening between the road and the array but that the Energy Commission does not want to hide it and would prefer to publicize it.

A.Kellar stated the array is about 280 ft. off the road and the elevation goes down, so it would be difficult to screen it.

**Motion:** F.Torr made a motion to approve item 4E subject to conditions set forth by the Planning Department. Seconded by G.Green. Vote: U/A

**Motion:** L.Skinner made a motion to approve item 4F. Seconded by K.Schuman. Vote: U/A

- G. Consideration and acceptance of a Minor Lot Line Adjustment for Gary & Lois Winters and Carl & Catherine Aichele, Assessor's Map 12, Lots 41 & 45, zoned I-2, located at 50 Silver Street & 31 Summer Street (35,620 sq. ft. of solar arrays). \*(P14-55)

Kenneth Berry, Berry Surveying and Engineering, represented the applicants. He explained that the Winters have a small back yard and have negotiated an agreement with their neighbors, Carl and Catherine Aichele, to purchase 1/10 of an acre of land from them. They are asking the board for approval of this minor lot line adjustment.

**Motion:** F.Torr made a motion to accept the application. Seconded by K.Schuman. Vote: U/A

*Public Hearing Open. Nobody spoke. Public Hearing Closed.*

### STAFF RECOMMENDATION (P14-55)

The Planning Department recommends the Planning Board approve the Minor Lot Line Adjustment with the following conditions:

#### Conditions to Be Met Prior to Signing of Plans:

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall revise the plat to add the Planning File number P14-55 to the title block.

S.Bird stated that Lot 41 would become conforming in terms of lot size if this is approved.



**CITY OF DOVER**

## DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting  
Meeting Location: McConnell Center, Room 306, Dover, NH 03820  
Meeting Date: **Tuesday, August 26, 2014**  
Meeting Time: **7:00 pm**

**Motion:** F.Torr made a motion to approve. Seconded by W.Garrison. Vote: U/A

### 5. STAFF COMMENTS

S.Bird stated he is looking for a Planning Board member to volunteer for the climate change project and stated it would be a 6-month commitment.

He stated that an application that went before the Technical Review Committee for a child care facility at 36 Olive Meadow Lane was approved.

He reminded members to sign up for the Municipal Law Series by tomorrow.

He stated that packets include a letter from Anthony McManus regarding the Gateway Zoning District and there is also a notice about the CWDAC public forum to be held on September 8, 2014 at 6:00 p.m.

### 6. MEMBER COMMENTS

F.Torr stated at the August 19, 2014 CWDAC meeting the withdrawal letter was accepted from Dickinson and he feels there is a great likelihood that this development could move forward with many developers.

S.Bird stated he forgot to mention the Heritage Zoning Amendment information that is included in packets. There will be a more in depth presentation on this at the September meeting. It was confirmed that the Silver Street reconstruction has begun.

C.Plante stated she felt applicants are being put in a hard place with the requirement for 75% building coverage and for adequate parking. She also confirmed with D.Ciotti that there will be no Planning Board meeting on September 9, 2014.

G.Green stated they failed to achieve a quorum at the last Sign Committee meeting and the meeting was cancelled.

L.Skinner spoke about Olive Meadow Lane and that he feels traffic could become a problem with all that is going on there. He also expressed concern about the amount of zoning district changes that have occurred in the few years that he has been a board member.

### 7. ADJOURNMENT

**Motion:** G.Green made a motion to adjourn at 10:55 p.m. Seconded by C.Plante. Vote: U/A



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-23

Application Type: Conditional Use Permit  
Applicant: Adam, Jade and Cheryl Fogg  
Owner: Adam, Jade and Cheryl Fogg  
Location: 25 Nute Road (Assessor's Map L, Lot 13)

**INTENT:** To obtain a Conditional Use Permit to replace an existing house and garage with a new house and garage in a single structure, within the Conservation District adjacent to the tidal Bellamy River. The total permanent impact is 3,900 square feet.

**LOTS/UNITS PROPOSED:** One replacement house

**AGENDA ITEM #:** 3-A

**ACREAGE:** 0.3 acres

**ZONING DISTRICT:** Low Density Residential District - R-20

**EXISTING LAND USE:** Single family house and garage

**PROPOSED LAND USE:** Single family house and garage

**SURROUNDING LAND USE:** Single-family residential

**ZBA ACTION:** Variance for a reduced side property line setback was granted on June 19, 2014

**PERMITS REQUIRED:**

- NHDES Wetlands Permit
- City of Dover Conditional Use Permit

**WAIVERS REQUESTED:** None

**ATTACHMENTS:** Landscape plan, letter dated 9/9/14 from Farwell Engineering Services, LLC, and NHDES Shoreland Permit

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for 7/22/14 meeting

**Summary of Request and Background**

The applicant has submitted plans to impact the Conservation District by removing an existing house and separate garage and constructing a new house with a garage.

The applicant appeared before the Conservation Commission on July 14, 2014, August 11, 2014 and September 8, 2014 (minutes enclosed). The Conservation Commission voted to endorse the application with the condition that the landscape plan be included with the plan.

The applicant has received their Shoreland Permit from NH Department of Environmental Services.

The Planning Board accepted the application on 7/22/14 and tabled the application so that the applicant could appear before the Conservation Commission again.

**Consistency with Land Use Regulations**

The Conservation District ordinance provides for Conditional Use Permits to allow impacts to areas within 100 feet of a tidal river if standards related to demonstration of need, avoidance, minimization, and mitigation are met.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

**Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The applicant shall provide the Planning Department with a copy of the NH Department of Environmental Services Wetlands Permit.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-23

Application Type: Conditional Use Permit  
Applicant: Adam, Jade and Cheryl Fogg  
Owner: Adam, Jade and Cheryl Fogg  
Location: 25 Nute Road (Assessor's Map L, Lot 13)

BELOW IS AN AERIAL VIEW OF 25 NUTE ROAD





The State of New Hampshire  
**DEPARTMENT OF ENVIRONMENTAL SERVICES**

Thomas S. Burack, Commissioner



**SHORELAND IMPACT PERMIT 2014-02001**

**Permittee:** Adam/Cheryl/jade Fogg  
149 Mill Rd  
Durham, NH 03824  
**Project Location:** 25 Nute Road, Dover  
Dover Tax Map L / Lot No. 13  
**Waterbody:** Bellamy River

**NOTE--  
CONDITIONS**

**APPROVAL DATE:** 08/21/2014

**EXPIRATION DATE:** 08/21/2019

Based upon review of the above referenced application, in accordance with RSA 483-B, a Shoreland Impact Permit was issued. This permit shall not be considered valid unless signed as specified below.

**PERMIT DESCRIPTION:** Impact 4,010 sq. ft. in order to demolish existing structures and rebuild a new house, garage, patio and walkway.

**THIS APPROVAL IS SUBJECT TO THE FOLLOWING PROJECT SPECIFIC CONDITIONS:**

1. All work shall be in accordance with plans by Atlantic Survey Co, LLC dated April 30, 2014 and received by the NH Department of Environmental Services (DES) on July 25, 2014.
2. There shall be no impacts within the 100 foot tidal buffer, surface waters, or their banks until any permit as may be required under RSA 482-A has been obtained.
3. No more than 29% of the area of the lot within the protected shoreland shall be covered by impervious surfaces unless additional approval is obtained from DES.
4. All activities conducted in association with the completion of this project shall be conducted in a manner that complies with applicable criteria of Administrative Rules Chapter Env-Wq 1400 and RSA 483-B during and after construction.
5. Erosion and siltation controls shall be appropriate to the size and nature of the project and to the physical characteristics of the site, including slope, soil type, vegetative cover, and proximity to wetlands or surface waters.
6. No person undertaking any activity in the protected shoreland shall cause or contribute to, or allow the activity to cause or contribute to, any violations of the surface water quality standards established in Env-Ws 1700 or successor rules in Env-Wq 1700.
7. Any fill used shall be clean sand, gravel, rock, or other suitable material.
8. This permit shall not preclude DES from taking any enforcement or revocation action if DES later determines that any of the structures depicted as "existing" on the plans submitted by the applicant were not previously permitted or grandfathered.

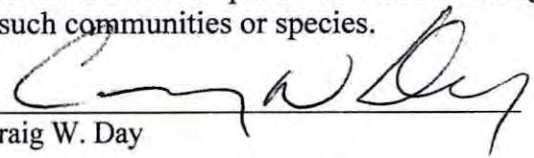
DES Web site: [www.des.nh.gov](http://www.des.nh.gov)

P.O. Box 95, 29 Hazen Drive, Concord, New Hampshire 03302-0095

Telephone: (603) 271-3501 • Fax: (603) 271-6683 • TDD Access: Relay NH 1-800-735-2964

**GENERAL CONDITIONS THAT APPLY TO ALL DES SHORELAND IMPACT PERMITS:**

1. A copy of this permit shall be posted on site during construction in a prominent location visible to inspecting personnel;
2. This permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others;
3. The Wetlands Bureau shall be notified upon completion of work;
4. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits, and/or consult with other agencies as may be required (including US EPA, US Army Corps of Engineers, NH Department of Transportation, NH Division of Historical Resources (NH Department of Cultural Resources), NHDES-Alteration of Terrain, etc.);
5. Transfer of this permit to a new owner shall require notification to and approval by the Department;
6. This permit shall not be extended beyond the current expiration date.
7. This project has been screened for potential impacts to known occurrences of rare species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have received only cursory inventories, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species.

APPROVED:   
Craig W. Day

DES Wetlands Bureau

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**BY SIGNING BELOW I HEREBY CERTIFY THAT I HAVE FULLY READ THIS PERMIT AND AGREE TO ABIDE BY ALL PERMIT CONDITIONS.**

\_\_\_\_\_  
OWNER'S SIGNATURE (required)

\_\_\_\_\_  
CONTRACTOR'S SIGNATURE (required)



**265 Wadleigh Falls Road Lee, NH 03861 Ph(603)292-5787**  
**WWW.FARWELLENGINEERING.COM**

September 9, 2014

City of Dover  
288 Central Ave  
Dover, NH 03820

**Re: Mr. Adam Fogg**  
**25 Nute Rd**  
**Dover, NH**  
**L/13**  
**#1432**

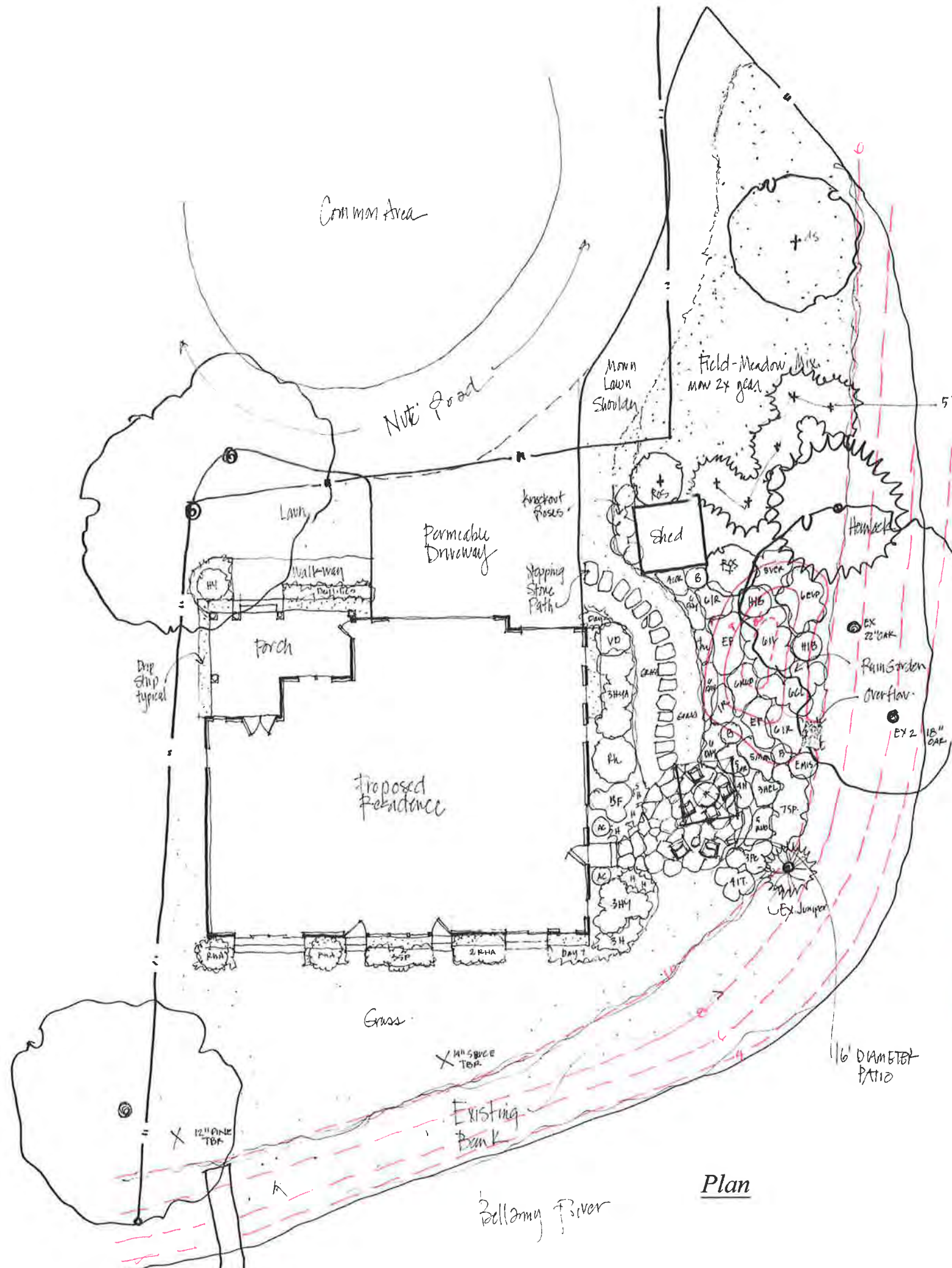
Dear Planning Board:

Farwell Engineering Services, LLC, (FES) has reviewed a landscaping plan prepared by Woodburn and Company dated 8/27/2014. The landscaping plan has identified the rain garden area (Bio Retention) and provided planting information for the rain garden. As required by the New Hampshire Stormwater Manual, the landscape architect has utilized native shrubs and perennial plantings with a random and natural layout suitable for a rain garden. These plants along with the soil filter will provide filtration and groundwater recharge. This plan is in compliance with New Hampshire Stormwater Manual requirements.

Sincerely,

A circular professional engineer seal for the State of New Hampshire. The outer ring contains the text "STATE OF NEW HAMPSHIRE" at the top and "PROFESSIONAL ENGINEER" at the bottom. Inside the ring, the text reads "TOBIN K. FARWELL No. 9649" and "LICENSED" at the bottom. Below the seal is a handwritten signature in black ink that reads "Tobin Farwell".

Tobin Farwell, PE



Plan

Plant List

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
AS	Acer Saccharum Green Mountain	Green Mountain Sugar Maple	1	2 1/2 cal	BB new

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
CI	Celastrus alba H. Moench	Humboldt Summerweet	8	3 gal	new
F	Fuchsia garden	Ornamental Fuchsia	1		existing
F	Fuchsia garden	Ornamental Fuchsia	2	3 gal	new
HNB	Hydrangea macrophylla	Summer Hydrangea	2		existing
HY	Hydrangea macrophylla	Hydrangea	1		existing
HY	Hydrangea arborescens	Endless Summer Hydrangea	2	3 gal	new
HYA	Hydrangea arborescens Anabelle	Anabelle Hydrangea	2	3 gal	new
IT	Impatiens	Little Henry Impatiens	1	3 gal	new
IV	Impatiens	Red Sprite Impatiens	1	3 gal	new
Rh	Rhododendron	Erating Rhododendron	1		existing
RhA	Rhododendron	2 1/2 Rhododendron	1	2 1/2	new
RKO	Rose Knock-Out	Double Red Knock-Out Rose	2	2 gal	new
ROS	Rosa arvensis	Rose of Sharon	1		existing
ROS	Rosa arvensis	Rose of Sharon	1	4 1/2 cal	BB new
VD	Veronica	Amorwood Verbena	1		existing

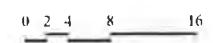
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
AC	Achillea	Bugbane	2		existing
B	Baptisia	False Indigo	3		existing
COR	Cornus	Cornus	10		existing
DAY	Daylily	Daylilies	many		existing - split
EP	Ferns	Ferns	many		existing
EUP	Eupatorium	Joe Pyeweed	6	1 gal	new
H	Hosta	Hosta	many		existing
HEL	Helianthus	Summer Nights Helianthus	3		existing
IR	Impatiens	Siberian Impatiens	3		existing
IR	Impatiens	Siberian Impatiens	3		existing
MAS	Malvastrum	Malvaceae	1	1 gal	existing
MCH	Monarda	Clear Grace Beesbalm	5	1 gal	new
H	Hosta	Walker's Low Hosta	3	1 gal	new
PE	Peony	Peony	1		existing
PE	Peony	Sarah Bernhardt Peony	2	1 gal	new
PLK	Platanus	Miss Moon Platanus	4	1 gal	new
RUD	Rubus	Black Eyed Susan	11		existing - split
VER	Veronica	New York Ironweed	5	1 gal	new

Notes

- Design is based on drawings by Atlantic Survey dated 4/30/2014 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies. Wetlands and/or drainage ways prior to any construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- This plan is for review purposes only, NOT for Construction. Construction Documents will be provided upon request.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.



Fogg Residence  
Landscape Plan  
Nute Road, Dover NH  
2014-08-27





**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-32

Application Type:	Conditional Use Permit for CBD Dimensional Regulations
Applicant:	The Housing Partnership
Owner:	Roman Catholic Bishop of Manchester, NH
Location:	577 Central Avenue (Assessor's Map 27, Lots 2, 3, 4 & 15)

**INTENT:** To obtain a Conditional Use Permit to seek relief, per Chapter 170-20-B, to the Central Business District requirements for minimum building coverage (75% minimum) and for the building to be located no more than 24 feet from a side property line.

**LOTS/UNITS PROPOSED:** 47 dwelling units and 14,018 square feet of office and retail space

**AGENDA ITEM #:** 3-B

**ACREAGE:** 1.8 Acres

**ZONING DISTRICT:** Central Business District - General (CBD)

**EXISTING LAND USE:** House of worship and rectory

**PROPOSED LAND USE:** 41 workforce housing units, 6 market rate housing units, office space and retail space

**SURROUNDING LAND USE:** Commercial retail, offices, and all types of residential development

**ZBA ACTION:** None

**PERMITS REQUIRED:**

- Conditional Use Permits for reduced parking and CBD standards for side setback, lot coverage and residential on the first floor.

**WAIVERS REQUESTED:**

- Waiver to Chapter 149-14-C-1, the requirement for porous sidewalks
- Waiver to Chapter 149-14-D-5-f, the requirement to document the investigation of pervious parking lots

**ATTACHMENTS:** Members should bring the material from the 8/26/14 meeting

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for the 8/26/14 meeting

**Summary of Request and Background**

The applicant has applied for a Conditional Use Permit for relief from the minimum building coverage requirement and side property build to line. The proposed building coverage is 40 percent and the northern side of the building fronting on Central Avenue is 78.3 feet from the side property line and the Park Street building is 32.5 feet from the side property line.

The applicant appeared before the Technical Review Committee on June 25, 2014 and July 7, 2014. The Planning Board accepted the application on 8/26/14 and tabled the application and a site walk was held on 9/11/14.

**Consistency with Land Use Regulations**

Chapter 170-20-B and Chapter 170-20-D(2) provides for conditional use approval for relief from the CBD standards. In the General CBD, the building is required to cover a minimum of 75% of the lot and be no further than 24 feet from a side property line.

**STAFF RECOMMENDATION:**

The applicant has submitted a letter dated August 21, 2014 that includes justification for the request.

The existing lot coverage of the combined lots is only 16 percent. The applicant has added a second building on the Park Street portion of the parcel and expanded the footprint of the Central Avenue building to improve the lot coverage from earlier plans submitted at the first TRC. The 40 percent coverage is more than the coverage approved for the First Street project and proposed by Joe Allis on Washington Street, but less than the police station/parking garage and Centrix Bank projects (see table of lot coverage comparisons). Given the unusually large size of the lot in comparison with other CBD lots and the fact that from the Central Avenue side it will appear that the lot is mostly occupied, staff supports the request.

For the side setback, staff supports the request due to need to have adequate site access driveways onto Central Avenue and Park Street.

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

**Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The Site Plan (P14-34) for the property must be approved.
2. A formal agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-33

Application Type: Conditional Use Permit for Reduced Parking  
Applicant: The Housing Partnership  
Owner: Roman Catholic Bishop of Manchester, NH  
Location: 577 Central Avenue (Assessor's Map 27, Lots 2, 3, 4 & 15)

**INTENT:** To obtain a Conditional Use Permit to allow for a reduction in the number of required parking spaces from 148 to 72 based on the proposed 47 housing units, 6,500 square feet of office space, 3,000 square feet of retail space and a 48 student head start.

**LOTS/UNITS PROPOSED:** 47 dwelling units and 14,018 sq. ft. of office and retail space

**AGENDA ITEM #:** 3-C

**ACREAGE:** 1.8 Acres

**ZONING DISTRICT:** Central Business District - General (CBD)

**EXISTING LAND USE:** House of worship and rectory

**PROPOSED LAND USE:** 41 workforce housing units, 6 market rate housing units, office space and retail space

**SURROUNDING LAND USE:** Commercial retail, offices, and all types of residential development

**ZBA ACTION:** None

**PERMITS REQUIRED:**

- Conditional Use Permits for reduced parking and CBD standards for side setback, lot coverage and residential on the first floor.

**WAIVERS REQUESTED:**

- Waiver to Chapter 149-14-C-1, the requirement for porous sidewalks
- Waiver to Chapter 149-14-D-5-f, the requirement to document the investigation of pervious parking lots

**ATTACHMENTS:** Letter from Ambit Engineering dated 9/17/14

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for the 8/26/14 meeting

**Summary of Request and Background**

The applicant has applied for a Conditional Use Permit per Chapter 170-44-I, to reduce the number of parking spaces from 148 to 72.

**Consistency with Land Use Regulations**

The Off-Street Parking and Loading ordinance provides for a Conditional Use Permit to allow a reduction in the number of required parking spaces provided the applicant submits an analysis justifying the request.

The applicant has submitted letters dated August 21, 2014 and September 17, 2014 that includes justification for the request.

The Planning Board accepted the application on 8/26/14 and tabled the application and a site walk was held on 9/11/14.

The site plan includes a total of 72 parking spaces, while 148 spaces are required. If the same ratio approved for the Woodbury Mills project was used, the number of spaces would be 67 spaces for 47 units. Another factor is that the non-residential and residential uses will be able to share the parking because the peak demands would be at different times. There is also on-street parking on the adjacent streets that will help with parking for visitors and the customers visiting the non-residential users.

**STAFF RECOMMENDATION:**

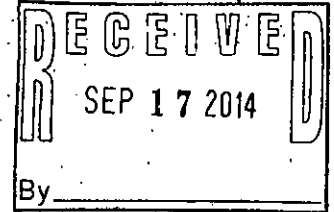
The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

**Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The Site Plan (P14-34) for the property must be approved.
2. The applicant shall agree that none of the vehicles used for the businesses occupying the non-residential portion of the building will park on the lot overnight.
3. A formal agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds.



**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS  
 200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315



17 September, 2014

Mr. Dennis Ciotti, Chair  
 Dover Planning Board  
 288 Central Avenue  
 Dover, NH 03820

**RE: Site Plan Review, Bradley Commons, 577 Central Avenue; Conditional Use Permit Applications for Off Street Parking and Loading (Reduced Parking) and Residential Use on the First Floor: P14 - 33 & P14 - 51**

Dear Mr. Ciotti and Planning Board Members:

We hereby submit for consideration, on behalf of The Housing Partnership, the attached additional information and exhibits for Conditional Use Permit Applications P14 - 33 and P14 - 51 at the above-mentioned site.

**Conditional Use Permit for Reduced Parking (P14 - 33)**

The submitted Site Plans show the redevelopment of the property from an existing Church and Rectory to a Multi-Use Development. The Conditional Use application requests a reduction of proposed parking spaces from the calculated requirement of 148 spaces (at two spaces per unit) to 72 spaces. Part of the rationale for this reduction is the concept of shared parking use. The site has a residential as well as a commercial component. The City recognizes shared use and the Dover Ordinance states that "Calculations for parking reduction shall be consistent with nationally accepted parking publications such as Shared Parking (Urban Land Institute, Washington, DC, 1990)". The following calculation applies the parking space requirements from the referenced publication to the Bradley Commons site based on parking requirements at mid-day (noon). Residential parking is based on one space per unit. Results are in number of required spaces:

Use	% of Peak Demand	Peak Demand	Required Spaces (mid-day)
Retail	75%	12	9
Office	100%	20	20
Residential	60%	67	40
Head Start (Employees)	100%	6	6
<b>TOTAL REQUIRED</b>			<b>75</b>

The parking provided for this site is 72 spaces. Given that this site is in the urban core of Dover with parking available on street the parking provided is consistent with the requirements under the shared use parking guidelines.

The survey data of comparable workforce housing developments elsewhere in the region (submitted with initial application and reviewed/discussed by Attorney Wyskiel at the August 26 Public Hearing) offer evidence of minimum daytime demand for parking by residential tenants. This further supports shared daytime (commercial) parking with evening and overnight (residential) parking use.

THP's abutting Woodbury Mills residential complex is currently fully leased at less than one car per unit. The site's 60 parking spaces for 42 units thus provide surplus parking. THP expects similar residential parking demand at Bradley Commons, further supporting its CUP application.

**Conditional Use Permit (Residential Use on the First Floor) (P14 – 51)**

The Conditional Use application requests that a portion of the ground floor of both buildings be utilized for residential purposes. In particular there are three residential units proposed for the rear of the Central Avenue building. We believe that the proposed building placement and form are consistent with the existing forms in the neighborhood and reflects the adjacent uses. The building, in fact, mimics the existing church structure at this location. The use of this section of the building also matches the use of the adjacent properties and the abutting neighborhood. Attached is an exhibit which shows the use of the adjacent properties. All adjacent properties are multi-family. The subject property was added, in its entirety, to the Central Business District. The exhibit shows the adjacent zoning, with a line extending that zone (as it is applied to the abutting properties) through the Bradley Commons site. The plan shows that two (out of three) of the proposed first floor residential units would fall into this "zone". This enhances our position that the limited use of the first floor for residential units in the rear of the building is consistent with the adjacent neighborhood.

We are available to meet with you or City Staff prior to the meeting should you have any questions or concerns. We look forward to the Planning Board's input as the application works through the approval process.

Sincerely,

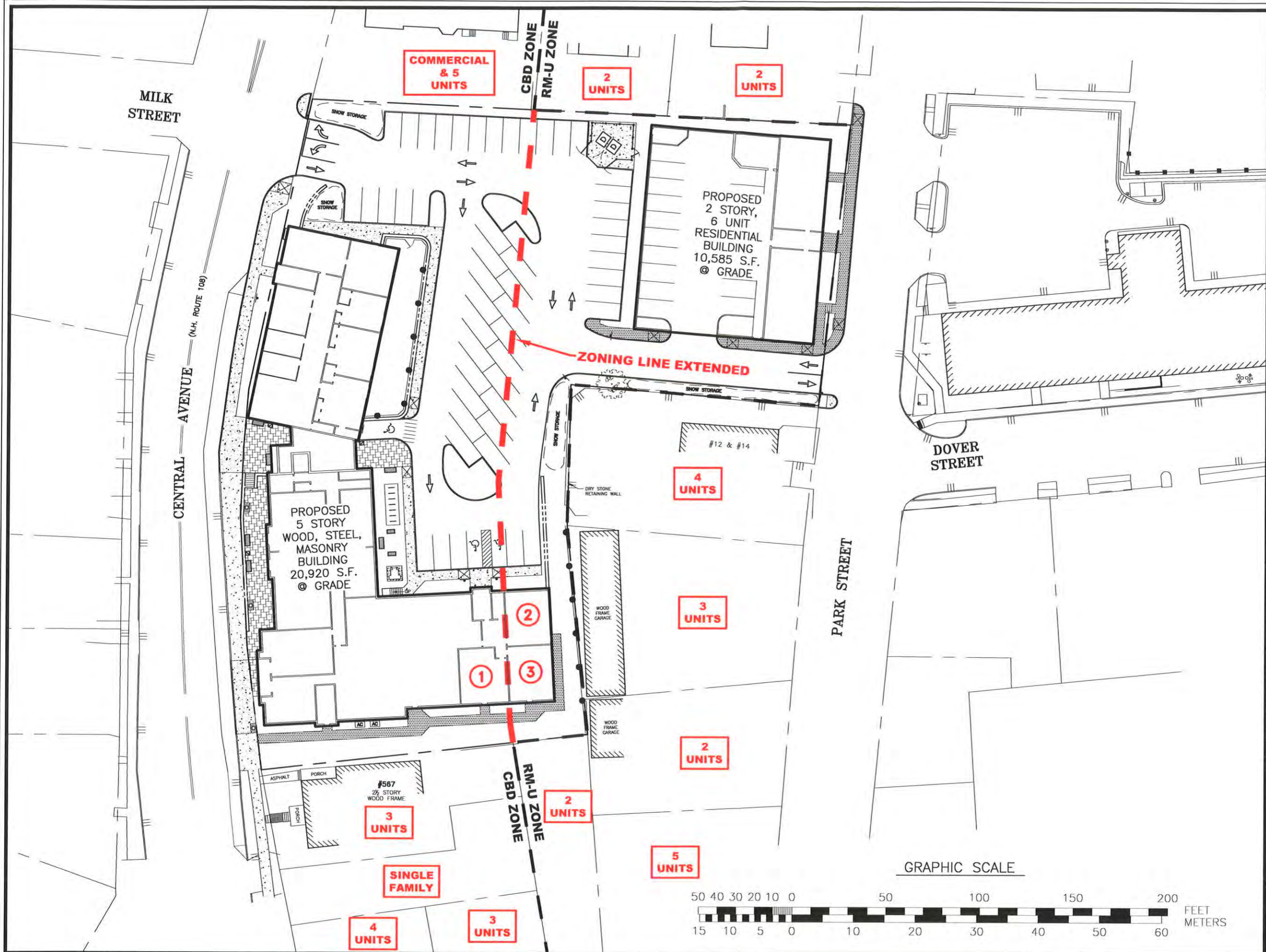


John R. Chagnon, PE, LLS

Attachments:  
Zoning Exhibit



**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315



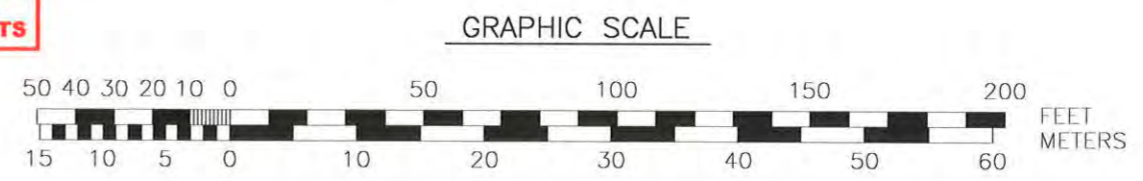
**MIXED USE  
 REDEVELOPMENT  
 BRADLEY COMMONS  
 577 CENTRAL AVENUE  
 DOVER, NEW HAMPSHIRE**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	9/16/14
REVISIONS		



SCALE: 1" = 50' SEPTEMBER 2014

**ZONING EXHIBIT** **C1**



J:\J0852\JN2300s\JN 2300s\JN2305\2014 - Site plan Revision\Plans & Specs\Site\2305 Site Plan 02.dwg, C1 ZONING EXHIBIT



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-51

Application Type: Conditional Use Permit for CBD Regulations  
Applicant: The Housing Partnership  
Owner: Roman Catholic Bishop of Manchester, NH  
Location: 577 Central Avenue (Assessor's Map 27, Lots 2, 3, 4 & 15)

**INTENT:** To obtain a Conditional Use Permit to seek relief, per Chapter 170-20-B, to the Central Business District requirement that residential uses must be located on the second floor or higher.

**LOTS/UNITS PROPOSED:** 47 dwelling units and 14,018 square feet of office and retail space

**AGENDA ITEM #:** 3-D

**ACREAGE:** 1.8 Acres

**ZONING DISTRICT:** Central Business District - General (CBD)

**EXISTING LAND USE:** House of worship and rectory

**PROPOSED LAND USE:** 41 workforce housing units, 6 market rate housing units, office space and retail space

**SURROUNDING LAND USE:** Commercial retail, offices, and all types of residential development

**ZBA ACTION:** None

**PERMITS REQUIRED:**

- Conditional Use Permits for reduced parking and CBD standards for side setback, lot coverage and residential on the first floor.

**WAIVERS REQUESTED:**

- Waiver to Chapter 149-14-C-1, the requirement for porous sidewalks
- Waiver to Chapter 149-14-D-5-f, the requirement to document the investigation of pervious parking lots

**ATTACHMENTS:** Letter and sketch from Ambit Engineering dated 9/17/14

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for the 8/26/14 meeting

**Summary of Request and Background**

The applicant has applied for a Conditional Use Permit for relief from the requirement that residential uses must be located on the second floor or higher.

The applicant appeared before the Technical Review Committee on June 25, 2014 and July 7, 2014.

The Planning Board accepted the application on 8/26/14 and tabled the application and a site walk was held on 9/11/14.

**Consistency with Land Use Regulations**

Chapter 170-20-B provides for conditional use approval for relief from the CBD standards. In the General CBD, the ground floor for new construction can only be used for non-residential uses. Both buildings proposed have residential units on the first floor of the buildings – 3 units in the back of the Central Avenue building and 2 units in the Park Street building.

**STAFF RECOMMENDATION:**

The Planning Department supports this request because the three units in the Central Avenue building are in the rear of the building and will not be seen from the street and the Park Street building is surrounded by residential buildings of a similar nature so it is more compatible with the neighborhood.

The Planning Department recommends the Planning Board approve the Conditional Use Permit application with the following conditions:

**Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The Site Plan (P14-34) for the property must be approved.
2. A formal agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-34

Application Type: Site Plan Review  
Applicant: The Housing Partnership  
Owner: Roman Catholic Bishop of Manchester, NH  
Location: 577 Central Avenue (Assessor's Map 27, Lots 2, 3, 4 & 15)

**INTENT:** Site plan to construct one mixed use 4-story building (60,918 sq. ft.) with 41 residential units and 14,018 sq. ft. of commercial space and one 21,170 sq. ft. 2-story building with 6 residential units and 72 parking spaces.

**LOTS/UNITS PROPOSED:** 47 dwelling units and 14,018 square feet of office and retail space

**AGENDA ITEM #:** 3-E

**ACREAGE:** 1.8 Acres

**ZONING DISTRICT:** Central Business District - General (CBD)

**EXISTING LAND USE:** House of worship and rectory

**PROPOSED LAND USE:** 41 workforce housing units, 6 market rate housing units, office space and retail space

**SURROUNDING LAND USE:** Commercial retail, offices, and all types of residential development

**ZBA ACTION:** None

**PERMITS REQUIRED:**

- Conditional Use Permits for reduced parking and CBD standards for side setback, lot coverage and residential on the first floor.

**WAIVERS REQUESTED:**

- Waiver to Chapter 149-14-C-1, the requirement for porous sidewalks
- Waiver to Chapter 149-14-D-5-f, the requirement to document the investigation of pervious parking lots

**ATTACHMENTS:** Members should bring the material from the 8/26/14 meeting

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for the 8/26/14 meeting

**Summary of Request and Background**

The applicant proposes to construct a 60,918 sq. ft. building with 41 workforce rental housing units and 14,018 sq. ft. of commercial space and one 21,170 sq. ft. 2-story building with 6 residential units.

The applicant appeared before the Technical Review Committee on June 25, 2014 and July 7, 2014.

The Planning Board accepted the application on 8/26/14 and tabled the application and a site walk was held on 9/11/14.

**Consistency with Land Use Regulations**

This project is located in the Central Business District (CBD) - General, which encourages a wide array of retail and commercial activity. Residential activity is encouraged on the upper floors of buildings. New construction should follow the pattern of existing development in terms of building placement, building height, and use of durable construction materials. Public spaces are encouraged.

**Waiver Requests**

The applicant is requesting two waivers and has submitted a letter dated June 12, 2014 that includes the justification for the requests.

For the porous sidewalk waiver and the porous parking lot waiver, staff supports the requests due to the shallow depth to ledge and low infiltration capacity of the soils on the lot based on geotechnical investigations by the applicant. The proposed storm water systems will provide for infiltration into a bed of sand installed under the unit.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the application with the following conditions:

**Conditions to Be Met Prior to Signing of Plans:**

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.
3. The approval includes the granting of the waivers requested for the reasons stated by the applicant and staff. The Board finds that the criteria of Chapter 149-19.A have been met.
4. The applicant shall have the Stormwater Management Maintenance and Inspection Plan approved by the Community Services Department.
5. The applicant shall have the Drainage Analysis reviewed and approved by the City Engineer.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-34

Application Type: Site Plan Review  
Applicant: The Housing Partnership  
Owner: Roman Catholic Bishop of Manchester, NH  
Location: 577 Central Avenue (Assessor's Map 27, Lots 2, 3, 4 & 15)

6. The applicant shall complete a Lot Merger Form and have it recorded at the Strafford County Registry of Deeds.
7. The applicant shall revise the Fiscal Impact Analysis based on the most recent development plan.
8. The applicant shall pay for the peer review of the traffic analysis conducted by a traffic consultant chosen by the City.
9. A development agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds. The agreement shall include the following items:
  - a. The conditions of approval.
  - b. A tax guarantee for the phase II building to be located on Park Street, if said building is not completed within 5 years. The value of the guarantee shall be negotiated with the Director of Planning and Community Development.
  - c. All requirements for the conditional use permits.
  - d. Any traffic improvements suggested as part of the traffic analysis peer review.
10. The applicant shall revise the plan to change 5 story to 4 story on all sheets.
11. The applicant shall revise the plan to add a note requiring that snow will be removed from the site if necessary.
12. Any new building shall be assessed the current water/sewer investment fees in place at the time of application for water/sewer service.
13. Any new building shall pay the current impact fees in place at the time of building permit application, with credit given for the existing building.
14. Any new building shall be assessed the current water/sewer investment fees in place at the time of application for water/sewer service.
15. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.

### **Conditions to Be Met Prior to Issuance of a Certificate of Occupancy:**

### **Conditions to Be Met Prior to Any Construction Activity:**

12. Construction hours shall be limited to Monday-Friday 7 AM-6 PM, Saturday 8 AM-5 PM, with no Sunday hours. Hours of construction shall be documented on a site construction sign along with the contact information for the general contractor. Said signage shall be located and approved by the City Engineer or Director of Planning and Community Development.

### **Conditions to Be Met Prior to Issuance of a Building Permit:**

13. Any new building shall pay the current impact fees in place at the time of building permit application, with credit given for the existing building.



CITY OF DOVER

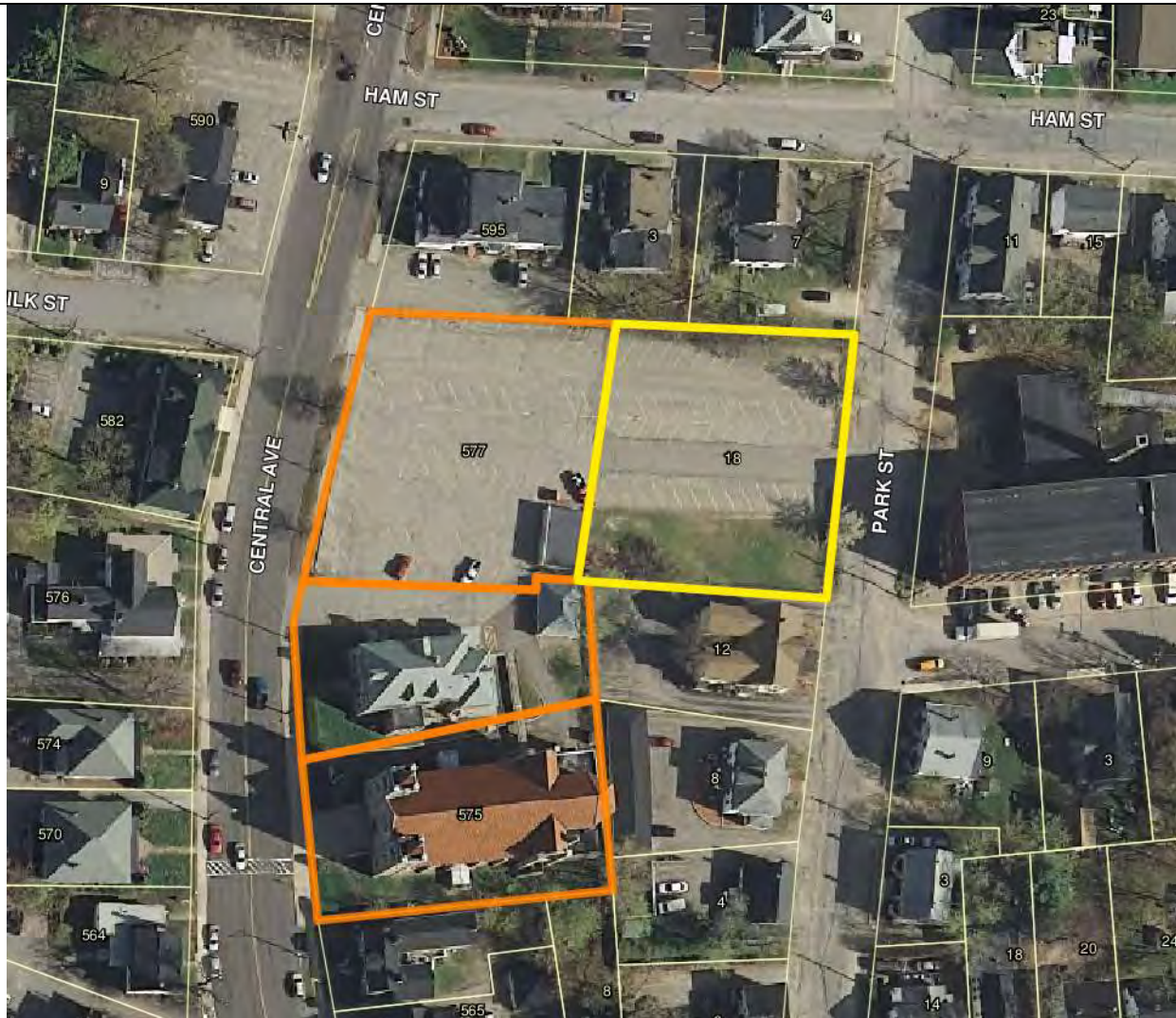
# PLANNING BOARD - STAFF MEMO FILE #P14-34

Application Type: Site Plan Review  
 Applicant: The Housing Partnership  
 Owner: Roman Catholic Bishop of Manchester, NH  
 Location: 577 Central Avenue (Assessor's Map 27, Lots 2, 3, 4 & 15)

## BELOW IS A STREET VIEW OF 577 CENTRAL AVENUE



## BELOW IS AN AERIAL VIEW OF 577 CENTRAL AVENUE



# Memo

From the Desk of

Allan Krans

June 24, 2014

Christopher Parker  
Planning Director  
City of Dover  
288 Central Avenue  
Dover, New Hampshire 03820

Re: Subsidized Housing—affordable housing—workforce housing—public housing

Dear Christopher:

Thank you for providing a question from Gary Green regarding *subsidized* and workforce housing in Dover.

The question from Mr. Green is:

**“I have heard that there have been other developments in the past that started as work force housing programs and ended up as subsidized housing. Some of the ones that have been mentioned are Addison Place, Mineral Park, New Redden Gardens, Rutland Manor, Westgate Village and Whittier Park.**

**Could we ask Allan Krans as director of the Dover Housing Authority advise us what percentage of any of the above listed properties is being occupied by subsidized housing?**

**Workforce housing seems to be a questionable working model given the income qualification that is involved, and some seem to question how much market there is for this type of development in Dover.”**

**ANSWER:** The Dover Housing Authority (DHA) owns Addison Place, Mineral Park and Whittier Park. These properties are rented to families who qualify for subsidized housing. (The DHA also owns and manages senior citizen/disabled citizen properties consisting of Waldron Towers, Central Towers, St. John’s, Niles, Union Court, Bois Terrace, Covered Bridge and 29 Union Street.) In addition, the DHA issues 347 Housing Choice Vouchers (HCV), also known as Section 8 vouchers. The DHA does not own New Redden Gardens, Rutland Manor or Westgate Village. **The simple answer to Mr. Green’s question—100% of the DHA housing is subsidized, 100% of the DHA housing is affordable and 100% is workforce housing.**

The DHA deals with 3 types of subsidized housing:

# Memo

From the Desk of

Allan Krans

- Public Housing
- Tax Credit housing
- Housing Choice Vouchers (Section 8)

**Public Housing for Families.** Mineral Park and Whittier Park family public housing units (184 apartments) are located off Whittier Street. These units were constructed in the 1950's and 1960's. These units are *subsidized* public housing. They are regulated by the Housing and Urban Development (HUD) department of the federal government. It is common for residents to be employed in the workforce. The family income of families housed in these units are commonly in the 30% or below of median income. (The median income for a household in Dover is \$84,000.) These units started as public housing subsidized by the federal government and they remain as public housing.

**Tax Credit Housing for Families.** Addison Place (45 apartments) is a tax credit property located on Whittier Street. The complex was constructed in the 1990's. These units are managed by regulations promulgated by the Internal Revenue Service. It is common for residents to be employed in the workforce. The family income of families housed are 40-60% of median income. These units may be rented by a resident who has been issued a voucher under the Section 8 program if the owner participates in the HCV program. Addison units started as subsidized and they remain subsidized. Section 8 vouchers have been accepted in about ½ of the units. We do not anticipate a higher percentage.

**Housing Choice Voucher (HCV) housing (Section 8).** The HCV program is a partnership between the public and private sectors. It is *subsidized* housing since part of the rent paid to private landlords comes from the federal government. The program is regulated by HUD. It is common for residents to be employed in the workforce. The income limits are based on household size—for example the 2014 income limit for a 4 person family who is housed using a Section 8 voucher in Dover is \$44,050 per year. For the sake of comparison, this is approximately 50% of the median income in Dover.

**SUMMARY STATEMENT:** All 3 types of housing, Public, Tax Credit and HCV involve people commonly in the workforce who are housed in apartments described as “affordable”, “subsidized” and “workforce”. A key to understanding the difference among these federally subsidized programs is the different income levels of the people qualifying for these programs. Using words like “affordable”, “workforce” and “subsidized” can be useful. However understanding the limits on household income for each type of housing program (public, tax credit and HCV) may be more useful than using general descriptors. Income levels of public

**Memo**

*From the Desk of*

**AllanKrans**

housing residents are generally the lowest, the income levels of tax credit property residents are generally the highest (of the 3 types of subsidized housing) and income levels of HCV voucher holders are in between.

I hope I have been helpful. Let me know if you have questions.

Sincerely,

Allan B. Krans  
Executive Director

**Parker, Christopher G.**

P14-34

**From:** Marty Chapman <marty@housingpartnership.org>  
**Sent:** Wednesday, September 17, 2014 10:34 AM  
**To:** Parker, Christopher G.  
**Subject:** Response to RFI re: 577 Central Avenue

Chris,

I'm following up on Steve Bird's request, on behalf of Planning Board Member Frank Torr, for information regarding the New Hampshire Department of Historical Resources ("DHR") role in the redevelopment of the St. Charles Parish property at 577 Central Avenue. As you know, The Housing Partnership ("THP") has Conditional Use Permit and Site Plan Review applications pending before the board for the site.

DHR represents HUD in the evaluation of outcomes when a developer intends to use federal funds to alter a New Hampshire property with potential historical significance. Because THP has applied for federal funding as a piece of our financing package for the St. Charles site, our development plan is subject to a formal review process by DHR.

The review process consists of several steps, culminating in a Memorandum of Understanding ("MOU") with DHR that commits the developer to certain actions as part of its redevelopment strategy. In cases where demolition of historic structures is proposed, the actions required by the MOU may include, for example, the placement of permanent features - such as informational displays and/or artifacts preserved from the property - which are accessible to the public and serve to commemorate the historic use(s) of the site.

THP is currently waiting for a formal response from DHR confirming its finding that the proposed demolition of historic structures at St. Charles will require a mitigation plan in the manner described above. Upon receipt of the letter, THP will schedule a public meeting to solicit input on commemorative installations at the site.

Please let me know if you need further information.

Best regards,

Marty`

**Marty Chapman**  
Executive Director  
The Housing Partnership  
PO Box 466  
767 Islington Street  
Portsmouth, NH 03802  
p: (603) 766-3125  
f: (603) 431-3627  
c: (978) 761-3152  
[housingpartnership.org](http://housingpartnership.org)



CITY OF DOVER

CITY OF DOVER – ORDINANCE

Posted \_\_\_\_\_, 2014
Adopted \_\_\_\_\_, 2014

Ordinance Number: O – 2014. \_\_\_\_
Ordinance Title: Updating the Dover Zoning Ordinance
Chapter: 170

The City of Dover Ordains:

1. PURPOSE

The purpose of this ordinance is to amend Chapter 170 of the Code of the City of Dover, entitled Zoning, by updating the Code to create a new zoning district for one of the City’s oldest residential neighborhoods which has a unique architectural heritage. The regulations are tailored to provide dimensional and use regulations that are consistent with the neighborhood’s existing conditions, and to provide design standards for new construction to support the neighborhood’s heritage.

2. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising the official Zoning Map of the City of Dover, referred to in Section 170-8 of said Chapter as follows:

“The official Zoning Map of the City of Dover, New Hampshire, dated December 9, 2009, is amended by changing from Urban Density Multi-Residential (RM-U) District to Heritage Residential (HR) District an area of approximately 70.9 acres located along Silver Street, Summer Street, Fisher Street, Elm Street, Locust Street, Spring Street, Trakey Street, Hamilton Street, Belknap Street, Cushing Street, Lexington Street, West Concord Street, Richmond Street, Washington Street, and Trask Drive, consisting of lots 10-22, 10-23, 10-24, 10-25, 10-26, 10-27, 10-28, 10-29, 10-29A, 10-30, 10-31, 10-32, 10-33, 10-35, 10-35A, 10-36, 10-37, 10-38, 10-39, 10-57, 10-58, 10-59, 10-60, 10-78, 10-79, 10-80, 10-81, 10-82, 10-83, 10-84, 10-85, 10-86, 10-86A, 10-87, 10-88, 10-104, 10-105, 10-106, 10-107, 10-108, 10-109, 10-110, 10-111, 10-112, 10-113, 10-114, 10-115, 10-116, 10-117, 10-118, 10-118A, 10-119, 10-120, 10-121, 10-122, 10-123, 10-124, 10-125, 10-126, 10-127, 10-128, 10-129, 10-130, 10-131, 10-132, 10-133, 10-134, 10-135, 10-136, 10-137, 10-138, 10-139, 10-140, 10-141, 10-142, 10-143, 10-144, 10-145, 10-146, 10-147, 10-147A, 10-148, 10-149, 10-149A, 10-150, 10-158, 10-159, 10-160, 10-165, 10-166, 10-167, 10-168, 10-169, 10-169A, 10-170, 10-172, 10-173, 10-174, 10-175, 10-176, 10-177, 10-178, 10-179, 10-180, 11-5, 11-6, 11-7, 11-8, 12-7, 12-8, 12-9, 12-10, 12-11, 12-12, 12-13, 12-14, 12-15, 12-16, 12-17, 12-17A, 12-18, 12-19, 12-22, 12-23, 12-24, 12-31, 12-32, 12-33, 12-35, 12-36, 12-37, 12-38, 12-39, 12-40, 12-41, 12-42, 12-43, 12-44, 12-45, 12-46, 12-47, 12-48, 12-49, 12-50, 12-51, 12-52, 12-53, 12-54, 12-55, 12-56, 12-57, 12-58, 12-59, 12-60, 12-61, 12-62, 12-63, 12-64, 12-65, 12-66, 12-67, 12-68, 12-69, 12-70, 12-71, 12-72, 12-73, 12-74, 12-75, 12-76, 12-77, 12-78, 12-79, 12-80, 12-82, 12-83, 12-84, 12-84A, 12-85, 12-86, 12-87, 12-88, 12-89, 12-89A, 12-90, 12-91, 12-92, 12-93, 12-94, 12-95, 12-96, 12-97, 12-98, 12-99, 12-100, 12-101, 12-102, 12-103, 12-104, 12-105, 12-106, 12-107, 12-108, 12-108A, 12-109, 12-110, 12-111, 12-



CITY OF DOVER

CITY OF DOVER – ORDINANCE

Posted \_\_\_\_\_, 2014
Adopted \_\_\_\_\_, 2014

Ordinance Number: O – 2014, \_\_\_\_
Ordinance Title: Updating the Dover Zoning Ordinance
Chapter: 170

112, 12-112A, 12-112B, 12-113, 12-114, 12-114A, 12-115, 12-116, 12-117, 12-118, 12-119, 12-120, 12-121, 12-122, 12-123, 12-124, 12-125, 15-40A\*, 15-44, 15-45, 15-46, 15-46A, 15-47, 15-48, 15-49, 15-50, 15-51\*, 15-52, 15-108, 15-109, and 15-110”

\* = only that portion of the lot within the RM-U District will be affected.

AND

“The official Zoning Map of the City of Dover, New Hampshire, dated December 9, 2009, is amended by changing from Medium Density Residential (R-12) District to Heritage Residential (HR) District an area of approximately 22.1 acres located along Silver Street, Towle Avenue, Clifford Street, Fisher Street, Parker Street, Woodman Park Drive, Rutland Street, and West Concord Street, consisting of lots 10-161, 12-127, 12-128, 12-129, 12-130, 12-130A, 12-131, 12-131A, 12-132, 12-133, 12-134, 12-135, 12-136, 12-137, 12-138, 12-139, 12-140, 12-140A, 12-140B, 12-141, 12-141A, 12-141B, 12-141C, 12-142, 12-143, 12-144, 12-144A, 12-145, 12-146, 12-147, 12-147A, 12-148, 12-149, 12-151, 12-152, 12-153, 12-154, 12-155, 12-156, 12-157, 12-158, 12-159, 12-160, 13-1, 13-2, 13-3, 13-30, 13-31, 13-32, 13-33, and 13-3A.”

3. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-7 “Establishment of Districts”, subsection A. “Districts”, by adding “Heritage Residential District (HR)” to the list of Residential Districts.

AND

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-7 “Establishment of Districts”, by revising subsection B. “District Purpose Statements,” subsection (1) “Residential Districts”, by adding the following new subsection:

(f) Heritage Residential District (HR)

These primarily residential neighborhoods surrounding the Silver Street area exhibit a rare collection of interesting architecture. While primarily Victorian and characterized by wide porches, bay windows, steep roofs, and intricate and involved woodwork, there are noteworthy Colonial buildings as well. In both instances their original occupants were likely community leaders, whether early tavern keepers, or later senior managers and foremen from the mill facilities that lined the Cochecho River, as well as other community professionals.



**CITY OF DOVER**

# CITY OF DOVER – ORDINANCE

Posted \_\_\_\_\_, 2014  
Adopted \_\_\_\_\_, 2014

Ordinance Number: **O – 2014.\_\_\_\_**  
Ordinance Title: **Updating the Dover Zoning Ordinance**  
Chapter: **170**

The common theme through all of these designs is both the massing and the placement of these structures in a manner that is compatible with what had gone before. It is the intent that in this district new construction, replacement construction, and new additions should continue that tradition of compatibility with the existing neighborhood.

#### 4. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-12 “Applicability of Tables of Use and Dimensional Regulations By District”, by adding a new Heritage Residential District Table that reads as follows:

[SEE TABLE AT END OF DOCUMENT]

#### 5. TAKES EFFECT

This ordinance shall take effect upon passage and publication of notice as required by RSA 47:18.

### AUTHORIZATION

Approved as to Funding:	Daniel R. Lynch Finance Director	Sponsored by:	Councilor William Garrison City Council Planning Board Representative, and Councilor Deborah Thibodeaux
Approved as to Legal Form:	Anthony Blenkinsop City Attorney		
Recorded by:	Karen Lavertu City Clerk		

### DOCUMENT HISTORY:

First Reading Date:	Public Hearing Date:
Approved Date:	Effective Date:

### DOCUMENT ACTIONS:

VOTING RECORD		
Date of Vote:	YES	NO
Mayor Karen Weston		



CITY OF DOVER

CITY OF DOVER – ORDINANCE

Posted \_\_\_\_\_, 2014
Adopted \_\_\_\_\_, 2014

Ordinance Number: O – 2014. \_\_. \_\_
Ordinance Title: Updating the Dover Zoning Ordinance
Chapter: 170

Table with 3 columns and 10 rows. Rows include Deputy Mayor Robert Carrier, Councilors John O'Connor, William Garrison, Deborah Thibodeaux, Dorothea Hooper, Catherine Cheney, Jason Gagnon, and Anthony MacManus. Last row: Resolution does | does not pass.

ORDINANCE BACKGROUND MATERIAL:

The City of Dover was awarded \$10,000 by New Hampshire Housing through a competitive grant process to examine the zoning regulations for the residential neighborhoods surrounding Silver Street. The project was an offshoot of the 2013 Gateway Rezoning Study which resulted in the rezoning of portions of Broadway, Portland Avenue, and Central Avenue to the Central Business District. As part of the Gateway Rezoning Study, the Planning Board considered rezoning Silver Street, however, residents at the public hearing on the amendments expressed concern that this would detract from the residential character of Silver Street, rather than enhancing it. Instead, it was suggested that the City take a broader view and examine not just the zoning along Silver Street, but to also consider the surrounding neighborhoods.

Based on this feedback, the Planning Department and the City's consultant, Jeffrey H. Taylor and Associates, worked over the course of several months to identify the areas around Silver Street which share a common heritage and which could benefit from a single zoning district designed to support and enhance their character. Based on data obtained from on the ground inventories, staff prepared draft zoning regulations specifically tailored for these neighborhoods. In order to engage residents and property owners in the preparation of the draft regulations, staff undertook substantial public outreach including mailings to all residents and business owners within the study area, and conducted three neighborhood meetings in April, June, and July to review and revise the draft zoning regulations and to develop consensus.



### Permitted Uses\*\*\*

- ACCESSORY DWELLING UNIT
- ADULT DAY CARE
- CHILD CARE HOME
- Conversion of Existing Dwelling to Accommodate not more than 2 units [5]
- CUSTOMARY HOME OCCUPATION
- Dwelling, 2 Family [5]
- DWELLING, SINGLE FAMILY
- FARM ANIMALS FOR FAMILY USE, for non-commercial purposes, on lots containing a one or two family dwelling [6]
- PUBLIC RECREATION
- Public Utility [7]
- ROADSIDE FARM STAND [8]

\*\*\*See reverse side for architectural standards.

### Uses Permitted by Conditional Use Permit\*\*\*

- BED AND BREAKFAST (permitted on Silver Street only)
- CHILD CARE FACILITY
- Conversion of Existing Dwelling to Accommodate not more than 4 units
- Dwelling, 3 to 4 Family
- ELDERLY ASSISTED CARE HOME
- GROUP HOME FOR MINORS
- OFFICE

\*\*\*See reverse side for architectural standards.

### Sign Regulations

Size	HR District
Total signs permitted	1
Total area permitted	8 sf (CUSTOMARY HOME OCCUPATION SIGN 2 sf max)
Type	
FREESTANDING	permitted (10 ft setback required)
PROJECTING	permitted
WALL/ Awning	not permitted
Temporary	not permitted

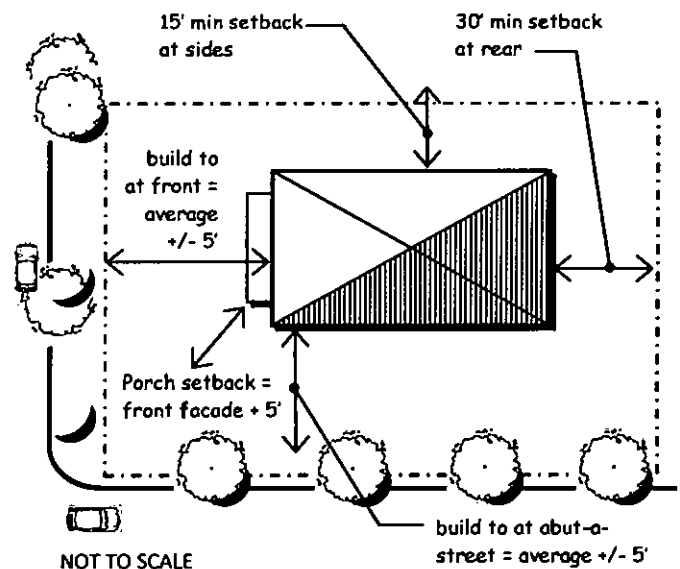
### Dimensional Regulations\* [1] [2]

LOT	
Minimum LOT Size	10,000 sf
Maximum LOT Coverage	40%
Minimum FRONTAGE	80 ft
PRINCIPAL BUILDING***	
Front BUILD TO LINE	[3]
Abut-a-Street SETBACK	[3]
Side SETBACK	15 ft
Rear SETBACK	30 ft
OUTBUILDING/ACCESSORY USE***	
Front SETBACK	[4]
Abut a Street SETBACK	[4]
Side SETBACK	10 ft
Rear SETBACK	10 ft
HEIGHT OF BUILDING	
PRINCIPAL BUILDING	24 ft min**, 40 ft max
OUTBUILDING	40 ft max

\*Deviations from these requirements are permitted by Conditional Use Permit, subject to the requirements of Section 170-20.B(1).

\*\*The minimum principal building height shall not apply to additions constructed onto the rear of the PRINCIPAL BUILDING, except that where the addition will be closer to either side lot line than the existing PRINCIPAL BUILDING, the addition shall be located no closer than 45 ft from the front lot line.

### Principal Building Placement





## Footnotes

- [1] Refer to 170-13 and 170-14 for exceptions to lot size, frontage and setback requirements.
- [2] All land containing wetlands shall not be counted in determining the gross land area of a lot for the purposes of minimum lot size or minimum density requirements for residential uses. The minimum non-wetland portion of any newly created lot shall be contiguous. For the purposes of this calculation, wetlands shall include areas that meet the definition of wetland in the NH Code of Administrative Rules – Wt. 101.87 and the 1987 Federal Manual For Identifying Jurisdictional Wetlands. Wetland buffers shall only be allowed to count for 40% of the min lot size required.
- [3] The property owner shall calculate the average front setbacks of all lots within the same zone located on the same side of the street, 250 feet in each direction from the center of the front lot line. This front setback dimension shall be considered to be a build to line. Structures may be constructed within five (5) feet plus or minus of the average. Porches or steps may be located an additional five (5) feet beyond the front façade of the structure.
- [4] Accessory structures must be setback at least 20 feet from the average front setback of all lots within the same zone located on the same side of the street, 250 feet in each direction from the center of the front lot line.
- [5] 2 family dwellings shall be designed to look like SINGLE FAMILY DWELLINGS (i.e. the 2 family dwelling should not look like it was designed to occupy more than one family). At a minimum, this shall mean that only one entrance shall be visible from a public street.
- [6] Use is allowed on the portion of the lot that is behind the principal structure, provided the following standards are met: Chickens: No more than six (6) chickens and no roosters, with three (3) square feet of chicken coop and twenty (20) square feet of a fenced enclosure yard per chicken; all coops and enclosures shall be twenty (20) feet from any property line. Sheep or goats: one animal per 10,000 square feet of lot area, with a maximum of six (6) animals; ten (10) square feet of shelter and thirty (30) square feet of a fenced enclosure yard per animal; all shelters and enclosures shall be thirty (30) feet from any property line.
- [7] The utility facility shall be appropriately fenced to protect the public. Landscaping materials shall be required to provide a visual screen from any structures and storage within.
- [8] ROADSIDE FARM STANDS shall be set back a minimum of twenty (20) feet from all abutting vehicular rights-of-way. The area of any BUILDING associated with the ROADSIDE FARM STAND shall not be greater than two hundred (200) square feet in area, and shall be considered an accessory structure if a residence is also located on the property. The total of the display area, including the building, shall not exceed four hundred (400) square feet. Off-street parking shall be provided in the amount of one (1) off-street parking space per 250 square feet of display and building area, and all required parking spaces shall have safe access to and from a public street. A certificate of use issued by the Zoning Administrator and a driveway permit shall be required in all cases.

## Architectural Standards

- A. Applicants for new construction and applicants for any use permitted by Conditional Use Permit shall demonstrate compliance with the *Heritage Residential District Architectural Design Guidelines*, available at the offices of the Department of Planning and Community Development and on-line on the City of Dover webpage. The *Guidelines* are not required for renovations of existing buildings, additions to existing buildings, or ACCESSORY STRUCTURES.
- B. Additions to existing buildings shall be designed and constructed in the same architectural style and with the same or similar exterior materials as the existing building and at a HEIGHT not taller than the existing building.
- C. New construction ACCESSORY STRUCTURES shall be designed and constructed in the same architectural style and with the same or similar exterior materials as the existing building and at a HEIGHT not taller than the existing building.
- D. Deviations from these requirements are permitted by Conditional Use Permit, and are subject to the requirements of Section 170-20.B(1).

## Conditional Use Permit Criteria

*The requirements of 170-20.B(2) and (3) shall apply to all uses permitted by Conditional Use Permit, in addition to the requirements set forth below.*

**CHILDE CARE FACILITY:** CHILD CARE FACILITIES shall be subject to the requirements set forth in the "CHILD CARE FACILITY" definition, Chapter 170-6.

**Conversion to, or creation of Dwelling, 3-4 Family:** Three- or four-family dwellings and conversions of existing dwellings to three (3) or four (4) units shall be subject to the following regulations:

- A. The specific site must have an amount of open space, either landscaped or left natural, at least equal to the average amount of open space on all developed lots in the HR District that are wholly or partly within two hundred (200) feet of the subject parcel. Existing parking areas, either gravel, paved or unpaved, shall not be considered to be open space.
- B. Off-street parking, in accordance with Chapter 149, Site Review, shall be provided as to avoid vehicles backing into the street. Two (2) parking spaces per unit shall be required.
- C. Parking lots shall be at least five (5) feet from a side property line and ten (10) feet from a front property line.
- D. Parking areas shall be screened from the street and from abutting lots.
- E. Structures shall be at least twenty (20) feet from a front property line, thirty (30) feet from a rear property line and fifteen (15) from a side property line unless abutting a street, in which case, the distance from the side property line shall be twenty (20) feet.
- F. For new construction, the building must be designed to look like a SINGLE FAMILY DWELLING. At a minimum, this shall mean that only one entrance shall be visible from a public street. For conversions, the building must retain its appearance as a SINGLE FAMILY DWELLING or a 2 family dwelling, whichever is the current use.

**ELDERLY ASSISTED CARE HOME:** ELDERLY ASSISTED CARE HOME is allowed in accordance with the densities and provisions stated below:

- A. ELDERLY ASSISTED CARE HOMES larger than 6 bedrooms are permitted at a density of one bedroom per 2,500 square feet
- B. Parking and service areas are screened from abutting residential uses.
- C. Notwithstanding the above requirements, the maximum number of bedrooms and residents allowed in a facility may be increased provided the increase is found not to be detrimental to the surrounding properties and conforms with parking standards in Chapter 170-44 (Off Street Parking). Furthermore, any increase to an existing structure must be contained within or contiguous to the original structure.

**GROUP HOME FOR MINORS:** GROUP HOME FOR MINORS shall be subject to the following conditions:

- A. The group home site shall be compatible with abutting uses.
- B. The group home shall be located in areas of transitional land use or mixed land uses.
- C. Parking and service areas shall be screened from abutting residential uses, unless the abutter chooses to not want said screening.
- D. Open space shall be maintained on the property in an amount comparable to the neighborhood.
- E. The planned occupancy of the group home shall be compatible with the permitted density of the surrounding neighborhood.
- F. Hours of operation shall be limited to 6 am to 9 pm Sunday – Thursday, and 6 am to 10 pm Friday and Saturday.

## CITY OF DOVER

### DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

#### Heritage Residential District Architectural Design Guidelines

The goal of the Heritage Residential District is to recognize, celebrate, and enhance the heritage of this area, in part by promoting architecture with a strong sense of place, fine detailing, quality materials, and designed with the site context and adjacent development in mind. To that end, the standards set forth below shall apply in the Heritage Residential District. Deviations from these standards are permitted by Conditional Use Permit.

##### A. General

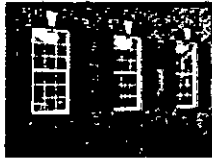
- (1) Applicants for new construction shall refer to the Dover Historic Preservation Guide (June, 1991) for examples of architecture and design that is fitting for the Heritage Residential District. This document is available for viewing on the Planning Department webpage and at the offices of the Planning Department and Inspection Services, and is intended to serve as a guide to help encourage and inspire thoughtful and attractive development.

##### B. Design Elements

- (1) A minimum of ten (10) of the twenty-six (26) design elements set forth in Appendix A shall be utilized for new construction.

##### C. Windows

- (1) Horizontal windows are not permitted on the front façade of the building.
- (2) Windows must be divided by multiple, vertical panes of glass.



##### D. Roof Design

- (1) Sloped roof structures must maintain a pitch between 9:12 minimum (not including mansard roofs, dormers, entry canopies or similar elements).
- (2) Buildings with sloped roofs shall provide roof overhangs between six (6) and eighteen (18) inches deep.

- (3) Sloped roofing is required unless a mansard style roof is provided.



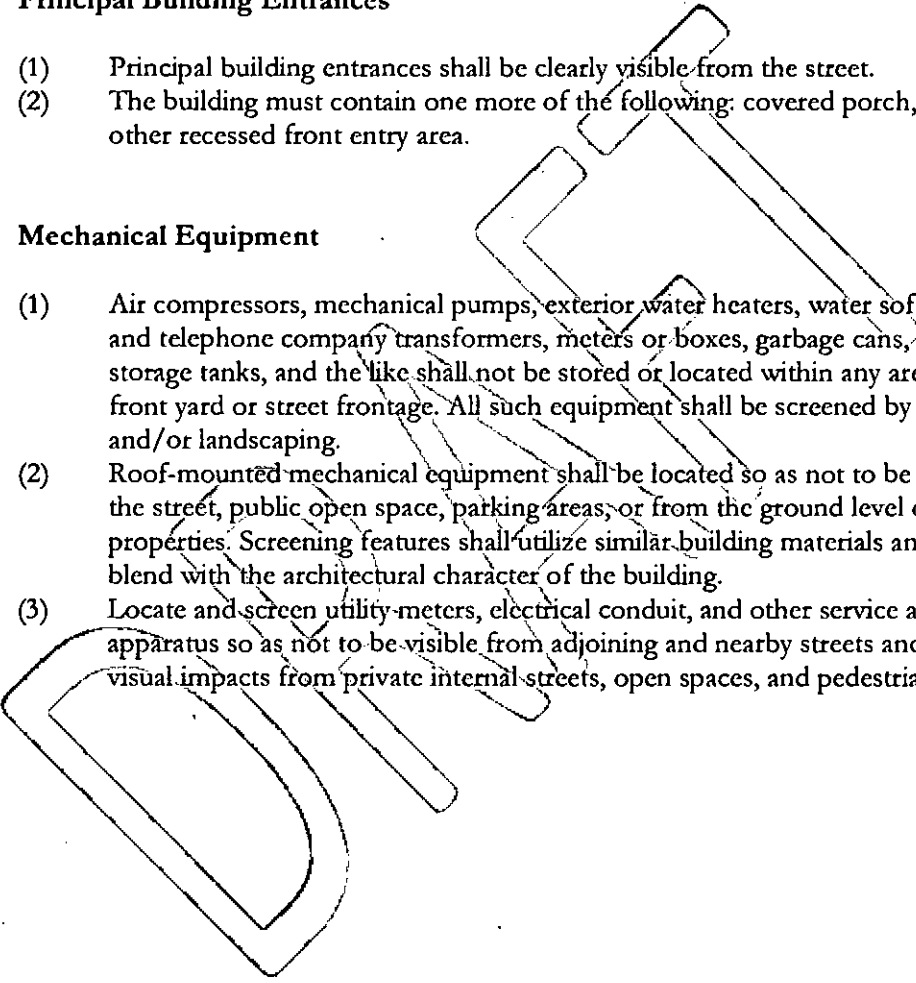
- (4) Skylights and roof vents are permitted only on the roof plane opposite the primary street or when shielded from the street view by the building's parapet wall.

**E. Principal Building Entrances**

- (1) Principal building entrances shall be clearly visible from the street.
- (2) The building must contain one more of the following: covered porch, canopy, or other recessed front entry area.

**F. Mechanical Equipment**

- (1) Air compressors, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, dumpsters, storage tanks, and the like shall not be stored or located within any area considered a front yard or street frontage. All such equipment shall be screened by use of fencing and/or landscaping.
- (2) Roof-mounted mechanical equipment shall be located so as not to be visible from the street, public open space, parking areas, or from the ground level of adjacent properties. Screening features shall utilize similar building materials and forms to blend with the architectural character of the building.
- (3) Locate and screen utility-meters, electrical conduit, and other service and utilities apparatus so as not to be visible from adjoining and nearby streets and minimize visual impacts from private internal streets, open spaces, and pedestrian walk.



APPENDIX A

- Steeply pitched roof



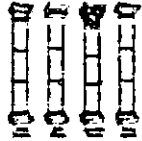
- Bay Windows



- Dentils



- Classical Columns



- Dormers



- Clapboard Siding



- Entablature



- Cornice



- Gables



- Pediment



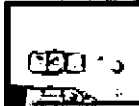
- Lintels



- Portico



- Transom



- Round, square, or polygonal Turret



- Deep eave overhangs



- Asymmetrical façade



- Dominant front-facing gable, often cantilevered out beyond the plane of the wall below



- Porch covering part or all of the front façade



- Second-story porch or balcony



- Pedimented porch



- Differing wall textures, such as patterned wood (or simulated wood) shingles or shaped into varying designs, including resembling fish scales, terracotta tiles, relief panels, or wooden shingles over brickwork, etc.



- Spindle work



- Ornamental chimney



- Flashed tracks



- Wooden (or simulated wooden) roof, or slate (or simulated slate)



- Wooden (or simulated wood)



# Heritage Residential District



Prepared by the Department of Planning and Community Services

August 26, 2014



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-27

Application Type: Conditional Use Permit  
Applicant(s): The Storage Barn, LLC  
Owner(s): Diane & Jeff Weeden and The Storage Barn, LLC  
Location: 389 Sixth Street. (Assessor's Map D, Lots 15 & 16)

**INTENT:** To obtain a Conditional Use Permit for an encroachment within the 50-foot wetlands buffer for self storage units, driveways and site grading. The total buffer impact is 7,382 square feet.

**LOTS/UNITS PROPOSED:** N/A

**AGENDA ITEM #:** 4-B

**ACREAGE:** 32.4 Acres

**ZONING DISTRICT:** Hotel/Retail District (B-4)

**EXISTING LAND USE:** One single family house and one vacant lot

**PROPOSED LAND USE:** Self storage units with 2,400 sq. ft. office and manager apartment

**SURROUNDING LAND USE:** Single family residential, industrial, and office

**ZBA ACTION:** Variance granted on February 20, 2014, with conditions, to permit a self storage facility (Case Z14-04)

**ATTACHMENT:** Conditional Use Permit application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail for this meeting

**PERMITS REQUIRED:** NH DES Alteration of Terrain Permit

### **WAIVERS REQUESTED:**

- Ch. 149-13.A(20) – traffic impact analysis
- Ch. 149-14.D(5)(g) – pervious materials
- Ch. 149-14.J(2) – parcel interconnection

### **Summary of Request and Background**

The applicant is requesting to impact the 50-foot wetlands buffer for self storage units and associated driveways and site grading.

The applicant appeared before the Conservation Commission on September 8, 2014. The Conservation Commission voted to endorse the application with the condition that the erosion control be placed as close to the work area as possible (see Conservation Commission minutes).

### **Consistency with Land Use Regulations**

The Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and areas within 50 feet of wetlands if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards.

### **STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

### **Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The wetlands and wetland buffers shall be marked in the field prior to any earth disturbance activities.
2. The erosion and sediment control features shall be placed as close to the work areas as possible.



# City of Dover, New Hampshire CONDITIONAL USE PERMIT APPLICATION

[Revision Date: August 16, 2010]

Office Use Only	Project #:	<u>P14-27</u>	Date Received:	<u>SEP 16 2014</u>
	Amount Paid:	_____	Time Received:	_____

Revised 9/3/14

### APPLICANT AND OWNER INFORMATION

Name of Applicant: The Storage Barn, LLC Telephone # (603) 396-1635

Address of Applicant: 35 Hodgdon Farm Lane, Newington, NH 03801

Name of Property Owner (if different from applicant): \_\_\_\_\_ Telephone # \_\_\_\_\_  
Diane & Jeff Weeden, 387 Sixth Street, Dover, NH 03820 (Lot 15)

Address of Property Owner: The Storage Barn, LLC, 35 Hodgdon Farm Lane, Newington, NH 03801 (Lot 16)

### PROPERTY INFORMATION

Address of Property: 389 Sixth Street, Dover, NH

Assessor's Map #: D Lot(s) #: 15 & 16

Zoning District(s): B4 Overlay District(s): \_\_\_\_\_

Existing Use of Property: House lot and vacant land

### CONDITIONAL USE PERMIT INFORMATION

#### Type of Conditional Use Permit (Check All That Apply):

- |                                                                 |                                                         |                                            |
|-----------------------------------------------------------------|---------------------------------------------------------|--------------------------------------------|
| <input checked="" type="checkbox"/> Conservation District       | <input type="checkbox"/> RCM Use Overlay District       | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection                 | <input type="checkbox"/> Off-Street Parking and Loading |                                            |
| <input checked="" type="checkbox"/> Wetland Protection District | <input type="checkbox"/> Central Business District      |                                            |

#### Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

Proposed storage warehouse facility with associated access drives and site grading, some of which are within the 50' wetland buffer setback. Total Buffer Impact = 7,382 SF

(3,018 Site Grading, 3,988 Pavement, plus 376 SF portions of buildings A & C, as shown on plan sheet OV1).

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: NHDES Alteration of Terrain pending.

Name of Professional That Prepared Plans: Jonathan S. Ring, P.E., Jones & Beach Engineers, Inc.

Address: PO Box 219, Stratham, NH 03885 Telephone #: (603) 772-4746

Professional License #: 7488 E-mail address: jring@jonesandbeach.com

**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: Jonathan S. Ring, P.E. Date: August 28, 2014

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I hereby authorize members of the Dover Planning Board, Planning Department, Conservation Commission and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Jonathan S. Ring, P.E. Date: August 28, 2014



**ABUTTERS LIST  
FOR  
389 SIXTH STREET, DOVER, NH  
JBE PROJECT No. 13172  
April 28, 2014**

**OWNER OF RECORD:**

TAX MAP D-1/LOT 15  
JEFFREY A. & DIANE I. WEEDEN  
387 SIXTH STREET  
DOVER, NH 03820  
BK 1106/PG 609

TAX MAP D-1/LOT 16  
THE STORAGE BARN, LLC  
35 HODGDON FARM LANE  
NEWINGTON, NH 03801  
BK 4209/PG 0241

**ABUTTERS:**

TAX MAP D-1/LOT 5A  
CITY OF DOVER  
288 CENTRAL AVENUE  
DOVER, NH 03820  
BK 1739/PG 243 (LOT 5A)

TAX MAP D-1/ LOTS 7 & 14  
CITY OF DOVER  
DIDA  
288 CENTRAL AVENUE  
DOVER, NH 03820  
BK 1790/PG 581 (LOT 7)  
BK 2140/PG 167 (LOT 14)

TAX MAP D-1/LOT 13  
JOHANNES CRAMER  
20 VENTURE DRIVE  
DOVER, NH 03820  
BK 3461/PG 261

TAX MAP D-1/LOT 14-2  
SARNIA PROPERTIES INC.  
1 HAVEN COURT  
PORTSMOUTH, NH 03801  
BK 4155/PG 97

TAX MAP D-1/LOT 14-3A & 14-3-1  
EVEREST CO. INC.  
C/O LEPAGE BAKERIES  
PO BOX 1900  
AUBURN, ME 04211

TAX MAP D-1/LOTS 14-3B & 14-3-2  
69 VENTURE DRIVE REALTY, LLC  
PO BOX 695  
HAMPTON, NH 03862  
BK 3358/PG 860

TAX MAP D-1/LOT 16A  
LDSJ HOLDINGS LLC  
375 SIXTH STREET  
DOVER, NH 03820  
BK 3960/PG 969

TAX MAP D-1/LOT 16B  
JOHN W. & DEBRA J. WEEDEN  
365 SIXTH STREET  
DOVER, NH 03820  
BK 2818/PG 983

TAX MAP D-1/LOT 16C  
EDWARD M. & VALERIE C. SAWYER  
399 SIXTH STREET  
DOVER, NH 03820  
BK 3478/PG 150

TAX MAP D-1/LOT 16E  
DENNIS D. DUBE, JR.  
KIMBERLY J. DUBE  
401 SIXTH STREET  
DOVER, NH 03820  
BK 3689/PG 830

TAX MAP D-1/LOT 17  
DAVIS BARTOL ERICKSON HOLDINGS, INC.  
15-17 MEMBERS WAY  
DOVER, NH 03820

TAX MAP D-1/LOT 17B  
ALLAN & KAREN ARKWELL  
6 HEATHER LANE  
DOVER, NH 03820

TAX MAP D-1/LOT 17D  
CHARLES P. KAGELEIRY  
PO BOX 728  
DOVER, NH 03821-0728

TAX MAP D-1/LOT 17E  
LOIS A. & DONALD C. DAY  
4 HEATHER LANE  
DOVER, NH 03820

TAX MAP E-1/LOT 24  
LIBERTY MUTUAL INSURANCE  
C/O JOANNE BRAGG  
175 BERKELEY STREET, MS03L  
BOSTON, MA 02116  
BK 1364/PG 453

TAX MAP E-1/LOT 26B  
SEAN M. & ASTRID LAROSE  
390 SIXTH STREET  
DOVER, NH 03820  
BK 3980/PG 172

TAX MAP E-1/LOTS 27A-27D  
171 WATSON RD OF DOVER HOLDING CORP.  
PO BOX 1217  
DOVER, NH 03820-1217  
BK 3851/PG 246

TAX MAP E-1/LOT 27E  
RUSSELL A. & JENNIFER K. NEWELL  
398 SIXTH STREET  
DOVER, NH 03820  
BK 2448/PG 223

**ENGINEERS/SURVEYORS:**

**JONES & BEACH ENGINEERS, INC.  
ATTN: JONATHAN S. RING, P.E.  
PO BOX 219  
STRATHAM, NH 03885**



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-28

Application Type: Conditional Use Permit For Reduced Parking  
Applicant(s): The Storage Barn, LLC  
Owner(s): Diane & Jeff Weeden and The Storage Barn, LLC  
Location: 389 Sixth Street. (Assessor's Map D, Lots 15 & 16)

**INTENT:** To obtain a Conditional Use Permit to allow for a reduction in the number of required parking spaces from 125 to 57 based on a 140,000 sq. ft. warehouse in 17 structures & 2,400 sq. ft. office & apartment.

**LOTS/UNITS PROPOSED:** N/A

**AGENDA ITEM #:** 4-C

**ACREAGE:** 32.4 Acres

**ZONING DISTRICT:** Hotel/Retail District (B-4)

**EXISTING LAND USE:** One single family house and one vacant lot

**PROPOSED LAND USE:** Self storage units with 2,400 sq. ft. office and manager apartment

**SURROUNDING LAND USE:** Single family residential, industrial, and office

**ZBA ACTION:** Variance granted on February 20, 2014, with conditions, to permit a self storage facility (Case Z14-04)

**ATTACHMENT:** Conditional Use Permit application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail for this meeting

**PERMITS REQUIRED:** NH DES Alteration of Terrain Permit

### **WAIVERS REQUESTED:**

- Ch. 149-13.A(20) – traffic impact analysis
- Ch. 149-14.D(5)(g) – pervious materials
- Ch. 149-14.J(2) – parcel interconnection

### **Summary of Request and Background**

The applicant has applied for a Conditional Use Permit per Chapter 170-44-I, to reduce the number of parking spaces from 125 to 57.

### **Consistency with Land Use Regulations**

The Off-Street Parking and Loading ordinance provides for a Conditional Use Permit to allow a reduction in the number of required parking spaces provided the applicant submits an analysis justifying the request.

The applicant has submitted a letter dated September 16, 2014 that includes justification for the request. The Planning Department supports the reduction in spaces due to the low number of storage unit customers that would be likely visiting the site at any time.

### **STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

### **Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The Site Plan (P14-31) for the property must be approved.
2. A formal agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds.



# City of Dover, New Hampshire CONDITIONAL USE PERMIT APPLICATION

[Revision Date: August 16, 2010]

Office Use Only	Project #:	<u>P14-28</u>	Date Received:	<u>SEP 16 2014</u>
	Amount Paid:	_____	Time Received:	_____

Revised: September 16, 2014

### APPLICANT AND OWNER INFORMATION

Name of Applicant: The Storage Barn, LLC Telephone # (603)396-1635

Address of Applicant: 35 Hodgdon Farm Lane, Newington, NH 03801

Name of Property Owner (if different from applicant): \_\_\_\_\_ Telephone # \_\_\_\_\_  
Diane & Jeff Weeden, 387 Sixth Street, Dover, NH 03820 (Lot 15)

Address of Property Owner: The Storage Barn, LLC, 35 Hodgdon Farm Lane, Newington, NH 03801 (Lot 16)

### PROPERTY INFORMATION

Address of Property: 389 Sixth Street, Dover, NH

Assessor's Map #: D Lot(s) #: 15 & 16

Zoning District(s): B4 Overlay District(s): \_\_\_\_\_

Existing Use of Property: House lot and vacant land

### CONDITIONAL USE PERMIT INFORMATION

#### Type of Conditional Use Permit (Check All That Apply):

- |                                                      |                                                                    |                                            |
|------------------------------------------------------|--------------------------------------------------------------------|--------------------------------------------|
| <input type="checkbox"/> Conservation District       | <input type="checkbox"/> RCM Use Overlay District                  | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection      | <input checked="" type="checkbox"/> Off-Street Parking and Loading |                                            |
| <input type="checkbox"/> Wetland Protection District | <input type="checkbox"/> Central Business District                 |                                            |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

Proposed storage warehouse facility with reduction in number of parking spaces per Chapter 149-14.D.(4) from required "Parking Regulation Table" of 126 to 57 provided spaces.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: NHDES Alteration of Terrain pending.

Name of Professional That Prepared Plans: Jonathan S. Ring, P.E., Jones & Beach Engineers, Inc.

Address: PO Box 219, Stratham, NH 03885 Telephone #: (603)772-4746

Professional License #: 7488 E-mail address: jring@jonesandbeach.com

**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: Jonathan S. Ring Date: September 16, 2014  
Jonathan S. Ring, P.E.

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I hereby authorize members of the Dover Planning Board, Planning Department, Conservation Commission and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Jonathan S. Ring Date: September 16, 2014  
Jonathan S. Ring, P.E.



# JONES & BEACH ENGINEERS, INC.

85 Portsmouth Avenue  
Post Office Box 219  
Stratham, NH 03875  
Telephone: (603) 772-4746  
Fax: (603) 772-0227

Post Office Box 484  
Alton, NH 03809  
Email: [jbe@jonesandbeach.com](mailto:jbe@jonesandbeach.com)  
[www.jonesandbeach.com](http://www.jonesandbeach.com)

September 16, 2014

Dover Planning Board  
Attn: Dennis Ciotti, Chair  
288 Central Avenue  
Dover, NH 03820

**RE: Conditional Use Permit - Parking Reduction  
Storage Barn Site Plan  
385 & 387 Sixth Street, Dover, NH  
Tax Map D, Lots 15 & 16  
JBE Project No. 13172**

Dear Mr. Chairman:

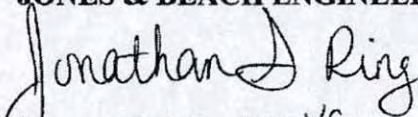
We have submitted a Conditional Use Permit Application for Parking Reduction on the project from 126 to 57 spaces. Six (6) of the spaces are for employees and the manager apartment, with nine (9) spaces provided for those needs at the Barn area office and apartment.

The remaining 120 required spaces are for tenants of the property using the storage units. Forty-eight (48) spaces are provided at several locations scattered on the site to meet tenant needs. Various industry studies and analysis have shown that very few tenants are likely to visit the property over the course of a day, typically less than three (3) per hour.

Since we believe that the demand use for these parking spaces will be low, we respectfully request the granting of the reduction. This will also reduce the amount of pavement on site, and reduce the need for stormwater devices.

If you have any questions, please feel free to contact our office. Thank you for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Jonathan S. Ring, P.E. <sup>KS</sup>  
President

cc: Mark Phillips, The Storage Barn, LLC



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-31

Application Type: Site Plan Review  
Applicant(s): Mark Phillips and The Storage Barn, LLC  
Owner(s): Diane & Jeff Weeden and The Storage Barn, LLC  
Location: 385 and 387 Sixth Street. (Assessor's Map D, Lots 15 & 16)

**INTENT:** Site plan to build 140,000 sq. ft. of self storage warehouse in 17 structures and a 2,400 sq. ft. office and manager's apartment and a total of 57 parking spaces.

**LOTS/UNITS PROPOSED:** N/A

**AGENDA ITEM #:** 4-D

**ACREAGE:** 32.4 Acres

**ZONING DISTRICT:** Hotel/Retail District (B-4)

**EXISTING LAND USE:** One single family house and one vacant lot

**PROPOSED LAND USE:** Self storage units with 2,400 sq. ft. office and manager apartment

**SURROUNDING LAND USE:** Single family residential, industrial, and office

**ZBA ACTION:** Variance granted on February 20, 2014, with conditions, to permit a self storage facility (Case Z14-04)

**ATTACHMENT:** Site Plan and application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail for this meeting

**PERMITS REQUIRED:** NH DES  
Alteration of Terrain Permit

### **WAIVERS REQUESTED:**

- Ch. 149-13.A(20) – traffic impact analysis
- Ch. 149-14.D(5)(g) – pervious materials
- Ch. 149-14.J(2) – parcel interconnection

### **Summary of Request and Background**

The applicant proposes to construct a 17 self storage warehouses, with office space and a manager's apartment with 57 parking spaces.

### **Consistency with Land Use Regulations**

Chapter 149-4-A of the Site Review Regulations of the City Code provides for site review approval for the construction of new structures. This project is located in the Hotel/Retail District (B-4), which encourages efficient and attractive commercial development on a larger scale along major highways outside of the downtown. This plan is consistent with those requirements.

### **Waiver Requests**

The applicant is requesting two waivers and has submitted a letter dated September 12, 2014 that includes the justification for the requests. The Planning Department supports the traffic impact analysis waiver with the condition that when either of the front lots is developed, that the traffic from the storage units be included in the study and not just background traffic. The waiver for interconnection to the adjacent parcel is supported because of the difference in grade elevation between the parcels.

The Planning Department does not support the waiver for porous pavement due to the significant amount of impervious pavement proposed north of the sewer easement.

### **STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board accept the application, open the public hearing and table the application to allow time to resolve any outstanding issues.

The Planning Department is looking for feedback from the Planning Board on the issue of the porous pavement waiver.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-31

Application Type: Site Plan Review  
Applicant(s): Mark Phillips and The Storage Barn, LLC  
Owner(s): Diane & Jeff Weeden and The Storage Barn, LLC  
Location: 385 and 387 Sixth Street. (Assessor's Map D, Lots 15 & 16)

BELOW IS A STREET VIEW OF 385 & 387 SIXTH STREET



BELOW IS AN AERIAL VIEW OF 385 & 387 SIXTH STREET





**CITY OF DOVER**

## TECHNICAL REVIEW COMMITTEE NOTES - P14-31

Application Type: Site Review  
Applicant: The Storage Barn, LLC  
Owners: The Storage Barn, LLC/Jeffrey A. & Diane I. Weeden  
Location: 385 & 387 Sixth Street (Tax Map D, Lots 15 & 16)  
Date: September 11, 2014

**INTENT:** Applicant proposes to construct approximately 140,000 sq. ft. of storage warehouse space in 17 structures with a 2,400 sq. ft. office and manager's apartment, with associated access and 185,000 sq. ft. of paved area.

**LOTS/UNITS PROPOSED:** n/a

**AGENDA ITEM #:** 3

**ACREAGE:** 32.4 Acres

**ZONING DISTRICT:** Hotel/Retail (B-4) District

**EXISTING LAND USE:** 385 Sixth Street – Vacant; 387 Sixth Street – Residential

**SURROUNDING LAND USE:** Commercial and Residential

### **ZBA ACTION:**

- Variance granted on February 20, 2014, with conditions, to permit a self storage facility (Case Z14-04)

**PERMITS REQUIRED:** NH DES  
Alteration of Terrain Permit

### **WAIVERS REQUESTED:**

- Ch. 149-13.A(20) – traffic impact analysis
- Ch. 149-14.D(5)(g) – pervious materials
- Ch. 149-14.J(2) – parcel interconnection

### **ATTENDANCE:**

Christopher Parker (Planning)  
Steve Bird (Planning)  
Tom Clark (Fire Inspections)  
Dan Barufaldi (Economic Development)  
Dennis Ciotti – Planning Board  
Gary Green – Planning Board  
Mark Phillips  
Jessica Smith  
Jonathan Ring  
Jeff Hyland

### **Planning Comments:**

- The Planning Department does not support the waiver request from the pervious materials requirement
- Will need Traffic Impact Assessment and Analysis
- Impact fees will be assessed
- Water and sewer investment fees will be assessed
- Provide floor plans including a breakdown of the space to be allocated (a) for the office area and (b) for the manager's apartment
- Provide stormwater operation and maintenance plan
- Provide architectural covenants as required by Sec. 170-27.2.F(5)
- Correct/update lot numbers, addresses, and property owner information throughout
- Lot line adjustment and subdivision plans must be recorded prior to final approval of the site plan; need extension request

### **Cover Sheet:**

- "Cochecho" should be spelled correctly with a second "h"
- "Town of Dover Planning Board" should be "City of Dover Planning Board"
- The Sheet Index incorrectly identifies the sheet numbers of the landscape plan set

### **Sheet OV1:**

- Add subdivision plan reference

### **Sheet C2:**

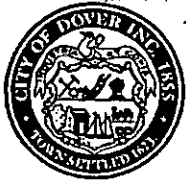
- Remove Notes 10 – 17
- Add Common Site Plan Notes 9, 15, and 16
- Add subdivision and lot line adjustment plan references

### **Sheet C3:**

- Remove sign from entrance area
- Remove snow storage area from the east side of Building C
- Show fire lanes

### **Sheet C4:**

- Lot area in Note 3 does not equal the lot area shown in the title block
- Add Common Site Plan Notes 2, 3, 7, 14, 17, 18, 19, 20 and 31
- Add note re: TDR approval
- Add note that residence shall be located on 2<sup>nd</sup> floor only and not a stand alone unit and shall be accessory to the storage use
- Add note re: garbage removal
- Add note: "No outside storage permitted"
- Add note: "Buffer is no cut/no disturb and is to remain in its natural state"
- Note 1: replace "storage warehouse" with "self storage"
- Note 2: add required setbacks



**CITY OF DOVER**

## TECHNICAL REVIEW COMMITTEE NOTES - P14-31

Application Type: Site Review  
Applicant: The Storage Barn, LLC  
Owners: The Storage Barn, LLC/Jeffrey A. & Diane I. Weeden  
Location: 385 & 387 Sixth Street (Tax Map D, Lots 15 & 16)  
Date: September 11, 2014

- Note 3: Provide calculations for minimum required parking, include calculation of parking requirements for accessory apartment and office use, and reference CUP application for reduction of required spaces
- Note 3 – correct reference to lots 15 and 16 – confirm total lot size
- Note 5 – add in variance conditions of approval
- Note 14 – remove “unless a variance is otherwise requested”
- Note 17 – clarify this sentence: “Building dimensions and areas to be outside of masonry, unless otherwise noted.”
- Be consistent in tabbing notes
- Add note that the lease limits what is allowed to be stored

### Sheet C6:

- Add Common Site Plan Note 27

### Sheet C8:

- Add Common Site Plan Note 24

### Sheets L-1 – L-4:

- Show perimeter landscaping around entire property per Ch. 170-27.2.F(6), and in conformance with Ch. 149-14.G(2)

### Sheet N1:

- Neighborhood plan is too dark and unreadable

### Police Department Comments:

- Add fire lanes and signs
- Clarify directional flow of traffic

### Engineering Comments:

- Review moving driveway to other side of front building
- Review 16 foot aisle for travel with parking
- Lot 1 is small
- Show water and sewer stubs for front lots
- Show sewer service for office
- Will review drainage study
- Will provide a list of comments on details sheets

### Fire/Inspections Comments:

- Submit truck template for review and approval, using T1 template

### Economic Development Comments:

- Concern about fire truck access

### Planning Board Comments:

- Check parking calculations
- Confirmed that 2 story storage building will have interior access
- Concerned about porous pavement in cu-de-sac

S:\Department\Planning\Planning\_Share\Planning Board\TRC\2014 TRC\Notes\2014.09.11\_StorageBarn P14-31.docx



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**CITY OF DOVER INTEROFFICE MEMORANDUM**

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**TO:** CHRIS PARKER  
**FROM:** Dave White, PE- City Engineer  
**SUBJECT:** Sixth St-The Storage Barn Site Plan  
**DATE:** 9/15/14

---

I have reviewed the revised project dated 8/28/14 and have the following comments and concerns.

1. The drainage study will be reviewed and comments forthcoming.
2. Any Operation and Maintenance plan should include an 11x17 plan showing the drainage structures referred to in the O&M plan.
3. Show the proposed porous pavement signs on the plan set that is referenced in the O&M plan

**Sheet C3**

4. Will there be future sidewalks to lots 16F&G.
5. Driveways and access to lots 16F&G should come off the new roadway in the future.
6. I would again recommend relocating the driveway to the storage stables to the South side of the building. This will enable it to service as a shared drive with lot 16F and remove a large impact to the wetland setback.
7. Our standard crosswalk is 10 ft wide. Please adjust your note and detail.
8. Please note to install detectable warning panels at the tip downs at the entrance.
9. Please note to install a street sign on the stop sign
10. I am concerned about the designation of parking spaces in the center of the drive isle.

**Sheet C5**

11. You should do a preliminary site design of lots 16F&G so that the proposed cross drainage and road drainage do not interfere with the future lot development.
12. The proposed surface drainage along 430 feet of roadway into the first pond is too long of a distance. This needs to be reviewed and revised.
13. Relocate the headwall for the 24inch outfall closer to the pavement and create a shallow stone outfall basin.
14. The ponds seem to be missing some details like underdrains per the detail on L4. Either show more detail on C5 or have a separate detail for each pond.

**Sheet C7**

15. Please have unutil and psnh review the design and layout of the proposed gas and UGE.
16. Sewer and water services should be designed and installed for lots 16F&G so future road disturbance is avoided.
17. Please show the proposed drainage infrastructure and light pole bases on the utility sheets.
18. Relocate the first hydrant so that it is just before the first parking lot.

**Sheet C8**

19. If the rear pond reduces cover over the existing watermain, the pipe will need to be insulated.
20. Add 'and the City of Dover policies and practices' to note 27.

**Sheet L1**

21. Trees should not be planted over UG utilities.

**Sheet D1**

22. Stop sign detail-our standard is to use 2 inch galvanized square posts with breakaway base.
23. Our cross walks are 10 feet wide.

**Sheet D2**

24. Buried gate detail-the city uses 6 ft bury gate boxes.
25. Thrust blocks- the city uses precast units but you can just note that instead of revising details.
26. Water system trench-we require poly wrap on all mains.
27. Hydrant detail-call out precast block and eddy 2641 hydrant.
28. Sewer trench-we require crushed stone for bedding, no gravel.
29. House sewer service-no cleanout and no fernco for connections.
30. Drainage detail- should be the same as sewer, crushed stone bedding and sand blanket.

**Sheet D3**

31. Provide a stone apron outfall detail
32. Show where the under drain for the porous pavement is located on the plan view and where it outfalls.

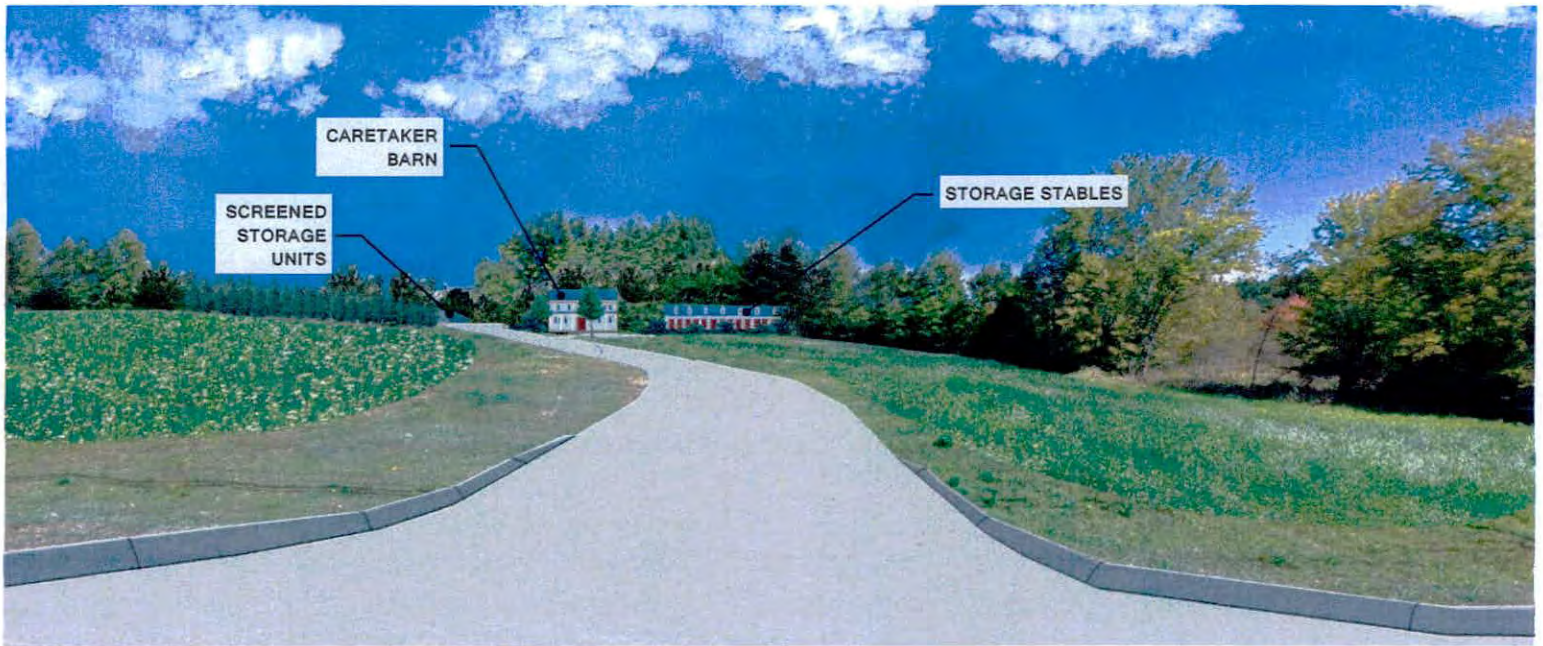
**Sheet D4**

33. Add note-proposed retaining wall plans to be submitted for review by the City Engineer.

RECEIVED  
SEP 1 2014  
By \_\_\_\_\_



BEFORE



AFTER

# JONES & BEACH ENGINEERS, INC.

85 Portsmouth Avenue  
Post Office Box 219  
Stratham, NH 03885  
Telephone: (603) 772-4746  
Fax: (603) 772-0227

Post Office Box 484  
Alton, NH 03809  
Email: [jbe@jonesandbeach.com](mailto:jbe@jonesandbeach.com)  
[www.jonesandbeach.com](http://www.jonesandbeach.com)

May 15, 2014  
Revised August 28, 2014  
Revised September 16, 2014

Dover Planning Board  
Attn: Dennis Ciotti, Chair  
288 Central Avenue  
Dover, NH 03820



**RE: Waiver Request Letter  
The Storage Barn Site Plan  
385 & 387 Sixth Street, Dover, NH  
Tax Map D, Lots 15 & 16  
JBE Project No. 13172**

Dear Board Members:

On behalf of our client, The Storage Barn, LLC, Jones & Beach Engineers, Inc., respectfully requests the following waivers from the City of Dover Land Use Regulations for the above-referenced parcel:

**Section 149-13.A.(20) – Traffic Impact Assessment and Analysis.** These facilities are typically low traffic generators, perhaps 3 vehicles per day per 100 storage units. We anticipate 1,200 units on the project site at full build, or a maximum of 36 tenant vehicles per day. If the facility is open for tenants 14 hours per day, that is 2.6 vehicles per hour, or about 1 vehicle every 23 minutes. See also attached "Traffic Impact Assessment and Analysis" sheet. A waiver is respectfully requested.

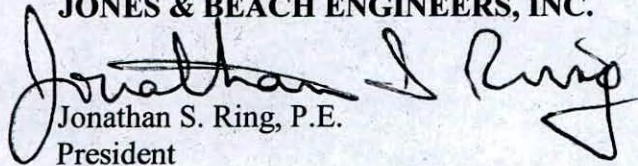
**Section 149-14.D.(5)(g) – Requires vehicle storage areas pervious materials.** The pavement will be porous on the east side of the property. This site has silty clay and sandy loam subsurface soils, which are difficult to infiltrate, based on test pits performed. The western side is in a "cut" situation and therefore into the high water table, making porous unworkable. In addition, both two-story storage buildings and climate controlled storage buildings must be built on a full frost wall, with footings on virgin ground, unlike the buildings to the east of the easement where they are all single story storage buildings on engineered floating slabs. The eastern areas from the sewer water easement are "fill" areas where porous is feasible, and proposed. In addition, porous stone is specified under buildings F, I, L and N-Q, resulting in 60% of total site pavement. Heavy vehicles (such as those loaded to bring tenant goods to and from storage units) are not recommended on pervious material pavement, as they tear and spall the surface, and create ruts with turning movements. Furthermore, the stormwater from standard pavement is all treated in wet ponds and bio-retention systems, which does a much better job than porous pavement to remove pollutants, including nitrogen. See also attached sheet of the Storage Barn compared to UNH Stormwater model of porous pavement at Greenland Meadows (Target). Therefore, a waiver is respectfully requested for a portion of the site.

**Section 149-14.J.(2) – Interconnection of Adjacent Parcels.** Pursuant to Subsection 149-14.J.(3), a waiver is requested from the requirement to interconnect the access for adjacent lots. The grade elevations preclude interconnection.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,

**JONES & BEACH ENGINEERS, INC.**

A handwritten signature in black ink, appearing to read "Jonathan S. Ring". The signature is written in a cursive style with a large initial "J" and a long, sweeping underline.

Jonathan S. Ring, P.E.  
President

### Traffic Impact Assessment and Analysis

The Self Storage Almanac 2013, published by the industry, reports the average number of vehicles entering the typical facility daily is 15.7 in New England. Our site is atypical being larger than normal. The average number of vehicles per day entering a site with over 100,000 rentable SF was 35.5. The industry norm is a 10' x 10' storage unit, or 100 SF per unit. Urban areas tend to have smaller units and suburban areas, such as Dover, tend to have larger units, on average. Our project calls for 137, 220 SF of storage buildings overall. The net rentable SF will be closer to 130,000 SF, or approximately 1,200 individual storage units when fully built out.

This facility is a phased project which will start with approximately 25,000 SF of rentable storage and grow over the next three years, we project. Self storage facilities with 100 – 299 units averaged 15.3 vehicles per day; “Larger developments with 500 to 1,000 storage spaces reported an average of 25 vehicles entering the facility each day. Those with 1,000 or more units counted 35.4 cars and trucks entering the facility on a daily basis.”

“The largest size of the category, self-storage facilities with 100,000 or more rentable square feet welcomed a total of 35.5 cars and trucks to their storage businesses on a daily basis.”

The “Barn” will house co-owner Jessica Smith’s 5 member family upstairs. Downstairs will be the offices for Jessica’s business, Winsor Brook Property Advisors, whose staff will share the storage rental duties with their real estate practice, and a couple of offices which we anticipate renting to a title company. Collectively this would entail up to 7 drivers; at 2.5 trips each, this could be 17.5 trips per day, or a total of 53 vehicles per day for the entire operation, once fully built and rented, with no peak hours.

This section of Sixth Street is 39 feet wide of pavement with a solid double yellow line down the center and an 11' wide travel lane and 8'6" wide breakdown or shoulder lane on each side. The entrance to the project is positioned at the outside of a very slight bend in the road with over 800 feet of sight distance to the east and over 400 feet of sight distance to the west at the top of a slight hill. There is an existing five foot wide paved sidewalk on the same side of the road as the project, defined by a sloped granite curb. There is no foliage now or anticipated impeding site distance upon entering or exiting the property. The access road will have a single entrance lane two exit lanes, one for each direction.

This entire stretch of Sixth for over a mile is posted at 30 MPH. The NH DOT reports traffic counts taken in 2013 at “Sixth Street West of Indian Brook Drive” at 9700 vehicles per day.

The Storage Barn compared to UNH Stormwater's model of porous pavement		
	The Storage Barn	Target & Lowe's Plaza
	385 Sixth Street, Dover	Route 33, Greenland
Overall site area	26.27 acres	55.95 acres
Buildings and pavement	6.81 acres	30.1 acres
Dev. Area as % of site	26%	54%
Impervious area	4.49 acres	25.6 acres
Impervious as % of site	17%	46%
Impervious as % of dev. Area	66%	85%
Porous area	2.32 acres	4.5 acres
Porous area as % of site	9%	8%
Porous area as % of dev. area	34%	15%

UNH Stormwater Center



## Greenland Meadows LID Case Study: Economics and Water Quality



Monday, April 18, 2011

**Greenland Meadows, New England Development, and the Conservation Law Foundation, Greenland, NH. (2005- Present)**

### OVERVIEW

Greenland Meadows is a retail shopping center built in 2008 by Newton, Mass.-based New England Development along Route 33 in Greenland, New Hampshire that features the largest porous asphalt and gravel wetland installation in the Northeast. The development is located on a 55.95-acre parcel and includes three, one-story retail buildings (Lowe's Home Improvement, Target, and a supermarket), paved parking areas consisting of porous asphalt and non-porous pavements, landscaping areas, a large gravel wetland, as well as advanced stormwater

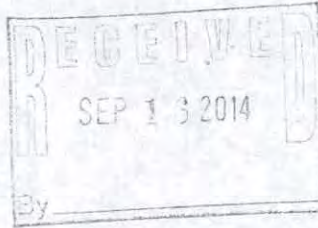
management facilities. The total impervious area of the development – mainly from rooftops and non-porous parking areas – is approximately 25.6 acres, considerably more as compared to pre-development conditions. Prior to development, the project site contained an abandoned Sylvania light bulb factory with a majority of the property vegetated with grass and trees.

Framingham, Mass.-based Tetra Tech Rizzo provided site drainage engineering which included the design of two porous asphalt installations covering a total of 4.5 acres along with a sub-surface gravel wetland. The University of New Hampshire (UNH) Stormwater Center provided design guidance, LID project review, and oversight with the LID installations.

# JONES & BEACH ENGINEERS, INC.

85 Portsmouth Avenue  
Post Office Box 219  
Stratham, NH 03875  
Telephone: (603) 772-4746  
Fax: (603) 772-0227

Post Office Box 484  
Alton, NH 03809  
Email: [jbe@jonesandbeach.com](mailto:jbe@jonesandbeach.com)  
[www.jonesandbeach.com](http://www.jonesandbeach.com)



September 16, 2014

Dover Planning Board  
Attn: Dennis Ciotti, Chair  
288 Central Avenue  
Dover, NH 03820

**RE: Site Plan Review Application  
TRC Response Letter  
385 & 387 Sixth Street, Dover, NH  
Tax Map D, Lots 15 & 16  
JBE Project No. 13172**

Dear Board Members:

Jones & Beach Engineers, Inc., is in receipt of Technical Review Committee Notes , dated September 11, 2014 by email. Original notes are italicized, and we offer the following responses in bold below:

**Planning Comments:**

- *The Planning Department does not support the waiver request from the pervious materials requirement*  
**RESPONSE: Revised Waiver Request Letter is enclosed, which we hope will allow Planning to support.**
- *Peer review of drainage analysis will be required*  
**RESPONSE: OK.**
- *Will need Traffic Impact Assessment and Analysis*  
**RESPONSE: A revised Waiver Request Letter is enclosed, which provides additional information for consideration.**
- *Impact fees will be assessed*  
**RESPONSE: OK.**
- *Water and sewer investment fees will be assessed*  
**RESPONSE: OK.**
- *Provide floor plans including a breakdown of the space to be allocated (a) for the office area and (b) for the manager's apartment*  
**RESPONSE: Please find elevation and floor plans attached (3 Sheets).**
- *Provide stormwater operation and maintenance plan*

**RESPONSE:** Please find "Stormwater Management Operation & Maintenance Plan" attached.

- *Provide architectural covenants as required by Sec. 170-28.F(5)*

**RESPONSE:** See attached "Architectural Covenants" Sheet.

- *Correct/update lot numbers, addresses, and property owner information throughout*

**RESPONSE:** Data is correct as shown on the plans.

- *Lot line adjustment and subdivision plans must be recorded prior to final approval of the site plan; need extension request*

**RESPONSE:** Agreed.

Cover Sheet:

- *"Cochecho" should be spelled correctly with a second "h"*

**RESPONSE:** Correction has been made.

- *"Town of Dover Planning Board" should be "City of Dover Planning Board"*

**RESPONSE:** Correction has been made.

- *The Sheet Index incorrectly identifies the sheet numbers of the landscape plan set*

**RESPONSE:** LA1-LA4 have been revised as suggested.

Sheet OV1:

- *Add subdivision plan reference*

**RESPONSE:** Subdivision plan reference has been added.

Sheet C2:

- *Show current lot configuration*

**RESPONSE:** Lot configuration now shown as approved.

- *Remove Notes 10 – 17*

**RESPONSE:** Notes 10-17 have been removed.

- *Add Common Site Plan Notes 9, 15, and 16*

**RESPONSE:** City Notes 9, 15, & 16 have been added.

- *Add subdivision and lot line adjustment plan references*

**RESPONSE:** Plan references have been added.

Sheet C3:

- *Show current lot configuration*

**RESPONSE:** Lot configuration now shown as approved.

- *Remove sign from entrance area*

**RESPONSE:** Sign has been removed from entrance area.

- *Remove snow storage area from the east side of Building C*  
**RESPONSE: Snow storage area has been removed from east side of building C.**
- *Show fire lanes*  
**RESPONSE: Fire lanes now shown. Signage has been added.**

Sheet C4:

- *Lot area in Note 3 does not equal the lot area shown in the title block*  
**RESPONSE: Lot areas have been revised.**
- *Add Common Site Plan Notes 2, 3, 7, 14, 17, 18, 19, 20 and 31*  
**RESPONSE: City Notes 7, 14, and 31 have been added. Notes 2 and 3 are already on the plan as separate items. Notes 17, 18, 19 & 20 relate to sprinkler and security system, which are not required or proposed.**
- *Add note re: TDR approval*  
**RESPONSE: Note 28 has been added regarding TDR approval.**
- *Add note that residence shall be located on 2<sup>nd</sup> floor only and not a stand alone unit and shall be accessory to the storage use*  
**RESPONSE: Note 29 has been added regarding residence.**
- *Add note re: garbage removal*  
**RESPONSE: Note 30 has been added regarding garbage removal.**
- *Add note: "No outside storage permitted"*  
**RESPONSE: Note 31 has been added.**
- *Add note: "Buffer is no cut/no disturb and is to remain in its natural state"*  
**RESPONSE: Note 32 has been added.**
- *Note 1: replace "storage warehouse" with "self storage"*  
**RESPONSE: Note 1 has been revised as suggested.**
- *Note 2: add required setbacks*  
**RESPONSE: Setbacks have been added to Note 2.**
- *Note 3: Provide calculations for minimum required parking, include calculation of parking requirements for accessory apartment and office use, and reference CUP application for reduction of required spaces*  
**RESPONSE: Calculations for parking have been added to Note 3.**
- *Note 3 – correct reference to lots 15 and 16 – confirm total lot size*  
**RESPONSE: Corrections have been made.**
- *Note 5 – add in variance conditions of approval*  
**RESPONSE: Variance conditions have been added to Note 5.**

- *Note 14 – remove “unless a variance is otherwise requested”*  
**RESPONSE: Note 13 has been revised as suggested.**
- *Note 17 – clarify this sentence: “Building dimensions and areas to be outside of masonry, unless otherwise noted.”*  
**RESPONSE: Note 17 has been revised.**
- *Be consistent in tabbing notes*  
**RESPONSE: Note placement has been revised.**
- *Are any items not allowed to be stored*  
**RESPONSE: Yes, as stated in Lease Agreement (see Item 4 of attached Page 2).**
- *Is there a limit on what is allowed*  
**RESPONSE: Yes, as stated in Lease Agreement (see Item 4 of attached Page 2).**
- *How are units inspected*  
**RESPONSE: As stated in Lease Agreement (see Item 6 of attached Page 2).**

Sheet C6:

- *Add Common Site Plan Note 27*  
**RESPONSE: City Note 27 has been added.**

Sheet C8:

- *Add Common Site Plan Note 24*  
**RESPONSE: City Note 24 has been added.**

Sheets L-1 – L-4:

- *Show perimeter landscaping around entire property per Ch. 170-27.2.F(6), and in conformance with Ch. 149-14.G(2)*  
**RESPONSE: Landscaping perimeter now shown.**

Sheet N1:

- *Neighborhood plan is too dark and unreadable*  
**RESPONSE: Revised as suggested.**

**Police Department Comments:**

- *Add fire lanes and signs*  
**RESPONSE: Done.**
- *Clarify directional flow of traffic*  
**RESPONSE: Done.**

**Engineering Comments:**

- *Review moving driveway to other side of front building*  
**RESPONSE: We have reviewed this, and we remain of the opinion that this would be contrary to the Zoning Board Condition.**

- *Review 16 foot aisle for travel with parking*  
**RESPONSE: Given the limited number of vehicles, we feel that this is adequate. The parking spaces will be rarely used.**
- *Lot 1 is small*  
**RESPONSE: We believe this size is adequate.**
- *Show water and sewer stubs for front lots*  
**RESPONSE: Done for Lot 16G under proposed access drive. Lot 16F will install its own services at existing mains at time of site plan design depending on layout.**
- *Show sewer service for office*  
**RESPONSE: Done.**
- *Will review drainage study*  
**RESPONSE: OK.**
- *Will provide a list of comments on details sheets*  
**RESPONSE: OK.**

**Fire/Inspections Comments:**

- *Submit truck template for review and approval, using T1 template*  
**RESPONSE: Fire truck has been checked and can adequately pass around the site.**

**Economic Development Comments:**

- *Concern about fire truck access*  
**RESPONSE: Fire truck has been checked and can adequately pass around the site.**

**Planning Board Comments:**

- *Check parking calculations*  
**RESPONSE: Revised and clarified as suggested.**
- *Confirmed that 2 story storage building will have interior access*  
**RESPONSE: Agreed.**
- *Concerned about porous pavement in cul-de-sac*  
**RESPONSE: There will be very few vehicles on this cul-de-sac. The pavement will handle these few vehicles. There will be no big trucks.**

**Dave White - City Engineer Comments**

1. *The drainage study will be reviewed and comments forthcoming.*  
**RESPONSE: OK.**
2. *Any Operation and Maintenance plan should include an 11x17 plan showing the drainage structures referred to in the O&M plan.*  
**RESPONSE: OK. Pending, prior to Pre-construction Meeting.**

3. *Show the proposed porous pavement signs on the plan set that is referenced in the O&M plan*

**RESPONSE: Done. Sign detail added to Sheet D4.**

#### **Sheet C3**

4. *Will there be future sidewalks to lots 16F&G.*

**RESPONSE: No.**

5. *Driveways and access to lots 16F&G should come off the new roadway in the future.*

**RESPONSE: Agreed, pending design of each lot.**

6. *I would again recommend relocating the driveway to the storage stables to the South side of the building. This will enable it to service as a shared drive with lot 16F and remove a large impact to the wetland setback.*

**RESPONSE: We have reviewed this, and we remain of the opinion that this would be contrary to the Zoning Board Condition.**

7. *Our standard crosswalk is 10 ft wide. Please adjust your note and detail.*

**RESPONSE: Done.**

8. *Please note to install detectable warning panels at the tip downs at the entrance.*

**RESPONSE: Done.**

9. *Please note to install a street sign on the stop sign*

**RESPONSE: Done.**

10. *I am concerned about the designation of parking spaces in the center of the drive isle.*

**RESPONSE: One-way traffic is proposed adjacent to these spaces with 15.5' wide aisle, which is ample to allow vehicle flow.**

#### **Sheet C5**

11. *You should do a preliminary site design of lots 16F&G so that the proposed cross drainage and road drainage do not interfere with the future lot development.*

**RESPONSE: The Lot 16G cross pipe is designed to accept anticipated flow from this development, and the pond layout and pipe inlet can be modified (reduced, if necessary) to accommodate any future design. The location has been shifted to allow better layout on Lot 16F.**

12. *The proposed surface drainage along 430 feet of roadway into the first pond is too long of a distance. This needs to be reviewed and revised.*

**RESPONSE: A rip-rap apron has been placed at the end of the curb drop into the forebay. Lot 16F drainage design could be configured to include a portion of this roadway drainage.**

13. *Relocate the headwall for the 24inch outfall closer to the pavement and create a shallow stone outfall basin.*

**RESPONSE: Done.**

14. *The ponds seem to be missing some details like underdrains per the detail on L4. Either show more detail on C5 or have a separate detail for each pond.*

**RESPONSE: The underdrain has been removed.**

#### **Sheet C7**

15. *Please have unitil and psnh review the design and layout of the proposed gas and UGE.*

**RESPONSE: This review is underway.**

16. *Sewer and water services should be designed and installed for lots 16F&G so future road disturbance is avoided.*

**RESPONSE: Lot 16G services are shown on the plan as they cross the access drive. Lot 16F will have services on its own lot, without disturbance to the drive.**

17. *Please show the proposed drainage infrastructure and light pole bases on the utility sheets.*

**RESPONSE: Done.**

18. *Relocate the first hydrant so that it is just before the first parking lot.*

**RESPONSE: Done.**

#### **Sheet C8**

19. *If the rear pond reduces cover over the existing watermain, the pipe will need to be insulated.*

**RESPONSE: Cover is not decreased.**

20. *Add 'and the City of Dover policies and practices' to note 27.*

**RESPONSE: Done.**

#### **Sheet L1**

21. *Trees should not be planted over UG utilities.*

**RESPONSE: Agreed, a note has been added to the plans.**

#### **Sheet D1**

22. *Stop sign detail-our standard is to use 2 inch galvanized square posts with breakaway base.*

**RESPONSE: Revised as suggested.**

23. *Our cross walks are 10 feet wide.*

**RESPONSE: Revised as suggested.**

#### **Sheet D2**

24. *Buried gate detail-the city uses 6 ft bury gate boxes.*

**RESPONSE: Revised as suggested.**

25. *Thrust blocks- the city uses precast units but you can just note that instead of revising details.*

**RESPONSE: Done.**

26. *Water system trench-we require poly wrap on all mains.*

**RESPONSE: Done.**

27. *Hydrant detail-call out precast block and eddy 2641 hydrant.*

**RESPONSE: Done.**

28. *Sewer trench-we require crushed stone for bedding, no gravel.*

**RESPONSE: Done.**

29. *House sewer service-no cleanout and no fernco for connections.*

**RESPONSE: Done.**

30. *Drainage detail- should be the same as sewer, crushed stone bedding and sand blanket.*

**RESPONSE: Done.**

**Sheet D3**

31. *Provide a stone apron outfall detail*

**RESPONSE: Done.**

32. *Show where the under drain for the porous pavement is located on the plan view and where it outfalls.*

**RESPONSE: The underdrain has been removed.**

**Sheet D4**

33. *Add note-proposed retaining wall plans to be submitted for review by the City Engineer.*

**RESPONSE: Text added to Note 1 of the Detail.**

**34. Internal Drop Sewer Manhole Detail was added.**

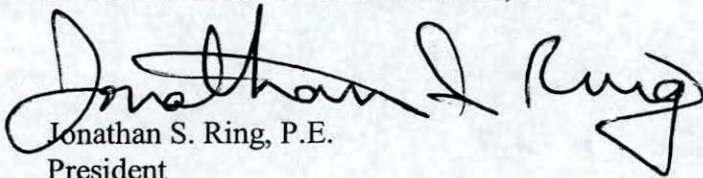
**Sheet E1**

**35. Organic Filter Berm Detail was added.**

If you have any questions, please feel free to contact our office. Thank you for your time.

Very truly yours,

**JONES & BEACH ENGINEERS, INC.**



Jonathan S. Ring, P.E.  
President

cc: The Storage Barn, LLC

### Architectural covenants

Per the variance for self storage obtained by the Zoning Board of Adjustment on 2-24-14, the featured buildings, being the "barn" and the "stables" are to simulate a horse barn or equestrian estate from the front and must be no closer than 500 feet from the city right of way. In concert with the application: "The barn will be a classic wooden New England barn 40' x 60'..." and the so-called stables "will be a wood framed addition that will appear to be a row of horse stables from the front with simulated Dutch doors, but is actually a storage building capable of climate control, with loading from the rear, out of sight." This is a one and a half story building with six single window dormers along the front to break up the long roof plane.

The barn has been fully designed and engineered by New England Homes in conformity to the spirit of the variance and will be an Energy Star rated structure on a full foundation. The south facing roof will have a full array of solar panels, producing 21 kWh of electricity.

The stables will be detached and built on a four foot frost wall foundation and only loaded only from the rear, presenting no appearance of a storage warehouse operation from the street.

The actual storage buildings themselves are engineered by Trachte Building Systems from Sun Prairie, Wisconsin, where they understand snow and wind loads and they design accordingly. The buildings are 100% rust free and erected on engineered floating concrete slabs. Two of the storage buildings are two stories and will have interior corridors, staircases and freight elevators with no outside decks, stairs or rails. The closet of these will be 750' back from Sixth Street.

The ZBA approval also required a solid row of evergreens buffering the gable ends of the closest storage buildings to Sixth Street on the west or left hand side of the easement/access road and this will be installed prior to the issuance of a building permit for that phase.

# Lease Agreement

Page 2 of 3

1. **TERM:** The term of this tenancy shall commence as of August 12, 2014, and shall continue on a month-to-month basis thereafter, running from day 12 of each month, which will be the designated due date for all subsequent rent payments.
2. **RENT:** Rent, as noted above under charges, shall be payable in advance on the monthly anniversary of the designated due date set forth in Paragraph 1 above, to owner or his designated agent. Rent must be paid in full and no partial payment will be accepted. The monthly rental and other charges may be changed at any time by owner giving at least (10) days written notice to occupant at the addresses provided above. The new rental charge shall become effective the next date on which rent is due. NO partial month pre-paid refunds.  
Late payments, or dishonored checks, cause owner to incur damages which are extremely difficult to measure, and because of this, occupant agrees to pay owner, as additional rent, additional service charges per space as indicated in the charges section above, or as follows:  
Any other costs incurred by owner by reason of occupant's breach of any provision of this agreement shall be deemed additional rent, and maybe demanded by owner of occupant at any time, or waived, in owner's sole and absolute discretion. **ALL PAYMENTS TO SATISFY OUTSTANDING LIEN AMOUNTS AND CHARGES SHALL BE PAID IN CASH, CASHIERS CHECK, OR MONEY ORDER. ANY PAYMENTS RECEIVED FROM OCCUPANT SHALL APPLY FIRST TOWARD ANY SERVICE CHARGES DUE UNDER THIS PARAGRAPH AND THEREAFTER TOWARD ANY OTHER SUMS DUE PURSUANT TO THIS AGREEMENT. NO MONTHLY STATEMENTS OR BILLS WILL BE ISSUED** (Unless requested by occupant in writing).
3. **USE AND OCCUPANCY:** Occupant agrees to use storage room only for the storage of property wholly owned by occupant. Property is stored under the supervision and control of the occupant. Owner exercises neither care, custody nor control over occupant's stored property. Occupant agrees not to store property with a total value of \$5,000 without the written permission of owner. If such written permission is not obtained the value of occupant's property shall be deemed not to exceed \$5,000. Nothing herein shall constitute any agreement or admission by owner that occupant's stored property has any value. Nor shall anything alter the release of owner's liabilities set forth in Paragraph 9 below.
4. **USES STRICTLY PROHIBITED:** Occupant is strictly prohibited from storing or using materials on the premises classified as hazardous or toxic under any local, state or federal law or regulation, or court decision, and from engaging on-site in any activity which produces such materials. Occupant shall not use the premises for the storage of illegal substances, perishable or food items, any form of friable or non-friable asbestos containing materials, explosives, paint, varnish, thinner, gasoline, petroleum products (including fractions of crude oil) and/or other highly flammable materials. The rented premises shall not be used for operations of any business or for human or animal occupancy, nor shall pets be brought on the premises or the surrounding property. Occupant shall not do or permit to be done any act which creates or may create a nuisance in connection with occupant's use of space. Occupant's obligations of indemnity as set forth in paragraph 10 herein specifically includes any cost, expenses, attorney fees, fines or penalties imposed against the owner, arising out of storage or use of any hazardous or toxic material by occupant, occupant's agents, employees, invitees or guests.
5. **ACCESS:** Occupant's access to the premises may be conditioned in any manner deemed reasonably necessary by owner to maintain order on the premises. Such measures may include, but not limited to, limiting hours of operation, requiring verification of occupant's identity and requiring occupant to sign in and sign out on entering and leaving the premises. Occupant Access may be denied after the rent is Five (5) days late.
6. **RIGHT TO ENTER:** Occupant shall grant owner, owner's agents or the representatives of any governmental authority, including police and fire officials, access to the premises upon three (3) days prior to written notice to occupant. In the event occupant shall not grant access to the premises as required or in the event of an emergency, owner, owner's agents or the representatives of any governmental authority shall have the right to remove occupant's lock and enter the premises for the purpose of examining the premises and taking such other action as may be necessary or appropriate to preserve the premises, or to comply with applicable law or enforce any of owner's rights. Owner shall not be liable for any losses occasioned by such entry.
7. **LOCK:** Occupant shall provide, at occupant's own expense, a lock for the premises which occupant, in occupant's sole discretion, deems sufficient to lock the premises. Occupant's storage room must be kept locked at all times when occupant is not in it.
8. **INSURANCE:** The owner does not provide insurance on Occupant's stored personal property. Occupant, at occupant's expense, must maintain a policy of fire and extended coverage insurance with burglary, vandalism and malicious mischief endorsement for at least 100% of full replacement of such property. Insurance on occupant's property is a material condition of this agreement. This insurance is for a benefit of both occupant and owner. Occupant expressly agrees that the carrier of such insurance shall not be subrogated to any claim of occupant against owner, owner's agents or employees. Failure to carry the required insurance is a breach of this agreement and occupant assumes the risk of loss to stored property that would be covered by such insurance. **Occupant may comply with this insurance requirement by participating in the SBOA Tenant Insurance program.**
9. **RELEASE OF OWNER'S LIABILITIES:** All personal property stored within or on leased premises by occupant shall be at occupant's sole risk. Owner and owner's agents shall not be liable to occupant for any damage or loss to any personal property while at the leased premises arising from any cause whatsoever including, but not limited to, burglary, fire, water damage, mysterious disappearance, rodents, acts of God or the active or passive acts or omissions or negligence of owner or owner's agents.
10. **INDEMNIFICATION:** Occupant will indemnify, hold harmless and defend owner from all claims, demands, actions of causes of action, (including attorney's fees and all costs whatsoever) that are hereafter made or brought as a result of or arising out of occupants use of the premises, including claims for owner's active negligence, not to exceed the limit of \$5,000.00.
11. **NOTICES:** Except as otherwise expressly provided in this Rental Agreement or by law, any written notices or demands required or permitted to be given under the terms of this Rental Agreement may be personally served or may be served by first class mail deposited in the United States mail with postage thereon fully prepaid to the party so to be served at the address of such party provided for in this Rental Agreement. Service of any such notice or demand shall be deemed complete on the date delivered, if personally delivered, or if mailed, shall be deemed complete on the date of deposit in the United States mail, with postage thereof fully prepaid and addressed in accordance with the provisions hereof. Past Due notices will only be sent electronically if email is provided by the Tenant.
12. **NOTIFICATION OF CHANGE OF ADDRESS:** In the event occupant shall change occupant's address as set forth in this Rental Agreement, occupant shall give owner written notice of any such change within ten (10) days of the change, specifying occupant's current address and telephone numbers, and alternate name and address. Any such change of address shall not be binding upon owner unless Occupant has given owner written notification of the change, and the owner has acknowledged its receipt in writing. E-mail notifications satisfy this legal change if they come from the e-mail address on file.
13. **CHANGE IN TERMS:** Any of the terms in this agreement may be changed by owner ten (10) days by written notice to occupant.
14. **ASSIGNMENT:** Occupant shall not sublet or assign the storage space without the prior written permission of owner.

WHITE DRIP EDGE  
@ GABLE ENDS & EAVES

6" RAKE JETS

5 1/2" EXTERIOR PORTFOLIO  
ARCHITECTURAL  
VINYL CORNERS

GRADE



6' X 60' COMPONENT SOUTHERN PORCH

STEPS AND STOOP  
BY BUILDER

6'-10 1/2"

6'-10 1/2"

NOTE: ANY & ALL Materials shipped here for the site completion of the manufactured product is ULTIMATELY  
THE SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

**11147**  
 Date: 6/19/14 JMS  
 Revisions:

**1001**  
 Sheet:

**New England Homes**  
 A Division of LoViney Commercial Building Supply  
 277 Locust Street, Suite B  
 Dover, NH 03820  
 www.newenglandhomes.net  
 (Telephone): 603.800.8831  
 (Fax): 603.431.8540

**DOW HIGHWAY PROPERTIES**  
 Builder: Colonial  
 Scale: 3/16" = 1'-0"  
 Structure Type: C

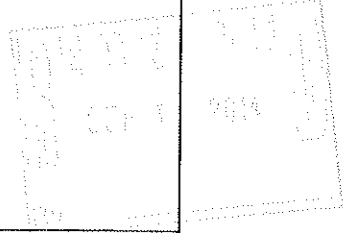
**FRONT ELEVATION**

Builder to check appropriate for sign, date, and return to N.E.H. Plans not checked, signed, and dated w/ an intent to build and subject to removal from Production Schedule.

**PRELIMINARY PLANS ONLY. NOT TO BE USED FOR CONSTRUCTION.**  
 I HAVE REVIEWED THESE PLANS FOR ACCURACY AND HEREBY AUTHORIZE N.E.H. TO DO THE FOLLOWING:

THERE ARE NO CHANGES TO THIS PLAN; PROCEED WITH THE PERMIT SET OF PLANS.  
 REVISE THESE PLANS AS NOTED AND PROCEED WITH THE PERMIT SET OF PLANS.  
 REVISE THESE PLANS AS NOTED AND SEND THE ANOTHER SET OF PRELIMINARY PLANS TO REVIEW.

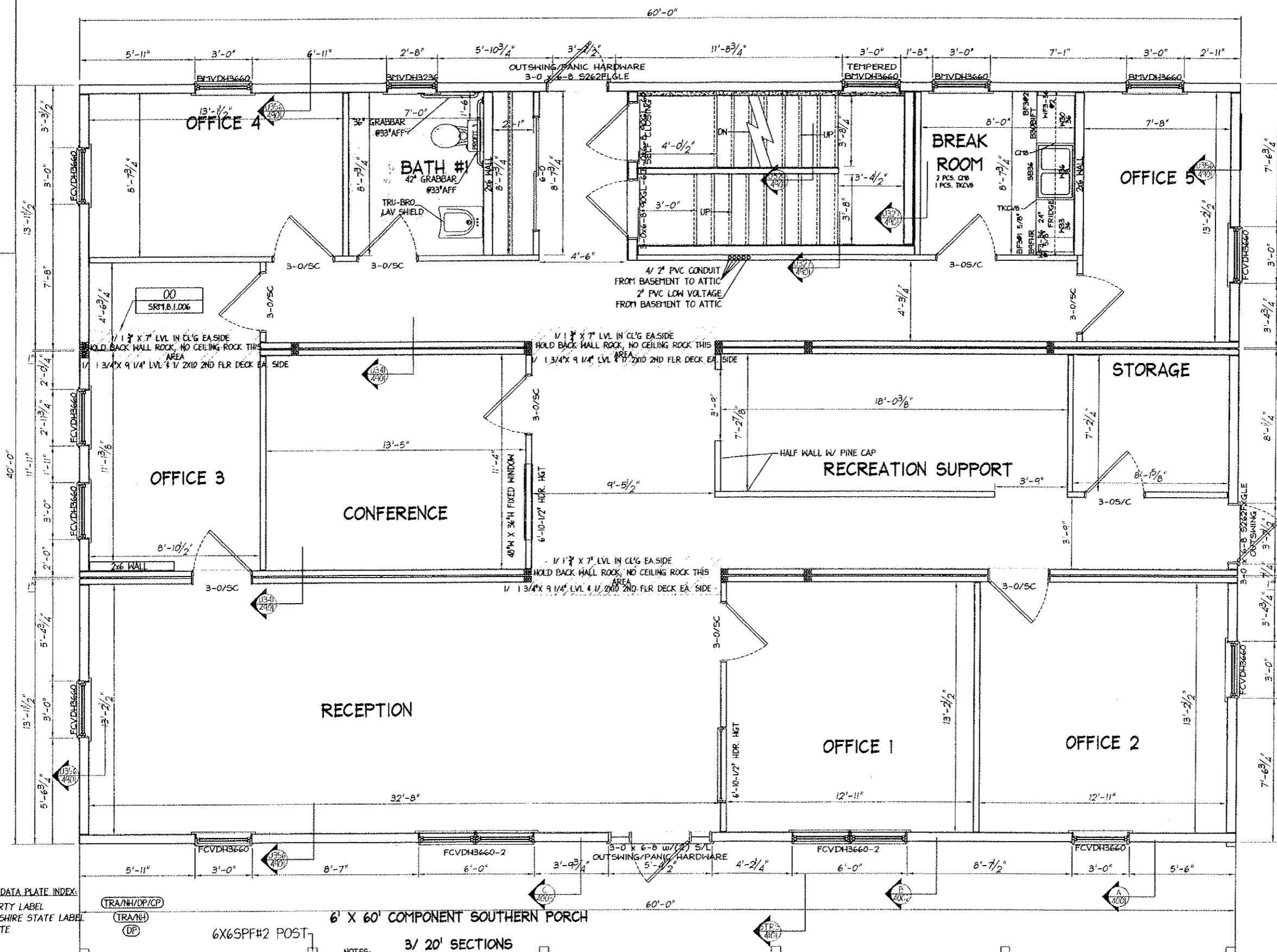
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 NEW ENGLAND HOMES INDEPENDENT BUILDER'S ONLY AUTHORIZED AGENT PER CONTRACT AGREEMENT



**MAXIMUM APPLIANCE DIMENSIONS WITHOUT CUT SHEETS**

- 30" GAS RANGE  
46-7/8" H X 27-3/4" D X 24-7/8" W
- 30" ELECTRIC RANGE  
46-7/8" H X 27-3/4" D X 24-7/8" W
- 21.7 CU. FT. FRIDGE  
66-7/8" H X 33.75" D X 33" W
- DISH WASHER  
23 7/8" H X 24 1/2" D X 34" TALL
- CLOTHES WASHER  
27 1/4" H X 32 9/16" D X 30" TALL
- CLOTHES DRYER  
27" H X 32 9/16" D X 30" TALL
- HALL OVEN SINGLE  
30" H X 26 7/16" D X 26 3/4" T
- HALL OVEN DOUBLE  
30" H X 26 7/16" D X 1/2" T
- COOK TOP  
30 1/8" H X 21 3/4" D X 3 3/4" T

- JELD-WEN FLAT CASING VINYL DOUBLE HUNG SERIES**
- FCVDH2436: R.O. 24"W X 36"H
  - FCVDH2448: R.O. 24"W X 48"H
  - FCVDH3248: R.O. 32"W X 48"H
  - FCVDH2654: R.O. 28"W X 54"H
  - FCVDH3236: R.O. 32"W X 36"H
  - FCVDH3636: R.O. 36"W X 36"H
  - FCVDH3242: R.O. 32"W X 42"H
  - FCVDH3857: R.O. 38"W X 57"H
  - FCVDH2060: R.O. 20"W X 60"H
  - FCVDH3660: R.O. 36"W X 60"H
  - FCVDH3860: R.O. 38"W X 60"H
  - FCVDH3662: R.O. 36"W X 62"H
  - FCVFW3212: R.O. 32"W X 12"H
  - FCVFW3612: R.O. 36"W X 12"H
  - FCVFW4860: R.O. 48"W X 60"H



Builder to check appropriate box, sign, date, and return to N.E.N. Plans not checked, signed, and dated will be returned to Builder and subject to removal from Production Scheduling.

**PRELIMINARY PLANS ONLY. NOT TO BE USED FOR CONSTRUCTION.**

I HAVE REVIEWED THESE PLANS FOR ACCURACY AND HEREBY AUTHORIZE N.E.N. TO DO THE FOLLOWING:

- THERE ARE NO CHANGES TO THIS PLAN. PROCEED WITH THE PERMIT SET OF PLANS.
- REVISE THESE PLANS AS NOTED AND PROCEED WITH THE PERMIT SET OF PLANS.
- REVISE THESE PLANS AS NOTED AND SEND ME ANOTHER SET OF PRELIMINARY PLANS TO REVIEW.

NOTE: ANY & ALL Material shipped here for the safe completion of the manufactured product is ULTIMATELY THE SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

**New England Homes**  
277 Locust Street, Suite B  
Dover, NH 03820  
www.newenglandhomes.net  
(Telephone) 800.800.8831  
(Telephone) 603.431.8540

**DOW HIGHWAY PROPERTIES**  
Builder: Colonial  
Score: 3/16" = 1'-0"  
Structure Type: C

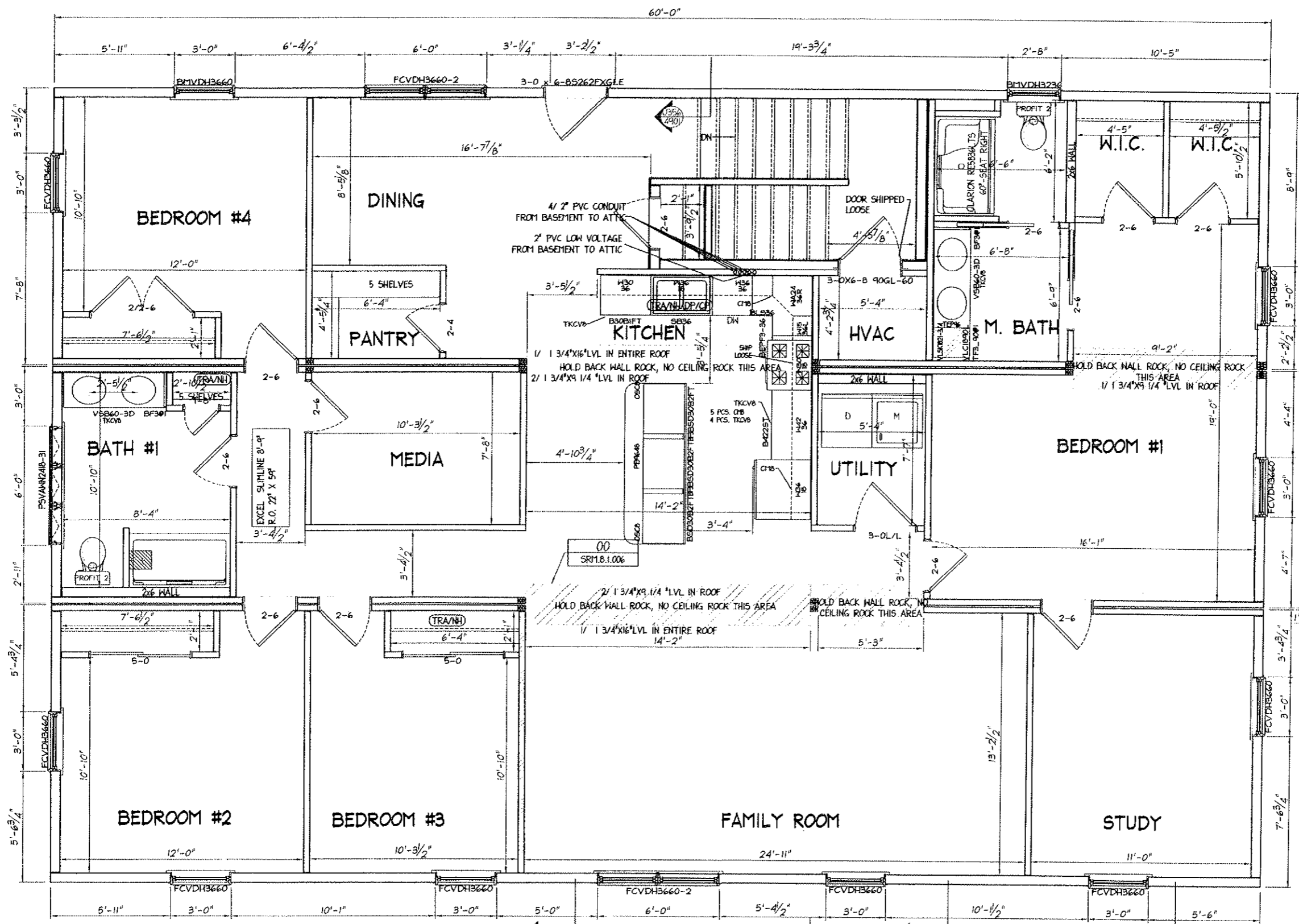
**FIRST FLOOR PLAN**

Project: 1147  
Sheet: 3101

**LABEL AND DATA PLATE INDEX:**

- TRA THIRD PARTY LABEL
- NH NEW HAMPSHIRE STATE LABEL
- DP DATA PLATE

6X6SPF#2 POST  
3/ 20' SECTIONS  
NOTES:  
1. ALL FIRST FLOOR INTERIOR DOORS HAVE SELF CLOSING HARDWARE.



JELD-WEN BRICKMOLD VINYL DOUBLE HUNG SERIES

BMVDH2436:	R.O. 24"W X 36"H
BMVDH2448:	R.O. 24"W X 48"H
BMVDH3248:	R.O. 32"W X 48"H
BMVDH2654:	R.O. 28"W X 54"H
BMVDH3236:	R.O. 32"W X 36"H
BMVDH3636:	R.O. 36"W X 36"H
BMVDH3242:	R.O. 32"W X 42"H
BMVDH3257:	R.O. 38"W X 57"H
BMVDH2060:	R.O. 20"W X 60"H
BMVDH3660:	R.O. 36"W X 60"H
BMVDH3860:	R.O. 38"W X 60"H
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BMVFW3212:	R.O. 32"W X 12"H
BMVFW3612:	R.O. 36"W X 12"H
BMVFW4860:	R.O. 48"W X 60"H

**LABEL AND DATA PLATE INDEX:**  
 TRA THIRD PARTY LABEL  
 NH NEW HAMPSHIRE STATE LABEL  
 DP DATA PLATE



Builder to check appropriate size, type, and return to N.E.H. Plans not checked, signed, and dated will be returned to Builder and subject to removal from Production Scheduling.

**PRELIMINARY PLANS ONLY. NOT TO BE USED FOR CONSTRUCTION.**  
 I HAVE REVIEWED THESE PLANS FOR ACCURACY AND HEREBY AUTHORIZE N.E.H. TO DO THE FOLLOWING:  
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 REVISE THESE PLANS AS NOTED AND SEND ME ANOTHER SET OF PRELIMINARY PLANS TO REVIEW.

NOTE: ANY & ALL labels shipped loose for the site completion of the manufactured product is ULTIMATELY THE SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW TO INSTALL AND TEST.

**New England Homes**  
 277 Locust Street, Suite B  
 Dover, NH 03820  
 www.newenglandhomes.net  
 (Telephone): 800.800.8831  
 (Fax): 603.431.8540

A Division of Loribey Development Building Supply  
**LOW HIGHWAY PROPERTIES**  
 Structure Type: Colonial  
 Scale: 3/16" = 1'-0"

**11147**  
 Date: 5/19/14  
 Revisions:

**3102**  
 Sheet:

**SECOND FLOOR PLAN**



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-59

Application Type: Minor Lot Line Adjustment  
Applicant(s): Denis and Denise Couturier  
Owner(s): Denis and Denise Couturier and Wilbur and Shirley Drew  
Location: 292 Tolend Road (Assessor's Map F, Lots 8 & 8-D)

**INTENT:** To adjust the lot lines between two existing lots on Tolend Road, with no increase in the number of lots.

**LOTS/UNITS PROPOSED:** None

**AGENDA ITEM #:** 4-E

**ACREAGE:** 14.5 Acres

**ZONING DISTRICT:** Rural Residential District (R-40)

**EXISTING LAND USE:** One single family house and one vacant lot

**PROPOSED LAND USE:** Same

**SURROUNDING LAND USE:** Single family residential

**ZBA ACTION:** None

**ATTACHMENTS:** Lot line adjustment plan and application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters

**PERMITS REQUIRED:** None

**WAIVERS REQUESTED:** None

### **Summary of Request and Background**

The applicant proposes to reconfigure the lot lines between two existing lots. There is no change in the number of lots.

### **Consistency with Land Use Regulations**

Chapter 155-18 of the Land Subdivision Regulations of the City Code provides for the adjustment of existing lot lines between two or more lots. This plan is consistent with those regulations.

### **STAFF RECOMMENDATION:**

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the lot line adjustment plat with the following conditions:

### **Conditions to Be Met Prior to Signing of Plans:**

1. The owners' signatures shall be added to the final plat submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall revise the plat to add the Planning File number P14-59 to the title block.

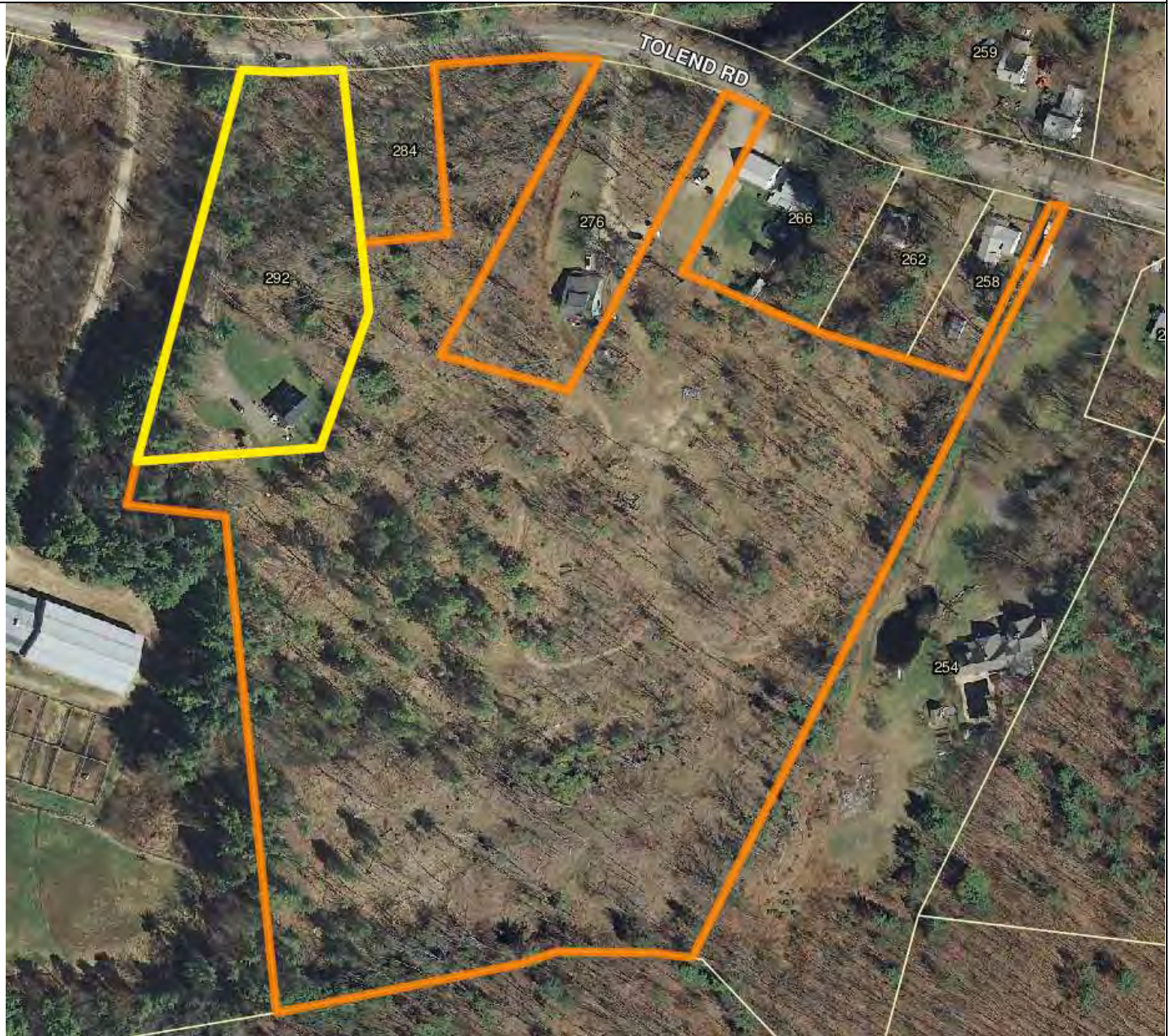


**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-59

Application Type: Minor Lot Line Adjustment  
Applicant(s): Denis and Denise Couturier  
Owner(s): Denis and Denise Couturier and Wilbur and Shirley Drew  
Location: 292 Tolend Road (Assessor's Map F, Lots 8 & 8-D)

BELOW IS AN AERIAL VIEW OF 292 TOLEND ROAD





# City of Dover, New Hampshire

## MINOR LOT LINE ADJUSTMENT APPLICATION

[Revision Date: February 12, 2013]

<i>Office Use Only</i>	Project #: <u>P14-59</u>	Date Received: _____	<div style="border: 1px solid black; padding: 5px; color: red; font-weight: bold;">             RECEIVED              SEP 04 2014              By _____ <span style="float: right;">DB</span> </div>
Amount Paid: _____	Time Received: _____		

### APPLICANT INFORMATION

Name of Applicant: Denis + Denise Couturier Telephone # 817-2096  
 Address of Applicant: 292 Tolend Road Dover NH 03820

### FIRST PROPERTY OWNER AND PARCEL INFORMATION

Name of 1<sup>st</sup> Property Owner (if different from applicant): same Telephone # \_\_\_\_\_  
 Address of 1<sup>st</sup> Property Owner: \_\_\_\_\_  
 Address of Property: Tolend Road, 292  
 Assessor's Map # F Lot(s) # 8D  
 Property Deed: Book 1316 Page: 43  
 Zoning District(s) R-40 Overlay District(s) \_\_\_\_\_  
 Size of Existing Parcel (sq. ft.): 77,265 Size of Proposed Parcel (sq. ft.): 77,265

### SECOND PROPERTY OWNER AND PARCEL INFORMATION

Name of 2<sup>nd</sup> Property Owner (if different from applicant): Wilbur + Shirley Drew Telephone # \_\_\_\_\_  
 Address of 2<sup>nd</sup> Property Owner: 266 Tolend Road Dover NH 03820  
 Address of Property: Tolend Road (VACANT)  
 Assessor's Map # F Lot(s) # 8  
 Property Deed: Book 2430 Page: 420  
 Zoning District(s) R-40 Overlay District(s) \_\_\_\_\_  
 Size of Existing Parcel (sq. ft.): 554,685 Size of Proposed Parcel (sq. ft.): 554,685

**[Use additional application form if more than two lots are being adjusted]**

### SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) McEneaney Surety Associates, Inc.  
 Address 24 Chestnut Street Dover NH 03820 Telephone #: 742-0911  
 Professional License #: Kevin McEneaney, LLS 661 E-mail address: Kevin@surveynh.com

**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of First Property Owner: Denise M. Coakley Date: 8-25-2014

Signature of Second Property Owner: William Coakley Date: 8-25-2014

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: \_\_\_\_\_ Date: \_\_\_\_\_

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: William Coakley Date: 8-25-2014

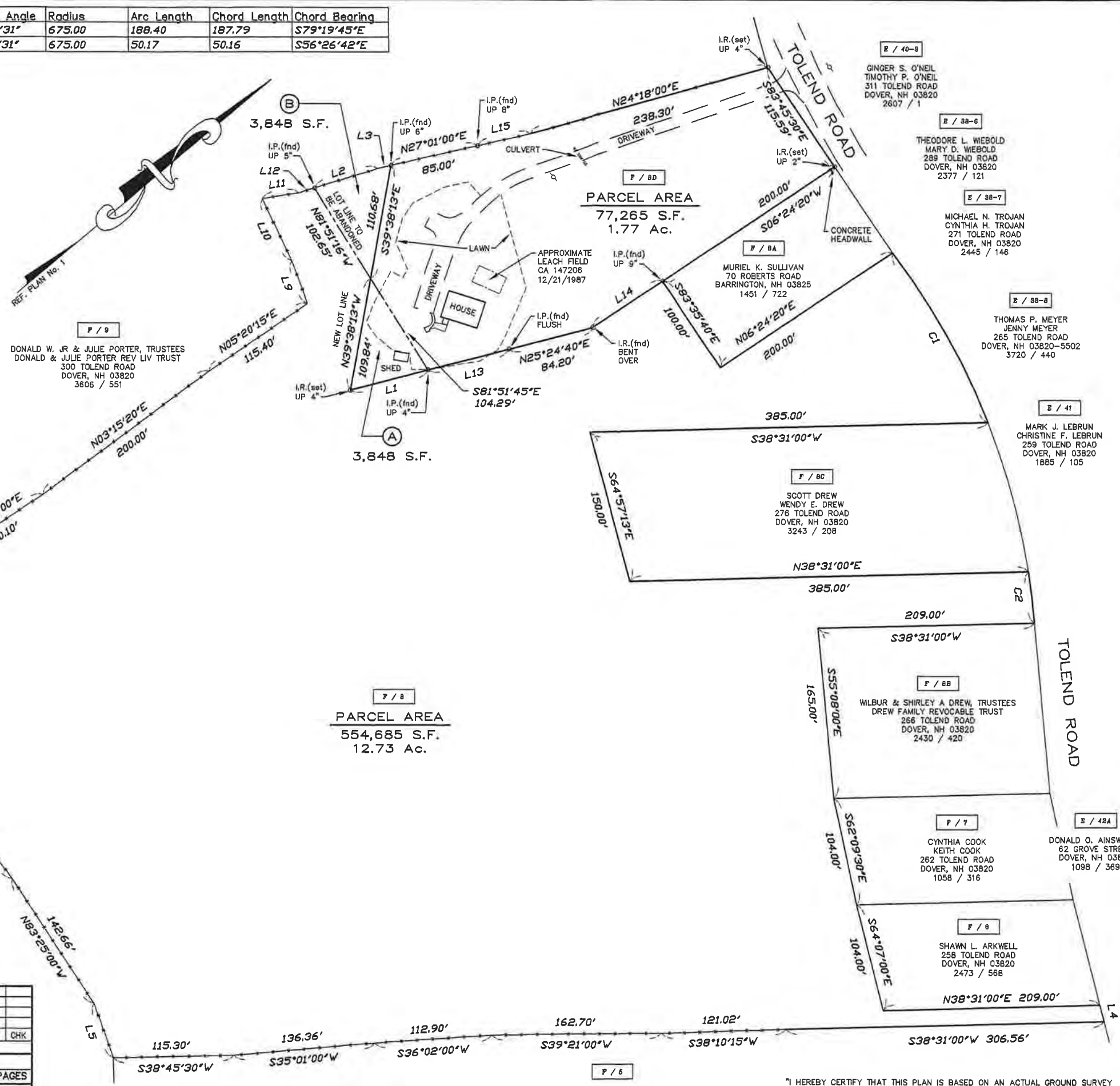
Denise M. Coakley 8-25-2014

	ABUTTERS LIST for Lot Line Adjustment	Application (COUTURIER)	updated 9/2/14					
	NAME		ADDRESS	CITY	NH	ZIP	DEED	
Surveyor	McEaney Survey Associates, Inc		24 Chestnut Street	Dover	NH	03820		
Owners/Applicant								
F / 8, F / 8B	Drew Family Revocable Trust	Wilbur & Shirley A. Drew, Trustees	266 Tolend Road	Dover	NH	03820	2430 / 420	
F / 8D	Denis & Denise Couturier		292 Tolend Road	Dover	NH	03820	1316 / 43	
200' Abutters								
F / 4	Tracey Lauder		250 Tolend Road	Dover	NH	03820	3213 / 45	
F / 5	Karen L. Stumcke		P.O. Box 1252	Dover	NH	03821	3858 / 592	
F / 6	Shawn L. Arkwell		258 Tolend Road	Dover	NH	03820	2473 / 568	
F / 7	Keith & Cynthia Cook		262 Tolend Road	Dover	NH	03820	1058 / 316	
F / 8A	Muriel K. Sullivan		70 Roberts Road	Barrington	NH	03825	1451 / 722	
F / 8C	Scott & Wendy Drew		276 Tolend Road	Dover	NH	03820	3243 / 208	
F / 9	Donald W. & Julie A. Porter Rev. Living Trust	Donald & Julie Porter, Trustees	300 Tolend Road	Dover	NH	03820	3606 / 551	
F / 15	Jeffrey S. & Darlene K. White		32 Piscataqua Rd.	Dover	NH	03820	3885 / <del>504</del>	584
E / 38-6	Theodore L. & Mary D. Wiebold		289 Tolend Road	Dover	NH	03820	2377 / 121	
E / 38-7	Michael N. & Cynthia H. Trojan		271 Tolend Road	Dover	NH	03820	2445 / 146	
E / 38-8	Thomas P. & Jenny Meyer		265 Tolend Road	Dover	NH	03820	3720 / 440	
E / 40-3	Timothy P. & Ginger O'Neil		311 Tolend Road	Dover	NH	03820	2607 / 1	
E / 41	Mark J. & Christine F. Lebrun		259 Tolend Road	Dover	NH	03820	1885 / 105	
E / 42A	Donald O. Ainsworth		62 Grove Street	Dover	NH	03820	1098 / 369	
E / 42	The Willows Homeowners Association		P.O. Box 9	Dover	NH	03821	2575 / 242	



No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	15°59'31"	675.00	188.40	187.79	S79°19'45"E
C2	04°15'31"	675.00	50.17	50.16	S56°26'42"E

No.	Bearing	Distance
L1	S25°24'40"W	77.30'
L2	N22°59'30"E	64.00'
L3	N27°01'00"E	13.22'
L4	S64°07'00"E	16.30'
L5	N70°05'00"W	55.96'
L6	N08°23'40"E	33.00'
L7	N00°37'00"E	69.90'
L8	N03°41'00"E	56.50'
L9	N70°15'00"W	44.00'
L10	N75°22'00"W	66.10'
L11	N30°49'40"E	35.80'
L12	N22°59'30"E	16.03'
L13	N25°24'40"E	80.00'
L14	N06°24'20"E	81.00'
L15	N27°01'00"E	53.00'



**REFERENCE PLANS:**  
 1.) LIMITED SUBDIVISION FOR WILBUR A. JR. & SHIRLEY DREW, TOLEND ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 50'; DATED: AUG. 1986; RECORDED S.C.R.D. PLAN 31-42.

**NOTES:**  
 1.) OWNER OF RECORD:  
 WILBUR AND SHIRLEY A. DREW, TRUSTEES  
 DREW FAMILY REVOCABLE TRUST  
 266 TOLEND ROAD  
 DOVER, NEW HAMPSHIRE 03820  
 S.C.R.D. VOL. 2430 PAGE 420  
 OWNER SIGNATURES

2.) F/BD - DENOTES TAX MAP AND PARCEL NUMBER.  
 3.) ZONING DISTRICT IS R-40 (RURAL RESIDENTIAL DISTRICT).  
 4.) ZONING DIMENSIONAL AND DENSITY REQUIREMENTS:  
 MINIMUM LOT SIZE = 40,000 S.F.  
 MINIMUM FRONTAGE = 150 FEET  
 MAXIMUM LOT COVERAGE = 10 PERCENT  
 MINIMUM BUILDING SETBACKS, PRINCIPAL:  
 FRONT / ABUT A STREET = 40 FEET  
 SIDE = 25 FEET  
 REAR = 30 FEET  
 MAXIMUM BUILDING HEIGHT = 35 FEET

5.) PLAN INTENT: TO ADJUST THE LOT LINES AS SHOWN, EQUAL AREA TRACTS "A" & "B" (3,848 S.F.) ARE TO BE SWAPPED BETWEEN PARCELS F/8 AND F/8D. PARCEL F/8 IS CURRENTLY UNDEVELOPED. PARCEL F/8D IS DEVELOPED AS SHOWN.  
 6.) PARCEL AREAS =  

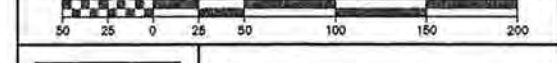
PARCEL	ORIGINAL PARCEL	NEW PARCEL
F/8	77,265 S.F. / 1.77 Ac.	77,265 S.F. / 1.77 Ac.
F/8D	554,685 S.F. / 12.73 Ac.	554,685 S.F. / 12.73 Ac.

 7.) PER FLOOD INSURANCE RATE MAP 33017C0310D, EFFECTIVE DATE: MAY 17, 2005; ZONE "X"; AREAS DETERMINED TO BE OUTSIDE THE FEDERALLY DESIGNATED 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN.  
 8.) BASIS OF BEARINGS IS REFERENCE PLAN No. 1.  
 9.) A DIGITAL DXF COPY OF THE APPROVED PLAN WILL BE PROVIDED TO CITY OF DOVER PLANNING DEPARTMENT UPON FINAL APPROVAL.



**LOT LINE ADJUSTMENT PLAN**  
 PREPARED FOR  
**DREW FAMILY REVOCABLE TRUST**  
 AND  
**DENIS & DENISE COUTURIER**  
 TAX MAP F, LOT Nos. 8 & 8D  
 292 TOLEND ROAD  
 CITY OF DOVER  
 COUNTY of STRAFFORD  
 STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 14-  
 DRAWN BY: RJM FILE: VR CP\2074\14-2074 95-712  
 SCALE: 1" = 50' DATE: AUGUST 28, 2014



F/16  
 JEFFREY S. WHITE  
 DARLENE KAY WHITE  
 32 PISCATAQUA ROAD  
 DOVER, NH 03820  
 3885 / 584

**LEGEND**  
 I.R.(set) o - IRON ROD W/ I.D. CAP (SET)  
 I.R.(fd) - IRON ROD FOUND  
 I.P.(fd) - IRON PIPE FOUND  
 S.F. - SQUARE FEET  
 Ac. - ACRE  
 (TYP.) - TYPICAL  
 ± - MORE OR LESS  
 S.C.R.D. - STRAFFORD COUNTY  
 REGISTRY OF DEEDS  
 o - UTILITY POLE  
 --- WIRE FENCE LINE  
 --- STONE WALL  
 --- EDGE OF PAVEMENT

NO.	DATE	DESCRIPTION	BY	CHK
14-2074		LL ADJ		
PROJECT NO	TYPE	FIELDBOOK & PAGES		

F/8  
 KAREN C. STUMCKE  
 P.O. Box 1252  
 DOVER, NH 03821  
 3858 / 592

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-60

Application Type: Minor Subdivision  
Applicant: Richard and Stephanie Lund  
Owners: Richard and Stephanie Lund  
Location: 38 Piscataqua Road (Assessor's Map J, Lot 13)

**INTENT:** To subdivide an existing lot on Piscataqua Road into two lots. Both lots would be served by private well and on-site septic systems. The lot sizes would be 2.75 and 3.0 acres.

**LOTS/UNITS PROPOSED:** One lot divided into two lots

**AGENDA ITEM #:** 4-F

**ACREAGE:** 5.75 Acres

**ZONING DISTRICT:** Rural Residential District (R-40)

**EXISTING LAND USE:** One single family house

**PROPOSED LAND USE:** One additional single family house lot

**SURROUNDING LAND USE:** Single family residential

**ZBA ACTION:** N/A

**PERMITS REQUIRED:**

- NH Department of Environmental Services Subdivision Permit

**WAIVERS REQUESTED:** None

**ATTACHMENTS:** Subdivision plan and application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for this meeting.

**Summary of Request and Background**

The applicant proposes to subdivide an existing lot on Piscataqua Road to create one additional single family house lot.

**Consistency with Land Use Regulations**

Chapter 155-15 of the Land Subdivision Regulations of the City Code provides for subdivisions of existing lots. The plan is consistent with the purpose of the Rural Residential District (R-40), which is to provide for single family neighborhoods in the more rural areas of the city.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the application with the following conditions:

**Conditions to Be Met Prior to Signing of Plans:**

1. The owner's signature shall be added to the final plat submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall add the surveyor's and certified wetland scientist's stamps and signatures to the plat.
4. The applicant shall revise the plat to add the Planning File number P14-60 to the title block.
5. The applicant shall provide the Planning Department with a copy of the NH Department of Environmental Services Subdivision Permit and add the permit number to the plat.
6. The applicant shall revise the plat to add a note that the house constructed on the new lot will comply with NFPA-1 (NH Fire Code) or provide a sprinkler system for the house.

**Conditions to Be Met Prior to Issuance of a Building Permit:**

7. All new dwelling units shall be assessed the current impact fees in place at the time of building permit application.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-60

Application Type: Minor Subdivision  
Applicant: Richard and Stephanie Lund  
Owners: Richard and Stephanie Lund  
Location: 38 Piscataqua Road (Assessor's Map J, Lot 13)

BELOW IS A STREET VIEW OF 38 PISCATAQUA ROAD



BELOW IS AN AERIAL VIEW OF 38 PISCATAQUA ROAD





**CITY OF DOVER**

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**WAIVERS REQUESTED:** None

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**CITY OF DOVER**

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BELOW IS A STREET VIEW OF 38 PISCATAQUA ROAD



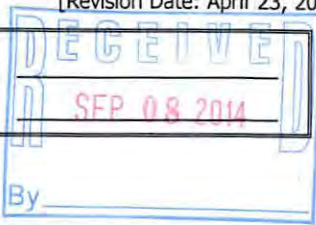
BELOW IS AN AERIAL VIEW OF 38 PISCATAQUA ROAD





# City of Dover, New Hampshire SUBDIVISION APPLICATION

[Revision Date: April 23, 2013]

Office Use Only	Project #:	<u>P14-60</u>	Date Received:	
	Amount Paid:	<u>\$343.00</u>	Time Received:	

### APPLICANT AND OWNER INFORMATION

CR# 1244

Name of Applicant: RICHARD + STEPHANIE LUND Telephone # 749-1051

Address of Applicant: 38 PISCATAQUA ROAD DOVER, NH 03820

Name of Property Owner (if different from applicant): SAME Telephone # \_\_\_\_\_

Address of Property Owner: \_\_\_\_\_

E-Mail Address: N/A

### PROPERTY INFORMATION

Address of Property: 38 PISCATAQUA ROAD

Assessor's Map # J Lot(s) # 13

Zoning District(s) R-40 Overlay District(s) \_\_\_\_\_

Size of Parcel: 250,594 SF / 5.75 AC Property Deed: Book 1640 Page: 728

Existing Use of Property: SINGLE FAMILY RESIDENTIAL

### SUBDIVISION INFORMATION

Subdivision Type: Major (4 + net new lots): \_\_\_\_\_ Minor (3 or fewer lots):  Open Space: \_\_\_\_\_

Existing Number of Lots: 1 Proposed Number of Lots: 2

City Water?  Yes  No How far is city water from the property? N/A

City Sewer?  Yes  No How far is city sewer from the property? N/A

Highway Access (check where applicable):  City Street  State Highway

Estimated Length of Proposed Roads: N/A feet Public or Private Road? N/A

### WAIVER REQUESTS

Subdivision Regulations section(s) to be waived: \_\_\_\_\_

Justification for waiver request(s) (attach additional sheets as needed): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**SURVEYOR INFORMATION**

Name of Surveyor and Company (Licensed in N.H.) MCEWEANEY SURVEY ASSOCIATES INC.  
Address 24 CHESTNUT STREET Telephone #: 742-0911  
Professional License #: KEVIN MCEWEANEY US 661 E-mail address: Kevin@surveynh.com

**ENGINEER INFORMATION**

Name of Engineer and Company (Licensed in N.H.) N/A  
Address \_\_\_\_\_ Telephone #: \_\_\_\_\_  
Professional License #: \_\_\_\_\_ E-mail address: \_\_\_\_\_

**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: Richard D. Linn R. J. Date: 9/5/2014

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: \_\_\_\_\_ Date: \_\_\_\_\_

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Richard D. Linn R. J. Date: 9/5/2014

**AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY**

I, and my successors, hereby authorize the City of Dover and its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: N/A Date: \_\_\_\_\_

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

**CERTIFICATION OF FEES**

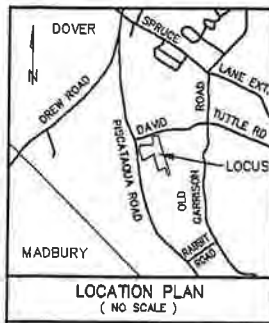
I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board.

Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner: Richard D Lund Date: 9/5/2011

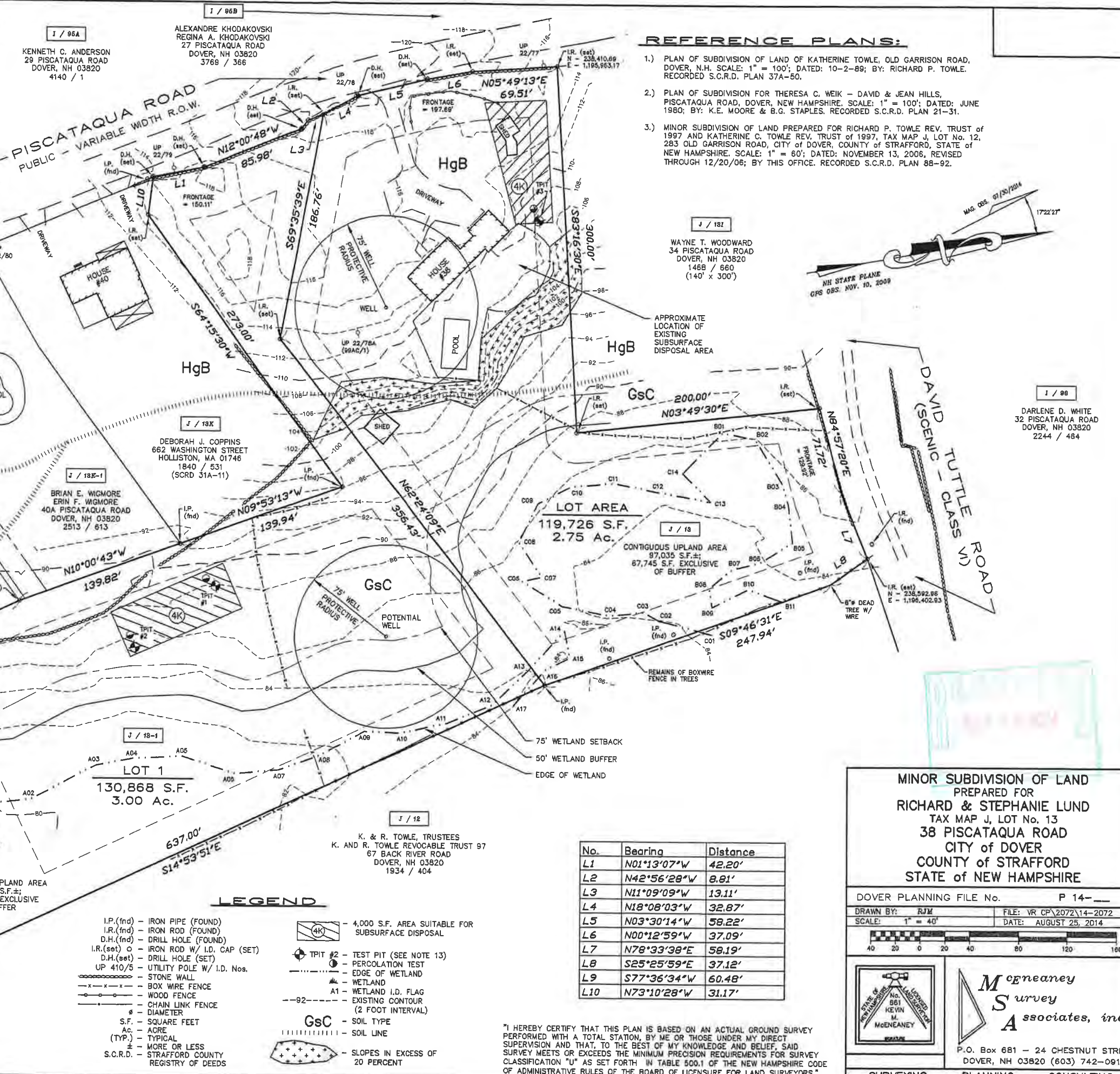
Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_





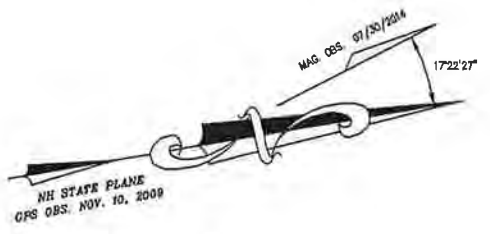
**NOTES:**

- OWNER OF RECORD:  
RICHARD D. LUND, JR.  
STEPHANIE J. LUND  
38 PISCATAQUA ROAD  
DOVER, NEW HAMPSHIRE 03820-5205  
S.C.R.D. VOL. 1640, PAGE 728
- OWNER SIGNATURES  
KENNETH C. ANDERSON  
29 PISCATAQUA ROAD  
DOVER, NH 03820  
4140 / 1
- J / 18 - DENOTES TAX MAP AND PARCEL NUMBER.
- TOTAL PARCEL AREA = 250,594 S.F. / 5.75 Ac.
- THE INTENT OF THIS PLAN IS TO SUBDIVIDE THE SUBJECT PARCEL INTO TWO (2) LOTS, THE PROPOSED USE IS SINGLE FAMILY. THE PROPOSED LOTS ARE SERVICED BY WELL AND SUBSURFACE DISPOSAL SYSTEM.
- BASIS OF BEARINGS IS NH STATE PLANE GRID FROM GPS OBSERVATION TAKEN ON NOV. 10, 2009. VERTICAL DATUM IS NAVD88



**REFERENCE PLANS:**

- PLAN OF SUBDIVISION OF LAND OF KATHERINE TOWLE, OLD GARRISON ROAD, DOVER, N.H. SCALE: 1" = 100'; DATED: 10-2-89; BY: RICHARD P. TOWLE. RECORDED S.C.R.D. PLAN 37A-50.
- PLAN OF SUBDIVISION FOR THERESA C. WEIK - DAVID & JEAN HILLS, PISCATAQUA ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 100'; DATED: JUNE 1980; BY: K.E. MOORE & B.G. STAPLES. RECORDED S.C.R.D. PLAN 21-31.
- MINOR SUBDIVISION OF LAND PREPARED FOR RICHARD P. TOWLE REV. TRUST OF 1997 AND KATHERINE C. TOWLE REV. TRUST OF 1997, TAX MAP J, LOT No. 12, 283 OLD GARRISON ROAD, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 60'; DATED: NOVEMBER 13, 2006, REVISED THROUGH 12/20/06; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 88-92.



NOTES CONTINUED:

- A DIGITAL DXF COPY OF THE APPROVED PLAN WILL BE PROVIDED TO CITY OF DOVER PLANNING DEPARTMENT UPON FINAL APPROVAL.
- STREET ADDRESSES FOR EACH LOT SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT. EXISTING HOUSE ADDRESS IS 38 PISCATAQUA ROAD
- ZONING DISTRICT IS R-40 (RURAL RESIDENTIAL DISTRICT)
- ZONING DIMENSIONAL AND DENSITY REQUIREMENTS:  
MINIMUM LOT SIZE = 40,000 S.F.  
MINIMUM FRONTAGE = 150 FEET  
BUILDING SETBACK REQUIREMENTS:  
FRONT = 40 FEET  
REAR = 30 FEET  
SIDE (ABUT A LOT) = 25 FEET  
SIDE (ABUT A STREET) = 40 FEET  
MAXIMUM LOT COVERAGE = 10 PERCENT  
MAXIMUM BUILDING HEIGHT = 35 FEET  
WETLAND BUFFER = 50 FEET  
WETLAND SETBACK FOR SEPTIC = 75 FEET
- THE SUBJECT PARCEL IS LOCATED WITHIN AREAS DETERMINED TO BE OUTSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOOD. SOURCE: FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145, PANEL 0340, SUFFIX D; MAP NUMBER 33017C0340D, EFFECTIVE DATE: MAY 17, 2005.
- TOPOGRAPHIC INFORMATION SHOWN IS BASED ON FIELD OBSERVATION BY THIS OFFICE DURING JULY AND AUGUST 2014. CONTOUR INTERVAL IS TWO (2) FOOT.
- THE SOIL TYPES ON THE SUBJECT PARCEL ARE:  
Gsc - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES  
HgB - HOLLIS-GLOUCESTER VERY ROCKY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES  
ScA - SCANTIC SILT LOAM, 0 TO 3 PERCENT SLOPES.  
SOURCE: USDA, SCS SOIL SURVEY OF STRAFFORD COUNTY, NEW HAMPSHIRE, SHEET 31, ISSUED MARCH 1973.
- TEST PIT SHOWN WAS OBSERVED BY JOSEPH W. NOEL, C.S.S. #017 ON AUGUST 15, 2014 AND LOCATED BY THIS OFFICE.
- WETLANDS SHOWN WERE AS FIELD IDENTIFIED BY JOSEPH W. NOEL NH C.S.S., C.W.S. DURING AUGUST 5, 2005 AND LOCATED BY THIS OFFICE.
- NH D.E.S. SUBDIVISION APPROVAL NUMBER SA 2014 \_\_\_\_\_ DATED: PENDING.
- PARCEL J / 13-1 WILL BE ACCESSED BY THE EXISTING EIGHTEEN FOOT WIDE INGRESS AND EGRESS EASEMENT LOCATED OVER PARCEL J/13K-1
- PARCEL J / 13 AND PARCEL J / 13-1 CONTAIN A MINIMUM OF 40,000 S.F. OF CONTIGUOUS UPLANDS AND MEET THE REQUIREMENTS OF R-40 FOOTNOTE 3 AS SHOWN.
- ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- PRIOR TO ANY EARTH DISTURBING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233.

**LEGEND**

- I.P.(fnd) - IRON PIPE (FOUND)
- I.R.(fnd) - IRON ROD (FOUND)
- D.H.(fnd) - DRILL HOLE (FOUND)
- I.R.(set) - IRON ROD W/ I.D. CAP (SET)
- D.H.(set) - DRILL HOLE (SET)
- UP 410/5 - UTILITY POLE W/ I.D. Nos.
- x-x-x- - BOX WIRE FENCE
- o-o-o- - WOOD FENCE
- - - - CHAIN LINK FENCE
- φ - DIAMETER
- S.F. - SQUARE FEET
- Ac. - ACRE
- (TYP.) - TYPICAL
- ± - MORE OR LESS
- S.C.R.D. - STRAFFORD COUNTY REGISTRY OF DEEDS
- (4K) - 4,000 S.F. AREA SUITABLE FOR SUBSURFACE DISPOSAL
- TPIT #2 - TEST PIT (SEE NOTE 13)
- - PERCOLATION TEST
- - EDGE OF WETLAND
- - WETLAND
- A1 - WETLAND I.D. FLAG
- - - - EXISTING CONTOUR (2 FOOT INTERVAL)
- Gsc - SOIL TYPE
- - SOIL LINE
- - SLOPES IN EXCESS OF 20 PERCENT

No.	Bearing	Distance
L1	N01°13'07"W	42.20'
L2	N42°56'28"W	8.81'
L3	N11°09'09"W	13.11'
L4	N18°08'03"W	32.87'
L5	N03°30'14"W	58.22'
L6	N00°12'59"W	37.09'
L7	N78°33'38"E	58.19'
L8	S25°25'59"E	37.12'
L9	S77°36'34"W	60.48'
L10	N73°10'28"W	31.17'

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
14-2072		SUBDIVISION	14-06	25-71
PROJECT NO		TYPE	FIELDBOOK & PAGES	

MINOR SUBDIVISION OF LAND  
PREPARED FOR  
RICHARD & STEPHANIE LUND  
TAX MAP J, LOT No. 13  
38 PISCATAQUA ROAD  
CITY OF DOVER  
COUNTY OF STRAFFORD  
STATE OF NEW HAMPSHIRE

DOVER PLANNING FILE No. P 14-  
DRAWN BY: RJM FILE: VR CPY2072\14-2072  
SCALE: 1" = 40' DATE: AUGUST 25, 2014



McEneaney  
Survey  
Associates, inc.

P.O. Box 681 - 24 CHESTNUT STREET  
DOVER, NH 03820 (603) 742-0911

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