



**CITY OF DOVER**

## DOVER PLANNING BOARD – AGENDA

Meeting Type: Regular Meeting  
Meeting Location: City Hall, Council Chambers  
Meeting Date: **Tuesday, May 26, 2015**  
Meeting Time: **7:00 pm**

### 1. CITIZENS' FORUM

### 2. APPROVAL OF THE PRIOR MINUTES

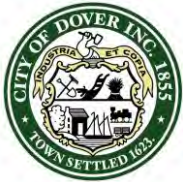
- April 28, 2015 Regular Meeting Minutes.

### 3. OLD BUSINESS

- A. Consideration and possible vote on a Conditional Use Permit for Changing Places, LLC (Owner: Jeffrey & Darlene White), Assessor's Map F, Lot 15, zoned R-40, located at Emerald Lane. Proposal is to build a subdivision road and associated utilities that will impact 4,900 sq. ft. of the 50-foot wetlands buffer. \*(P14-57)
- B. Consideration and possible vote on an Open Space Subdivision for Changing Places, LLC (Owner: Jeffrey & Darlene White), Assessor's Map F, Lot 15, zoned R-40, located at Emerald Lane. (49 lots) \*(P14-58)

### 4. NEW BUSINESS

- A. Public hearing and consideration of a request for an extraction permit by Brox Industries, Inc., Assessor's Map C, Lots 12-A, 13, 14, zoned R-40, located on Rochester Neck Road/Tolend Road. \*(P15-13)
- B. Public hearing and consideration of a request for an extraction permit and waiver request by Severino Trucking Co., Inc., Assessor's Map H, Lot 58, zoned I-4, located on Mast Road. \*(P15-27)
- C. Public hearing and consideration of a request for an extraction permit and waiver request by Severino Trucking Co., Inc., Assessor's Map H, Lots 59, 59-1 & 61, zoned I-4, located on Mast Road. \*(P15-14)
- D. Consideration and acceptance of a Conditional Use Permit for K-9 Kaos (Owner: Fastdogs Realty, LLC) Assessor's Map E, Lot 32, zoned ETP, located at 432 Sixth Street. (Construct rain garden in wetlands buffer, with 3,650 sq. ft. of impact) \*(P15-23)
- E. Consideration and acceptance of a Site Plan Review for K-9 Kaos (Owner: Fastdogs Realty, LLC) Assessor's Map E, Lot 32, zoned ETP, located at 432 Sixth Street. \*(P15-24)
- F. Consideration and acceptance of a Conditional Use Permit for Rockingham County Conservation District (Owner: Luke & Kristina Paradis), Assessor's Map F, Lot 2, zoned R-40 & I-4, located at 180 Tolend Road. (3,366 sq. ft. of work in wetlands and intermittent streams to repair three existing wetland/stream crossings for agricultural uses) \*(P15-25)
- G. Consideration and acceptance of a Conditional Use Permit, per Chapter 170-20-B(1), for Riparia – One Hundred First Street, LLC, Assessor's Map 6, Lot 3, zoned CBD-G, located at 100 First Street. (Relief from street wall requirement) \*(P15-29)
- H. Compliance Hearing for two conditions of approval for a Site Review for Riparia – One Hundred First Street, LLC, Assessor's Map 6, Lot 3, zoned CBD-G, located at 100 First Street. Planning Board needs to approve landscape and lighting plan, per approval granted on February 25, 2014. \*(14-03A)
- I. Consideration and acceptance of a Conditional Use Permit for STF Development, Assessor's Map I, Lot 12, zoned RM-SU, located at 72 Durham Road/Clancy Drive. Owner has constructed a stone wall in a wetlands buffer, with 169 sq. ft. of impact. \*(P13-38A)



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## DOVER PLANNING BOARD – AGENDA

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Meeting Location: City Hall, Council Chambers  
Meeting Date: **Tuesday, May 26, 2015**  
Meeting Time: **7:00 pm**

- J. Consideration and acceptance of a Minor Lot Line Adjustment for Daniel W. Ayer Revocable Agreement of Trust and Anthony P. Ayer, Assessor's Map N Lots 19 & 19-5, zoned R-40, located at McKone Lane and Back Road and 47 McKone Lane. \*(P15-28)
- K. Consideration and acceptance of a Conditional Use Permit, per Chapter 170-20-B(1), for Michael O'Malley/7 Broadway LLC, Assessor's Map 3, Lot 57, zoned CBDG, located at 7 Broadway. (Relief from 10 ft. minimum rear setback) \*(P15-26)

### 5. STAFF COMMENTS

### 6. MEMBER COMMENTS

### 7. ADJOURNMENT

\*Indicates that if the application is accepted for discussion, the public hearing will be held the same evening, at which time any interested party may offer comment to the Planning Board. Persons with questions or wishing to see the plans are invited to visit the Planning Office, Monday through Thursday from 8:30 am to 5:30 pm.

You may also view materials at [www.dover.nh.gov](http://www.dover.nh.gov), a map showing project locations can be found at <http://www.dover.nh.gov/government/city-operations/planning/index>. Follow us on Twitter @DoverNHPlanning and find us on Facebook at <https://www.facebook.com/DoverNHPlanning>.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-57

Application Type: Conditional Use Permit for Wetland Buffer Impact  
Applicant(s): Changing Places, LLC  
Owner(s): Jeffrey & Darlene White  
Location: Emerald Lane (Assessor's Map F, Lot 15)

**INTENT:** To obtain a Conditional Use Permit for an encroachment within the 50-foot wetlands buffer for the construction of a subdivision road and associated utilities. The total buffer impact is 4,900 square feet.

**LOTS/UNITS PROPOSED:** 49 lots

**AGENDA ITEM #:** 3-A

**ACREAGE:** 73.822 Acres

**ZONING DISTRICT:** Rural Residential (R-40) District

**EXISTING LAND USE:** Vacant lot

**PROPOSED LAND USE:** 49 single family lots in an Open Space Subdivision

**SURROUNDING LAND USE:** Single family residential

**ZBA ACTION:** None

**ATTACHMENTS:** None

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were previously sent by certified mail to all abutters

**PERMITS REQUIRED:**

- Conditional Use Permit for wetland buffer impact

**WAIVERS REQUESTED:** None

**Summary of Request and Background**

The applicant is requesting to impact the 50-foot wetlands buffer to construct a subdivision road and associated utilities.

The applicant appeared before the Conservation Commission on October 14, 2014 and November 10, 2014 (minutes enclosed). The Conservation Commission voted to endorse the application on November 10, 2014. At the April 26, 2015 meeting, the Planning Board received an update on this project.

**Consistency with Land Use Regulations**

The Wetlands Protection Ordinance provides for Conditional Use Permits to allow impacts to the 50 foot wetlands buffer if standards related to demonstration of need, avoidance, minimization, and mitigation are met. The application meets those standards.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

**Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. The subdivision plan (P14-58) shall be approved.
2. The erosion and sediment control features shall be installed prior to any earth disturbance activities.
3. The Stormwater Operation and Maintenance Plan shall include maintenance of all signs indicated on sheet NR-1 of the Subdivision plan (P14-58) and the HOA documentation shall include that the HOA will maintain the signs.
4. Any fertilizer used to help revegetate areas of earth disturbance shall be non-phosphorous.



RECEIVED  
Planning Office

APR 20 2015

Dover, New Hampshire

**City of Dover, New Hampshire**  
**CONDITIONAL USE PERMIT APPLICATION**

[Revision Date: February 19, 2014]

|                 |              |               |                |       |
|-----------------|--------------|---------------|----------------|-------|
| Office Use Only | Project #:   | <u>P14-57</u> | Date Received: | _____ |
|                 | Amount Paid: | _____         | Time Received: | _____ |

**APPLICANT AND OWNER INFORMATION**

Name of Applicant: Changing Places, LLC Telephone # (603) 749-3800

Address of Applicant: 42J Dover Point Road, Dover, NH 03820

E-Mail Address: changingplacesllc@gmail.com

Name of Property Owner (if different from applicant): Jeffrey & Darlene White Telephone # (603) 749-7528

Address of Property Owner: 32 Piscataqua Road, Dover, NH 03820

**PROPERTY INFORMATION**

Assessor's Map # F Lot(s) # 15

Address of Property: Emerald Lane

Zoning District(s) R-40 Overlay District(s) Wetlands & Conservation

Existing Use of Property: Vacant Land

**CONDITIONAL USE PERMIT INFORMATION**

**Type of Conditional Use Permit (Check All That Apply):**

- |                                                                 |                                                         |                                            |
|-----------------------------------------------------------------|---------------------------------------------------------|--------------------------------------------|
| <input type="checkbox"/> Conservation District                  | <input type="checkbox"/> RCM Use Overlay District       | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection                 | <input type="checkbox"/> Off-Street Parking and Loading |                                            |
| <input checked="" type="checkbox"/> Wetland Protection District | <input type="checkbox"/> Central Business District      |                                            |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

Construction of a roadway and associated utilities within the Wetlands Protection District.

The construction is limited to a 4,900 square foot Wetlands Buffer Impact and does not include any Wetlands Impact.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: NONE

Robert J. Stowell

Name of Professional That Prepared Plans: Tritech Engineering Corp.Address 755 Central Avenue, Dover, NH 03820 Telephone #: (603) 742-8107Professional License #: 9903 E-mail address: rjs@tritecheng.com**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

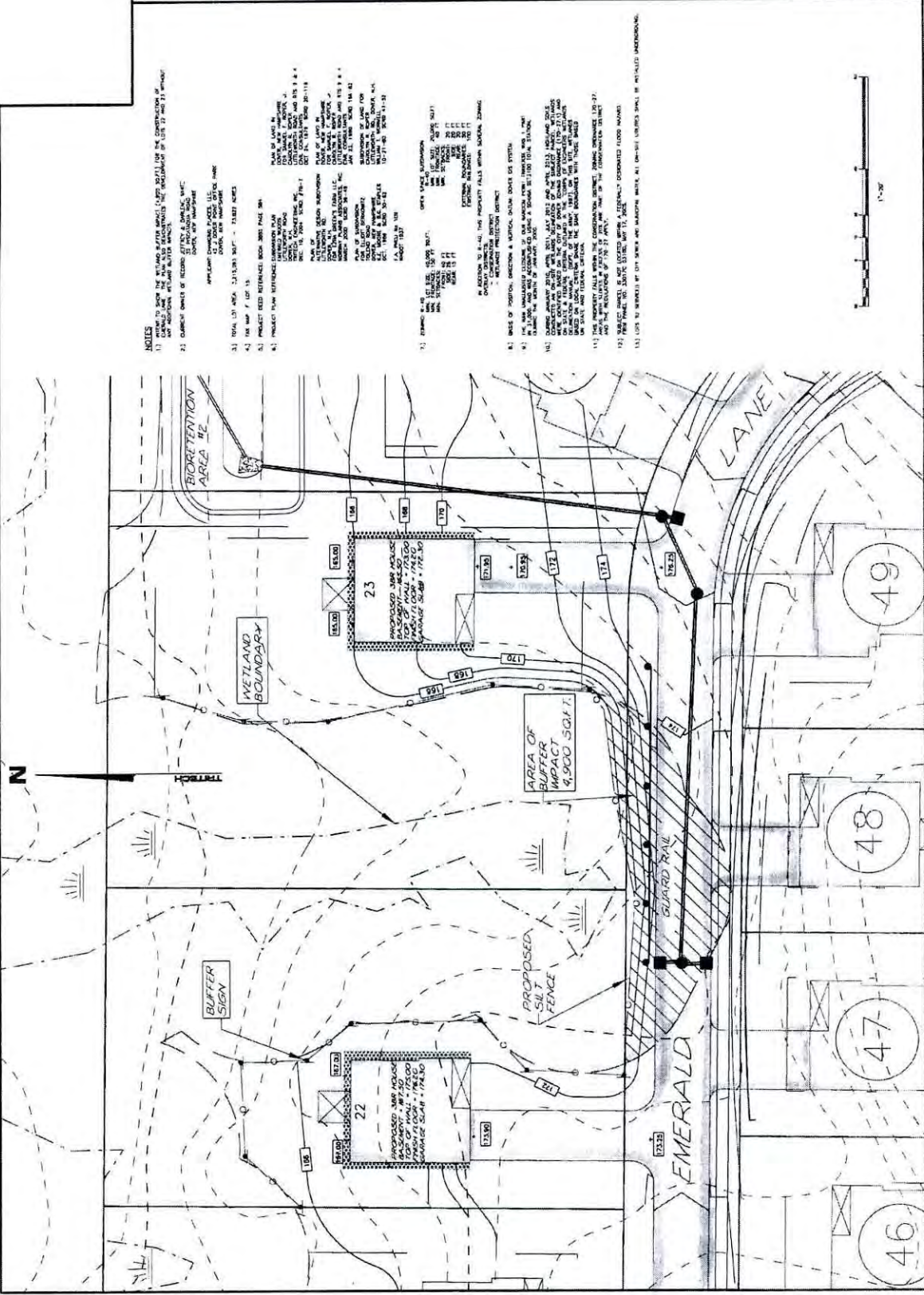
Signature of Property Owner: [Signature] Date: 8-27-14Signature of Applicant (if different from owner): [Signature] Date: 8-27-14Signature of Agent: [Signature] PRESIDENT Date: 08/28/2014**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: [Signature] Date: 8-27-14

[illegible]

TRITECH  
ENVIRONMENTAL CORPORATION





**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-58

Application Type: Open Space Subdivision  
Applicant(s): Changing Places, LLC  
Owner(s): Jeffrey & Darlene White  
Location: Emerald Lane (Assessor's Map F, Lot 15)

**INTENT:** To subdivide an existing lot on Emerald Lane into forty-nine lots. This is proposed as an Open Space Subdivision, with 44.531 acres being preserved as open space. All the lots would be served by municipal water and sewer.

**LOTS/UNITS PROPOSED:** 49 lots

**AGENDA ITEM #:** 3-B

**ACREAGE:** 73.822 Acres

**ZONING DISTRICT:** Rural Residential (R-40) District

**EXISTING LAND USE:** Vacant lot

**PROPOSED LAND USE:** 49 single family lots in an Open Space Subdivision

**SURROUNDING LAND USE:** Single family residential

**ZBA ACTION:** None

**ATTACHMENTS:** Major Subdivision Plan,

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were previously sent by certified mail to all abutters

**PERMITS REQUIRED:**

- Conditional Use Permit for wetland buffer impact

**WAIVERS REQUESTED:** None

**Summary of Request and Background**

The applicant is requesting a 49 lot Open Space Subdivision.

This parcel was previously approved for a 37 lot subdivision in 2005, but it was never built and the subdivision expired.

The applicant appeared before the Technical Review Committee on September 11, 2014. The Planning Board voted to accept the application on October 14, 2014 and held a site walk on October 18, 2014.

The applicant appeared before the Planning Board on April 28 to update the Board on drainage activities, and has been working to implement final revisions to the plan. The Engineering office is still completing its review and conditions may be brought forward at the meeting.

**Consistency with Land Use Regulations**

Chapter 155-15 of the Land Subdivision Regulations of the City Code provides for subdivisions of existing lots. The plan is consistent with the purpose of the R-40 District, which allows for single family neighborhoods in an Open Space subdivision.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the application for the open space subdivision with the following conditions:

**Conditions to Be Met Prior to Signing of Plans:**

1. The owner's signatures shall be added to the final plat submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall provide a revised Current Use plan for the property to the Tax Assessor's satisfaction.
4. The applicant shall submit proposed deed covenants for the new house lots, which addresses the storm water easements, and wetlands buffers. These documents shall be reviewed by the Planning Department, with consultation by the City Attorney on compliance with conditions.
5. The applicant shall submit proposed Homeowner's Association Documents, addressing maintenance of the drainage infrastructure and utilities, open space ownership, access to the open space lot, and preservation of perimeter landscaping. These documents shall be reviewed by the Planning Department, with consultation by the City Attorney on compliance with conditions.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-58

Application Type: Open Space Subdivision  
Applicant(s): Changing Places, LLC  
Owner(s): Jeffrey & Darlene White  
Location: Emerald Lane (Assessor's Map F, Lot 15)

6. The applicant shall submit proof that the traffic and storm water peer reviews have been paid.
7. The applicant shall revise the plan to note that the Tot Lot shall be conveyed to the City.
8. The applicant shall revise Sheet C-8 to document landscaping for the bio retention basins, approved by the City Engineer.
9. The applicant shall have the Stormwater Management Maintenance and Inspection Plan approved by the Community Services Department.
10. The applicant shall provide the Planning Department with a copy of the NH Department of Environmental Services Alteration of Terrain Permit and add the permit number to the plan.

### **Conditions to Be Met Prior to Any Construction Activity:**

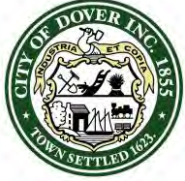
11. Unless phase II of Emerald Woods is accepted as a City street, the applicant and owner of the portion of Emerald Lane from Susannah's Crossing and cul de sac shall develop an agreement guaranteeing the condition of the road. Said agreement shall be approved by the City Engineer.
12. Construction hours shall be limited to Monday-Friday 7 AM-6 PM, with no Saturday or Sunday hours. Hours of construction shall be documented on a site construction sign along with the contact information for the general contractor. Said signage shall be located and approved by the City Engineer or Director of Planning and Community Development.

### **Condition to Be Met Prior to Issuance of a Building Permit:**

13. On a lot by lot basis, the applicant shall install wetland buffer signs, bio-retention signs, and conservation district signs as shown on sheet NR-1. This shall be checked and approved by the Building Official and City Engineer.
14. Any new dwelling unit shall be assessed the current impact fees in place at the time of building permit application.
15. Any new dwelling units shall be assessed the current water/sewer investment fees in place at the time of application for water/sewer service.
16. The applicant shall install two MUTCD "Stop" signs on Emerald Lane, at the intersection of Susannah's Crossing.
17. The applicant shall have the tot lot design including proposed equipment approved by the Recreation Director.

### **Conditions to Be Met Prior to Issuance of a Certificate of Occupancy:**

18. The applicant shall submit documentation that a Homeowner's Association has been formed.
19. The tot lot equipment shall be installed, the fit out complete, and the land underneath the tot lot shall be conveyed to the City of Dover.
20. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-13

Application Type: Extraction Permit  
Applicant: Brox Industries  
Owners: Stephen M. Brox Revocable Indenture of Trust  
Location: Rochester Neck Rd/Tolend Rd (Assessor's Map C, Lots 12-A, 13, & 14)

**INTENT:** To obtain an extraction permit.

**LOTS/UNITS PROPOSED:** n/a

**AGENDA ITEM #:** 4-A

**ACREAGE:** 95.6 Acres

**ZONING DISTRICT:** Rural Residential District (R-40)

**EXISTING LAND USE:** Gravel pit

**PROPOSED LAND USE:** Gravel pit

**SURROUNDING LAND USE:** Gravel pit, single family residential

**ZBA ACTION:** None

**PERMITS REQUIRED:** Extraction permit

**WAIVERS REQUESTED:** None

**ATTACHMENTS:** Excavation plans, reclamation plans, application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for this meeting.

### Summary of Request and Background

The applicant has submitted excavation and reclamation plans and seeks approval for an extraction permit. Planning staff performed a site inspection on April 27, 2015. The application materials and the excavation/ reclamation plans are complete.

### Consistency with Land Use Regulations

Article VIII of the Chapter 170 (Zoning Ordinance) of the City Code governs the excavation of earth materials in the City of Dover and requires that excavation activities require a permit. The submitted application and plans are consistent with the regulations set forth in Article VII.

A zoning amendment that the Planning Board has posted would make the excavation permit process biennial. Planning staff recommends that the permit approval this year be for a two year period, contingent on the adoption of the zoning ordinance amendment.

### STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board approve the extraction permit request with the following conditions:

1. The property shall not be used for the storage or introduction of any foreign materials unless the pit operator has sought and received advance written permission from the City's Environmental Projects Manager (Mr. Dean Peschel).
2. This approval is good for a two year period, contingent on the adoption of zoning ordinance amendment #16.

Account # P15-13  
Application Fee Paid ✓

Permit Fee \$243.00  
ck#67535

Date Received RECEIVED  
Planning Office  
Time Received APR 16 2015  
Dover, New Hampshire

## CITY OF DOVER, NEW HAMPSHIRE EXTRACTION PERMIT APPLICATION

Application is hereby made for an extraction permit pursuant to the procedures set forth in the City of Dover's Zoning Ordinance.

(FOR OFFICE USE ONLY)

This application is hereby approved (disapproved) and permission is hereby granted (refused) to the applicant. This approval is good for one year from the date specified. Once approved by the Planning Board, a permit fee of \$75.00 shall be paid prior to the permit taking effect.

SUBJECT TO THE FOLLOWING CONDITIONS:

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

(FOR APPLICANT TO FILL OUT)

### 1. GENERAL INFORMATION

Date: 03-27-2015 Project Number: 1-2015 Telephone #: 603-332-4262

Name of Applicant: BROX INDUSTRIES INC.

Address of Applicant: 1471 METHUEN ST. DRACUT, MASS.01826

Name of Property Owner: STEPHEN M. BROX REV INDENTURE OF TRUST

Address of Property Owner: SAME AS ABOVE

Address of Property Being Excavated: ROCHESTER NECK ROAD/TOLEND ROAD

Assessor's Map # C Lot #: 12-A, 13, 14

Acres of Land: 4.8, 10.8, +80 Zoning District: R-40

Depth of Excavation: ELEV. +50' Finished Elevation: 121+/-

Elevation of Highest Annual Average Groundwater Table: 115+/-

Projected Length of Excavation Project: COMPLETION OF REMOVAL OF ALL MATERIALS

## 2. PROFESSIONAL SIGNOFF

Name of Professional (Licensed in NH) ROBERT TARDIF

Check One: Engineer: XX Land Surveyor \_\_\_\_\_ Architect \_\_\_\_\_

Address: DUNBARTON, N.H.

License No. 10022 Telephone # 603-332-4262

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### PLEASE RETURN THE FOLLOWING WITH YOUR APPLICATION TO THE PLANNING OFFICE:

P15-13

1. List of abutters within 200 feet
2. 16 copies of sketch of the location with boundaries (one sent to Conservation Commission)
3. 16 copies of restoration plan (one sent to Conservation Commission)
4. Tax Collector's statement that all property taxes have been paid in full & that excavation taxes have been paid in full & that there are no unreleased tax liens encumbering said properties
5. Surety Bond or other form of performance guarantee
6. Copy of Notice of Intent to Excavate that is filed with Assessor's Office
7. **An annual report documenting compliance with the requirements of Zoning Section 170-28, Groundwater Protection. Pursuant to RSA 155-E:11, the requirements of this section may be waived if the applicant demonstrates that such exception shall be recorded in the Registry of Deeds, and one copy filed with the NH Department of Environmental Services**
8. Check made out to the City of Dover for fees listed below:
  - \$75.00 PERMIT FEE
  - \$50.00 APPLICATION FEE
  - \$80.00 Foster's ad
  - \$8.00 per abutter & applicant for certified mail notification
  - \$6.00 digital
  - \$243.00 total

## CITY OF DOVER

## EXTRACTION PERMIT APPLICATION

## ABUTTER'S LIST

Pursuant to RSA 676:7, the State Law of New Hampshire, the City of Dover is required to notify the applicant and every abutter of the public hearing by certified mail, return receipt requested. The cost of required publication or posting of notice and the cost of mailing said notices shall be paid by the applicant. The following information must be completed by the applicant and verified by the Tax Assessor's Office in order for the processing of any extraction permit application to begin.

[illegible]

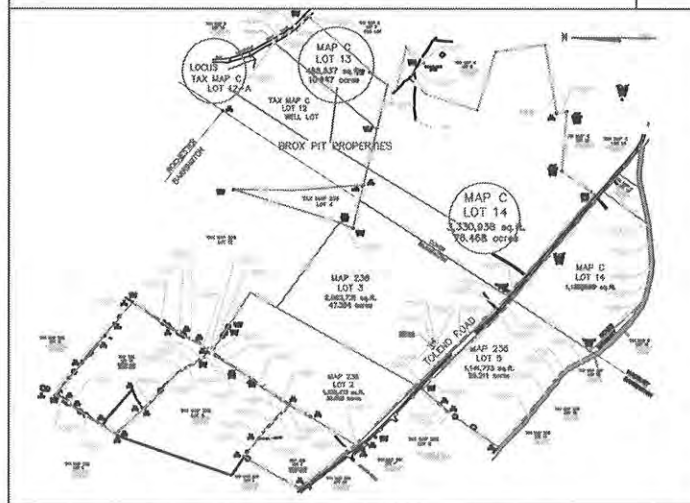
# GENERAL NOTES

- 1) ALL EXCAVATION TO BE IN ACCORDANCE WITH CITY OF DOVER ZONING CHAPTER 170, ARTICLE VIII.
- ALL REQUIRED STATE OF N.H. AND FEDERAL PERMITS IN PLACE AND CURRENT.
- 2) SLOPES TO BE LEFT AT 2:1 MAXIMUM
- 3) NO STORAGE OF HAZARDOUS WASTE OF ANY KIND ON THIS PARCEL.
- 4) EXCAVATION AMOUNT FOR 2015: 2000 C.Y.±
- 5) HOURS OF OPERATION ARE GENERALLY 6:30 TO 6:00 P.M. BUT COULD VARY DUE TO JOB REQUIREMENTS
- 6) PIT FLOOR GRADE AT ELEVATION 120± WHEN COMPLETELY EXCAVATED AND RECLAIMED.
- 7) SETBACKS FLAGGED FOR DOVER OFFICIALS.
- 8) ALL SURFACE WATER RUNOFF TO REMAIN ON BROX PARCELS, WITH NO DISCHARGES OFF SITE. NO STANDING WATER.
- 9) SLOPES THAT ARE RECLAIMED, THAT WILL HAVE NO FUTURE EXCAVATION, TO BE SEEDED TO ASSURE STABILIZATION.
- 10) ADJUTERS TO THIS PROPERTY RECOGNIZED AS APPROVING THIS ONLY A 10' SETBACK TO THEIR PROPERTY LINES
- 11) LOT AND ADJUTERS IN DOVER ZONING ZONE-R-40
- 12) FINISH PIT FLOOR -+ 6' ABOVE WATER TABLE
- 13) ALL BUILDINGS AND SEPTICS WITHIN 200' OF BOUNDARIES SHOWN. ROW TO CITY OF DOVER ON PIT ROAD.
- 14) AREA OF EXCAVATION 72228 S.F. (1.66 AC.)
- 15) ALL TRAFFIC USES ROCHESTER NECK ROAD. (PAVED ENTRANCE)
- 16) RECLAMATION TO BE COMPLETED AT CESSATION OF EXCAVATION.

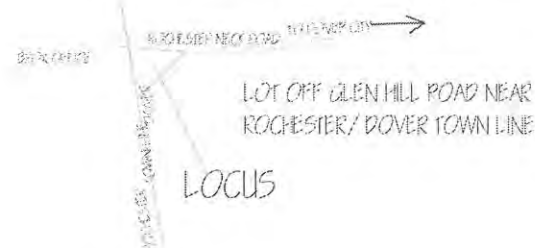
## TEST PIT DATA



WATER WELL (GRAVEL PACK)  
PIEZOMETER READING 2015 =ELEV. 115±  
FINISH PIT ELEVATION =ELEV. 130±



## LOCATION MAP



RECEIVED  
Planning Office

APR 16 2015

Dover, New Hampshire

MAP#C LOT# 12-A



ROBERT TARDIF, PE (# 10022)  
46 CLIFFORD FARM ROAD  
DUNBARTON, N.H. 03046

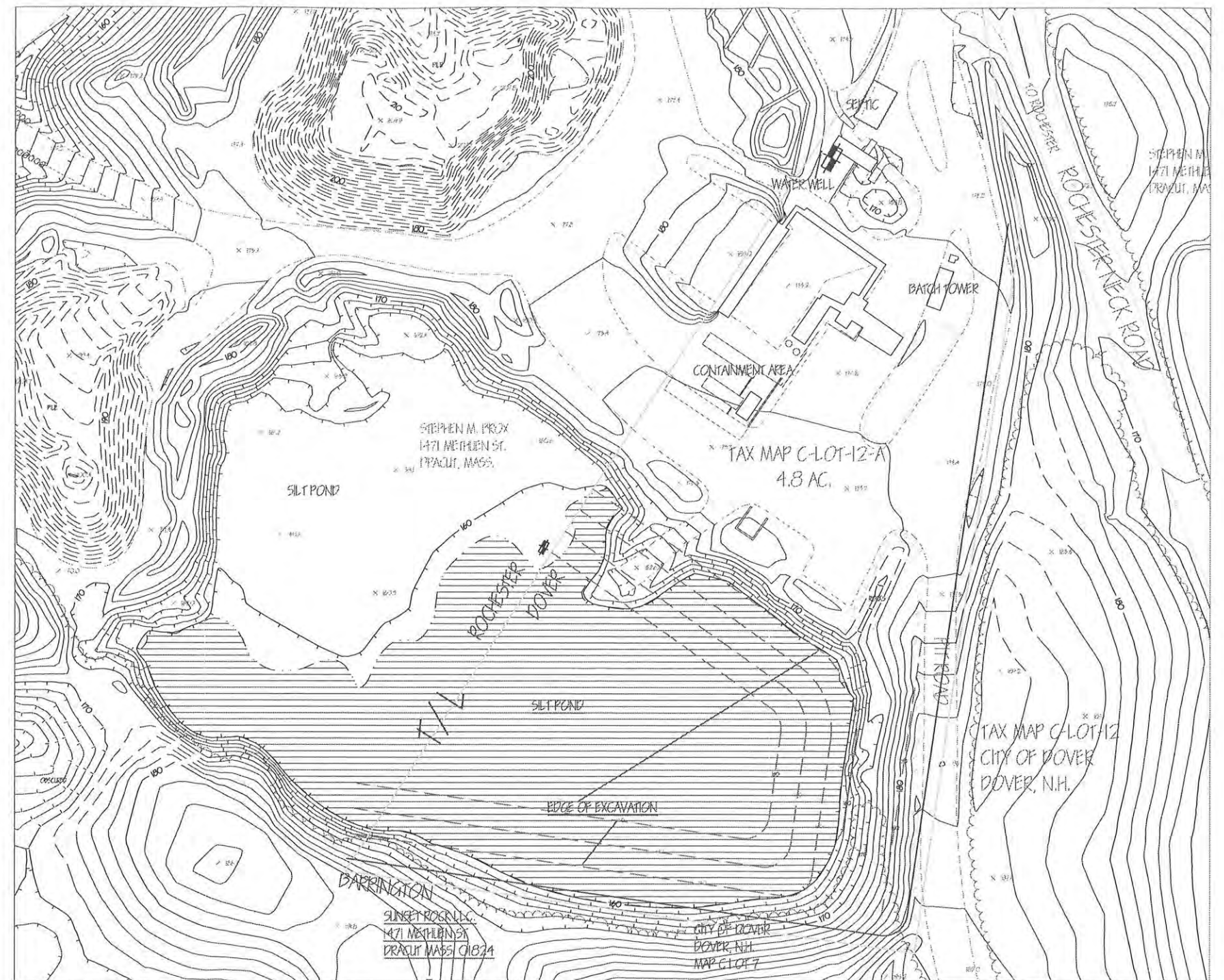
## EXCAVATION PLAN

OWNER:  
STEPHEN M. BROX REV. INDENTURE OF TRUST  
1471 METHUEN ST.  
DRAUGHT, MASS. 01826

DRAWN BY: D. CLIFF  
03-20-15  
CHKD BY: R. TARDIF  
03-15

TOPOGRAPHY FROM 2014 FLYOVER AND PLAN BY EASTERN TOPO  
CURRENT CONTOURS UPDATED 03-2015

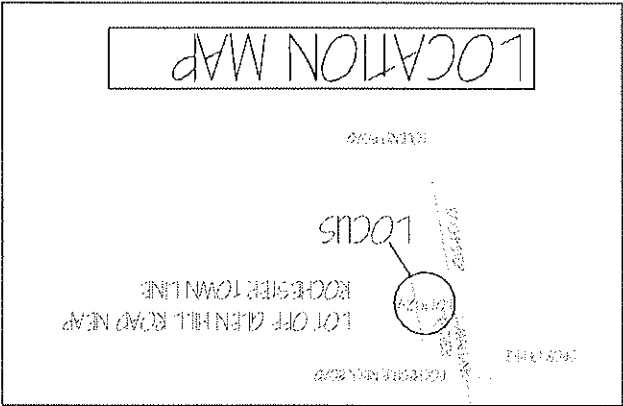
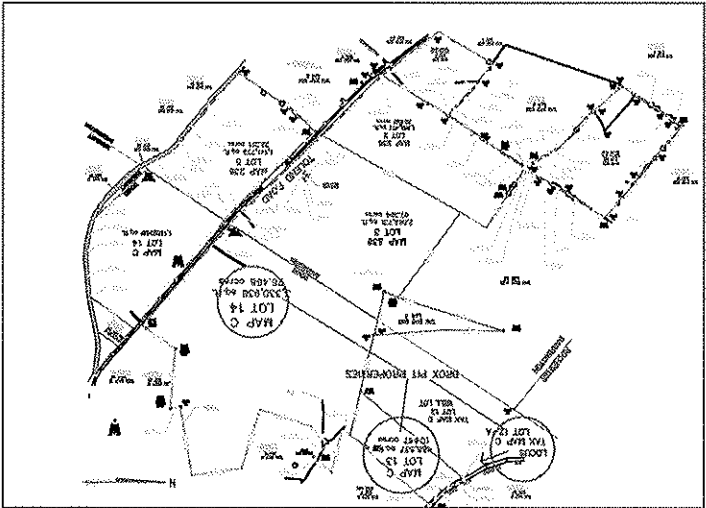
SCALE AS NOTED



SCALE: 1" = 50'

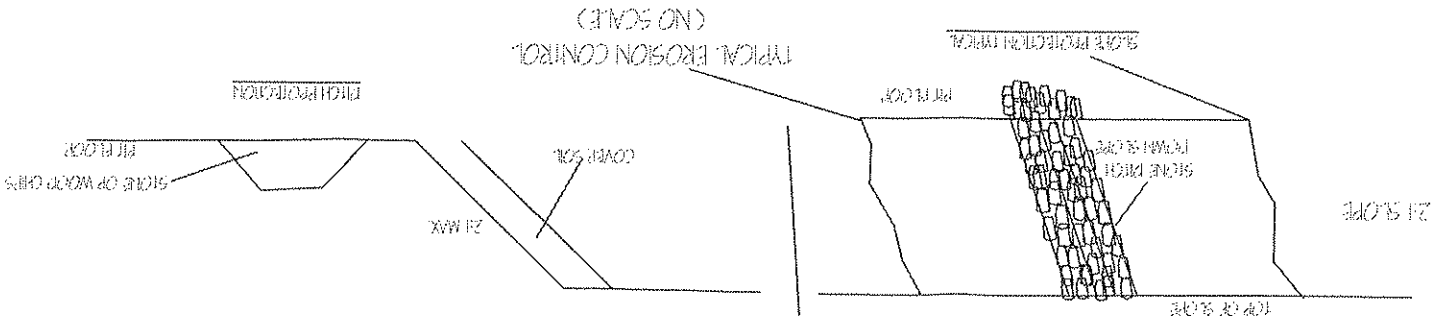
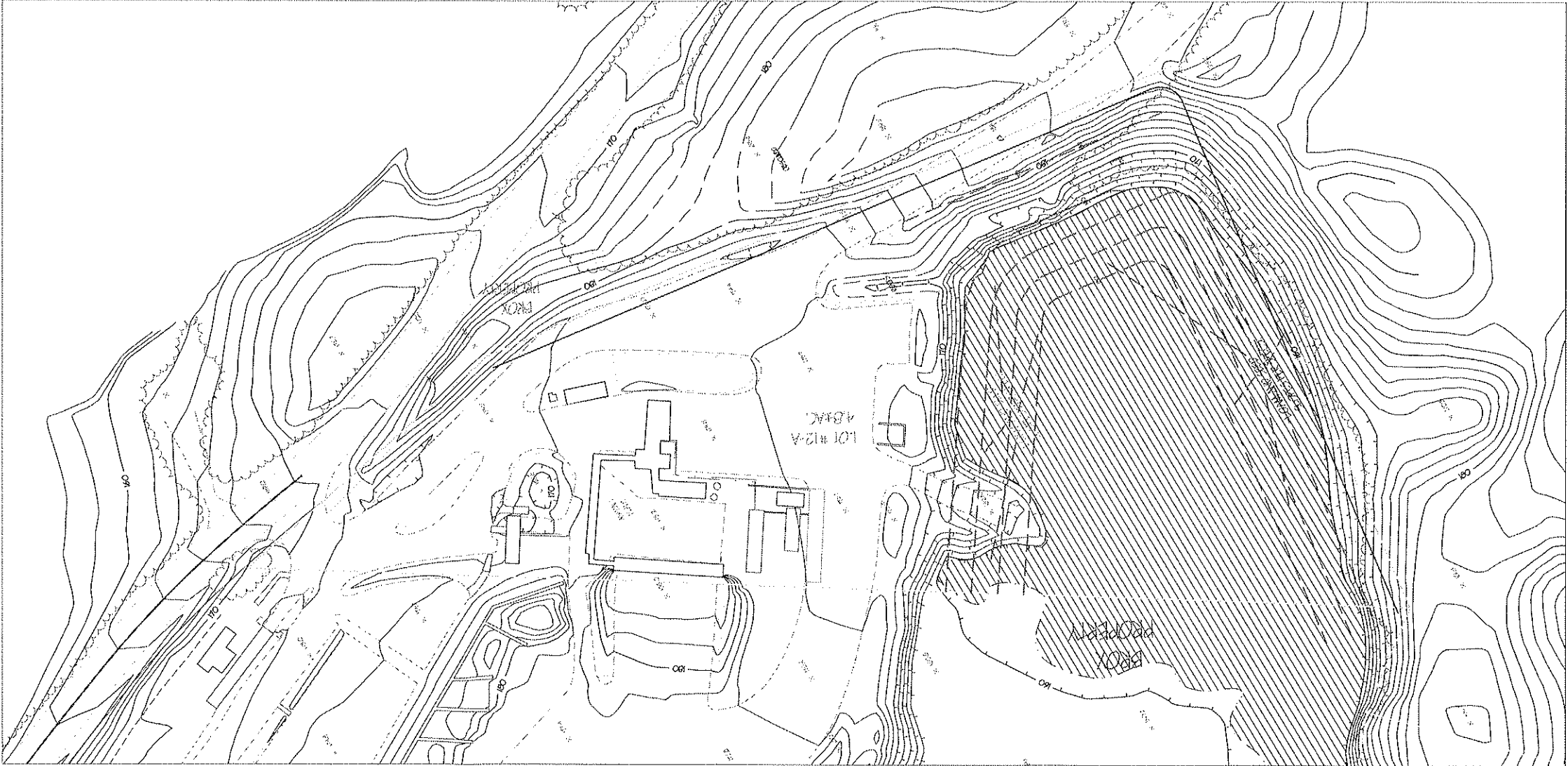
GENERAL NOTES

- 1) RECLAIM FINISH SLOPES TO MAX. 2:1 OR LESS.
- 2) APPLY HEAVY COVER OF SOIL, SUITABLE FOR ESTABLISHING VEGETATION ON ALL COMPLETED EXCAVATION AREAS.
- 3) SEED AND PERMIZE SLOPES PER N.P.C.T. STANDARD SPECIFICATIONS - SECTIONS 6-41-6-47.
- 4) CONTROL EROSION AREAS WITH STONE OR TREE GRIPPINGS AS NECESSARY.
- 5) CONSTRUCT DETENTION PONDS AS NECESSARY TO SPREAD RUNOFF EVENLY AS TO PREVENT HEAVY FLOODING.
- 6) TRACK SLOPES AS NECESSARY TO STABILIZE FOR PLANTING.
- 7) STUMPS ONLY BURIED 75' FROM SURFACE WATER AND MIN. 4' ABOVE SEASONAL HIGH WATER TABLE.
- 8) NO SPECIAL REQUIREMENTS AS ADJUTING LAND AND PROPERTY OF OWNER.
- 9) RECLAMATION TO BE COMPLETED AT CESSATION OF EXCAVATION.

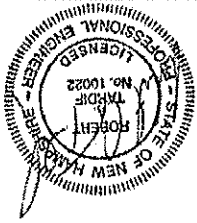


MAP # C LOT # 12-A

SCALE: 1"=50'



ROBERT TARDIF, P.E. (#10022)  
46 CLIFFORD FARM ROAD  
DUNBAR, N.H. 03242



RECLAMATION PLAN

OWNER: STEPHEN M. PROX, INDENTURE OF 10/15/1

1471 MICHLEN ST.  
DRAFT, MASS. 01826

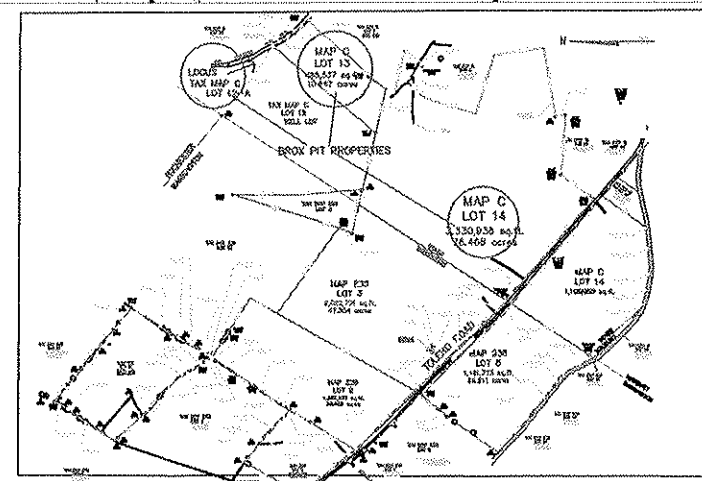
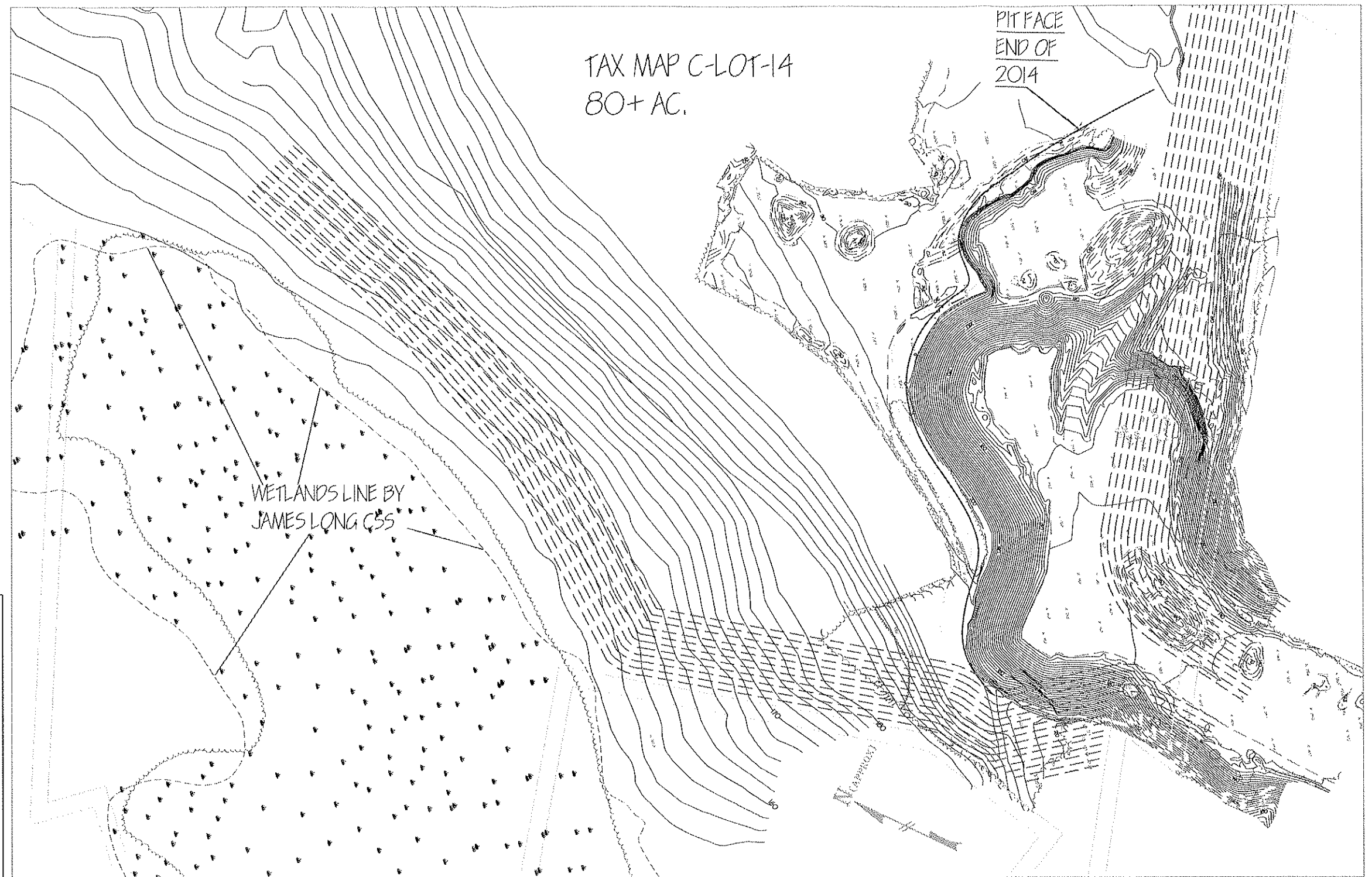
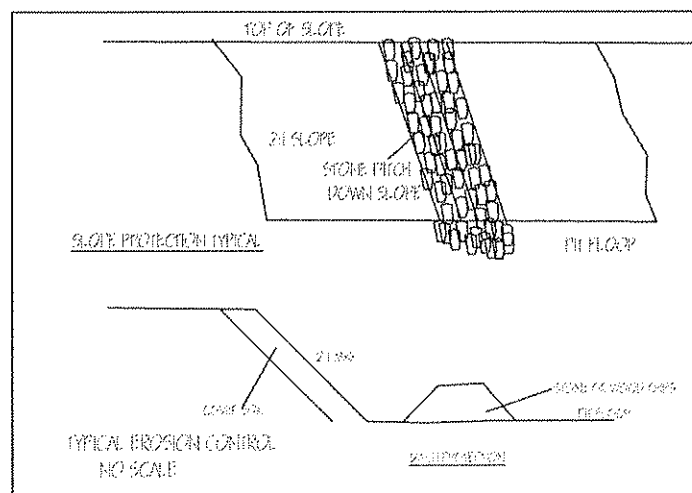
DRAWN BY: D. CLIFF 02-07  
03-15  
CHKD BY: R. TARDIF

10% CORRECTION FROM 20% IN 2015 BY 03-15/2015

SCALE AS NOTED



- 1) CUT/FINISH SLOPES TO MAX. 2:1 OR LESS.
- 2) APPLY HEAVY COVER OF SOIL SUITABLE FOR ESTABLISHING VEGETATION.
- 3) SEED AND FERTILIZE SLOPES PER NHDOT SPECIFICATIONS SECTIONS 641-647.
- 4) CONTROL EROSION AREAS WITH STONE OR TREE CRIPPINGS AS NECESSARY.
- 5) LOT AND ADJUTERS IN ZONE 1 P-40.
- 6) BACK SLOPES AS NECESSARY TO STABILIZE FOR PLANTING.
- 7) STUMPS ONLY BURIED 75' FROM SURFACE WATER AND MIN. 4' ABOVE GROUND WATER TABLE.
- 8) ALL FILL/DEBRIS REMAINS ON PROJ. PROPERTY. NO DISCHARGE FROM THIS PARCEL.
- 9) RECLAMATION TO OCCUR AT CESSATION OF ALL EXCAVATION.



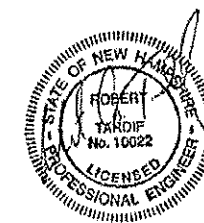
TAX MAP C-LOT-14  
80+ AC.

PIT FACE  
END OF  
2014

WETLANDS LINE BY  
JAMES LONG CSS

SCALE: 1"=100'

MAP# C LOT# 14



ROBERT TARDIF, PE (# 10022)  
46 CLIFFORD FARM ROAD  
PLINBARTON, N.H. 03242

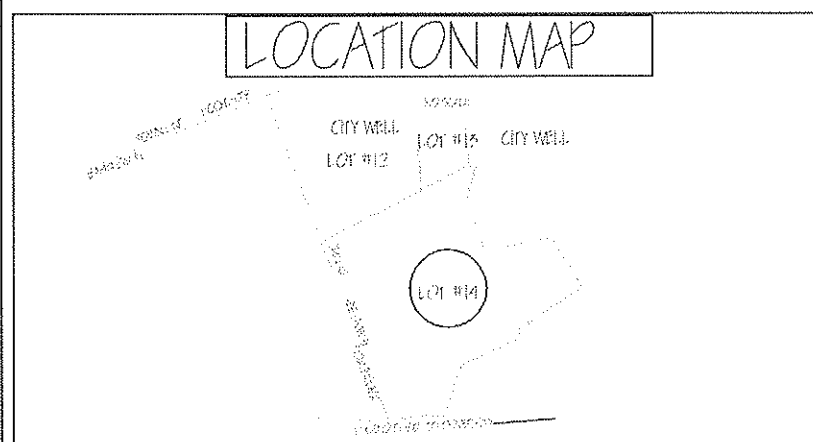
## RECLAMATION PLAN

OWNER:  
STEPHEN M. PROX  
1471 METHUEN ST.  
DEARIE, MASS. 01826

|                    |                    |
|--------------------|--------------------|
| DRAWN BY: P. CLIFF | CHEK BY: P. TARDIF |
| 05-15              | 05-15              |

TEMPERATURE FROM 2014 FLYOVER BY EASTERN TPO  
CURRENT CONCERNS UNTIL 05-2015

SCALE AS NOTED



## GENERAL NOTES

- 1) ALL EXCAVATION TO BE IN ACCORDANCE WITH CITY OF DOVER ZONING (CHAPTER 170) ARTICLE VIII.
- ALL REQUIRED STATE OF N.H. AND FEDERAL PERMITS IN PLACE AND CURRENT.
- 2) FINISH SLOPES TO BE GRADED TO 2:1 MAXIMUM.
- 3) NO STORAGE OF HAZARDOUS WASTE OF ANY KIND ON THIS PARCEL.
- 4) EXCAVATION AMOUNT FOR 2015: 3000 C.Y. ±
- 5) HOURS OF OPERATION ARE GENERALLY 6:30 TO 6:00 P.M. BUT COULD VARY DUE TO JOB REQUIREMENTS.
- 6) PIT FLOOR GRADE AT ELEVATION 120 ± WHEN COMPLETELY EXCAVATED AND RECLAIMED.
- 7) SETBACKS FLAGGED FOR DOVER OFFICIALS.
- 8) ALL SURFACE WATER RUNOFF TO REMAIN ON PROX PARCELS, WITH NO DISCHARGES OFF SITE, NO STANDING WATER.
- 9) SLOPES THAT ARE RECLAIMED, THAT WILL HAVE NO FUTURE EXCAVATION, TO BE SEEDED TO ASSURE STABILIZATION.
- 10) ADJUTERS TO THIS PROPERTY RECOGNIZED AS APPROVING THUS ONLY A 10' SETBACK TO THEIR PROPERTY LINES.
- 11) LOT AND ADJUTERS IN DOVER ZONING CODE ZONE-R-40.
- 12) FINISH PIT FLOOR @ 5' ± ABOVE WATER TABLE.
- 13) ALL BUILDINGS AND SEPTICS WITHIN 200' OF BOUNDARIES SHOWN, ROW TO CITY OF DOVER ON PIT ROAD.
- 14) AREA OF EXCAVATION 39,204.0 SF. ( 9 AC.)
- 15) ALL TRAFFIC USES ROCHESTER NECK ROAD (PAVED ENTRANCE)
- 16) RECLAMATION TO BE COMPLETED AT CESSATION OF EXCAVATION.

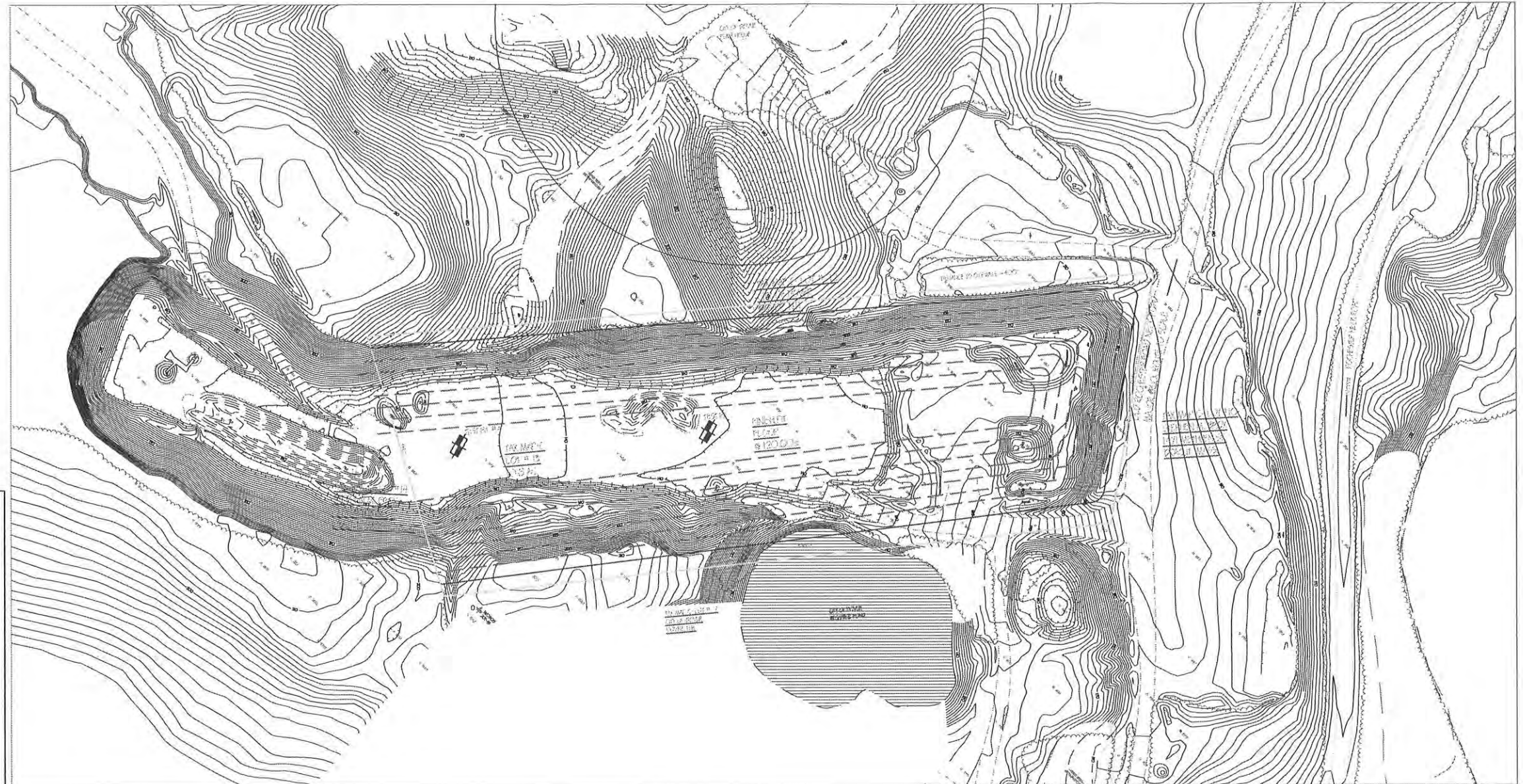
## TEST PIT DATA

TEST PIT #4: PITS ALL SIMILAR  
GROUNDWATER ELEVATION AT PIT FLOOR  
= ELEV. 115 ±  
FINISH FLOOR OF PIT = ELEV. 120

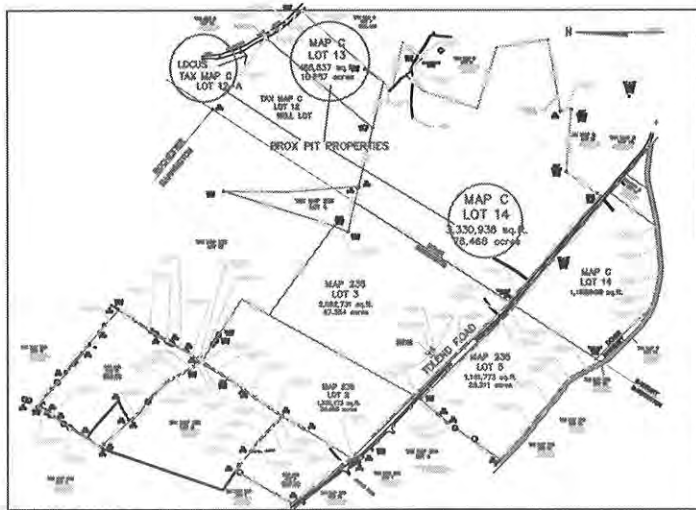
RECEIVED  
Planning Office

APR 16 2015

Dover, New Hampshire



SCALE: 1" = 100'



## LOCATION MAP

MAP# C LOT# 13



ROBERT TARDIF, PE (# 10022)  
46 CLIFFORD FARM ROAD  
DUNBARTON, N.H. 03242

## EXCAVATION PLAN

OWNER:  
STEPHEN M. BROX REV INDENTURE OF TRUST  
1471 METHUEN ST.  
BRACUT, MASS. 01826

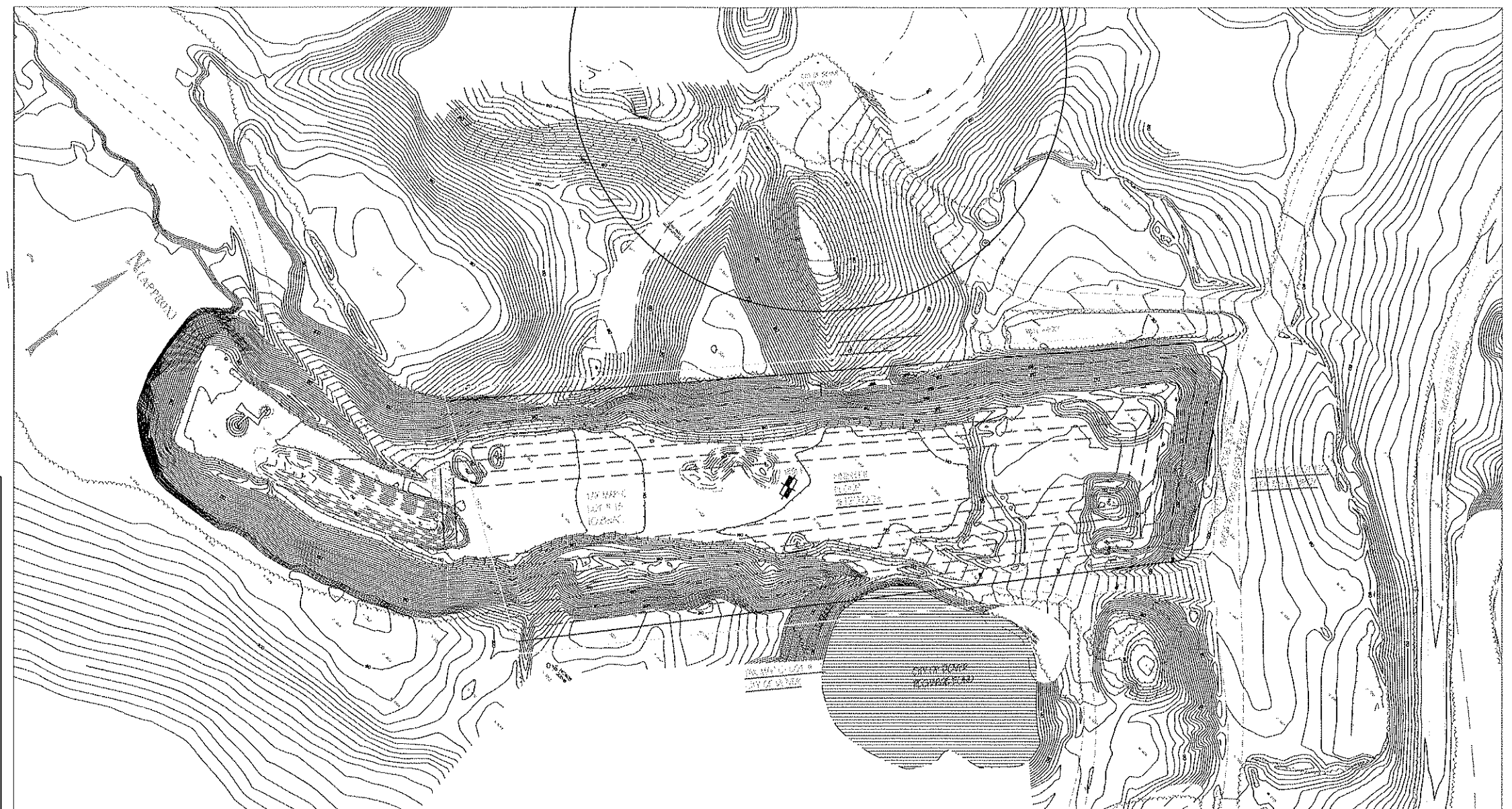
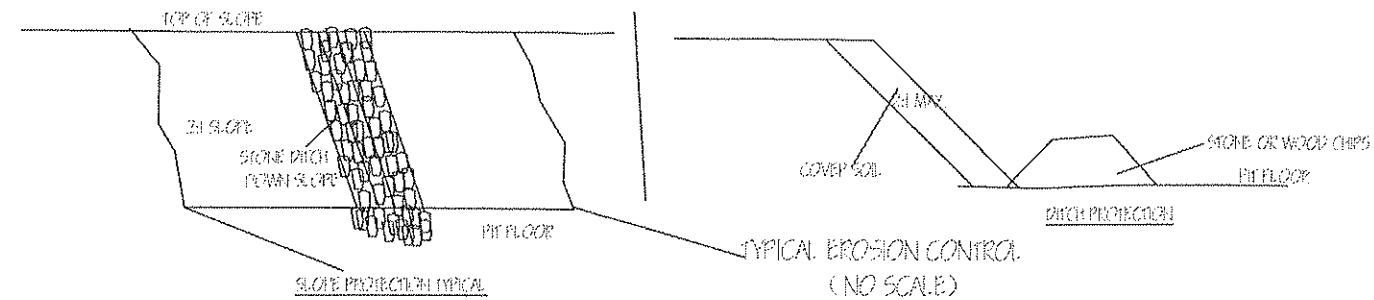
DRAWN BY: P. CLIFF CHD BY: R. TARDIF  
03-20-15 03-15

TOPOGRAPHY FROM 2014 FLYOVER AND PLAN BY EASTERN TOWN  
CURRENT CONTOURS UPDATED 03-2015

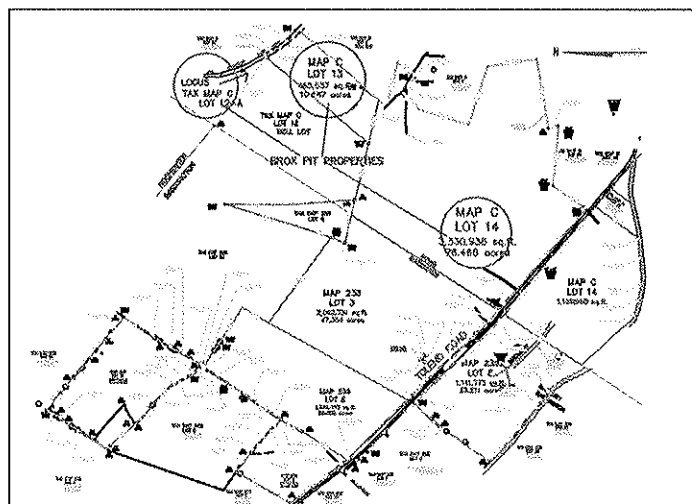
SCALE AS NOTED

## GENERAL NOTES

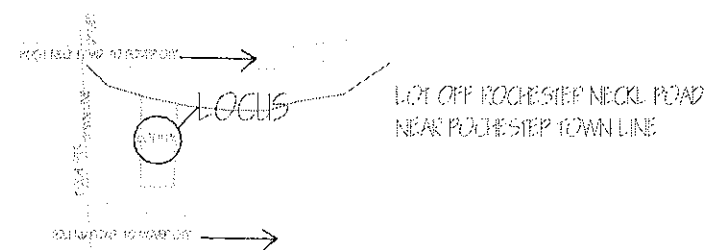
- 1) GRADE RECLAIMED SLOPES TO MAX. 2:1 OR LESS.
- 2) APPLY HEAVY COVER OF SOIL SUITABLE FOR ESTABLISHING VEGETATION.
- 3) SEED AND FERTILIZE SLOPES PER NHDOT STANDARD SPECIFICATIONS SECTIONS 641-647.
- 4) CONTROL EROSION AREAS WITH STONE OR TREE GRINDINGS AS NECESSARY.
- 5) LOT AND ADJUTERS IN DOVER ZONING ZONE R-40.
- 6) TRACK SLOPES AS NECESSARY TO STABILIZE FOR PLANTING.
- 7) STUMPS MAY ONLY BE DUMPED 75' FROM SURFACE WATER AND MIN. 4' ABOVE GROUND WATER TABLE.
- 8) RECLAMATION TO OCCUR AT CESSATION OF EXCAVATION.



SCALE: 1" = 100'



## LOCATION MAP



MAP# C LOT#13



ROBERT TARDIF, P.E. (10022)  
46 CLIFFORD FARM ROAD  
DUNBARTON, N.H. 03242

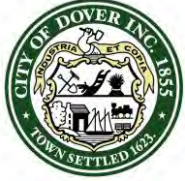
## RECLAMATION PLAN

OWNER:  
STEPHEN M. BROOK REVENUE OF TRUST  
1471 MERRILL ST.  
DRAUGHT, MASS. 01826

DRAWN BY: D. CLIFF 05-26-15  
CHD BY: E. TARDIF 05-15

TOPOGRAPHY FROM 2005 FLYOVER AND PLAN BY  
EASTERN TOPO CURRENT CONCEPTS UPDATED 05-2014

SCALE AS NOTED



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-27

Application Type: Extraction Permit  
Applicant: Severino Trucking Co, Inc.  
Owners: City of Dover  
Location: Mast Road (Assessor's Map H, Lot 58)

**INTENT:** To obtain an extraction permit.

**LOTS/UNITS PROPOSED:** n/a

**AGENDA ITEM #:** 4-B

**ACREAGE:** 39 Acres

**ZONING DISTRICT:** Assembly and Office District (I-4)

**EXISTING LAND USE:** Gravel pit

**PROPOSED LAND USE:** Gravel pit

**SURROUNDING LAND USE:** Gravel pit, municipal, single family residential

**ZBA ACTION:** None

**PERMITS REQUIRED:** Extraction permit

**WAIVERS REQUESTED:** (1) Chapter 170-30.3.A(5), (2) Chapter 170-30.3.A(6), (3) Chapter 170-30.3.B(6)

**ATTACHMENTS:** Excavation plan, reclamation plan, application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for this meeting.

### Summary of Request and Background

The applicant has submitted excavation and reclamation plans and seeks approval for an extraction permit. Planning staff performed a site inspection on April 27, 2015. The application materials and the excavation/ reclamation plans are complete. The applicant seeks the following waivers from the following plan requirements of the Zoning Ordinance, which staff supports:

#### Section 170-30.3.A) Excavation Plan

- 5) The location of existing BUILDINGS, STRUCTURES, septic systems and wells within 200 ft. of the boundary; and
- 6) Public streets, driveways, intersections, rights-of-way, and all easements within 200 ft.; road network to be affected; intended transportation routes to be used.

#### Section 170-30.3.B) Reclamation Plan

- 6) Schedule of final RECLAMATION activities including seeding mixtures, cover vegetation, fertilizer types, and application rates.

### Consistency with Land Use Regulations

Article VIII of the Chapter 170 (Zoning Ordinance) of the City Code governs the excavation of earth materials in the City of Dover and requires that excavation activities require a permit. The submitted application and plans are consistent with the regulations set forth in Article VII.

A zoning amendment that the Planning Board has posted would make the excavation permit process biennial. Planning staff recommends that the permit approval this year be for a two year period, contingent on the adoption of the zoning ordinance amendment.

### STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board approve the extraction permit request with the following conditions:

1. Hours of operation shall be restricted to 7:00 AM to 5:00 PM weekdays and 7:00 AM to 2:00 PM on Saturdays, with gates to the site opening no earlier than 6:30 AM.
2. The property shall not be used for the storage or introduction of any foreign materials unless the pit operator has sought and received advance written permission from the City's Environmental Projects Manager (Mr. Dean Peschel).
3. Continue regular access roadway water wash-downs, to include updating and submitting the schedule of same to the Planning Department by June 11, 2015.
4. The approval includes the granting of the waivers requested for the reasons stated by the applicant. The Board finds that the criteria of Chapter 170-30.1 have been met.
5. This approval is good for a two year period, contingent on the adoption of zoning ordinance amendment #16.

Account # 15-27

RECEIVED  
Planning Office  
Date Received APR 01 2015  
Time Received 10:15  
Dover, New Hampshire

Application Fee Paid \_\_\_\_\_

Permit Fee \$263.00  
ok #17723

## CITY OF DOVER, NEW HAMPSHIRE EXTRACTION PERMIT APPLICATION

Application is hereby made for an extraction permit pursuant to the procedures set forth in the City of Dover's Zoning Ordinance.

(FOR OFFICE USE ONLY)

This application is hereby approved (disapproved) and permission is hereby granted (refused) to the applicant. This approval is good for one year from the date specified. Once approved by the Planning Board, a permit fee of \$75.00 shall be paid prior to the permit taking effect.

SUBJECT TO THE FOLLOWING CONDITIONS:

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

(FOR APPLICANT TO FILL OUT)

### 1. GENERAL INFORMATION

Date: 4-1-15 Project Number: 1061 Telephone #: 483-2133

Name of Applicant: Severino Trucking Co., Inc.

Address of Applicant: PO Box 202 Cardia NH 03034

Name of Property Owner: City of Dover

Address of Property Owner: 288 Central Ave Dover NH 03820

Address of Property Being Excavated: Mast Road

Assessor's Map # H Lot #: 58

Acres of Land: 54.5 ± Zoning District: I-4

Depth of Excavation: 98' Finished Elevation: 100'

Elevation of Highest Annual Average Groundwater Table: \_\_\_\_\_

Projected Length of Excavation Project: 2± years

## 2. PROFESSIONAL SIGNOFF

Name of Professional (Licensed in NH) McEneaney Survey Associates, Inc.

Check One: Engineer \_\_\_\_\_ Land Surveyor ☒ Architect \_\_\_\_\_

Address: 24 Chestnut Street Dover NH 03820

License No. 661 Tele. # 742-0911

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### PLEASE RETURN THE FOLLOWING WITH YOUR APPLICATION TO THE PLANNING OFFICE:

1. List of abutters within 200 feet
2. 16 copies of sketch of the location with boundaries (one sent to Conservation Commission)
3. 16 copies of restoration plan (one sent to Conservation Commission)
4. Tax Collector's statement that all property taxes have been paid in full & that excavation taxes have been paid in full & that there are no unreleased tax liens encumbering said properties
5. Surety Bond or other form of performance guarantee
6. Copy of Notice of Intent to Excavate that is filed with Assessor's Office
7. **An annual report documenting compliance with the requirements of Zoning Section 170-28, Groundwater Protection. Pursuant to RSA 155-E:11, the requirements of this section may be waived if the applicant demonstrates that such exception shall be recorded in the Registry of Deeds, and one copy filed with the NH Department of Environmental Services**
8. Check made out to the City of Dover for fees listed below and on Application Checklist.

Application fee           \$50.00

Permit fee               \$75.00

Legal Ad                 \$80.00

Applicant & Owner, engineer, architect Certified abutter notification letter fee # x \$8.00

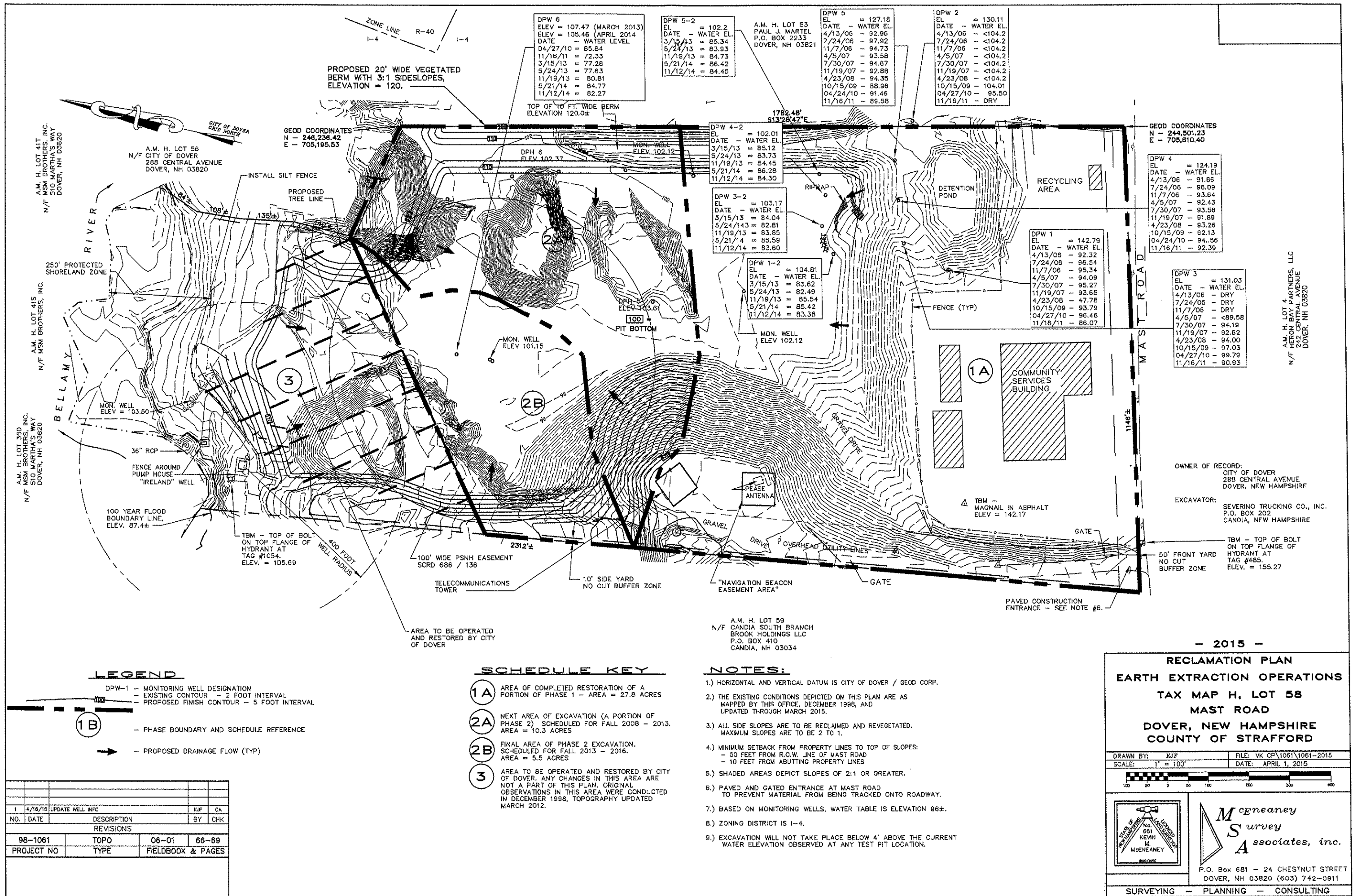
Digital Version of the Plan & Archive fee: \$1.00 per plan sheet

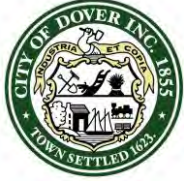
Gravelpitappl

ABUTTERS LIST  
for  
SEVERINO TRUCKING CO., INC.  
April 1, 2015

| <u>Tax Map</u> | <u>Lot No.</u> | <u>Owner &amp; Address</u>                                                                |
|----------------|----------------|-------------------------------------------------------------------------------------------|
| H<br>(locus)H  | 56,<br>58      | City of Dover<br>288 Central Avenue<br>Dover, NH 03820                                    |
| H              | 4              | Heron Bay Partners, LLC<br>242 Central Avenue<br>Dover, NH 03820                          |
| H              | 53             | H53 Mast Road, LLC<br>340 Central Avenue, Suite 202<br>Dover, NH 03820                    |
| H              | 59             | Candia South Branch Brook Holdings, LLC<br>PO Box 410<br>Candia, NH 03034                 |
| H              | 35D            | The New Meadows, Inc.<br>Lilac Garden, LLC<br>21 Continental Blvd.<br>Merrimack, NH 03054 |
| H              | 41S,<br>41T    | MSM Brothers, Inc.<br>510 Martha's Way<br>Dover, NH 03820                                 |
| Applicant      |                | Severino Trucking Co., Inc.<br>PO Box 202<br>Candia, NH 03034                             |
| Surveyor       |                | McEneaney Survey Associates, Inc.<br>24 Chestnut Street<br>Dover, NH 03820                |







**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-14

Application Type: Extraction Permit  
Applicant: Severino Trucking Co, Inc.  
Owners: Candia South Branch Brook Holdings, LLC  
Location: Mast Road (Assessor's Map H, Lots 59, 59-1 & 61)

**INTENT:** To obtain an extraction permit.

**LOTS/UNITS PROPOSED:** n/a

**AGENDA ITEM #:** 4-C

**ACREAGE:** 25.4 Acres

**ZONING DISTRICT:** Assembly and Office District (I-4)

**EXISTING LAND USE:** Gravel pit

**PROPOSED LAND USE:** Gravel pit

**SURROUNDING LAND USE:** Gravel pit, municipal, single family residential

**ZBA ACTION:** None

**PERMITS REQUIRED:** Extraction permit

**WAIVERS REQUESTED:** (1) Chapter 170-30.3.A(5), (2) Chapter 170-30.3.A(6), (3) Chapter 170-30.3.B(6)

**ATTACHMENTS:** Site plans, application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters for this meeting.

### Summary of Request and Background

The applicant has submitted excavation and reclamation plans and seeks approval for an extraction permit. Planning staff performed a site inspection on April 27, 2015. The application materials and the excavation/ reclamation plans are complete. The Applicant seeks the following waivers from the following plan requirements of the Zoning Ordinance, which staff supports:

#### Section 170-30.3.A) Excavation Plan

- 5) The location of existing BUILDINGS, STRUCTURES, septic systems and wells within 200 ft. of the boundary; and
- 6) Public streets, driveways, intersections, rights-of-way, and all easements within 200 ft.; road network to be affected; intended transportation routes to be used.

#### Section 170-30.3.B) Reclamation Plan

- 6) Schedule of final RECLAMATION activities including seeding mixtures, cover vegetation, fertilizer types, and application rates.

### Consistency with Land Use Regulations

Article VIII of the Chapter 170 (Zoning Ordinance) of the City Code governs the excavation of earth materials in the City of Dover and requires that excavation activities require a permit. The submitted application and plans are consistent with the regulations set forth in Article VII.

A zoning amendment that the Planning Board has posted would make the excavation permit process biennial. Planning staff recommends that the permit approval this year be for a two year period, contingent on the adoption of the zoning ordinance amendment.

### STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board approve the extraction permit request with the following conditions:

1. The property shall not be used for the storage or introduction of any foreign materials unless the pit operator has sought and received advance written permission from the City's Environmental Projects Manager (Mr. Dean Peschel).
2. Continue regular access roadway water wash-downs, to include updating and submitting the schedule of same to the Planning Department by June 11, 2015.
3. The approval includes the granting of the waivers requested for the reasons stated by the applicant. The Board finds that the criteria of Chapter 170-30.1 have been met.
4. This approval is good for a two year period, contingent on the adoption of zoning ordinance amendment #16.

Account # P15-14

Application Fee Paid ✓

Permit Fee \$279.00  
ck #17724

Date Received RECEIVED  
Planning Office

Time Received APR 01 2015  
Dover, New Hampshire

## CITY OF DOVER, NEW HAMPSHIRE EXTRACTION PERMIT APPLICATION

Application is hereby made for an extraction permit pursuant to the procedures set forth in the City of Dover's Zoning Ordinance.

(FOR OFFICE USE ONLY)

This application is hereby approved (disapproved) and permission is hereby granted (refused) to the applicant. This approval is good for one year from the date specified. Once approved by the Planning Board, a permit fee of \$75.00 shall be paid prior to the permit taking effect.

SUBJECT TO THE FOLLOWING CONDITIONS:

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

(FOR APPLICANT TO FILL OUT)

### 1. GENERAL INFORMATION

Date: 4-1-15 Project Number: 1964 Telephone #: 483-2133

Name of Applicant: Severino Trucking Co., Inc.

Address of Applicant: PO Box 202 Cardia, NH 03034

Name of Property Owner: Cardia South Branch Brook Holdings, LLC

Address of Property Owner: PO Box 410 Cardia, NH 03034

Address of Property Being Excavated: 149 Mast Road

Assessor's Map # H Lot #: 59, 61

Acres of Land: 25.4 ± Zoning District: I-4

Depth of Excavation: 100' Finished Elevation: 100'

Elevation of Highest Annual Average Groundwater Table: \_\_\_\_\_

Projected Length of Excavation Project: 10 ± yrs.

## 2. PROFESSIONAL SIGNOFF

Name of Professional (Licensed in NH) McEneaney Survey Associates  
Check One: Engineer \_\_\_\_\_ Land Surveyor ☒ Architect \_\_\_\_\_  
Address: 24 Chestnut Street Dover NH 03820  
License No. 1661 Tele. # 742-0911

---

### PLEASE RETURN THE FOLLOWING WITH YOUR APPLICATION TO THE PLANNING OFFICE:

1. List of abutters within 200 feet
2. 16 copies of sketch of the location with boundaries (one sent to Conservation Commission)
3. 16 copies of restoration plan (one sent to Conservation Commission)
4. Tax Collector's statement that all property taxes have been paid in full & that excavation taxes have been paid in full & that there are no unreleased tax liens encumbering said properties
5. Surety Bond or other form of performance guarantee
6. Copy of Notice of Intent to Excavate that is filed with Assessor's Office
7. **An annual report documenting compliance with the requirements of Zoning Section 170-28, Groundwater Protection. Pursuant to RSA 155-E:11, the requirements of this section may be waived if the applicant demonstrates that such exception shall be recorded in the Registry of Deeds, and one copy filed with the NH Department of Environmental Services**
8. Check made out to the City of Dover for fees listed below and on Application Checklist.

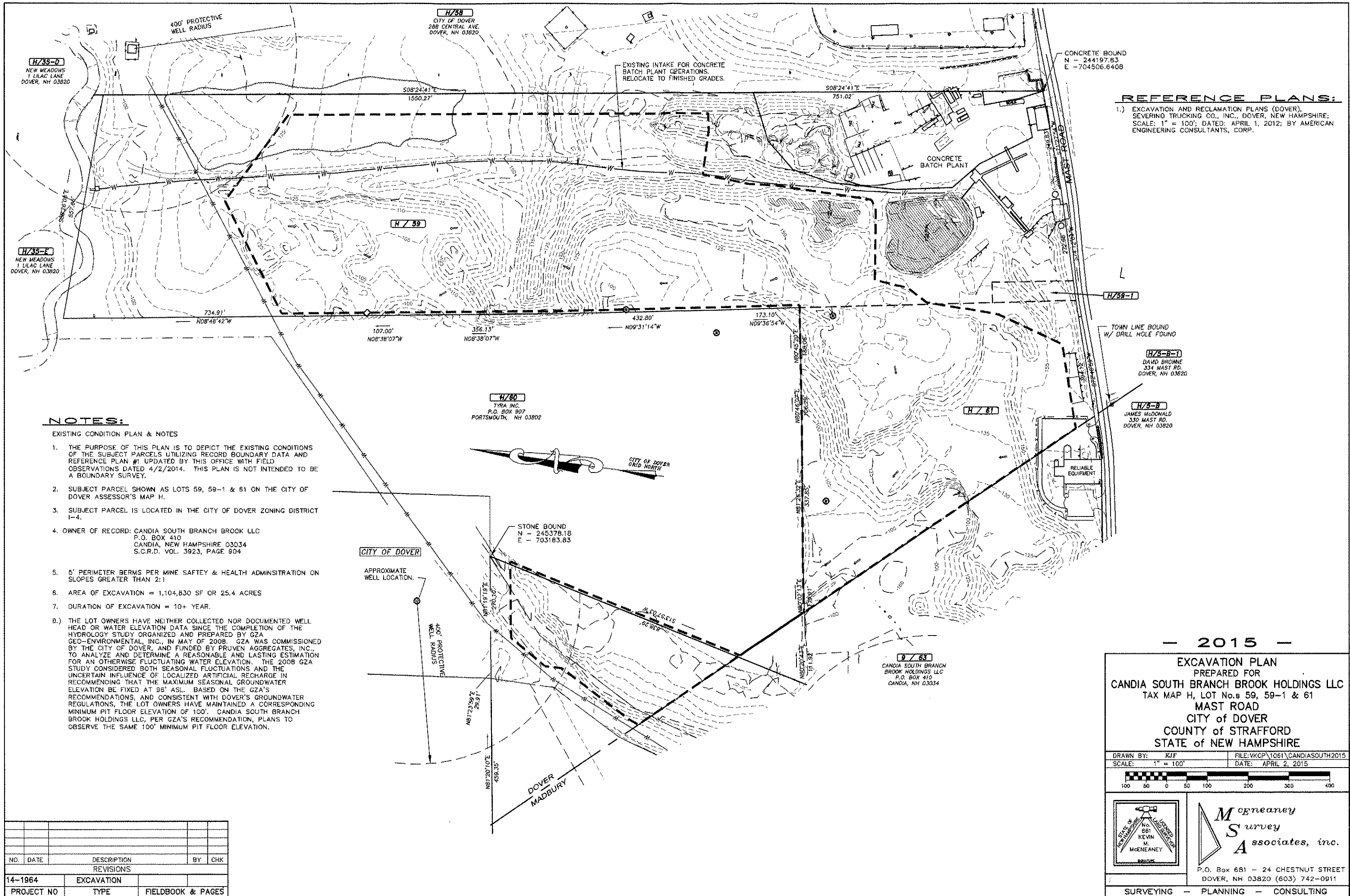
|                 |         |
|-----------------|---------|
| Application fee | \$50.00 |
| Permit fee      | \$75.00 |
| Legal Ad        | \$80.00 |

Applicant & Owner, engineer, architect Certified abutter notification letter fee # x \$8.00  
Digital Version of the Plan & Archive fee: \$1.00 per plan sheet

Gravelpitappl

ABUTTERS LIST  
for  
SEVERINO TRUCKING CO., INC.  
April 1, 2015

| <u>Tax Map</u> | <u>Lot No.</u> | <u>Owner &amp; Address</u>                                                                |
|----------------|----------------|-------------------------------------------------------------------------------------------|
| H              | 4              | Heron Bay Partners, LLC<br>242 Central Avenue<br>Dover, NH 03820                          |
| H              | 5B             | Agnes Taranto<br>330 Mast Road<br>Dover, NH 03820                                         |
| H              | 5B-1           | David & Pamela Browne<br>324 Mast Road<br>Dover, NH 03820                                 |
| H              | 58             | City of Dover<br>288 Central Avenue<br>Dover, NH 03820                                    |
| (locus)H       | 59, 59-1<br>61 | Candia South Branch Brook Holdings, LLC<br>PO Box 410<br>Candia, NH 03034                 |
| H              | 60-1           | Tyra, Inc.<br>P.O. Box 907<br>Portsmouth, NH 03802                                        |
| H              | 35D            | The New Meadows, Inc.<br>Lilac Garden, LLC<br>21 Continental Blvd.<br>Merrimack, NH 03054 |
| H              | 35E            | The New Meadows, Inc.<br>1 Lilac Lane<br>Dover, NH 03820                                  |
| Applicant      |                | Severino Trucking Co., Inc.<br>PO Box 202<br>Candia, NH 03034                             |
| Surveyor       |                | McEneaney Survey Associates, Inc.<br>24 Chestnut Street<br>Dover, NH 03820                |



**NOTES:**

- EXISTING CONDITION PLAN & NOTES
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF THE SUBJECT PARCELS UTILIZING RECORD BOUNDARY DATA AND REFERENCE PLAN #1 UPDATED BY THIS OFFICE WITH FIELD OBSERVATIONS DATED 4/2/2014. THIS PLAN IS NOT INTENDED TO BE A BOUNDARY SURVEY.
  2. SUBJECT PARCEL SHOWN AS LOTS 59, 59-1 & 61 ON THE CITY OF DOVER ASSESSOR'S MAP H.
  3. SUBJECT PARCEL IS LOCATED IN THE CITY OF DOVER ZONING DISTRICT I-4.
  4. OWNER OF RECORD: CANDIA SOUTH BRANCH BROOK LLC  
P.O. BOX 410  
CANDIA, NEW HAMPSHIRE 03034  
S.C.R.D. VOL. 3923, PAGE 904
  5. 5' PERIMETER BERMS PER MINE SAFETY & HEALTH ADMINISTRATION ON SLOPES GREATER THAN 2:1
  6. AREA OF EXCAVATION = 1,104,830 SF OR 25.4 ACRES
  7. DURATION OF EXCAVATION = 10+ YEAR.
  8. THE LOT OWNERS HAVE NEITHER COLLECTED NOR DOCUMENTED WELL HEAD OR WATER ELEVATION DATA SINCE THE COMPLETION OF THE HYDROLOGY STUDY ORGANIZED AND PREPARED BY GZA GEO-ENVIRONMENTAL, INC., IN MAY OF 2008. GZA WAS COMMISSIONED BY THE CITY OF DOVER, AND FUNDED BY PRUVEN AGGREGATES, INC., TO ANALYZE AND DETERMINE A REASONABLE AND LASTING ESTIMATION FOR AN OTHERWISE FLUCTUATING WATER ELEVATION. THE 2008 GZA STUDY CONSIDERED BOTH SEASONAL FLUCTUATIONS AND THE UNCERTAIN INFLUENCE OF LOCALIZED ARTIFICIAL RECHARGE IN RECOMMENDING THAT THE MAXIMUM SEASONAL GROUNDWATER ELEVATION BE FIXED AT 96' ASL. BASED ON THE GZA'S RECOMMENDATIONS, AND CONSISTENT WITH DOVER'S GROUNDWATER REGULATIONS, THE LOT OWNERS HAVE MAINTAINED A CORRESPONDING MINIMUM PIT FLOOR ELEVATION OF 100'. CANDIA SOUTH BRANCH BROOK HOLDINGS LLC, PER GZA'S RECOMMENDATION, PLANS TO OBSERVE THE SAME 100' MINIMUM PIT FLOOR ELEVATION.

**REFERENCE PLANS:**  
1.) EXCAVATION AND RECLAMATION PLANS (DOVER), SEVERINO TRUCKING CO., INC., DOVER, NEW HAMPSHIRE, SCALE: 1" = 100', DATED: APRIL 1, 2012; BY AMERICAN ENGINEERING CONSULTANTS, CORP.

— 2015 —

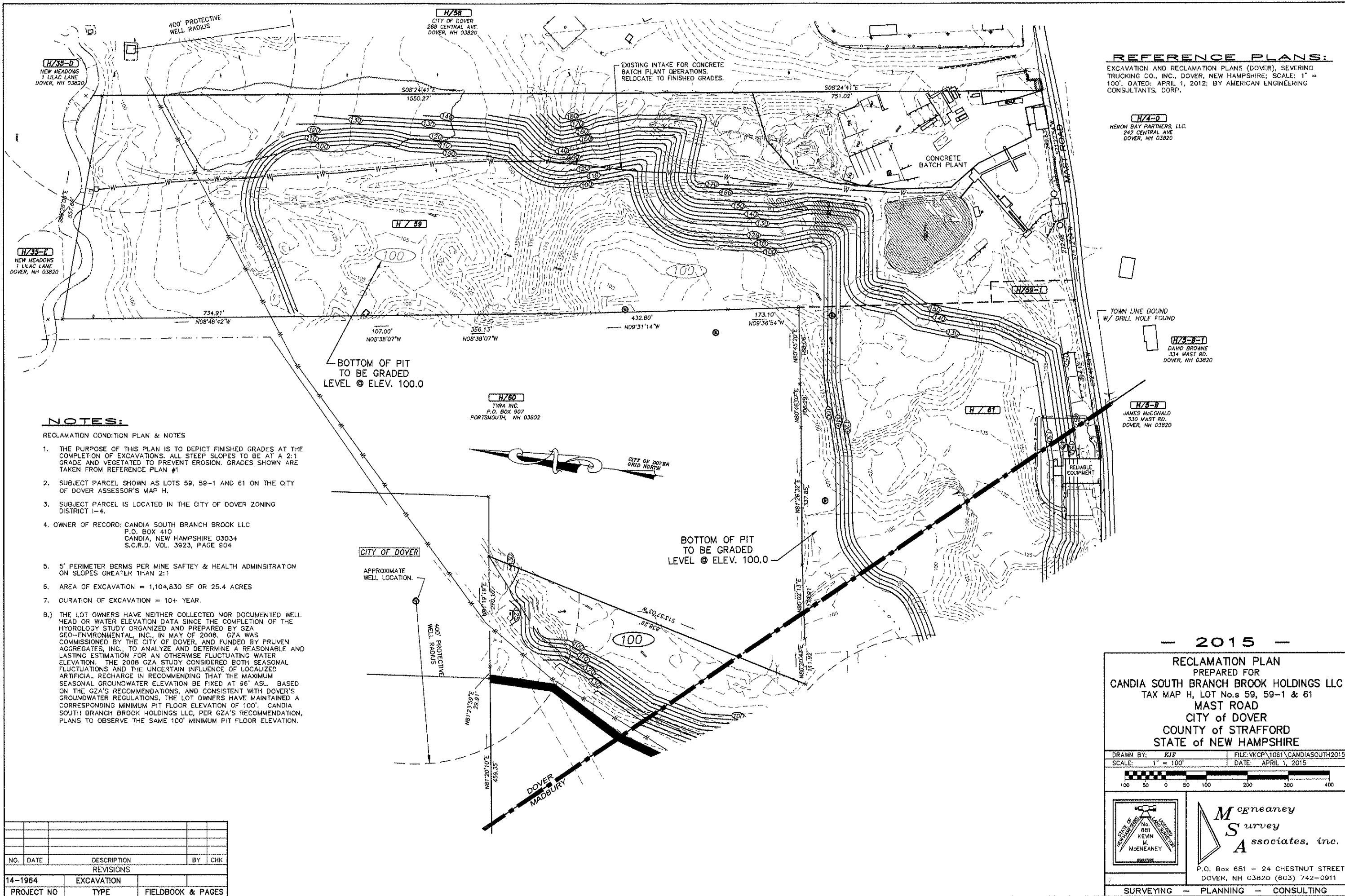
**EXCAVATION PLAN**  
PREPARED FOR  
**CANDIA SOUTH BRANCH BROOK HOLDINGS LLC**  
TAX MAP H, LOT No.s 59, 59-1 & 61  
**MAST ROAD**  
**CITY of DOVER**  
**COUNTY of STRAFFORD**  
**STATE of NEW HAMPSHIRE**

DRAWN BY: **KJF** FILE: VKCP\1061\CANDIASOUTH2015  
SCALE: 1" = 100' DATE: APRIL 2, 2015

**McNeaney**  
**Survey**  
**Associates, inc.**  
P.O. Box 681 — 24 CHESTNUT STREET  
DOVER, NH 03820 (603) 742-0911

**SURVEYING — PLANNING — CONSULTING**

| NO.        | DATE | DESCRIPTION | BY                | CHK |
|------------|------|-------------|-------------------|-----|
| REVISIONS  |      |             |                   |     |
| 14-1964    |      | EXCAVATION  |                   |     |
| PROJECT NO |      | TYPE        | FIELDBOOK & PAGES |     |



**REFERENCE PLANS:**  
EXCAVATION AND RECLAMATION PLANS (DOVER), SEVERINO TRUCKING CO., INC., DOVER, NEW HAMPSHIRE; SCALE: 1" = 100'; DATED: APRIL 1, 2012; BY AMERICAN ENGINEERING CONSULTANTS, CORP.

**H/58-D**  
HERON BAY PARTNERS, LLC.  
242 CENTRAL AVE  
DOVER, NH 03820

**H/58-E**  
DAVID BROOME  
334 MAIST RD.  
DOVER, NH 03820

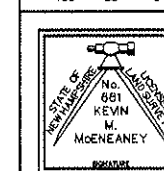
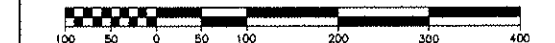
**H/58-F**  
JAMES McDONALD  
330 MAIST RD.  
DOVER, NH 03820

- NOTES:**  
RECLAMATION CONDITION PLAN & NOTES
1. THE PURPOSE OF THIS PLAN IS TO DEPICT FINISHED GRADES AT THE COMPLETION OF EXCAVATIONS. ALL STEEP SLOPES TO BE AT A 2:1 GRADE AND VEGETATED TO PREVENT EROSION. GRADES SHOWN ARE TAKEN FROM REFERENCE PLAN #1
  2. SUBJECT PARCEL SHOWN AS LOTS 59, 59-1 AND 61 ON THE CITY OF DOVER ASSESSOR'S MAP H.
  3. SUBJECT PARCEL IS LOCATED IN THE CITY OF DOVER ZONING DISTRICT I-4.
  4. OWNER OF RECORD: CANDIA SOUTH BRANCH BROOK LLC  
P.O. BOX 410  
CANDIA, NEW HAMPSHIRE 03034  
S.C.R.D. VOL. 3923, PAGE 904
  5. 5' PERIMETER BERMS PER MINE SAFETY & HEALTH ADMINISTRATION ON SLOPES GREATER THAN 2:1
  6. AREA OF EXCAVATION = 1,104,830 SF OR 25.4 ACRES
  7. DURATION OF EXCAVATION = 10+ YEAR.
  8. THE LOT OWNERS HAVE NEITHER COLLECTED NOR DOCUMENTED WELL HEAD OR WATER ELEVATION DATA SINCE THE COMPLETION OF THE HYDROLOGY STUDY ORGANIZED AND PREPARED BY GZA GEO-ENVIRONMENTAL, INC., IN MAY OF 2008. GZA WAS COMMISSIONED BY THE CITY OF DOVER, AND FUNDED BY PRUVEN AGGREGATES, INC., TO ANALYZE AND DETERMINE A REASONABLE AND LASTING ESTIMATION FOR AN OTHERWISE FLUCTUATING WATER ELEVATION. THE 2008 GZA STUDY CONSIDERED BOTH SEASONAL FLUCTUATIONS AND THE UNCERTAIN INFLUENCE OF LOCALIZED ARTIFICIAL RECHARGE IN RECOMMENDING THAT THE MAXIMUM SEASONAL GROUNDWATER ELEVATION BE FIXED AT 96' ASL. BASED ON THE GZA'S RECOMMENDATIONS, AND CONSISTENT WITH DOVER'S GROUNDWATER REGULATIONS, THE LOT OWNERS HAVE MAINTAINED A CORRESPONDING MINIMUM PIT FLOOR ELEVATION OF 100'. CANDIA SOUTH BRANCH BROOK HOLDINGS LLC, PER GZA'S RECOMMENDATION, PLANS TO OBSERVE THE SAME 100' MINIMUM PIT FLOOR ELEVATION.

**2015**

**RECLAMATION PLAN**  
PREPARED FOR  
CANDIA SOUTH BRANCH BROOK HOLDINGS LLC  
TAX MAP H, LOT No.s 59, 59-1 & 61  
MAIST ROAD  
CITY OF DOVER  
COUNTY OF STRAFFORD  
STATE OF NEW HAMPSHIRE

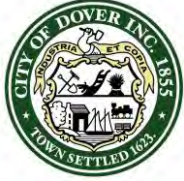
DRAWN BY: KJF  
SCALE: 1" = 100'  
FILE: VKCP\1081\CANDIASOUTH2015  
DATE: APRIL 1, 2015



**McNeaney**  
**S**urvey  
**A**ssociates, inc.  
P.O. Box 681 - 24 CHESTNUT STREET  
DOVER, NH 03820 (603) 742-0911

**SURVEYING - PLANNING - CONSULTING**

| NO.        | DATE | DESCRIPTION       | BY | CHK |
|------------|------|-------------------|----|-----|
| REVISIONS  |      |                   |    |     |
| 14-1964    |      | EXCAVATION        |    |     |
| PROJECT NO | TYPE | FIELDBOOK & PAGES |    |     |



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-23

Application Type: Conditional Use Permit  
Applicant(s): K-9 Kaos  
Owner(s): Fastdogs Realty, LLC  
Location: 432 Sixth Street (Assessor's Map E, Lot 32)

**INTENT:** To obtain a Conditional Use Permit for an encroachment within the 50-foot wetlands buffer for the construction of a rain garden. The total buffer impact is 3,650 square feet.

**LOTS/UNITS PROPOSED:** N/A

**AGENDA ITEM #:** 4-D

**ACREAGE:** 7.25 Acres

**ZONING DISTRICT:** Executive Technology Park (ETP)

**EXISTING LAND USE:**  
Dog care facility

**PROPOSED LAND USE:** Dog care facility

**SURROUNDING LAND USE:** Single Family residential, offices, industrial uses, and congregate care

**ZBA ACTION:**  
Use Variance Granted (Z10-05) 5/20/2010

**ATTACHMENT:** Conditional Use Permit application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail for this meeting

**PERMITS REQUIRED:** None

**WAIVERS REQUESTED:** None

### Summary of Request and Background

The applicant is requesting to impact the 50-foot wetlands buffer for the construction of a rain garden.

The applicant appeared before the Conservation Commission on May 11, 2015. The Conservation Commission voted to endorse the application with the condition that the applicant consider altering the footprint of the rain garden to reduce the impact of 3,650 square feet for the 50 foot wetland buffer and provide test pit logs (see Conservation Commission minutes). In response to the Conservation Commission, the applicant was able to redesign the plan to reduce the wetland buffer encroachment.

### Consistency with Land Use Regulations

The Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and areas within 50 feet of wetlands if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards.

### STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following conditions:

### Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:

1. The wetlands and wetland buffers shall be marked in the field prior to any earth disturbance activities.
2. The erosion and sediment control features shall be installed prior to any earth disturbance activities.



# City of Dover, New Hampshire

## CONDITIONAL USE PERMIT APPLICATION

[Revision Date: February 19, 2014]

|                 |              |                 |                |                                 |
|-----------------|--------------|-----------------|----------------|---------------------------------|
| Office Use Only | Project #:   | <u>P15-23</u>   | Date Received: | <u>RECEIVED Planning Office</u> |
|                 | Amount Paid: | <u>\$478.00</u> | Time Received: | <u>APR 22 2015</u>              |

dk\*70236

Dover, New Hampshire

### APPLICANT AND OWNER INFORMATION

Name of Applicant: K9 Kaos Telephone # 842-4117

Address of Applicant: 432 Sixth Street, Dover, NH 03820

E-Mail Address: anne@k9kaos.com

Name of Property Owner (if different from applicant): Fastdogs Realty, LLC Telephone # 842-4117

Address of Property Owner: 432 Sixth Street, Dover, NH 03820

### PROPERTY INFORMATION

Assessor's Map # E Lot(s) # 32

Address of Property: 432 Sixth Street

Zoning District(s) ETP Overlay District(s) Wetland Protection

Existing Use of Property: Dog care facility

### CONDITIONAL USE PERMIT INFORMATION

#### Type of Conditional Use Permit (Check All That Apply):

- |                                                           |                                                         |                                            |
|-----------------------------------------------------------|---------------------------------------------------------|--------------------------------------------|
| <input checked="" type="checkbox"/> Conservation District | <input type="checkbox"/> RCM Use Overlay District       | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection           | <input type="checkbox"/> Off-Street Parking and Loading |                                            |
| <input type="checkbox"/> Wetland Protection District      | <input type="checkbox"/> Central Business District      |                                            |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

Relocation of existing rain garden to facilitate expansion of fenced yard.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: None required

Name of Professional That Prepared Plans: Dana C. Lynch, P.E., c/o Civilworks, Inc.Address P.O. Box 1166, 181 Watson Road, Dover, NH 03821 Telephone #: 749-0443Professional License #: 5745 E-mail address: civilworksdoover@comcast.net**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:  Date: 4.16.15

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: Dana C. Lynch, P.E. Date: 4/16/2015**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 4.16.15

# CIVILWORKS, INC.

Civil Engineers  
Land Surveyors

P.O. Box 1166  
Dover, NH 03821-1166

603-749-0443  
(Facsimile) 603-749-7348

April 16, 2015

City of Dover  
Conservation Commission  
288 Central Avenue  
Dover, NH 03820

RECEIVED  
Planning Office  
APR 22 2015  
Dover, New Hampshire

Attn: William Hunt, Chair

Subject: Rain Garden Relocation  
K9 Kaos  
Tax Map E, Lot 32  
432 Sixth Street, Dover  
Our Reference No. 13129

Dear Mr. Hunt:

Please find attached the following materials in support of a Conditional Use Permit Application for a Rain Garden Relocation and Parking Expansion at the above referenced site.

1) Eight (8) copies each of the following plans:

- "Existing Conditions & Demolition Plan; 1"=30'; sheet 1 of 3
- "Site Plan"; sheet 2 of 3
- "Detail Sheet"; sheet 3 of 3

2) One (1) Conditional Use Permit Application

The applicant, K9 Kaos, is seeking to relocate an existing rain garden to allow expansion of outdoor kennel areas. In 2013 the owner of record, Fastdogs Realty, LLC, acquired additional lands from CJM Durham, LLC to increase their total lot area from 2.0 acres to 7.25 acres. This additional land area affords the applicant the opportunity to expand their kennel areas as well as add six (6) parking spaces for employees to facilitate business growth since commencement of operations in 2011.

The aforementioned land acquisition was the result of a lot line adjustment as depicted on a plan prepared for CJM Durham, LLC, approved by the Planning Board and filed at the Registry of Deeds as Plan No. 106-061. This plan identifies the location of wetlands flagged by Steven D.

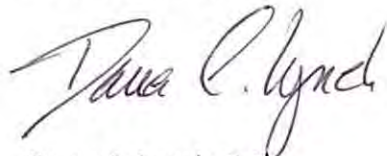
Riker, CWS No. 219 on September 3, 2013 and located by McEneaney Survey Associates, Inc. in October, 2013. These wetlands are generally located along the easterly boundary of the subject Lot 32 as shown on Tax Map E.

The proposed rain garden will be located within the 50 ft. Wetland Protection District buffer specified under Section 170-27.1G of the Zoning Ordinance. No new structures or impervious areas are to be located within the buffer. The disturbance proposed will involve extensions to the existing drainage collection system, construction of a new rain garden approximately 120 ft. long, 15 ft. wide, and 2 ft. deep. This configuration is in conformance with sizing calculations performed by Appledore Engineers, Inc. as part of a Site Plan Review application approved by the Planning Board in 2010. The rain garden bottom material will consist of a mix of shredded hardwood mulch, sand, topsoil, and peat moss, and will be planted with Spotted Joe Rye Weed similar to the original rain garden design and construction. This stormwater management system will allow for continued filtering and infiltration of runoff for groundwater recharge as intended under the original design and construction. A Long-Term Operation and Maintenance Plan for the project site was established at the time of the original Site Plan approval and will remain fully applicable and in force.

As a result of the rain garden relocation, K9 Kaos will be able to relocate and add to the existing 8 ft. stockade fence and to expand the kennels located within said fence. The kennel base materials consist of sand. These improvements are needed to address increased demand for services.

The applicant will be submitting the Conditional Use Application, along with associated materials including a Site Review Application for expansion of parking and dumpster enclosure relocation, to the Planning Board under separate cover. We trust you will find the materials attached herewith satisfactory for consideration and recommendation by the Conservation Commission at its May 11<sup>th</sup> meeting.

Best Regards,  
CIVILWORKS, INC.

A handwritten signature in dark ink, appearing to read "Dana C. Lynch". The signature is fluid and cursive, with the first name "Dana" being more prominent.

Dana C. Lynch, P.E.

DCL/lrd

Enclosures

cc: Christopher Parker, Planning Director  
Anne Nichols, K9 Kaos



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-24

Application Type: Site Plan Review  
Applicant(s): K-9 Kaos  
Owner(s): Fastdogs Realty, LLC  
Location: 432 Sixth Street (Assessor's Map E, Lot 32)

**INTENT:** Site Plan Review for proposed expansion of the outdoor fenced yard and the addition of six parking spaces.

**LOTS/UNITS PROPOSED:** N/A

**AGENDA ITEM #:** 4-E

**ACREAGE:** 7.25 Acres

**ZONING DISTRICT:** Executive Technology Park (ETP)

**EXISTING LAND USE:**

Dog care facility

**PROPOSED LAND USE:** Dog care facility

**SURROUNDING LAND USE:** Single Family residential, offices, industrial uses, and congregate care

**ZBA ACTION:**

Use Variance Granted (Z10-05) 5/20/2010

**ATTACHMENT:** Site Plan application and plans; TRC minutes

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail for this meeting

**PERMITS REQUIRED:**

- City of Dover Conditional Use Permit for wetland buffer impact

**WAIVERS REQUESTED:** None

### Summary of Request and Background

The applicant is requesting site plan approval for the expansion of the outdoor fenced yard and the expansion of a parking lot by six spaces.

The applicant appeared before the Technical Review Committee on May 7, 2015 (see TRC minutes).

### Consistency with Land Use Regulations

Chapter 149-4 of the Site Review Regulations of the City Code provides for site review by the Planning Board of new construction of various types. The site is located in the Executive Technology Park (ETP) District, by virtue of a use variance granted in 2010.

### STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the site plan with the following conditions:

#### Conditions to Be Met Prior to Signing of Plans:

1. The owner's signatures shall be added to the final plan submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.

#### Conditions to Be Met Prior to Any Construction Activity:

3. Construction hours shall be limited to Monday-Friday 7 AM-6 PM, Saturday 8 AM-5 PM, with no Sunday hours. Hours of construction shall be documented on a site construction sign along with the contact information for the general contractor. Said signage shall be located and approved by the City Engineer or Director of Planning and Community Development.



# City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: April 23, 2013]

RECEIVED  
Planning Office

Office Use Only

Project #:

P15-24

Date Received:

APR 22 2015

Amount Paid:

\$478.00

Time Received:

Dover, New Hampshire

## APPLICANT AND OWNER INFORMATION

dc# 70236

Name of Applicant: K9 Kaos Telephone # 842-4117

Address of Applicant: 432 Sixth Street, Dover, NH 03820

E-Mail Address: anne@k9kaos.com

Name of Property Owner (if different from applicant): Fastdogs Realty, LLC Telephone # 842-4117

Address of Property Owner: 432 Sixth Street Dover, NH 03820

## PROPERTY INFORMATION

Address of Property: 432 Sixth Street, Dover, NH 03820

Assessor's Map # E Lot(s) # 32

Zoning District(s) ETP Overlay District(s) Wetland Protection

Size of Parcel: 315,810 sq. ft. 7.25 ac. Property Deed: Book 3851 Page: 861  
4193 268

Existing Use of Property: Dog care facility

## SITE PLAN INFORMATION

Describe Proposed Use: Relocation of existing rain garden to facilitate expansion of fenced yard.

Area of Parcel to be Developed: 33,000 sq. ft.

If Multi-family Residential, Specify Number of Units & Buildings Proposed: N/A

Number of Parking Spaces: Existing 23 Proposed 29 (6 new)

Highway Access (check where applicable): X City Street State Highway

Number of Employees Total: 24 In Maximum Shift: 8

Disposition of Parcel:

Building Setbacks:

Building Footprint unchanged sq. ft.

Front Yard 54 +/- (unchanged) ft.

Total Building Area unchanged sq. ft.

Rear Yard 124 +/- (unchanged) ft.

Paved Area additional 1800 sq. ft.

Side Yard: Right \_\_\_\_\_ ft.  
Left \_\_\_\_\_ ft.

City Water?   x   Yes        No

How far is city water from the property? ---

City Sewer? ☒ Yes ☐ No

How far is city sewer from the property? ---

## BUILDING INFORMATION

Type of Building to be Built: N/A

Height of Building: unchanged      Finished Floor Elevation: unchanged (varies)

Number of Seats (where applicable) N/A

## WAIVER REQUESTS

Site Review Regulations section(s) to be waived: \_\_\_\_\_

Justification for waiver request(s) (*attach additional sheets as needed*):

## SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) \_\_\_\_\_

Address \_\_\_\_\_ Telephone #: \_\_\_\_\_

Professional License #: \_\_\_\_\_ E-mail address: \_\_\_\_\_

## ENGINEER INFORMATION

Name of Engineer and Company (Licensed in N.H.) Dana C. Lynch, P.E.

Address c/o Civilworks Inc., PO Box 1166, Dover NH Telephone #: 749-0443

Professional License #: 5745 E-mail address: civilworksdoover@comcast.net

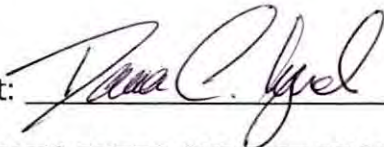
## SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: [Signature] Date: 4.16.15

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent:



Date: 7.16.15

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:



Date:

4.16.15

**AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY**

I, and my successors, hereby the City of Dover or its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:



Date:

4.16.15

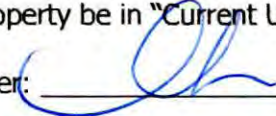
Signature of Applicant (if different from owner):

Date:

**CERTIFICATION OF FEES**

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board. Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner:



Date:

4.16.15

Signature of Applicant (if different from owner):

Date:

# CIVILWORKS, INC.

Civil Engineers  
Land Surveyors

P.O. Box 1166  
Dover, NH 03821-1166

603-749-0443  
(Facsimile) 603-749-7348

RECEIVED  
Planning Office

APR 22 2015

Dover, New Hampshire

April 16, 2015

City of Dover  
Planning Department  
288 Central Avenue  
Dover, NH 03820

Attn: Christopher G. Parker, Director

Subject: Rain Garden Relocation/Parking Expansion  
K9 Kaos  
Tax Map E, Lot 32  
432 Sixth Street, Dover  
Our Reference No. 13129

Dear Mr. Parker:

Please find attached the following materials for a Rain Garden Relocation and Parking Expansion at the above referenced site:

- 1) Eight (8) copies each of the following plans:
  - "Existing Conditions & Demolition Plan"; 1"=30'; sht 1 of 3
  - "Site Plan Expansion Plan"; 1"=30'; sht 2 of 3
  - "Detail Sheet"; sht 3 of 3
- 2) One (1) Site Review Application
- 3) One (1) Conditional Use Permit Application
- 4) One (1) Application Checklist & Fee Schedule
- 5) Check payable to the City of Dover for the sum of \$478.00
- 6) One (1) Abutter List with three (3) sets of mailing labels

Our client, K9 Kaos, is seeking to relocate an existing rain garden to allow expansion of outdoor kennel areas. In 2013 the owner of record, Fastdogs Realty, LLC, acquired additional lands from CJM Durham, LLC to increase their total lot area from 2.0 acres to 7.25 acres. This additional land area affords the applicant the opportunity to expand their kennel areas as well as add six (6) parking spaces for employees to facilitate business growth since commencement of operations in 2011.

The aforementioned land acquisition was the result of a lot line adjustment as depicted on a plan prepared for CJM Durham, LLC, approved by the Planning Board and filed at the Registry of Deeds as Plan No. 106-061. This plan identifies the location of wetlands flagged by Steven D. Riker, CWS No. 219 on September 3, 2013 and located by McEneaney Survey Associates, Inc. in October, 2013. These wetlands are generally located along the easterly boundary of the subject Lot 32 as shown on Tax Map E.

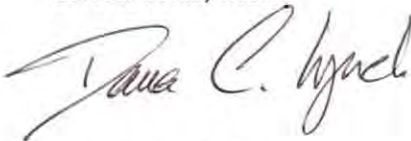
The proposed rain garden will be located within the 50 ft. Wetland Protection District buffer specified under Section 170-27.1G of the Zoning Ordinance. No new structures or impervious areas are to be located within the buffer. The disturbance proposed will involve extensions to the existing drainage collection system, construction of a rain garden approximately 120 ft. long, 15 ft. wide, and 2 ft. deep. This configuration is in conformance with sizing calculations performed by Appledore Engineers, Inc. as part of a Site Plan Review application approved by the Planning Board in 2010. The rain garden bottom material will consist of a mix of shredded hardwood mulch, sand, topsoil, and peat moss, and will be planted with Spotted Joe Rye Weed similar to the original rain garden design and construction. This stormwater management system will allow for continued filtering and infiltration of runoff for groundwater recharge. A Long-Term Operation and Maintenance Plan for the project site was established at the time of the original Site Plan approval and will remain fully applicable and in force.

As a result of the rain garden relocation, K9 Kaos will be able to relocate and add to the existing 8 ft. stockade fence and to expand the kennels located within said fence. The kennel area base materials consist of sand. These improvements are needed to address increased demand for services.

Copies of the aforementioned plans and Conditional Use Permit Application have been submitted under separate cover to the Conservation Commission for consideration at their May 11<sup>th</sup> meeting.

Please advise us of a date and time for a Technical Review Committee meeting.

Best Regards,  
CIVILWORKS, INC.

A handwritten signature in black ink, appearing to read "Dana C. Lynch".

Dana C. Lynch, P.E.

DCL/lrd

Enclosures

cc: Anne Nichols, K9 Kaos

**List of Abutters**  
**K9 Kaos, Sixth Street, Dover, NH**

| <b>Tax Map</b> | <b>Lot No.</b> | <b>Owner Names &amp; Address</b>                                                                                         |
|----------------|----------------|--------------------------------------------------------------------------------------------------------------------------|
| E              | 32<br>(site)   | Fastdogs Realty, LLC<br>432 Sixth Street<br>Dover, NH 03820                                                              |
| B              | 1              | Richard & Adele Marone<br>2 Reyners Brook Drive<br>Dover, NH 03820                                                       |
| B              | 1K             | Sheila B. & Douglas M. Madsen<br>25 County Farm Road<br>Dover, NH 03820                                                  |
| B              | 1L             | Lindsay Perret<br>31 County Farm Road<br>Dover, NH 03820                                                                 |
| B              | 1M             | James M. & Germaine E. Clark, Trustees<br>Clark Family Revocable Trust of 2001<br>17 County Farm Road<br>Dover, NH 03820 |
| B              | 1N             | Andrew O. Perry<br>92 Coffeetown Road<br>Deerfield, NH 03037-1207                                                        |
| B              | 23-B           | Blanche H. Polychronis, Trustee<br>Blanche H. Polychronis 2001 Trust<br>39 County Farm Road<br>Dover, NH 03820           |
| D              | 12             | Elmer, Jr. & Beulah Eldridge, Trustees<br>Elmer & Beulah Eldridge Rev. Trust<br>447 Sixth Street<br>Dover, NH 03820      |
| D              | 13-1           | Cramer Fabrics, Inc.<br>20 Venture Drive<br>Dover, NH 03820                                                              |
| D              | 13-2           | 17 Production Drive, LLC<br>17 Production Drive<br>Dover, NH 03820                                                       |

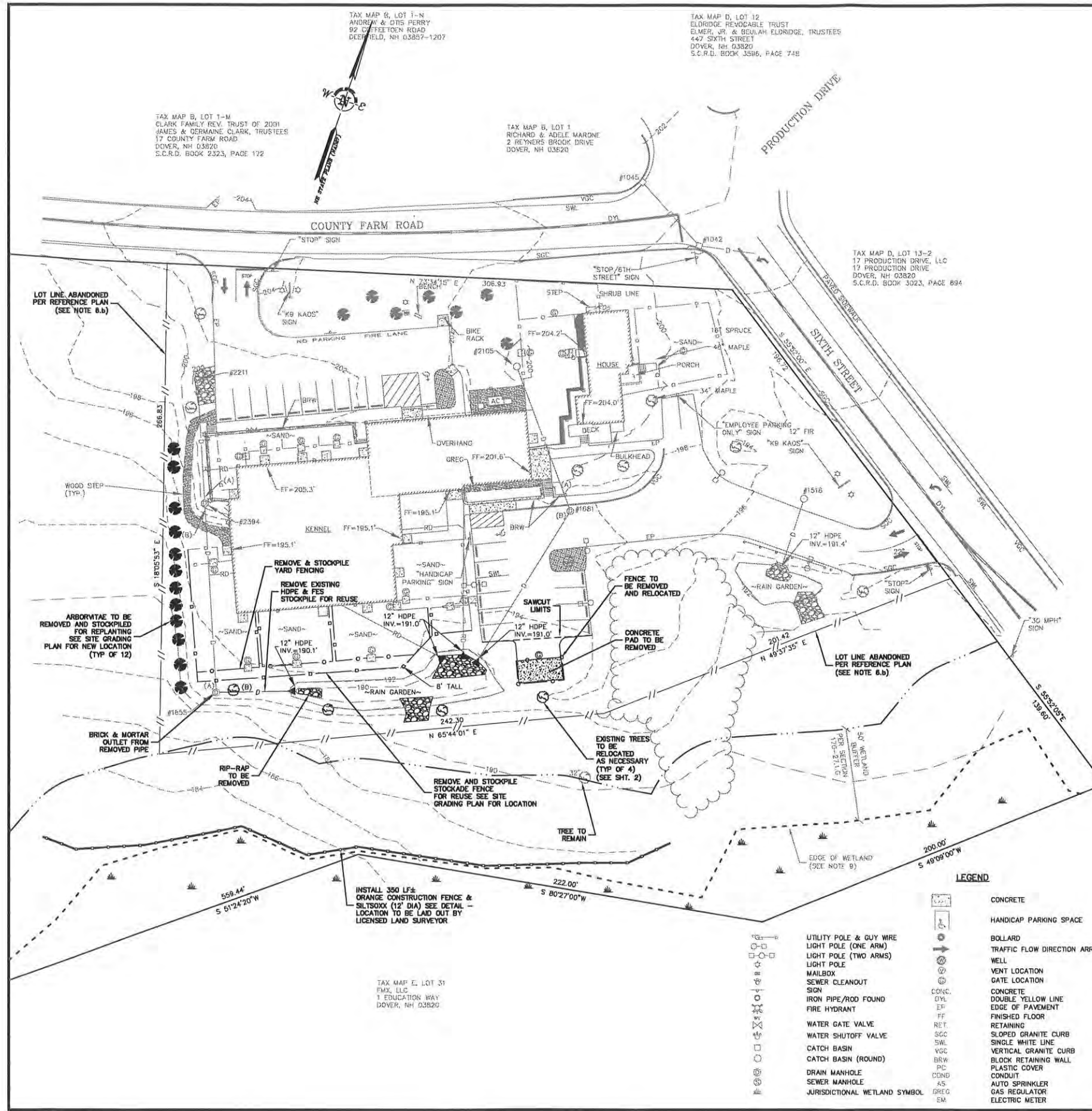
E 31 FMX, LLC  
1 Education Way  
Dover, NH 03820-5815

E 32-4 SGI Realty, LLC  
150 Garrison Road  
Dover, NH 03820

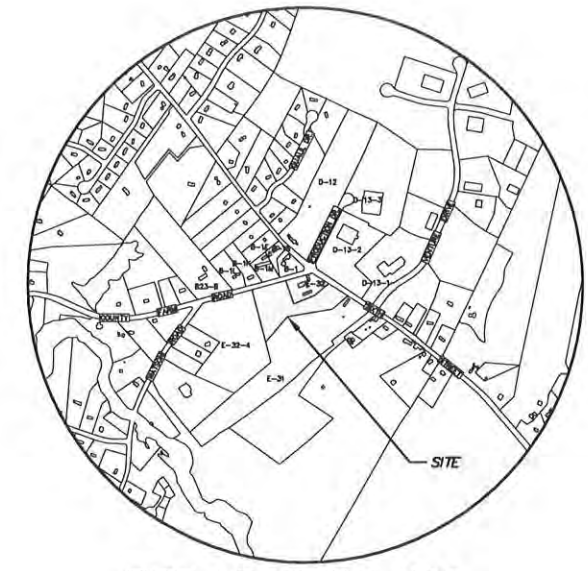
ENGINEER: Civilworks, Inc.  
P.O. Box 1166  
Dover, NH 03821-1166

SURVEYOR: McEneaney Survey Associates, Inc.  
P.O. Box 681  
Dover, NH 03821-0681

SOIL SCIENTIST: Sandpiper Environmental Services, Inc.  
Attn: Steven D. Riker  
P.O. Box 1634  
Dover, NH 0321-1634



| DRAINAGE & SEWER STRUCTURE TABLE                                  |                  |
|-------------------------------------------------------------------|------------------|
| CB #1045                                                          | RIM ELEV.=200.7' |
| 12" CMP=195.6'                                                    |                  |
| CB #1042                                                          | RIM ELEV.=199.0' |
| 12" CMP=194.7'                                                    |                  |
| *PIPES NOT VISIBLE FOR SIZE/INVERT DEPTH DIRECTIONS WERE OBTAINED |                  |
| CB #1518                                                          | RIM ELEV.=194.0' |
| 12" HDPE INV.=191.9'                                              |                  |
| DMH #1681                                                         | RIM ELEV.=195.6' |
| (A) 12" HDPE INV.=192.5'                                          |                  |
| (B) 12" HDPE INV.=192.4'                                          |                  |
| DMH #1855                                                         | RIM ELEV.=193.1' |
| (A) 12" HDPE INV.=190.5'                                          |                  |
| (B) 12" HDPE INV.=190.4'                                          |                  |
| CB #2105                                                          | RIM ELEV.=199.4' |
| 12" HDPE INV.=196.6'                                              |                  |
| CB #2211                                                          | RIM ELEV.=199.3' |
| 12" HDPE INV.=195.2'                                              |                  |
| DMH #2394                                                         | RIM ELEV.=201.4' |
| (A) 12" HDPE INV.=194.7'                                          |                  |
| (D) 12" HDPE INV.=190.9'                                          |                  |



LIST OF ADJUTERS

| TAX MAP | LOT NO. | OWNER NAME & ADDRESS                                                                                                     | TAX MAP | LOT NO. | OWNER NAME & ADDRESS                                                                                                |
|---------|---------|--------------------------------------------------------------------------------------------------------------------------|---------|---------|---------------------------------------------------------------------------------------------------------------------|
| E       | 32      | (SITE) FASTDOGS REALTY, LLC<br>432 SIXTH STREET<br>DOVER, NH 03820                                                       | B       | 23-B    | BLANCHE H. POLYCHRONIS, TRUSTEE<br>BLANCHE H. POLYCHRONIS 2001 TRUST<br>38 COUNTY FARM ROAD<br>DOVER, NH 03820      |
| B       | 1       | RICHARD & ADELE MARONE<br>2 REYNERS BROOK DRIVE<br>DOVER, NH 03820                                                       | D       | 12      | ELMER, JR. & BEULAH ELDRIDGE, TRUSTEES<br>ELMER & BEULAH ELDRIDGE REV. TRUST<br>447 SIXTH STREET<br>DOVER, NH 03820 |
| B       | 1K      | SHEILA B. & DOUGLAS M. MADSEN<br>25 COUNTY FARM ROAD<br>DOVER, NH 03820                                                  | D       | 13-1    | CRAMER FABRICS, INC.<br>20 VENTURE DRIVE<br>DOVER, NH 03820                                                         |
| B       | 1L      | LINDSAY PERRET<br>31 COUNTY FARM ROAD<br>DOVER, NH 03820                                                                 | D       | 13-2    | 17 PRODUCTION DRIVE, LLC<br>17 PRODUCTION DRIVE<br>DOVER, NH 03820                                                  |
| B       | 1M      | JAMES M. & GERMAINE E. CLARK, TRUSTEES<br>CLARK FAMILY REVOCABLE TRUST OF 2001<br>17 COUNTY FARM ROAD<br>DOVER, NH 03820 | E       | 31      | FMX, LLC<br>1 EDUCATION WAY<br>DOVER, NH 03820-5815                                                                 |
| B       | 1N      | ANDREW O. PERRY<br>92 COFFEETOWN ROAD<br>DOVER, NH 03037-1207                                                            | E       | 32-4    | SGI REALTY, LLC<br>150 GARRISON ROAD<br>DOVER, NH 03820                                                             |

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Dover, New Hampshire

LEGEND

- CONCRETE
- HANDICAP PARKING SPACE
- BOLLARD
- TRAFFIC FLOW DIRECTION ARROW
- WELL
- VENT LOCATION
- GATE LOCATION
- CONCRETE
- DOUBLE YELLOW LINE
- EDGE OF PAVEMENT
- FINISHED FLOOR
- RETAINING
- SLOPED GRANITE CURB
- SINGLE WHITE LINE
- VERTICAL GRANITE CURB
- BLOCK RETAINING WALL
- PLASTIC COVER
- CONDUIT
- AUTO SPRINKLER
- GAS REGULATOR
- ELECTRIC METER
- DECORATIVE CONIFEROUS TREE
- DECORATIVE DECIDUOUS TREE
- CRUSHED STONE
- PICKET FENCE
- STOCKADE FENCE
- CHAINLINK FENCE
- OVERHEAD WIRES
- DRAIN LINE
- DRAIN LINE WITH FES
- ROOF DRAIN
- GAS LINE
- SEWER LINE
- WATER LINE (PER REF. PLAN #5)
- UNDERGROUND ELECTRIC LINE
- APPROX. ADJUTERS LOT LINE
- TREE LINE
- LOT LINES (PER REF. PLAN #4)
- GUARDRAIL
- CONTOUR LINE
- EDGE OF JURISDICTIONAL WETLAND (SEE NOTE #9)
- RIP RAP
- UTILITY POLE & GUY WIRE
- LIGHT POLE (ONE ARM)
- LIGHT POLE (TWO ARMS)
- LIGHT POLE
- MAILBOX
- SEWER CLEANOUT
- SIGN
- IRON PIPE/ROD FOUND
- FIRE HYDRANT
- WATER GATE VALVE
- WATER SHUTOFF VALVE
- CATCH BASIN
- CATCH BASIN (ROUND)
- DRAIN MANHOLE
- SEWER MANHOLE
- JURISDICTIONAL WETLAND SYMBOL
- CONC.
- DVL
- EF
- FF
- RET.
- SGC
- SWL
- VGC
- BRW
- PC
- COND
- AS
- GREG
- EM

DOVER PLANNING FILE NO. 15-24

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| No. | DATE | BY | REVISION |
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EXISTING CONDITIONS & DEMOLITION PLAN FOR RAIN GARDEN RELOCATION & PARKING EXPANSION

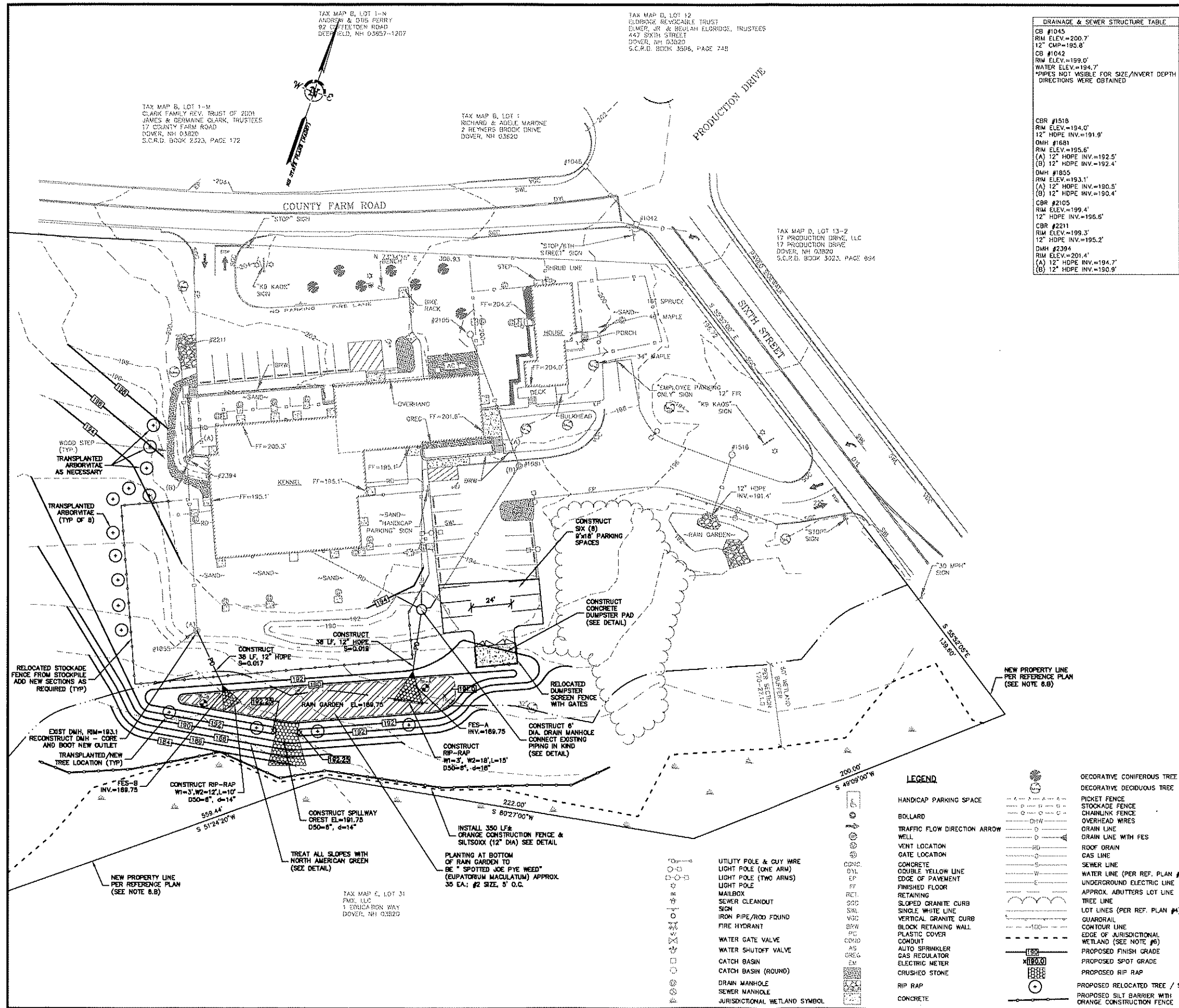
PREPARED FOR:  
FASTDOGS REALTY, LLC  
TAX MAP E LOT 32  
SIXTH STREET & COUNTY FARM ROAD  
DOVER, NEW HAMPSHIRE

GRAPHIC SCALE

0 10 20 30 40 50 60 70 80 90 100 110 120  
( IN FEET )

civilworks  
engineers • surveyors  
P.O. Box 1166  
Dover, NH 603-749-0443

DESIGN: DCL  
SCALE: 1"=30'  
DATE: 4-17-2015  
SHEET: 1 OF 4  
PROJECT #13129



- NOTES:**
- THE INTENT OF THIS PLAN IS TO DEPICT THE SCOPE OF SITE GRADING AND DRAINAGE IMPROVEMENTS AT AN EXISTING DOG KENNEL TO FACILITATE ADDITIONAL FENCED YARD AREA AND PARKING.
  - OWNER OF RECORD: FASTDOGS REALTY, LLC  
432 SIXTH STREET  
DOVER, NH 03820
  - THE PROJECT PARCEL IS SHOWN AS LOT NO. 32, TAX MAP E, OF THE CITY OF DOVER.
  - THE PROJECT PARCEL CONTAINS 7.25 ACRES OR 315,910 SQUARE FEET OF LAND.
  - TITLE REFERENCE FOR THE PROJECT PARCEL IS STRAFFORD COUNTY REGISTRY OF DEEDS:  
BOOK NO. PAGE NO. DATE  
3851 861 7/27/2010  
4193 288 1/23/2014
  - REFERENCE PLANS:  
A) "AS-BUILT PLAN FOR FASTDOGS REALTY, LLC (TAX MAP E, LOT 32), SIXTH STREET & COUNTY FARM ROAD, DOVER, NEW HAMPSHIRE", PREPARED BY DOUCET SURVEY, INC., DATED AUG. 10, 2011.  
B) "LOT LINE ADJUSTMENT PLAN PREPARED FOR C.M. DURHAM, LLC, TAX MAP E, LOT NOS. 31, 32 & 32-5, SIXTH STREET AND COUNTY FARM ROAD, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE", PREPARED BY MCNEANEY SURVEY ASSOCIATES, DATED OCTOBER 23, 2013 AND REVISED NOVEMBER 18, 2013; SORD PLAN 106-081.
  - THE SUBJECT PROPERTY IS LOCATED IN THE ETP ZONING DISTRICT AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS:  
MINIMUM LOT AREA: 3 ACRES  
FRONT SETBACK: 50 FEET  
SIDE/REAR SETBACK: 50 FEET  
THE SUBJECT PARCEL IS SUBJECT TO THE WETLAND PROTECTION DISTRICT WHERE THE WETLAND BUFFER IS 50 FT., THEREFORE, THE SUBJECT PROPOSAL REQUIRES A CONDITIONAL USE PERMIT.
  - THE SUBJECT PARCEL IS LOCATED WITHIN AREAS DETERMINED TO BE OUTSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145; PANEL 0310; SUFFIX D; MAP NUMBER 33017C03100; EFFECTIVE DATE MAY 17, 2008.
  - WETLANDS SHOWN WERE DELINEATED BY STEVEN D. RIKER, CWS NO. 218, SANDPIPER ENVIRONMENTAL SERVICES, LLC, FLAGGED ON SEPT. 3 2013, IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND LOCATED BY SURVEYS PERFORMED BY MCNEANEY SURVEY ASSOCIATES, INC., OCTOBER, 2013.
  - AS-BUILT PLANS OF THE AFFECTED PORTION OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY AN L.L.S. OR P.E.
  - TOPOGRAPHIC SURVEY PERFORMED BY DOUCET SURVEY ON 8/2011 (SEE REFERENCE PLANS).
  - ELEVATIONS ARE BASED ON U.S.G.S. DATUM (SEE REFERENCE PLANS).
  - ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
  - THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
  - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
  - REFERENCE IS MADE TO ATTACHED DETAIL SHEET FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LINE, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
  - THE UNITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK.
  - ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
  - A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
  - A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.

DOVER PLANNING FILE NO. 15-24

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**SITE PLAN FOR RAIN GARDEN RELOCATION & PARKING EXPANSION**

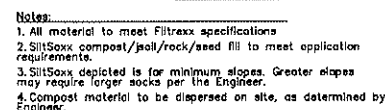
PREPARED FOR:  
**FASTDOGS REALTY, LLC**  
TAX MAP E LOT 32  
SIXTH STREET & COUNTY FARM ROAD  
DOVER, NEW HAMPSHIRE

**GRAPHIC SCALE**

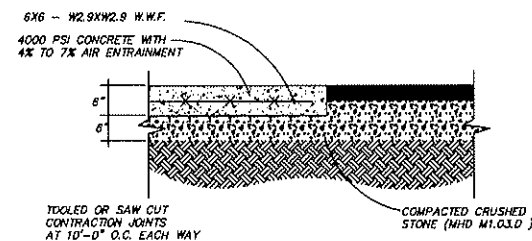
**civilworks**  
engineers • surveyors

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Dover, NH 03820  
603-749-0443

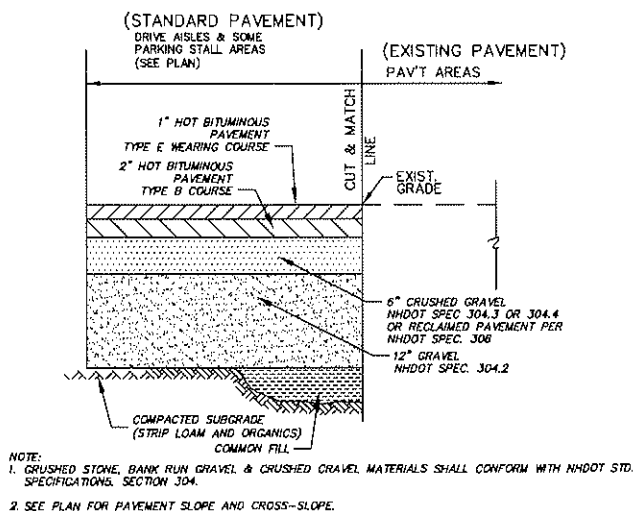
DESIGN: DCL  
SCALE: 1"=30'  
DATE: 4-17-2015  
SHEET: 2 OF 4  
PROJECT #13129



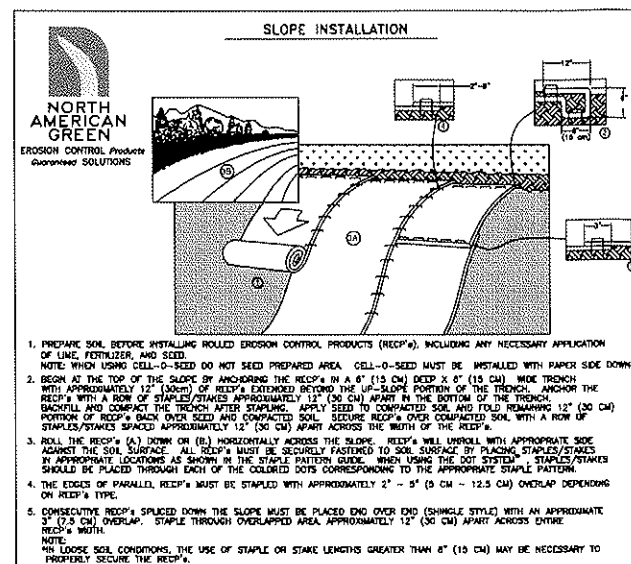
**NOT TO SCALE**



NOT TO SCALE



NOT TO SCALE



1. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
2. PROVIDE INLET PROTECTION AT ALL EXISTING AND PROPOSED CATCH BASIN INLETS AS SHOWN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. CONTRACTOR SHALL USE "SILT SACKS" WHEN EXISTING CATCH BASINS.
3. INSPECT INLET PROTECTION AND SILT SOCKS DAILY AND AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
4. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE A/ LOAM, SEED, FERTILIZER AND MULCH.
5. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY LOCAL PERMITS AND APPROVALS.
6. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
7. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
8. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
9. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT SOCKS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF MELTAND AND NON-PAVED SWALES.
10. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

**RAIN GARDEN (BIORETENTION BASIN) PLANTING MIXTURE:**  
MIXTURE SHALL BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR OTHER  
SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS SHALL BE  
MIXED OR DUMPED WITHIN THE AREA THAT MAY BE HARMFUL TO PLANT  
GROWTH AND/OR MAINTENANCE. THE MIXTURE SHALL BE FREE OF PERENNIAL  
GRASS, CLOVERGRASS, MUNGWORT, GASS, MUNGWORT, WISSEDS, POISON IVY,  
CANADIAN THISTLE, TEARthumb, OR OTHER NOXIOUS WEEDS. AVOID  
OVER-COMPACTING OF BIORETENTION SOILS DURING CONSTRUCTION.

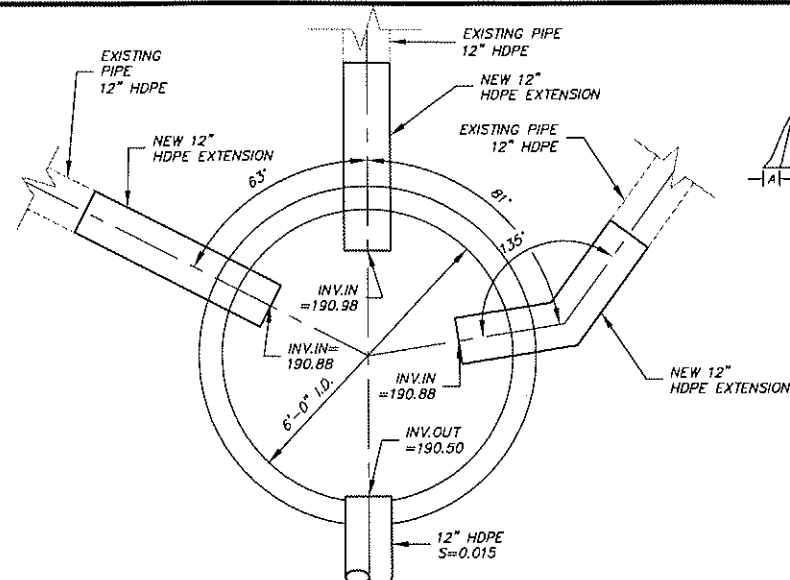
MIXTURE:  
15% BY VOLUME DOUBLE SHREDDED HARDWOOD MULCH  
50% BY VOLUME WASHED SHARP SAND -- ASTM-C-33  
30% TOPSOIL  
5% BY VOLUME PEAT MOSS

## FERTILIZER

PLANT: CRABAPPLE  
TREES: ONE 21 CM THIGHTLY COMPRESSED, SLOW RELEASE FERTILIZER PER 1/4" TRUNK DIAMETER.  
SHRUBS: 2 CM THIGHTLY COMPRESSED, SLOW RELEASE FERTILIZER WITH MINIMUM GUARANTEED ANALYSIS 20-10-5.  
5 GAL. CONT. = 2 TABLETS IN BOTTOM OF PIT  
5 GAL. CONT. = 3 TABLETS IN BOTTOM OF PIT  
GRASSES: 10-6-4 ANALYSIS FERTILIZER WET APPLICATION AT RATE OF 3 LBS./1000 S.F.

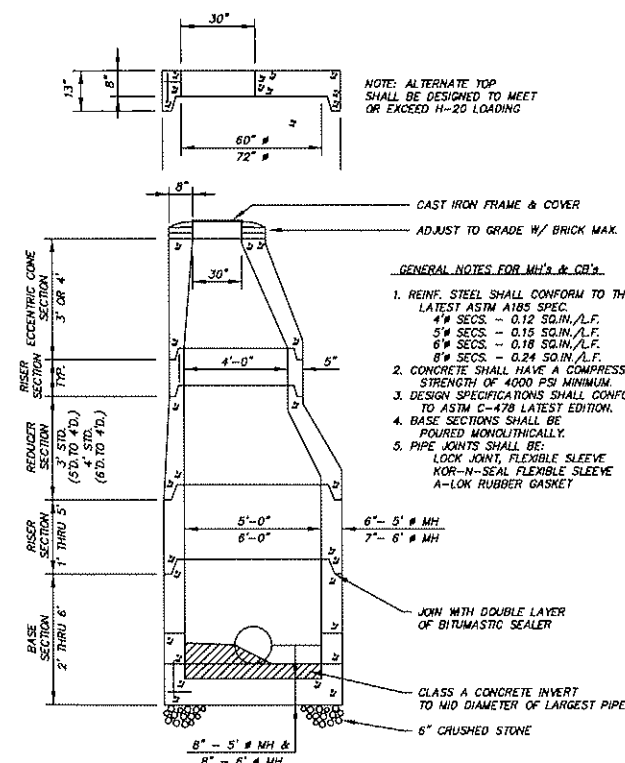
PLANT INSTALLATION:

1. SHRUB PLANTING PITS SHALL BE 6" WIDER THAN THE DIAMETER OF THE ROOT BALL.
2. ADD FERTILIZER TO SHRUB PITS, INSTALL SHRUBS & BACKFILL W/ TOPSOIL.
3. 1/3TH OF ALL ROOTBALLS MUST REMAIN ABOVE GRADE.
4. PLACE 2" LAYER DOUBLE-SHREDDED, WELL-AGED HARDWOOD MULCH.

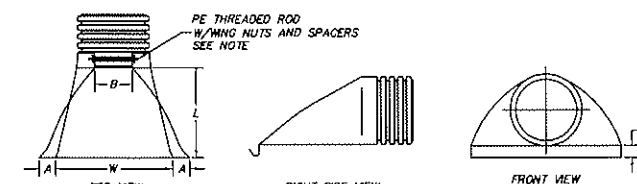


NOTE:  
FIELD VERIFY LAYOUT PRIOR TO MANHOLE FABRICATION.

NOT TO SCALE



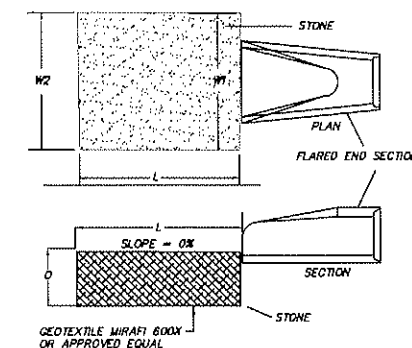
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| PART#  | PIPE SIZE         | A                    | B (MAX)              | H                   | L                      | W                     |
|--------|-------------------|----------------------|----------------------|---------------------|------------------------|-----------------------|
| 1210NP | 12 in<br>(305 mm) | 1.85 in<br>(46.9 mm) | 10.00 in<br>(254 mm) | 6.50 in<br>(165 mm) | 65.00 in<br>(1651 mm)  | 29.00 in<br>(737 mm)  |
| 1510NP | 15 in<br>(375 mm) | 1.65 in<br>(41.9 mm) | 10.00 in<br>(254 mm) | 6.50 in<br>(165 mm) | 83.00 in<br>(2109 mm)  | 28.00 in<br>(713 mm)  |
| 1810NP | 18 in<br>(450 mm) | 1.70 in<br>(43.0 mm) | 15.00 in<br>(381 mm) | 6.50 in<br>(165 mm) | 102.00 in<br>(2591 mm) | 35.00 in<br>(889 mm)  |
| 2410NP | 24 in<br>(600 mm) | 1.91 in<br>(48.5 mm) | 18.00 in<br>(457 mm) | 6.50 in<br>(165 mm) | 130.00 in<br>(3303 mm) | 45.00 in<br>(1143 mm) |
| 3015NP | 30 in<br>(750 mm) | 1.91 in<br>(48.5 mm) | 12.00 in<br>(305 mm) | 8.00 in<br>(213 mm) | 56.00 in<br>(1423 mm)  | 83.00 in<br>(2109 mm) |
| 3018NP | 30 in<br>(900 mm) | 1.91 in<br>(48.5 mm) | 25.00 in<br>(635 mm) | 8.00 in<br>(213 mm) | 54.00 in<br>(1370 mm)  | 83.00 in<br>(2109 mm) |

NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

NOT TO SCALE



**NOTES:**

- NOTES:**
1. STONE SIZE AND MAT DIMENSIONS DETAILED ON GRADING.
  2. DRAINAGE & EROSION CONTROL PLAN
  3. FIELD STONE, QUARRY STONE, OR ROCK FRAGMENTS SHALL BE SOUND, OF APPROVED QUALITY, AND FREE FROM STRUCTURAL DEFECTS. THE STONES SHALL BE ANGULAR AND REPRODUCIBLE IN RESPECT TO SHAPE. FLAT OR ROUND ROCKS ARE NOT ACCEPTABLE.
  4. A WELL GRADED MIXTURE OF ROCK SIZES SHALL BE USED FOR STONE. FIFTY PERCENT BY WEIGHT OF THE STONE MIXTURE SHALL BE SMALLER THAN THE MEDIAN SIZE STONE (MSD). THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.6 TIMES THE MSD SIZE.

\* WHERE ADS PIPE IS USED AND A FLARED END SECTION IS REQUIRED. THE FLARED END SECTIONS SHALL BE GALVANIZED METAL END SECTION.

NOT TO SCALE

DOVER PLANNING FILE NO. 15-24

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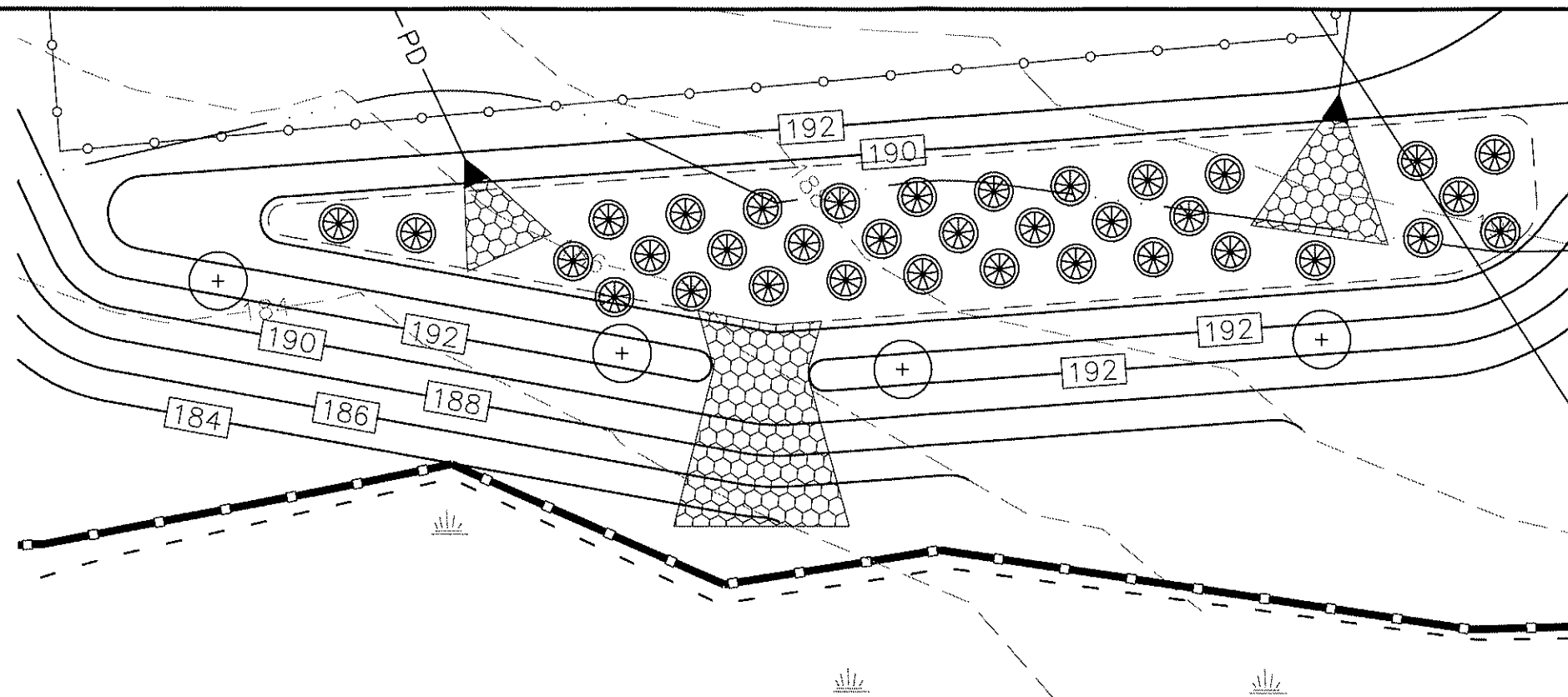
DETAIL SHEET  
FOR  
RAIN GARDEN RELOCATON &  
PARKING EXPANSION

PREPARED FOR:  
FASTDOGS REALTY, LLC  
TAX MAP E LOT 32  
SIXTH STREET & COUNTY FARM ROAD  
DOVER, NEW HAMPSHIRE

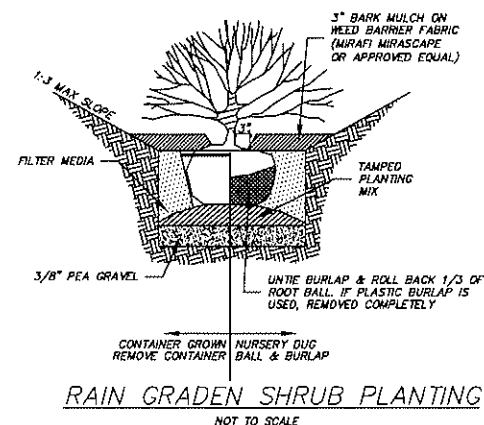
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Dover, NH 603-749-0443

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| DESIGN: DCL     |
| SCALE: AS NOTED |
| DATE: 4-17-201  |
| SHEET: 3 OF 4   |
| PROJECT #13129  |



RAIN GRADEN SHRUB PLANTING  
SCALE: 1"=10'



| BIORETENTION FILTER MEDIA                                                  |                              |                       |                                           |
|----------------------------------------------------------------------------|------------------------------|-----------------------|-------------------------------------------|
| COMPONENT MATERIAL                                                         | PERCENT OF MIXTURE BY VOLUME | GRADATION OF MATERIAL |                                           |
|                                                                            |                              | SIEVE NO.             | PERCENT BY WEIGHT PASSING STANDARDS SIEVE |
| ASTM C-33 CONCRETE SAND                                                    | 50 TO 55                     | —                     | —                                         |
| LOAMY SAND TOPSOIL, WITH FINES AS INDICATED                                | 20 TO 30                     | 200                   | 15 TO 25                                  |
| MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED | 20 TO 30                     | 200                   | < 5                                       |

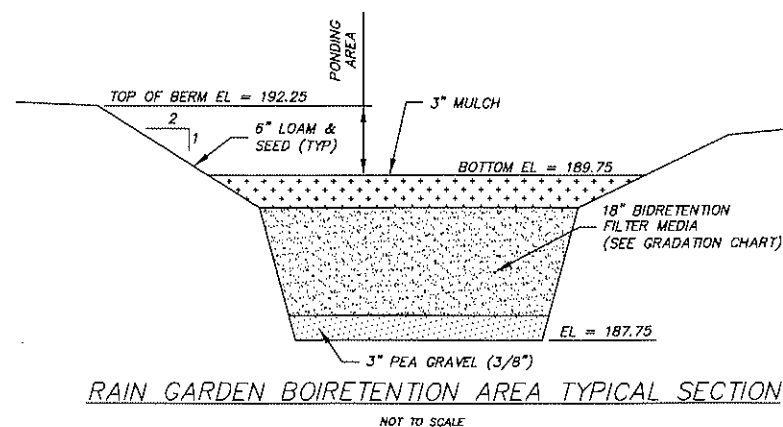
| TEST PIT DATA |                      |                                      |
|---------------|----------------------|--------------------------------------|
| TEST HOLE     | EXISTING GRADE ELEV. | EST. SEASONAL HIGH WATER TABLE ELEV. |
| A             | 190.0±               | 187.75±                              |
| B             | 184.5±               | 183.0±                               |

DOVER PLANNING FILE NO. 15-24

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DETAIL SHEET  
FOR  
RAIN GARDEN RELOCATON &  
PARKING EXPANSION

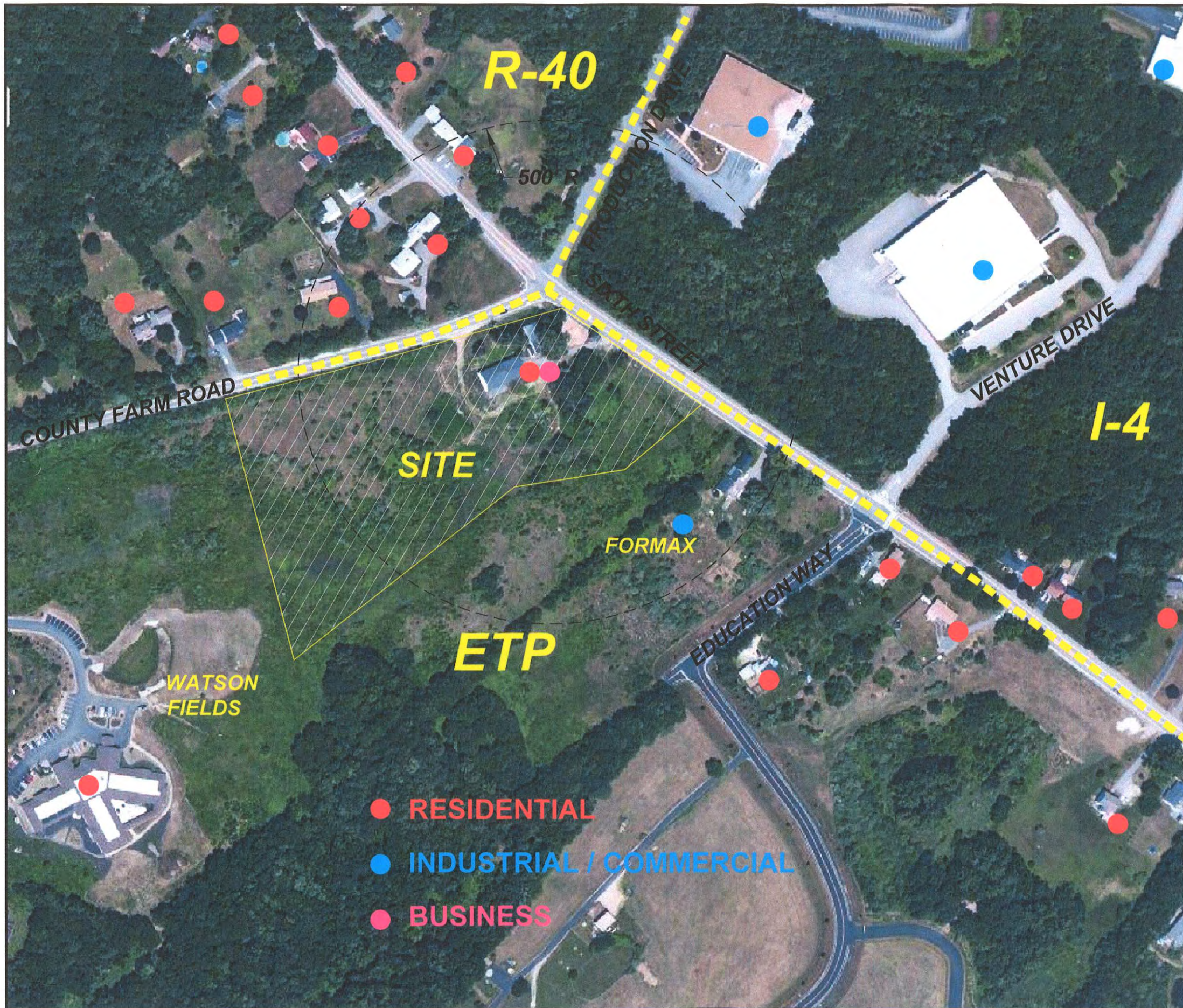
PREPARED FOR:  
FASTDOGS REALTY, LLC  
TAX MAP E LOT 32  
SIXTH STREET & COUNTY FARM ROAD  
DOVER, NEW HAMPSHIRE



- CONSTRUCTION NOTES:**
- DO NOT DISCHARGE SEDIMENT LADEN WATERS FROM CONSTRUCTION ACTIVITIES TO THE FILTRATION BASIN AREA DURING ANY STAGE OF CONSTRUCTION.
- MAINTENANCE REQUIREMENTS:**
- SYSTEM SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
  - TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
  - AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
  - VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
  - SEE INSPECTION AND MAINTENANCE PLAN FOR STORMWATER MANAGEMENT SYSTEM CONTAINED IN ORIGINAL APPROVAL, DOVER PLANNING FILE NO. P10-34, DATED 9/2/10.

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Dover, NH 603-749-0443

DESIGN: DCL  
SCALE: AS NOTED  
DATE: 4-17-2015  
SHEET: 4 OF 4  
PROJECT #13129



| No. | DATE | BY | REVISION |
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NEIGHBORHOOD PLAN  
FOR  
RAIN GARDEN RELOCATON &  
PARKING EXPANSION  
PREPARED FOR:  
FASTDOGS REALTY, LLC  
TAX MAP E LOT 32  
SIXTH STREET & COUNTY FARM ROAD  
DOVER, NEW HAMPSHIRE

GRAPHIC SCALE  
100 0 50 100 200 400  
( IN FEET )

**civilworks**  
engineers • surveyors  
P.O. Box 1166  
Dover, NH 603-749-0443

|                |
|----------------|
| DESIGN: DCL    |
| SCALE: 1"=100' |
| DATE: 5-10-15  |
| SHEET 1 OF 1   |
| PROJECT #13139 |



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-25

Application Type: Conditional Use Permit  
Applicant(s): Rockingham County Conservation District  
Owner(s): Luke & Kristina Paradis  
Location: 180 Tolend Road (Assessor's Map F, Lot 2)

**INTENT:** To obtain a Conditional Use Permit for work in wetlands and intermittent streams to repair three existing wetland/stream crossings for agricultural uses. The total buffer impact is 3,366 square feet.

**LOTS/UNITS PROPOSED:** N/A

**AGENDA ITEM #:** 4-F

**ACREAGE:** 55.95 Acres

**ZONING DISTRICT:** Rural Residential District (R-40) and Assembly and Office District (I-4)

**EXISTING LAND USE:** Single Family residential and agricultural

**PROPOSED LAND USE:** Single Family residential and agricultural

**SURROUNDING LAND USE:** Single Family residential

**ZBA ACTION:** None

**ATTACHMENT:** Conditional Use Permit application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail for this meeting

**PERMITS REQUIRED:** None

**WAIVERS REQUESTED:** None

### Summary of Request and Background

The applicant is requesting a Conditional Use Permit for work in wetlands and intermittent streams to repair three existing wetland/stream crossings for agricultural uses. The proposed work will implement best management practices to improve water quality, including the installation of exclusionary fencing to keep the cows away from the streams. Plants will be added to improve the habitat for the New England Cottontail rabbit.

The applicant appeared before the Conservation Commission on May 11, 2015. The Conservation Commission voted to endorse the application with the condition that fertilizer used be non-phosphorous (see Conservation Commission minutes).

### Consistency with Land Use Regulations

The Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and areas within 50 feet of wetlands if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards.

### STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following condition:

### Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:

1. Any fertilizer used to help revegetate areas of earth disturbance shall be non-phosphorous.



**City of Dover, New Hampshire**  
**CONDITIONAL USE PERMIT APPLICATION**

RECEIVED  
[Revision Date: February 19, 2014]  
Planning Office

|                 |              |              |                |                    |
|-----------------|--------------|--------------|----------------|--------------------|
| Office Use Only | Project #:   | <u>P1525</u> | Date Received: | <u>APR 27 2015</u> |
|                 | Amount Paid: |              | Time Received: |                    |

Dover, New Hampshire

**APPLICANT AND OWNER INFORMATION**

Name of Applicant: Rockingham County Conservation District Telephone # 603 679-2790

Address of Applicant: 110 North Road, Brentwood, NH 03882

E-Mail Address:

rccdted@comcast.net

Name of Property Owner (if different from applicant): Luke & Kristina Paradis Telephone # 743-3135

Address of Property Owner: 180 Tolend Road

**PROPERTY INFORMATION**

Assessor's Map # F Lot(s) # 2

Address of Property: 180 Tolend Road

Zoning District(s) I-4 Overlay District(s) Wetland Protection District

Existing Use of Property: Agricultural

**CONDITIONAL USE PERMIT INFORMATION**

**Type of Conditional Use Permit (Check All That Apply):**

- |                                                                 |                                                         |                                            |
|-----------------------------------------------------------------|---------------------------------------------------------|--------------------------------------------|
| <input type="checkbox"/> Conservation District                  | <input type="checkbox"/> RCM Use Overlay District       | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection                 | <input type="checkbox"/> Off-Street Parking and Loading |                                            |
| <input checked="" type="checkbox"/> Wetland Protection District | <input type="checkbox"/> Central Business District      |                                            |

☐ Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any

Impacts: Proposal is to complete stone fords and an access way according to Best Management

Wetlands Practice for Agriculture, for three existing and unprotected crossings for an existing

Agricultural enterprise.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: NH DES Agricultural Permit, to be submitted May, 2015.

Name of Professional That Prepared Plans: Sue KnightAddress 2 Madbury Road, Durham, NH Telephone #: 868-9931Professional License #: \_\_\_\_\_ E-mail address:  
sue.knight@nh.usda.gov**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

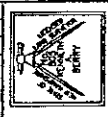
Signature of Property Owner: \*\*SEE ATTACHED Date: \_\_\_\_\_Signature of Applicant (*if different from owner*): \_\_\_\_\_ Date: \_\_\_\_\_Signature of Agent: *Tracy Degnan* RCCD Date: 4/24/15**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: \_\_\_\_\_ \*\* SEE ATTACHED \_\_\_\_\_

| Name                                     | Street             | Town    | State | Zip Code   | Tax Map - Block # |
|------------------------------------------|--------------------|---------|-------|------------|-------------------|
| Jacoby Lauren Trustee                    | 211 Tolend Road    | Dover   | NH    | 03820      | E-46-0-0          |
| Milton Daniel L & Watson Sherri H        | 212 Tolend Rd      | Dover   | NH    | 03820      | F-3-B-0           |
| Ambrose Richard E Ambrose Donna M        | 210 Tolend Road    | Dover   | NH    | 03820      | F-3-0-0           |
| Ezra Green's Farm Homeowners Association | Po Box 1312        | Dover   | NH    | 03820      | F-23-A-0          |
| Kay Duane                                | 131 Columbus Ave   | Dover   | NH    | 03820      | F-25-0-0          |
| Towle Jeremy D                           | 83 Columbus Avenue | Dover   | NH    | 03820      | F-24-A-0          |
| Clark Gordon & Clark Donna M             | 35 Columbus Ave    | Dover   | NH    | 03820      | F-1-M-0           |
| Layton Robert A & Layton Kathy Z         | 6 Mccarthy Blvd    | Dover   | NH    | 03820      | F-1-2-0           |
| Nyberg Melinda & Nyberg Randall R        | 8 Mccarthy Blvd    | Dover   | NH    | 03820      | F-1-1-0           |
| Nimeskern Phillip W                      | 110 Mallard Way    | Waltham | MA    | 02452-8118 | F-1-D-0           |
| Menez Francis W                          | 9 Mccarthy Blvd    | Dover   | NH    | 03820      | F-1-E-0           |
| Sheehy Margaret Sheehy Edward J          | 116 Tolend Road    | Dover   | NH    | 03820      | F-1-A-0           |
| Foley Clarence A Daigneau Phyllis        | 112 Tolend Road    | Dover   | NH    | 03820      | F-1-B-0           |
| Lanctot Patrick D & Lanctot Kristen M    | 122 Tolend Rd      | Dover   | NH    | 03820      | F-2-1-0           |
| Becker Ernest F & Becker Sheri L         | 140 Tolend Rd      | Dover   | NH    | 03820      | F-2-2-0           |
| Henker Adam C & Henker Georgina A        | 144 Tolend Rd      | Dover   | NH    | 03820      | F-2-3-0           |
| Xydias Panagiotis & Xydias Eleni         | 148 Tolend Rd      | Dover   | NH    | 03820      | F-2-4-0           |
| Nadeau Eileen Nadeau Raymond L           | 160 Tolend Road    | Dover   | NH    | 03820      | F-2-A-0           |
| Woods Phyllis L                          | 1 Barry St         | Dover   | NH    | 03820      | E-48-A-0          |
| Greason Jeffrey R & Greason Rebekah L    | 163 Tolend Road    | Dover   | NH    | 03820      | E-48-B-0          |
| Martin Laurie L & Martin Lucas P         | 169 Tolend Rd      | Dover   | NH    | 03820      | E-48-B-1          |
| Bakke Erik N Bakke Jennifer M            | 173 Tolend Rd      | Dover   | NH    | 03820      | E-48-B-2          |
| Bailey James B                           | 181 Tolend Rd      | Dover   | NH    | 03820      | E-48-0-0          |
| Fernald William H                        | 185 Tolend Rd      | Dover   | NH    | 03820      | E-47-A-0          |
| Stern Brian                              | 201 Tolend Rd      | Dover   | NH    | 03820      | E-47-0-0          |

|                                                  |                     |           |    |       |          |
|--------------------------------------------------|---------------------|-----------|----|-------|----------|
| Jacoby Lauren Trustee                            | 211 Tolend Road     | Dover     | NH | 03820 | E-47-1-0 |
| Paradis, Lionel R. JR. & Kristina L.             | 180 Tolend Rd       | Dover     | NH | 03820 | E-46-0-0 |
| Rockingham County Conservation District          | 110 North Rd        | Brentwood | NH | 03833 |          |
| NRCS: Brooke Smart                               | 2 Madbury Rd        | Durham    | NH | 03824 |          |
| Coheco River Local Advisory Committee: Tom Fargo | 14 Cobblehill Drive | Dover     | NH | 03820 |          |



|                                                                |            |                      |
|----------------------------------------------------------------|------------|----------------------|
| BERRY SURVEYING & ENGINEERING                                  | SCALE :    | 1 IN. EQUALS 150 FT. |
| 335 SECOND CROWN POINT ROAD<br>BARRINGTON, NH 03825 (302-2883) | DATE :     | JULY 23, 2012        |
|                                                                | FILE NO. : | DB 2012-073          |

BOUNDARY PLAIN  
LAND OF  
JONEL & KRISTINA PARADIS  
TOLAND ROAD  
DOVER, NH  
TAX MAP # LOT 2

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
|          |      |             |

## NOTES:

- 1.) OWNER: LUCIEL A. KRISTINA PARADIS  
180 TOLSON ROAD  
POWERS, RH 02876
- 2.) POWER TAX MAP F, LOT 2
- 3.) S.C.R.D. 1 BOOK 1983, PAGE 382
- 4.) TOTAL AREA 2,437.412 Sq.Ft., 55.00

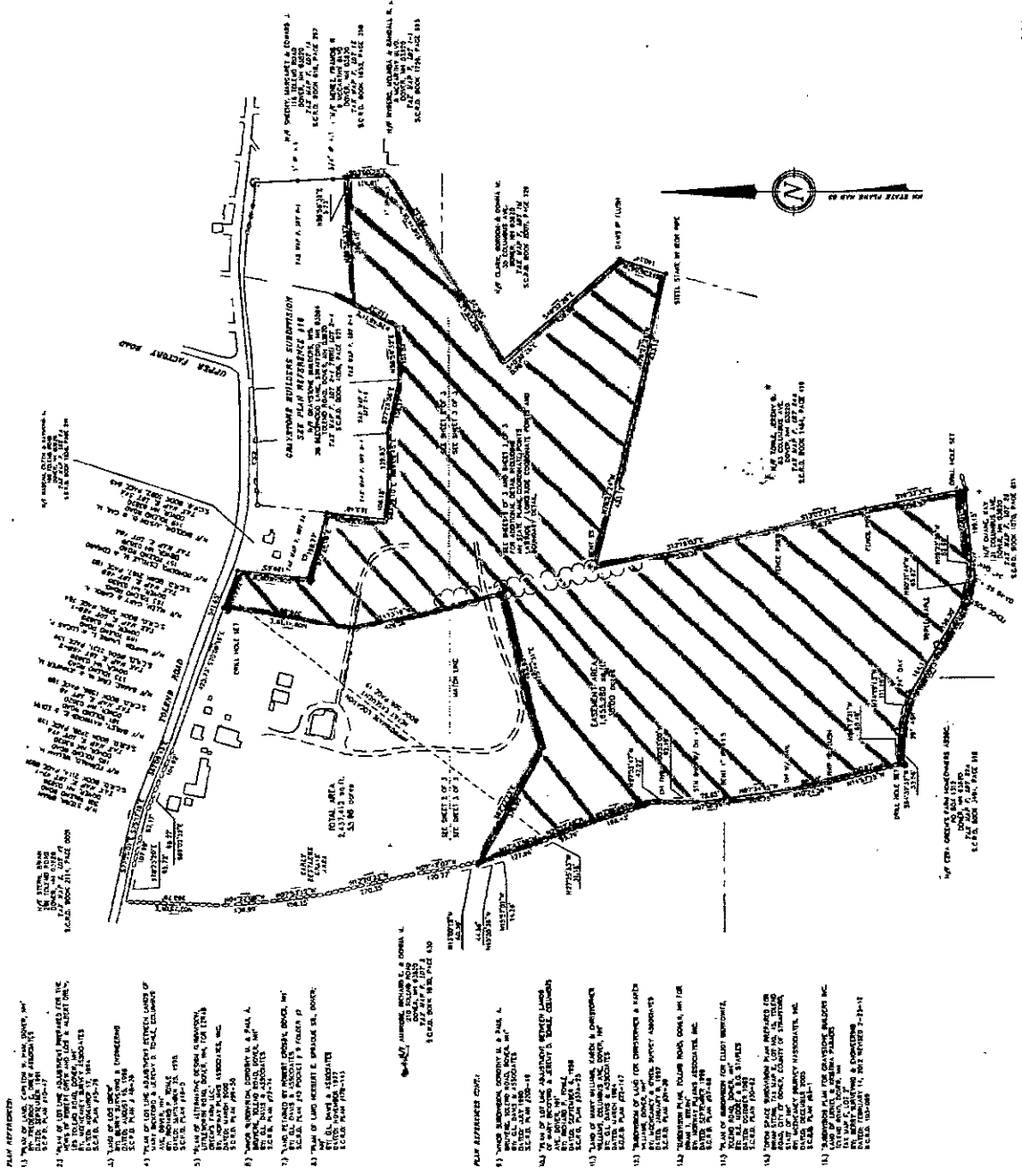
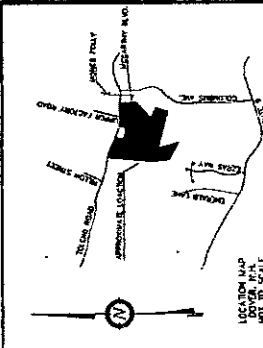
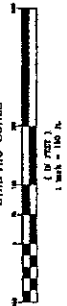
**LEGEND :**

- 1/4" REBAR SET  
 • CRACK HOLE (NO CRACK SET)  
 • IRON PIPE (NO SILEX STAKE FOUND)  
 • CRAMIE BOUND (FIRM)  
 • WELL  
 • TREE (SPICES AS LABELED)  
 • FENCE LINE  
 • PROPOSED FENCEMENT LINE  
 • ADJUTING LOT LINE  
 • EXISTING LOT LINE  
 • TREE LINE

[illegible]

1. COMMENT THAT THE MARKET PLACE IS NOT A  
PLACE OF STREET AND SIDEWALKS ARE MADE OF  
CONCRETE TO PREVENT STREETS OR SIDEWALKS  
FROM BEING USED AS A PLACE FOR THE  
DISPOSAL OF TRASH AND OTHER WASTE.

GRAPHIC SCALE



## PLAN REVISION HISTORY

- [illegible]

## NEW REPUBLIC CITY

- [illegible]

**For PARADIS NRCS/WRP Restoration Permits**

**DOVER CONDITIONAL USE PERMIT**

**April 2015**

(a) *Demonstration of Need:* The proposed construction is essential to the productive use of land or water outside the Wetlands Protection District.

The proposed project will be to stabilize three existing wetland/stream crossings for existing agricultural uses that include herd utilization of upland pastures, and machinery access for maintenance. Existing crossings have been in same location for over 20 years, and best management practices are now being proposed to continue these agricultural operations. These practices will reduce soil erosion, and improve wetland values by minimizing direct contact and repair hydrology.

(b) *Avoidance:* The potential impacts have been avoided to the maximum extent practicable. The Applicant will demonstrate by plan and example that the proposed construction represents the least impacting alternative.

The proposed locations of the wetland/stream crossings all exist and each proposed crossing location represents the least possible impact to the wetlands and surface water on site.

The proposed agricultural restoration project will restore one degraded wetland crossing and two degraded intermittent stream crossings utilizing the least amount of wetland disturbance to allow continued use. In addition, exclusionary fencing is being proposed to ensure animals minimize direct impacts to wetland resources.

(c) *Minimization:* Any unavoidable impacts have been minimized. No reasonable alternative to the proposed construction exists which does not impact a wetland or which has less detrimental impact on a wetland. Design, construction and maintenance methods will be prepared by a registered engineer to minimize detrimental impacts to the wetlands and will include restoration of the site as nearly as possible to its original grade.

The restoration design has been completed to minimize wetland impacts by proposing conservation practices in existing locations. Design, construction and maintenance methods have been detailed in the Wetland Restoration Plan of Operations prepared by NRCS staff. In addition, riparian buffer plantings are proposed for the sites to protect the wetland resources from further damage.

(d) *Mitigation:* If the Applicant is required by State rules to prepare a compensatory mitigation plan, the Applicant shall provide the Conservation Commission and Planning Board with one copy each of said plan for review.

**N/A**

(e) Approval for the wetlands impact has been received from NHDES Wetlands Bureau pursuant to Section G (3) below.

NH DES Agricultural Permit Application submitted in May, 2014.



# ROCKINGHAM COUNTY CONSERVATION DISTRICT

110 North Road, Brentwood, NH 03833-6614  
Tel: 603-679-2790 • Fax: 603-679-2860  
www.rockinghamccd.org

October 24, 2013

RE: NRCS WRP Easement/Restoration Agreement # 66142812014GB  
Dover, NH  
Strafford County

Dear Lionel and Kristina Paradis,

The Rockingham County Conservation District (RCCD) is currently working with the USDA Natural Resource Conservation Service (NRCS) to complete tasks associated with the Wetland Reserve Program (WRP) for your above-referenced parcel restoration site.

In order to conduct the tasks associated with your NRCS WRP project, the RCCD requests that you provide access to your property, and to authorize the RCCD to act as your agent in any local, State or Federal permitting that may be necessary to complete such tasks. You will be kept informed of the general time frames and work tasks to be completed prior to implementation of any proposed practices.

Please sign the agreement below and return to RCCD in the self-addressed envelope. Please send the signed agreement to RCCD no later than November 8, 2013.

Thank you for your assistance in working with the RCCD and its related parties and contractors to complete your restoration project. If you have any questions please don't hesitate to contact us.

Sincerely,

Leonard A. Lord, District Manager  
Rockingham County Conservation District

I/We the undersigned, understand and agree to grant the Rockingham County Conservation District (RCCD) and the USDA, Natural Resources Conservation Service (NRCS), its hired contractors and/or partners' access onto my/our property for the purpose of assessing and conducting the approved NRCS WRP work practices and any required associated monitoring for the duration of the installed practice life span as defined in the above-referenced NRCS Agreement.

I/We understand that the RCCD shall act as agent when submitting any necessary and proper permitting to complete work practices under the USDA, NRCS Wetland Reserve Program (WRP).

Signature (1):

10/28/13  
Date

Print Name

Lionel R. Paradis Jr.

Signature (2):

10/28/13  
Date

Print Name

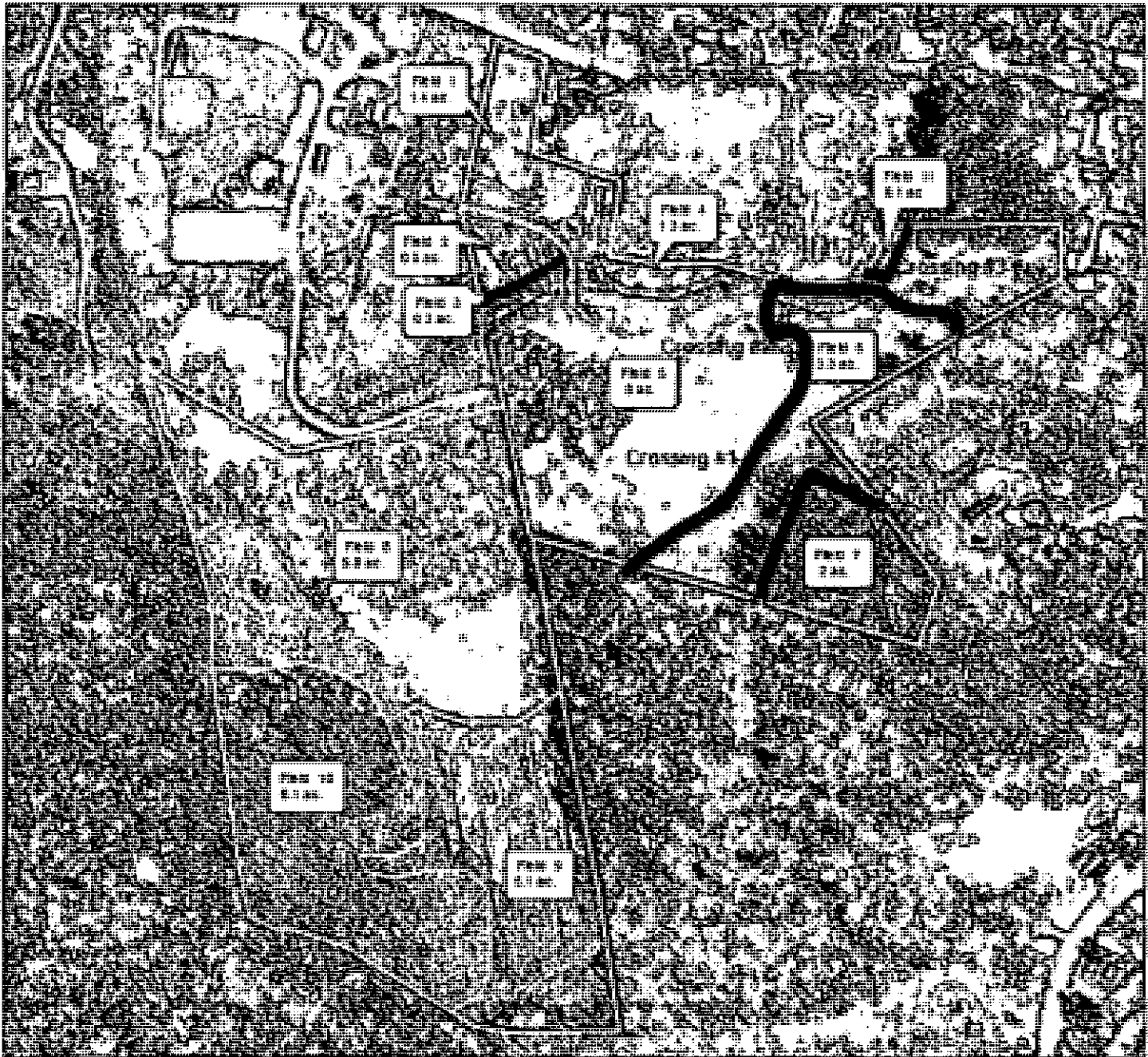
Kristina Paradis

# WRP Management Areas

Customer(s): LIONEL PARADIS JR

Agency: Natural Resources Conservation Service

Assisted By: BROOKE SMART



NOTE: Minimum 2,300' to Maximum 3900' if Temp. is replaced with permanent fence.

## Legend

+ Paradis\_ExclusionFence\*

o Crossings 2015

-- drainage ditches

WRP.66142812014GB

No Fence in place 4-2300'

\* - Some Temporary Fence in place but may need to be moved to provide adequate buffer and/or replaced with permanent Fence.

330

Feet



# **Wetland Reserve Program**

## **Wetland Restoration Plan of Operations**

**Lionel and Kristina Paradis**

**180 Tolend Road**

**Dover, NH**

**PREPARED BY:**

**Brooke Smart, Resource Conservationist**

### **Project Summary:**

The easement area abuts other permanently protected land and is located within the focus area for New England Cottontail. The land is currently being used for pasture and hay production for beef cattle. Through WRP, historically ditched farmed wetlands and farmed wetland pastures will be restored to native shrublands important for New England Cottontail (NEC) and other at risk, threatened and endangered species. Through a Compatible Use Authorization suitable areas will be retained as pasture or hay to provide vegetative community diversity between herbaceous, shrublands and mature forest community types. Restoration measures include native plantings to restore shrublands, invasive plant control, livestock exclusion fence and buffer plantings, as well as construction of a previously planned, designed and state permitted wildlife pond to provide emergent vegetation as well as deep water habitat for overwintering turtles.

### **Table of Contents:**

- 1) Description of practices and activities by management area
- 2) WRP Management Areas Map
- 3) WRP Restoration Photo Documentation
- 4) WRP Practice Map and WRP NEC Planting Location Map
- 5) Appendices
  - a. Stream Crossing and Wildlife Pond design
  - b. NEC Planting Plan
  - c. Livestock and Equipment Crossings design
  - d. Buffer/Shrub land Planting Plan
  - e. Fence specifications

**Field 1, 1.4 acres** – This area consists of moderately well drained soils and was historically ditched to improve use for hay and pasture. Overgrazing has damaged the surface and allowed non-preferred plant species to dominate. A rejuvenation seeding is needed to smooth the surface and prepare the seedbed through light tillage practices before re-establishing a cool season grass and clover mix to provide adequate forage for livestock as well as a nectar and pollen source for pollinators. Due to seasonal wetness, use of this area as pasture is limited to dry times of the year (typically July through September). During dry periods, one 1000 pound animal unit can be supported in this area. Periodic mowing for weed control after July 15<sup>th</sup> may be needed to maintain preferred forage. Stubble must be kept at a minimum height of 4".

**Field 2, 0.5 acres** – Limited use by cattle in this area has prevented any overgrazing issues, however care should be taken to ensure that the two lateral drainage swales running through this area into the main drainage ditch in Field 3 remain undamaged from livestock. This area consists of the same soils as Field 1 but is generally drier. The limited use by cattle in this area may continue and is not limited to dry times of the year. Periodic mowing for weed control after July 15<sup>th</sup> may be needed to maintain preferred forage. Stubble must be kept at a minimum height of 4".



**Field 3, 0.3 acres** – ~~This area must be excluded from livestock to~~ protect the main drainage ditch from damage. A minimum 50' riparian buffer will be established on either side of the main channel to protect water quality and maintain shrub habitat along field edges for songbirds and pollinators. From the channel edge or normal water line moving up slope, a minimum 35' shrub buffer will be maintained (considered zones 1 and 2 under the Riparian Forest Buffer conservation practice standard 391). An herbaceous buffer from 35' to 50' (considered zone 3 under the Riparian Forest Buffer conservation practice standard 391) may be maintained to provide additional filtering of sediment and nutrients as well as to maintain clear fence lines. Zone 3 may be flash grazed as an alternative to mowing to maintain herbaceous vegetation but would require temporary fence to exclude livestock from established shrub riparian buffer zones 1 and 2. Maintenance of vegetation in zone 3 is limited to dry conditions after July 15<sup>th</sup> to protect against damage from livestock or equipment.

**Field 4, 1.3 acres** – ~~This area must be excluded from livestock~~ to protect lateral and main drainage ditches from damage. Existing ditches may be maintained through a Compatible Use Authorization with proper state permitting in place in order to facilitate compatible grazing uses in adjacent fields. Soils are significantly wetter than Fields 1 and 2 and are more prone to damage; extra care is needed to protect these areas from damage that may be caused by authorized management activities. A minimum 50' riparian buffer will be established on either side of the main channel to protect water quality and maintain shrub habitat along field edges for songbirds and pollinators. From the channel edge or normal water line moving up slope, a minimum 35' shrub buffer will be maintained (considered zones 1 and 2 under the

Riparian Forest Buffer conservation practice standard 391). ~~An herbaceous buffer from 35' to 50'~~ (considered zone 3 under the Riparian Forest Buffer conservation practice standard 391) ~~may be maintained to provide additional filtering of sediment and nutrients as well as to maintain clear fence lines.~~ Zone 3 may be flash grazed as an alternative to mowing to maintain herbaceous vegetation but would require temporary fence to exclude livestock from established shrub riparian buffer zones 1 and 2. Maintenance of vegetation in zone 3 is limited to dry conditions after July 15<sup>th</sup> to protect against damage from livestock or equipment.

**Field 5, 8 acres** – This area may serve as the primary pasture for cattle and can typically support ~~10 beef cattle based on~~ an average weight of 1000 pounds/animal during the growing season (May 1<sup>st</sup> to November 1<sup>st</sup>). With supplemental hay or grain more animals may be supported but stubble must be kept at a minimum height of 4". Soils are well drained and grazing is not limited to dry times of the year with ~~the expectation of a drainage swale in the south-western most portion which may require seasonal exclusion to prevent damage.~~ The high traffic area around the existing watering facility should be protected with surfacing material to protect against damage. Sawdust or woodchips may be a good ~~alternative surfacing material to help prevent runoff of excess water and nutrients.~~ Buildup of organic material around the watering facility should be cleaned on a periodic basis. Feeders should be moved frequently to prevent damage. Periodic mowing for weed control after July 15<sup>th</sup> may be needed to maintain preferred forage.

**Field 6, 3.3 acres** – This area consists of ~~poorly drained soils and must be excluded from livestock.~~ A minimum ~~50' riparian buffer will be established on the pasture side of the main channel to protect water~~ quality and maintain shrub habitat along field edges for songbirds and pollinators. From the channel edge or normal water line moving up slope, ~~a minimum 35' shrub buffer will be maintained~~ (considered zones 1 and 2 under the Riparian Forest Buffer conservation practice standard 391). An herbaceous buffer from 35' to 50' (considered zone 3 under the Riparian Forest Buffer conservation practice standard 391) may be maintained to provide additional filtering of sediment and nutrients as well as to maintain clear fence lines. Zone 3 may be flash grazed as an alternative to mowing to maintain herbaceous vegetation but would require temporary fence to exclude livestock from established shrub riparian buffer zones 1 and 2. Maintenance of vegetation in zone 3 is limited to dry conditions after July 15<sup>th</sup> to protect against damage from livestock or equipment. Native shrubs within the poorly drained soils will be established to provide additional shrub land habitat.

**Field 7, 2 acres** – This area consists of well drained soils and may continue to support livestock needs for shelter and shade while on pasture in Field 6.

**Field 8, 9.8 acres** – This area consists of well drained soils and may continue to be utilized for hay production subject to the following limitations needed for grassland bird management: haying and all associated management must occur after July 15 except when dry conditions exist a 1<sup>st</sup> cut may occur

before June 1<sup>st</sup> followed by a 2 month resting period (2<sup>nd</sup> cut after August 1<sup>st</sup>). Haying must ensure there is adequate regrowth of vegetation (~8" stubble height) to provide winter cover and early spring nesting cover. Mowing as needed is permitted for access to manage and maintain such structures located in Field 10 as designated access trails and associated stream crossings, a buffer around the wildlife pond, and the managed wildlife food plot.

**Field 9, 5.1 acres** – This area consists of poorly drained soils and is the primary location for New England Cottontail habitat management. Mowing is permitted along a 20' wide access path along the eastern boundary line as needed to provide access to fields located on the abutting property to the south.

**Field 10, 6.1 acres** – This area contains mature hardwoods, a roughly quarter acre wildlife food plot as well as a wildlife pond. Mowing is permitted to manage and maintain such structures as designated access trails and associated stream crossings, a buffer around the wildlife pond, and the managed wildlife food plot.

**Field 11, 0.1 acres** – This area must be excluded from livestock to protect main drainage ditches from damage. A minimum 50' riparian buffer will be established to protect water quality and maintain shrub habitat along field edges for songbirds and pollinators. From the channel edge or normal water line moving up slope, a minimum 35' shrub buffer will be maintained (considered zones 1 and 2 under the Riparian Forest Buffer conservation practice standard 391). An herbaceous buffer from 35' to 50' (considered zone 3 under the Riparian Forest Buffer conservation practice standard 391) may be maintained to provide additional filtering of sediment and nutrients as well as to maintain clear fence lines. Zone 3 may be flash grazed as an alternative to mowing to maintain herbaceous vegetation but would require temporary fence to exclude livestock from established shrub riparian buffer zones 1 and 2. Maintenance of vegetation in zone 3 is limited to dry conditions after July 15<sup>th</sup> to protect against damage from livestock or equipment.

Paradis Farm - 180 Tolend Road, Dover, NH  
Livestock and Equipment Crossings  
Design Package



RECEIVED  
Planning Office

APR 27 2015

Dover, New Hampshire

Material Specifications:

MS# 592 Geotextile  
CS# 95 Geotextile  
MS# 523 Rock for Rip Rap  
CS# 61 Loose Rock Rip Rap

Table of Contents

Sheet 1: Cover  
Sheet 2: Roles and Responsibilities  
Sheet 3: Crossing #1 Plan View and Drainage Profile View  
Sheet 4: Crossing #1 Cross-section and Crossing Profile View  
Sheet 5: Crossing #1 Note Sheet  
Sheet 6: Crossing #2 Plan and Profile Views  
Sheet 7: Crossing #2 Cross-sections and Notes  
Sheet 8: Crossing #3 Plan and Profile Views  
Sheet 9: Crossing #3 Cross-sections and Notes

Total Estimated Quantities:

|                       |         |
|-----------------------|---------|
| Excavation            | 109 cy  |
| Compacted Gravel      | 32 cy   |
| Geotextile            | 714 sy  |
| D100 4" Rip Rap       | 53 cy   |
| D100 6" Rip Rap       | 52 cy   |
| Surface Stone         | 13 cy   |
| Hoof Contact Material | 13 cy   |
| Road Fill             | 36 cy   |
| Seeding & Mulching    | <0.3 ac |

Job Class 2 Stream Crossing - Low Water Crossing, Stone  
Job Class 3 Access Road - Gravel

NOTE: Quantities are estimated, therefore contractor shall verify quantities and provide all materials necessary to complete the project as designed.

USDA - NRCS

**COVER SHEET**

Designed By: B. Smart, RC  
Approved By: Shirley Knight 3/15  
Date: 3/20/15

Sheet 1 of 9

Roles and Responsibilities During Construction

Londowner Responsibilities:

- 1. Host a contractor site showing if desired.
- 2. Obtain all required permits.
- 3. Notify utility companies about construction (DIG SAFE). Notify contractor of utility location.
- 4. May serve as general contractor.
- 5. Hire competent contractors.
- 6. Participate in the pre-construction conference.
- 7. Alert NRCS and contractor to any livestock disease issues requiring biosecurity measures to be followed. Provide guidance on required sanitation procedures.
- 8. Notify NRCS before starting construction (3-5 days). Keep agency informed of progress.  
Field Office Phone:  
Engineering Office Phone:
- 9. Authorize contractor to start work after: a) obtaining NRCS approved drawings and specifications, b) attending NRCS pre-construction conference, and c) site layout is approved by NRCS.
- 10. Follow all federal, state, and local laws and zoning regulations.
- 11. Be available for consultation and decision.
- 12. Protect cultural and historic resources.
- 13. Assure compliance with drawing and specification requirements.
- 14. Stop work of contractor when justified for safety issues or where contractor is not meeting contract requirements.
- 15. Seed and fence as required.
- 16. Pay bills and submit copies of receipts to NRCS as required.

Contractor Responsibilities:

- 1. Participate in the pre-construction conference.
- 2. Inform londowner of planned construction schedule.
- 3. Perform necessary offset staking of NRCS layout. Perform any layout staking, flogging, and measurements beyond basics provided by NRCS. Layout shall be approved by NRCS before beginning construction.
- 4. Provide 3-5 days notice to NRCS before starting the job.
- 5. Protect all NRCS survey benchmarks from damage. Avoid unnecessary destruction of NRCS layout survey staking and flagging.
- 6. Keep NRCS informed of progress and inform londowner and NRCS when unexpected site conditions are encountered.
- 7. It is the contractor's responsibility to maintain quality control.
- 8. Protect cultural and historic resources.
- 9. Follow appropriate biosecurity measures when working in and around livestock production areas and manure storage or treatment structures.
- 10. Protect surface water and groundwater from contamination during construction.
- 11. Read, know, and follow the construction plans and specifications.
- 12. Observe and verify utility locations.
- 13. Know and work safely within OSHA requirements at all times. Modify material/equipment handling or methods as necessary to meet OSHA rules and requirements.
- 14. Use materials specified in construction drawings and specifications. Submit material certifications to NRCS prior to installation of some. Obtain materials, equipment, and appropriately skilled people on-site as scheduled.
- 15. Contractor must have a foreman (responsible decision maker) and a set of plans and specifications on-site at all times during construction.
- 16. Build to dimensions, elevations, and quality workmanship specified in construction drawings and specifications. Perform quality control activities such as staking, material verifications, and concrete tests where required.
- 17. Understand construction inspection plan. Do not proceed with work until required inspections are made.
- 18. Repair construction not meeting plan or specification requirements.

NRCS Responsibilities:

- 1. Assist landowner with contractor site showing.
- 2. Conduct pre-construction conference with contractor and landowner.
- 3. Inform landowner and contractor of safety responsibility.
- 4. Provide basic layout and staking, as needed.
- 5. Follow construction inspection plan.
- 6. Be available for quality assurance. Inform contractor and landowner of results of inspections - including compliance with drawings, specifications, and safety requirements.
- 7. Follow appropriate biosecurity measures including disinfection of boots, vehicles, and equipment.
- 8. Observe and document construction elements and perform needed quality assurance testing and measurements in order to determine that work meets requirements of the plans and specifications.
- 9. Inform landowner and contractor of presence of unexpected site conditions, cultural or historic resources. Investigate and determine need for design changes and provide alternatives, as appropriate.
- 10. Ensure appropriate engineering approvals are obtained before making changes to NRCS design.
- 11. Certify completion of construction for individual components, and entire system where construction meets the requirements of the drawings and specifications.
- 12. Document installation with "As-Built" drawing and written documentation.

Roles & Responsibilities

Paradis - Livestock Crossings

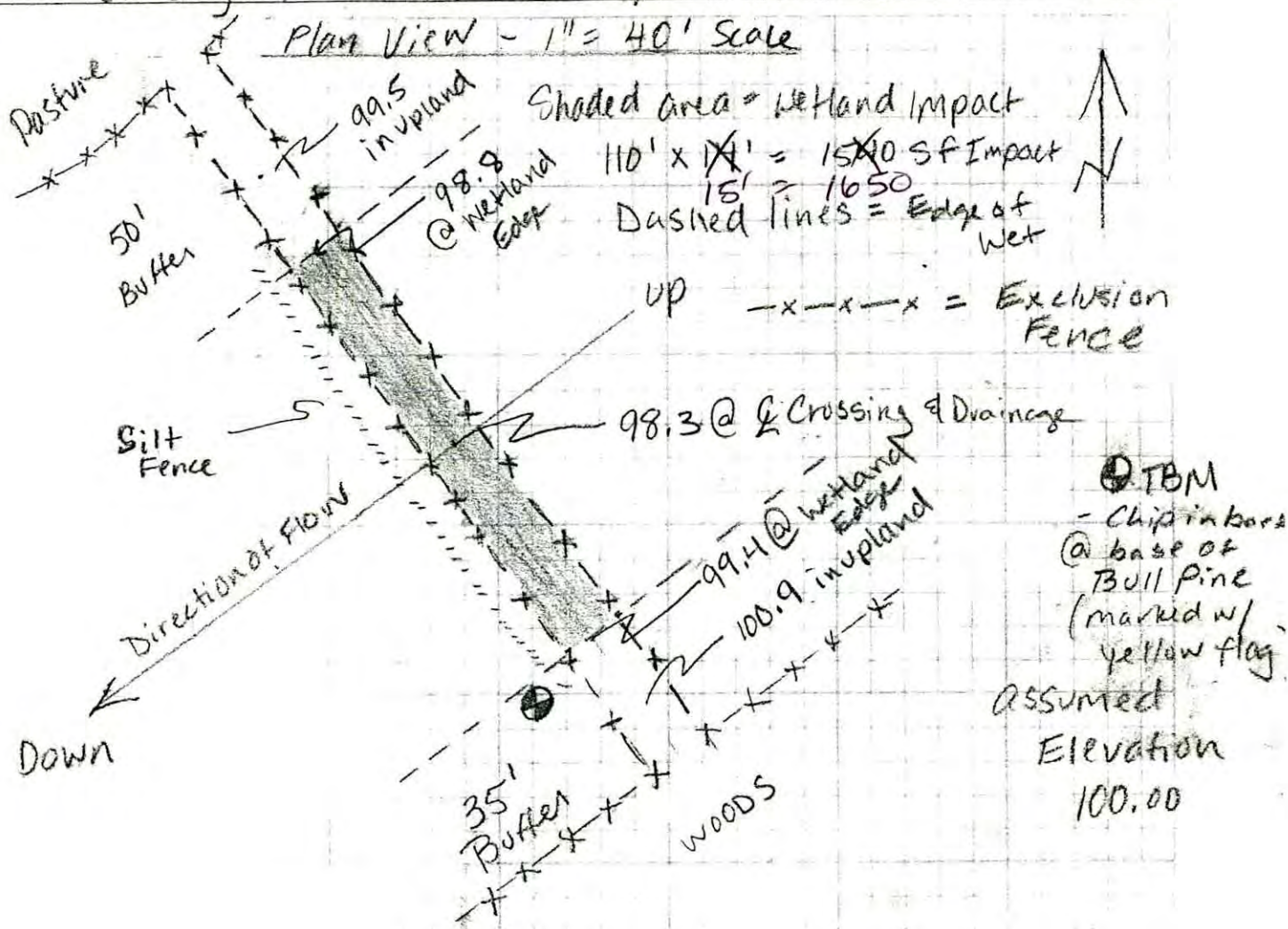


File No.  
NH-Cover and  
Roles.dwg  
Drawing No.

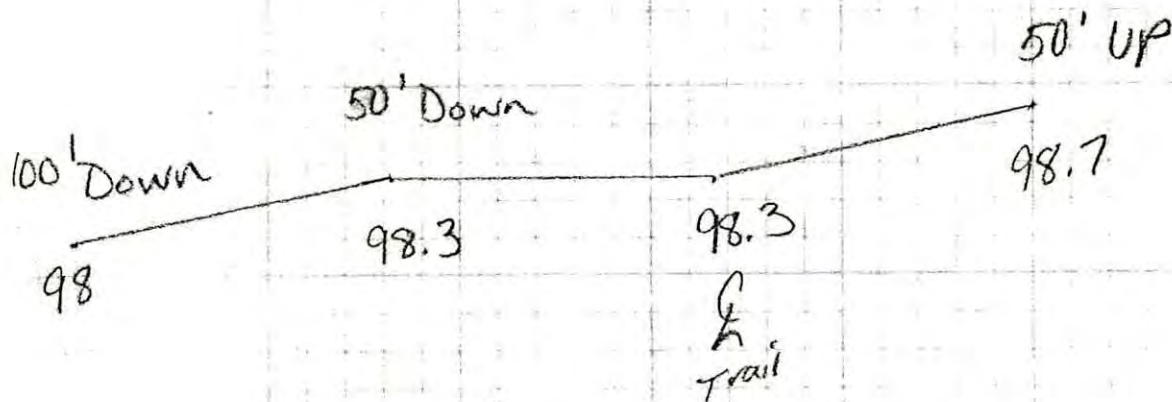
Sheet 2 of 9

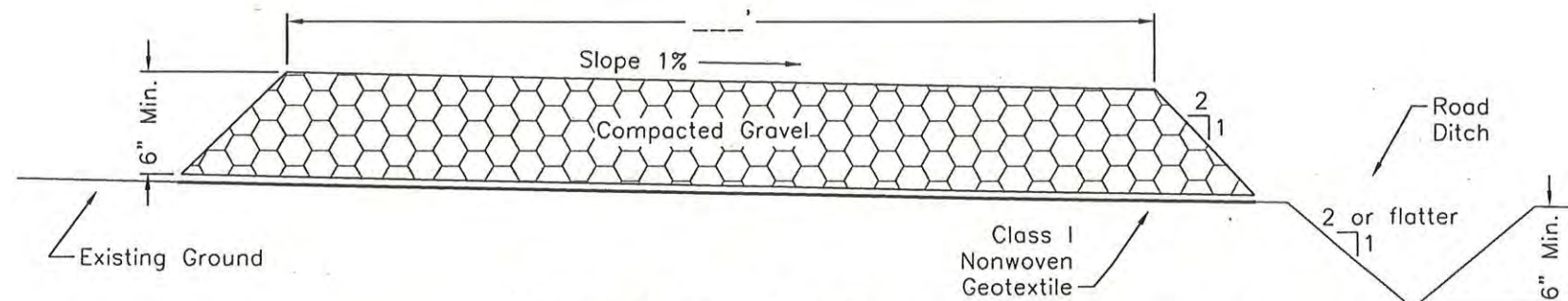
Date  
Designed N/A  
Drawn  
Checked HLL  
Approved

|         |                                          |         |                                   |            |         |
|---------|------------------------------------------|---------|-----------------------------------|------------|---------|
| STATE   | NH                                       | PROJECT | Paradis WRP - Livestock Crossings |            |         |
| BY      | P. Smart                                 | DATE    | 3/15                              | CHECKED BY | JK      |
|         |                                          | DATE    | 3/15                              | JOB NO.    | BS12015 |
| SUBJECT | Crossing #1 Plan View & Drainage Profile |         |                                   | SHEET      | 3 OF 9  |



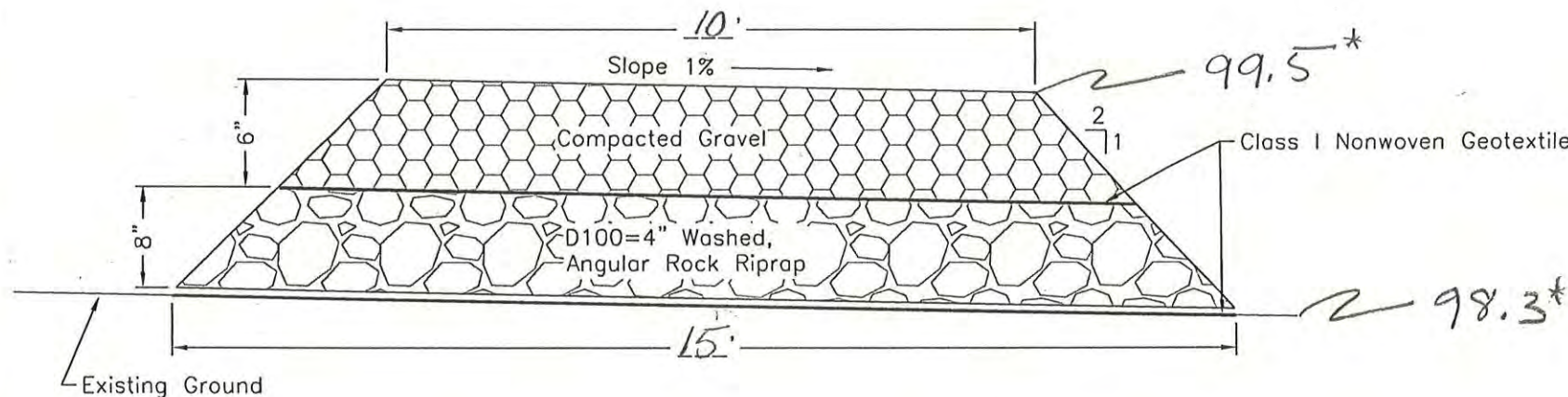
1" = 1' V & 1" = 20' H - Drainage Profile across Crossing &





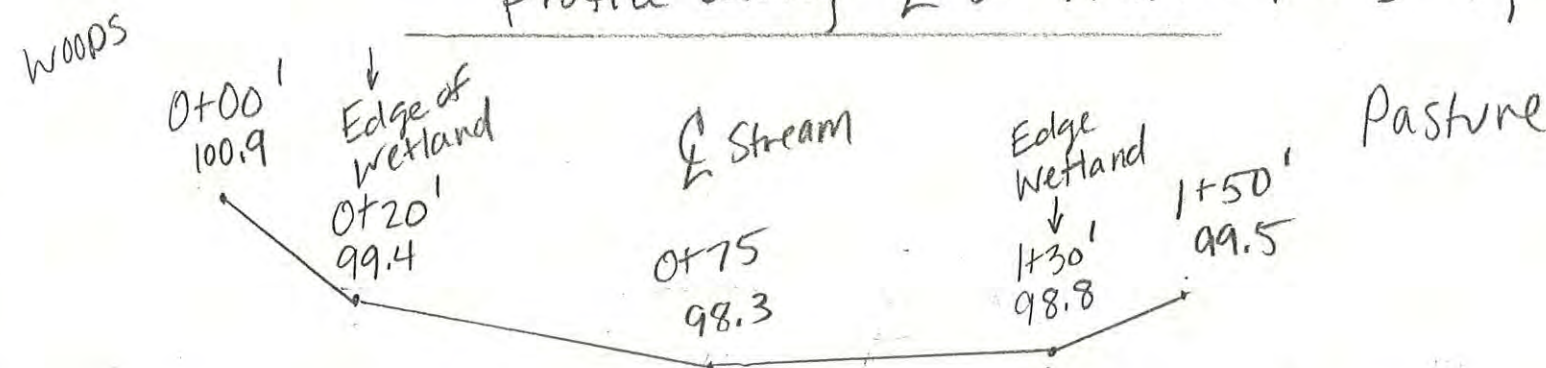
Access Road- Type I  
Typical Cross Section  
Not To Scale

NOT APPLICABLE



Access Road- Type II  
Typical Cross Section  
Not To Scale

\* Assumed Elevations @ Crossing & Drainage  
Profile along E of Trail - 1" = 3' V, 1" = 30' H



#### Notes:

1. Grade and layout shall be determined in the field by an NRCS technician. Place road on high ground with gentle grades when possible. Avoid sharp curves or long, straight downhill segments.
2. Existing ground shall be stripped of organic matter, large rocks, and other debris. It shall be graded toward a free outlet.
3. All cut and fill slopes shall be a minimum of 2:1 or flatter.
4. Road side ditches shall be a minimum 0.5' below road shoulder level. The ditch will need to be up to 2' or greater at cross drain locations. Ditch channels shall be on stable grades or protected with rock lining for stability. NRCS shall decide if ditch needs rock reinforcement when road location is finalized.
5. Water bars and/or broad based dips shall be used to control surface runoff on long, sloping sections of road. Water bar locations shall be marked in the field by NRCS. Water bar shall be installed at a 30% downslope angle, 8-12" deep, 2-4% grade, and 6-12' wide. Outlet shall be free-flowing and stable.
6. Cross drains or a free-flowing subgrade (Type II Cross Section) shall be used where road passes through wetlands/wet areas. Locations shall be marked in the field by NRCS.
7. Cross drains shall be properly bedded and fill material compacted around the pipe a minimum of 1' over pipe. Outlet protection shall be provided where needed to prevent erosion.
8. Geotextile shall be placed under gravel for the entire length of the road. All exposed geotextile shall be cut at end of construction.
9. Subgrade rock is to be free-draining to allow surface water to pass through road. Rock shall be clean, well-graded angular rock.
10. Gravel shall be compactable, well-graded with 100% being less than 3" and having no more than 5% passing the 200 sieve.
11. Rock and gravel shall be inspected and approved by NRCS prior to placement on-site.

#### 12. Estimated Quantities:

- D100 4" Stone : 53 Cu. Yds.
- Compacted gravel: 32 Cu. Yds.
- Class I Nonwoven Geotextile : 4475 sq. Yds.
- Excavation : 36 Cu. Yds.
- Seeding and Mulching : < 0.1 acres
- Road Fill : 36 Cu. Yds

13. Crossing has a 3 acre watershed with no concentrated flow; the free-flowing subgrade is sufficient to pass surface runoff through crossing.

|          |      |
|----------|------|
| Date     |      |
| Designed |      |
| Drawn    |      |
| Checked  | 3/15 |
| Approved |      |

Access Road  
Crossing #1 - Paradise



File No.  
NH-Access  
Road.dwg  
Drawing No.

Sheet 4 of 9

Landowner: Paradis Farm Dover NH

GENERAL PROJECT NOTES:

1. Quantities provided are only estimates. Estimated fill quantities provided are "in-place", compacted fill volumes (to neat lines of the drawings). Contractor is responsible for actual quantities required to complete the project.
2. Call 1-800-Dig-Safe before you dig!
3. All work shall be done in accordance with the drawings. Changes to work items shall be approved by NRCS representative/engineer prior to installation.
4. Trees to be cut down shall be blocked and stock piled on site (location to be determined by landowner).
5. Contractor is responsible for traffic control/safety when entering and exiting onto main roads.
6. Where work area is adjacent to a wetland, care shall be taken to minimize disturbances.
7. An NRCS representative will provide layout for the practices in the field.
8. See the attached Material Specifications for the complete guidance on the required projects components.

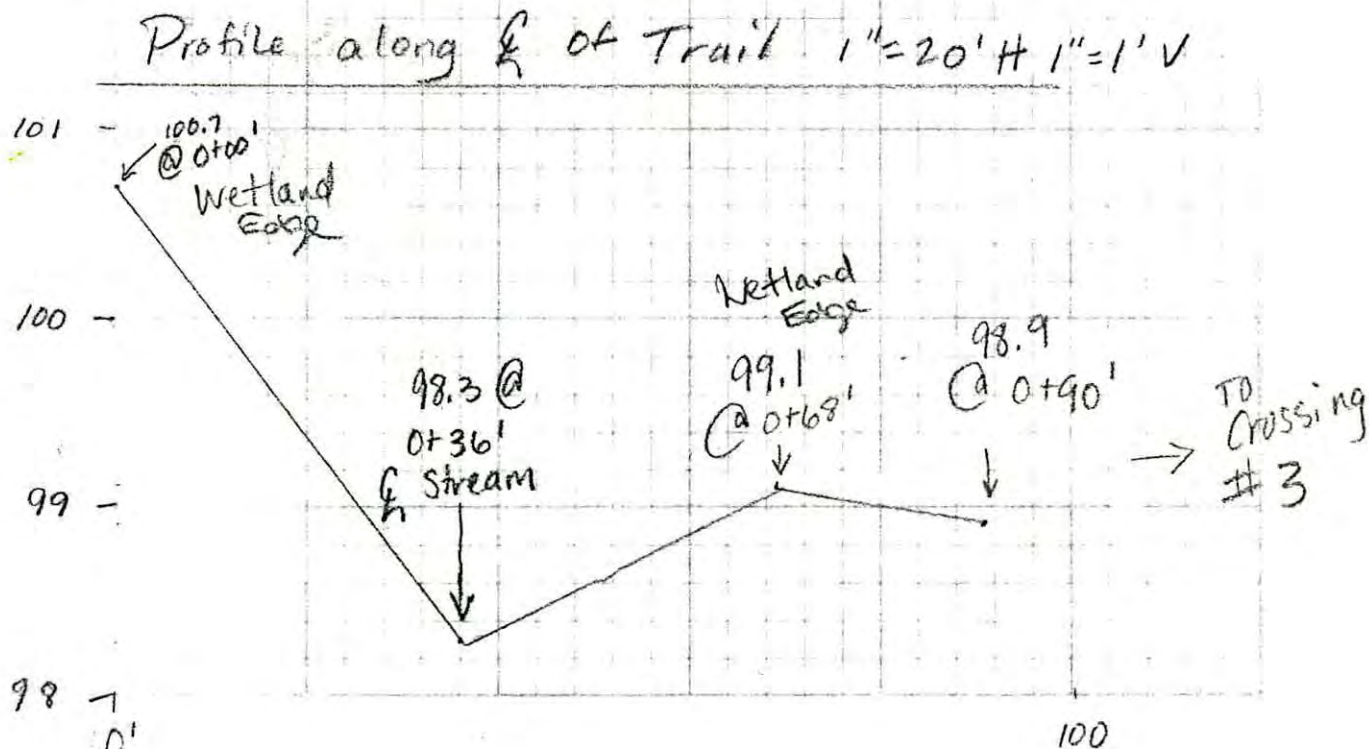
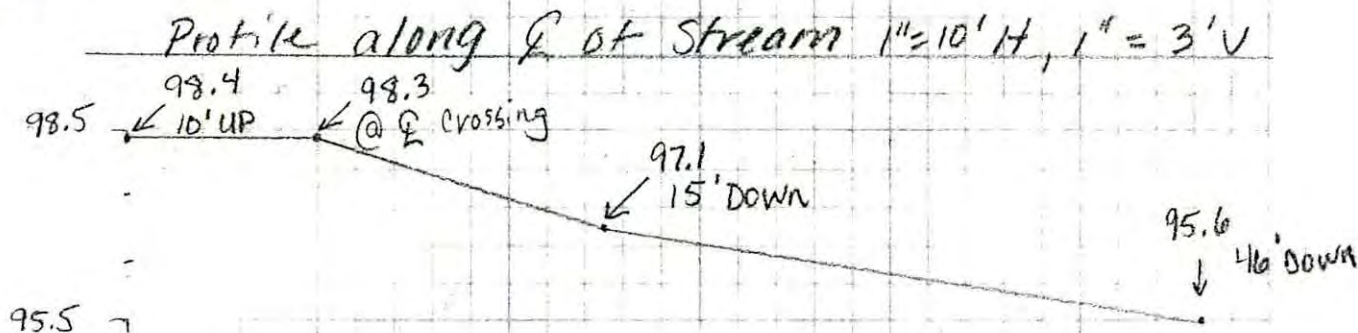
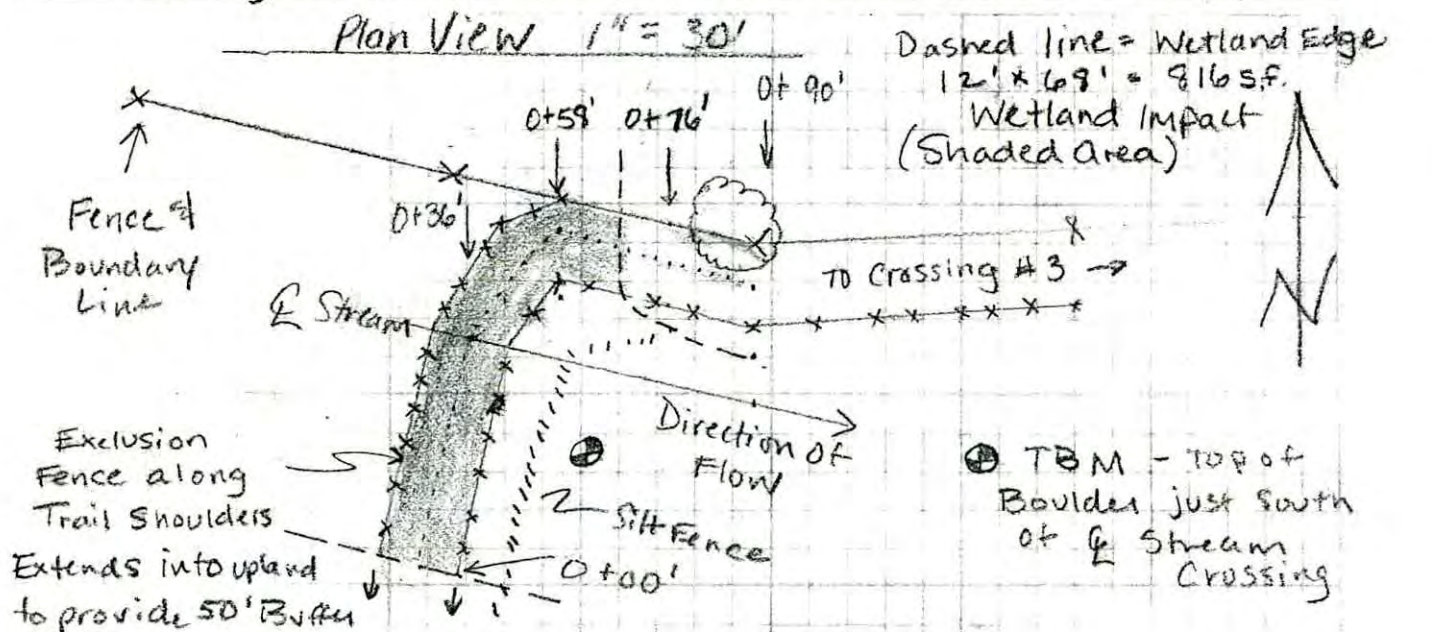
*For Crossing #1*

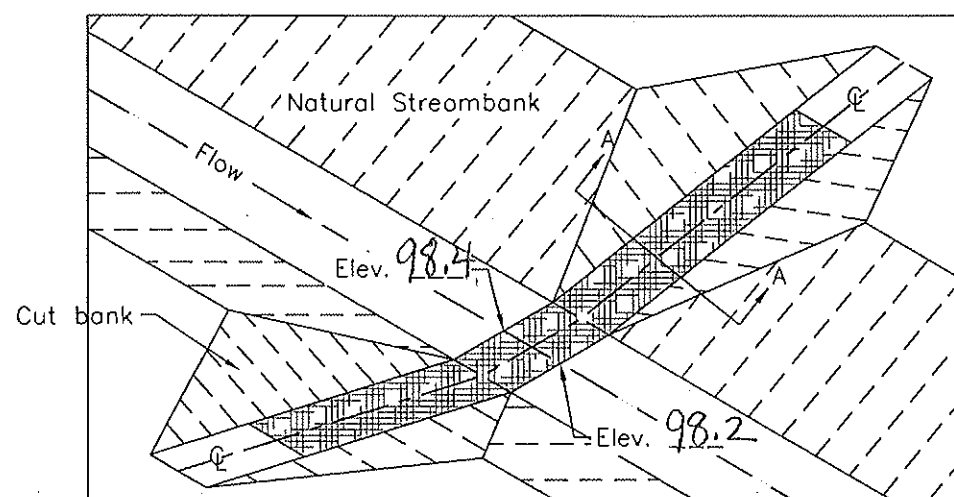
ACCESS ROAD NOTES:

1. When needed, contractor shall grub and strip topsoil and other organic material (~6") under proposed road and bankfill areas, prior to placing and compacting road fill.
2. Road surface shall be graded as shown on the drawings.
3. Geotextile fabric shall be nonwoven, Type II or greater (MS #592). It shall be placed with ends overlapping by 18". Geotextile stored on site can be kept off the ground (on donage) and covered. The geotextile shall be unrolled in a direction parallel to the roadway centerline in a loose manner permitting conformation to the surface irregularities when the roadway fill material is placed on its surface. In no case shall material be dropped on uncovered geotextile from a height greater than five (5) feet. Unless otherwise specified, the minimum overlap of geotextile panels joined without sewing shall be 24 inches. The geotextile may be temporarily secured with pins recommended or provided by the manufacturer, but they shall be removed prior to placement of the permanent covering material.
4. Compacted gravel fill for top layer of access road shall be 1" minus crushed stone or gravel placed in one lift and compacted with two passes of a wheeled vehicle.
5. Compacted earthfill needed to build up the road to the sub-grade shall be 6" minus bank run gravel, placed in 9" lifts and compacted with two passes of a wheeled vehicle.
6. All disturbed areas shall be graded to provide a flat surface ready to be fertilized, seeded & mulched within 24 hrs of being completed (CS #6). Fertilizer shall be 10-20-20, applied at 500#/acre. Seed shall be a conservation mix of warm or cool season grasses, depending on time of year of project completion. Follow recommended seeding rate for the particular mix. Hay or straw mulch shall be applied at a rate of 2 tons/acre.

Sht. 5 of 9

|         |                                  |         |                                 |            |           |
|---------|----------------------------------|---------|---------------------------------|------------|-----------|
| STATE   | NH                               | PROJECT | Paradis WRP Livestock Crossings |            |           |
| BY      | B Smart                          | DATE    | 3/15                            | CHECKED BY | DATE 3/15 |
| SUBJECT | Crossing #2 Plan View & Profiles |         |                                 |            | JOB NO.   |
|         |                                  |         |                                 | SHEET      | 6 OF 9    |





Isometric View  
Not To Scale

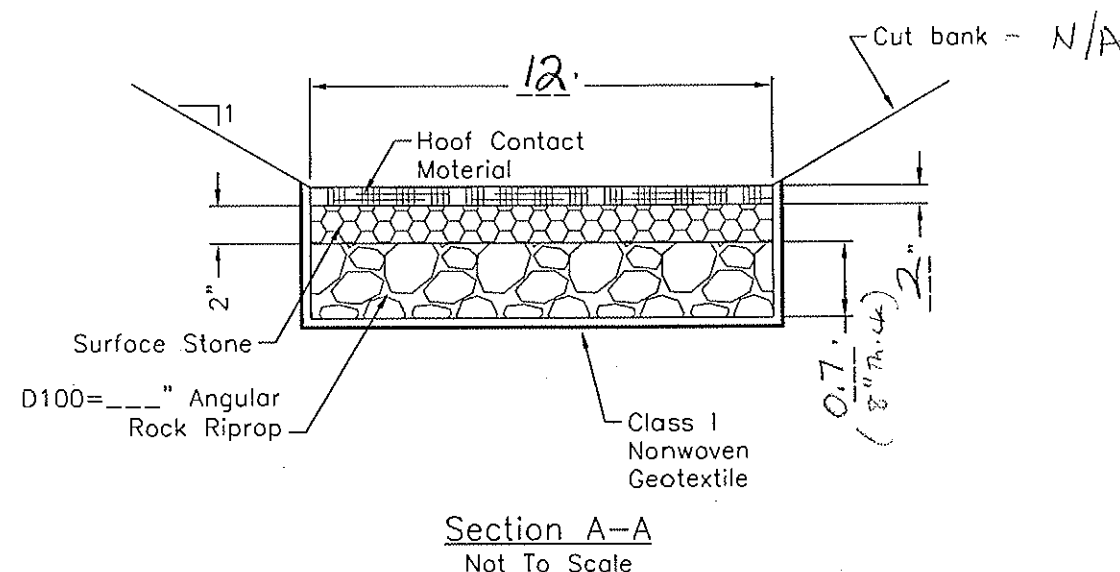
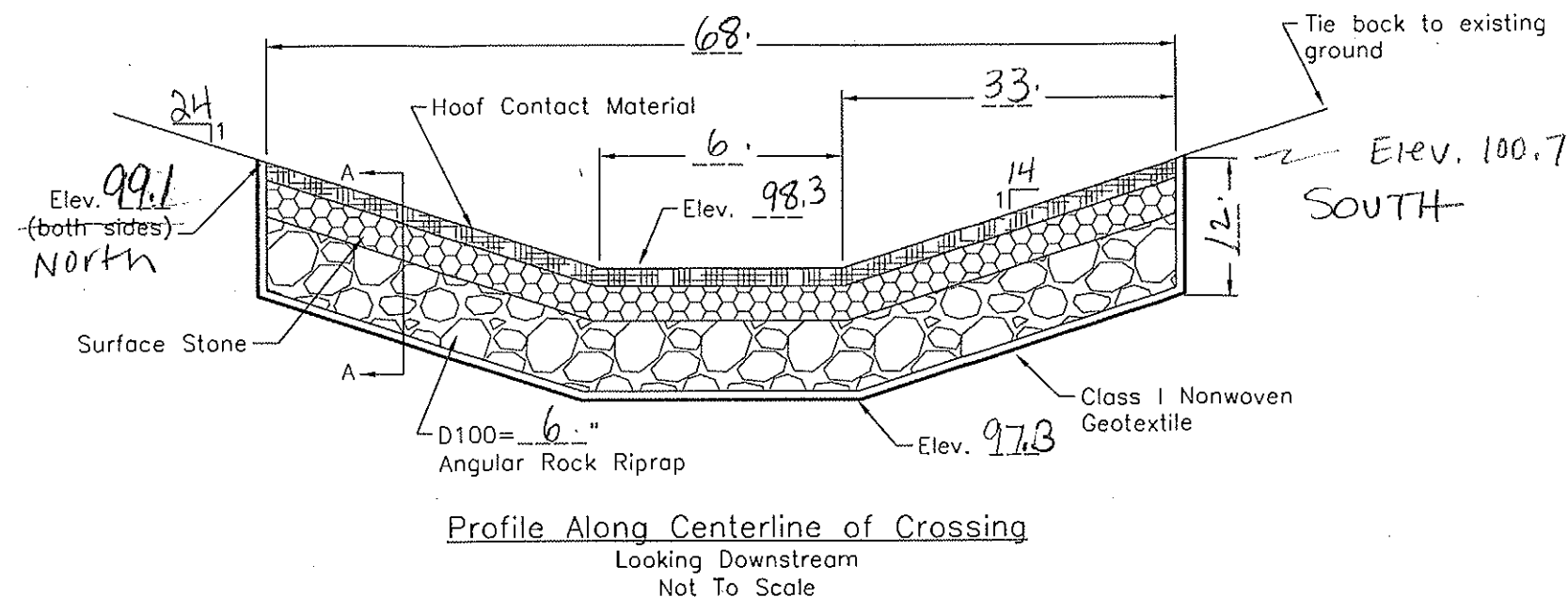
Notes:

1. This standardized design must be adapted to the specific site.
2. Compact surfacing material by equipment travel.
3. At the upstream edge, crossing shall have the top-most surface layer no higher than the original stream bottom.
4. To prevent washing, effort shall be made during construction to work hoof-contact material into the surface stone. O&M will be required to maintain any surfacing material.
5. Fencing is required to exclude livestock from the stream and any cut banks.
6. Additional:

7. Hoof Contact material shall be most readily available material (i.e.  $\frac{1}{2}$  -  $\frac{3}{4}$ " crushed stone)

8. Hoof Contact material shall be placed to fill voids between larger stone to provide a smooth travelway for cattle.

9. Watershed Area = 28 acres (same as Crossing #3 downstream to provide conservative design); natural channel dimensions measured to accommodate between the 50 and 100 year storm events.



\*Estimated Quantities:

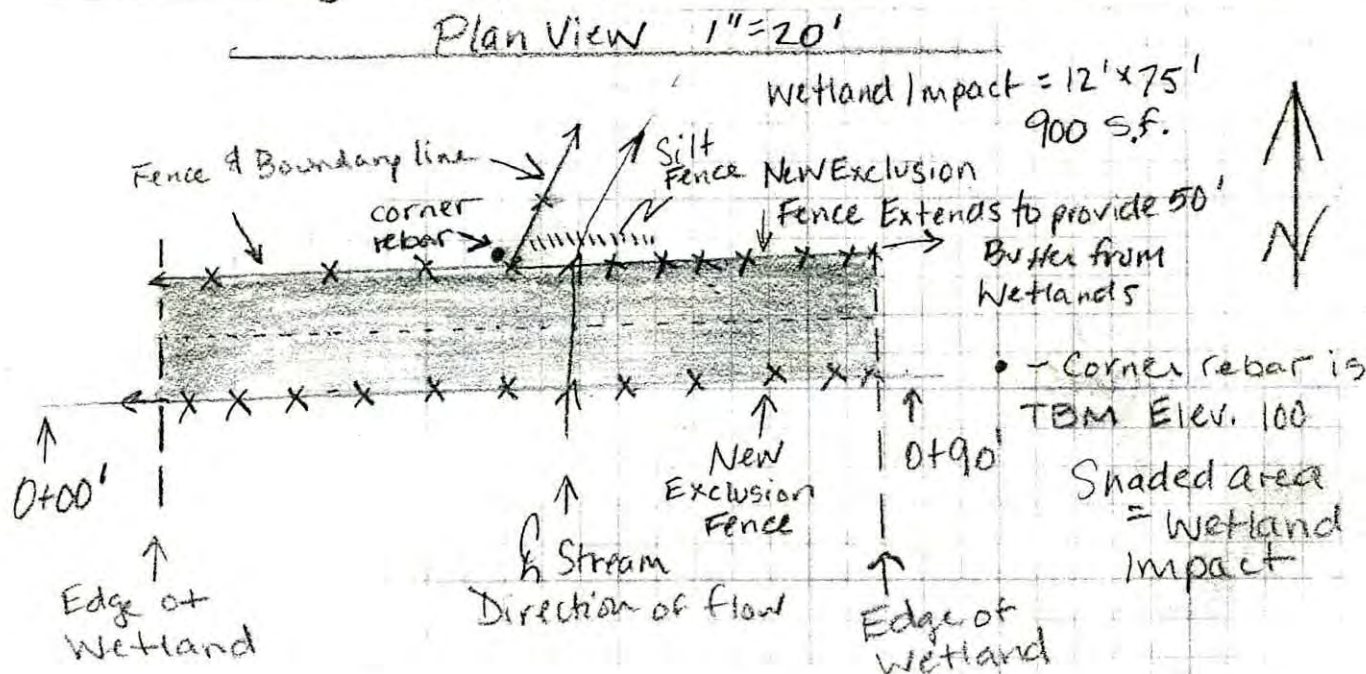
|                                                                                                  |          |             |
|--------------------------------------------------------------------------------------------------|----------|-------------|
| D100= <u>6</u> " Angular Rock Riprap                                                             | Cu. Yds. | <u>22</u>   |
| Surface Stone: <u>1" - 3" Stone</u>                                                              | Cu. Yds. | <u>6</u>    |
| Hoof Contact Material: <u><math>\frac{1}{2}</math> - <math>\frac{3}{4}</math>" Crushed Stone</u> | Cu. Yds. | <u>6</u>    |
| Excavation                                                                                       | Cu. Yds. | <u>33</u>   |
| Class I Nonwoven Geotextile                                                                      | Sq. Yds. | <u>117</u>  |
| Seeding and mulching                                                                             | Acres    | <u>20.1</u> |

\*Estimated to neat lines and grades.

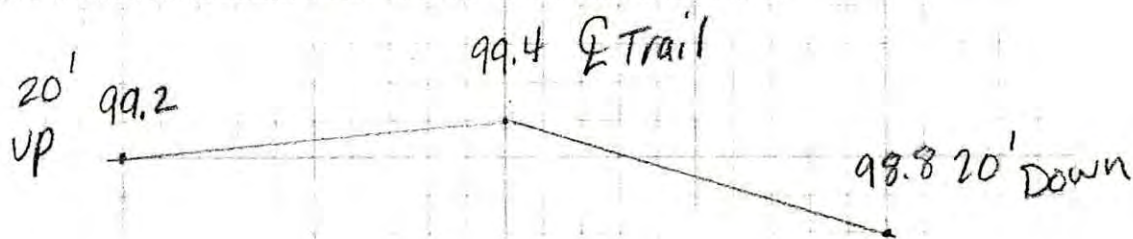
Ford-type Stream Crossing  
for Livestock  
Crossing #2 - Paradis



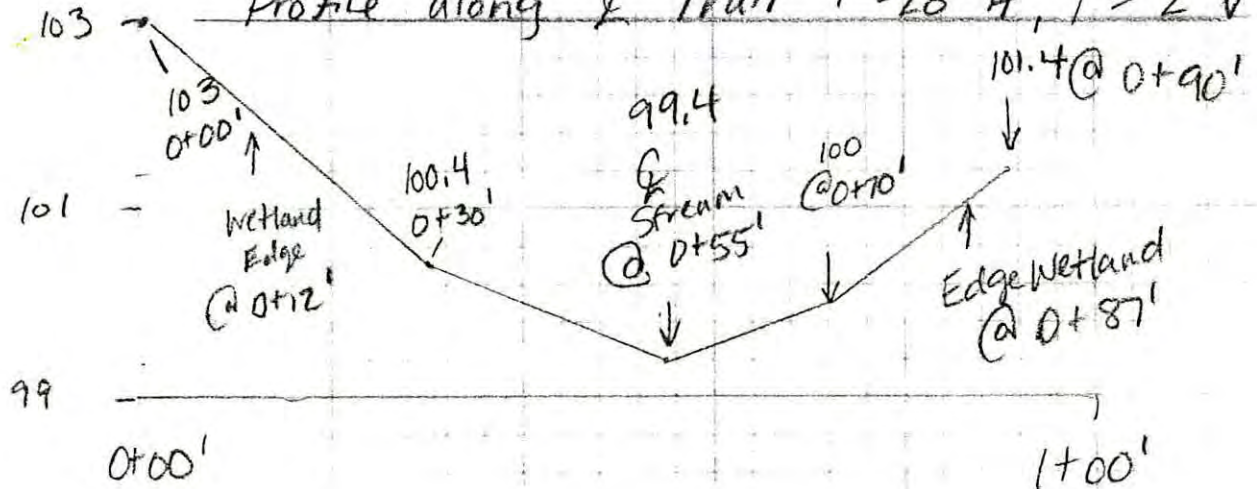
|         |                                    |         |                                   |            |         |
|---------|------------------------------------|---------|-----------------------------------|------------|---------|
| STATE   | NH                                 | PROJECT | Paradis WRP - Livestock Crossings |            |         |
| BY      | B. Smart                           | DATE    | 3/15                              | CHECKED BY | DATE    |
| SUBJECT | Crossing #3 - Plan View & Profiles |         |                                   | JOB NO.    | BS12015 |
|         |                                    |         |                                   | SHEET      | 8 OF 9  |

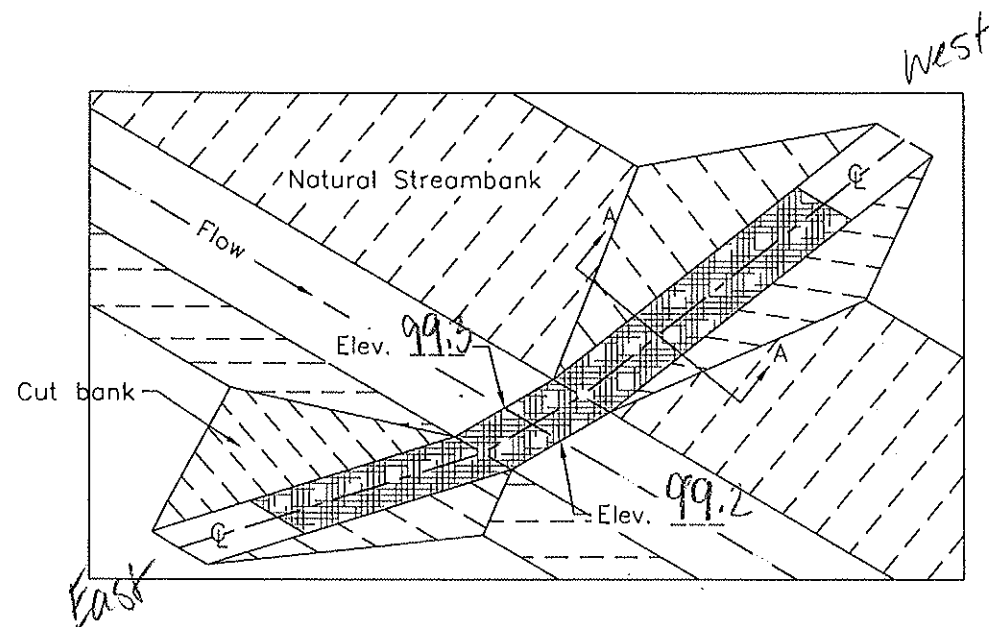


Profile along Stream 1"=1' V 1"=10' H



Profile along Trail 1"=20' H, 1"=2' V





Isometric View  
Not To Scale

Notes:

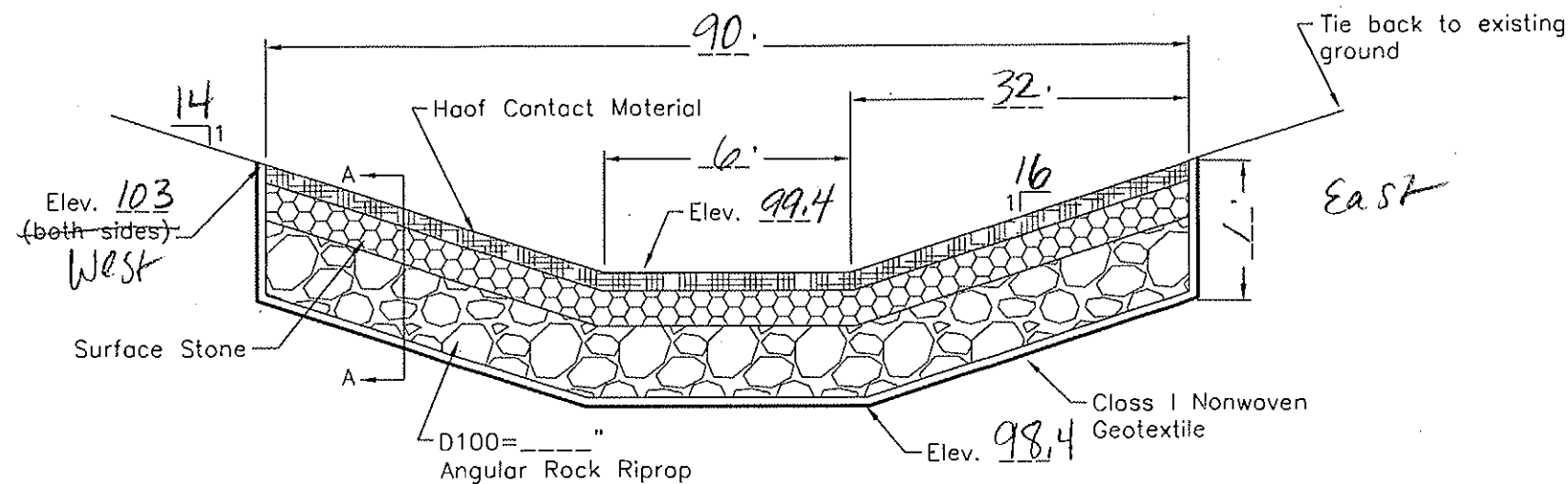
1. This standardized design must be adopted to the specific site.
2. Compact surfacing material by equipment travel.
3. At the upstream edge, crossing shall have the top-most surface layer no higher than the original stream bottom.
4. To prevent washing, effort shall be made during construction to work hoof-contact material into the surface stone. O&M will be required to maintain any surfacing material.
5. Fencing is required to exclude livestock from the stream and any cut banks.
6. Additional:

7. Hoof Contact Material shall be most readily available material (i.e. 1/2-3/4" crushed stone)

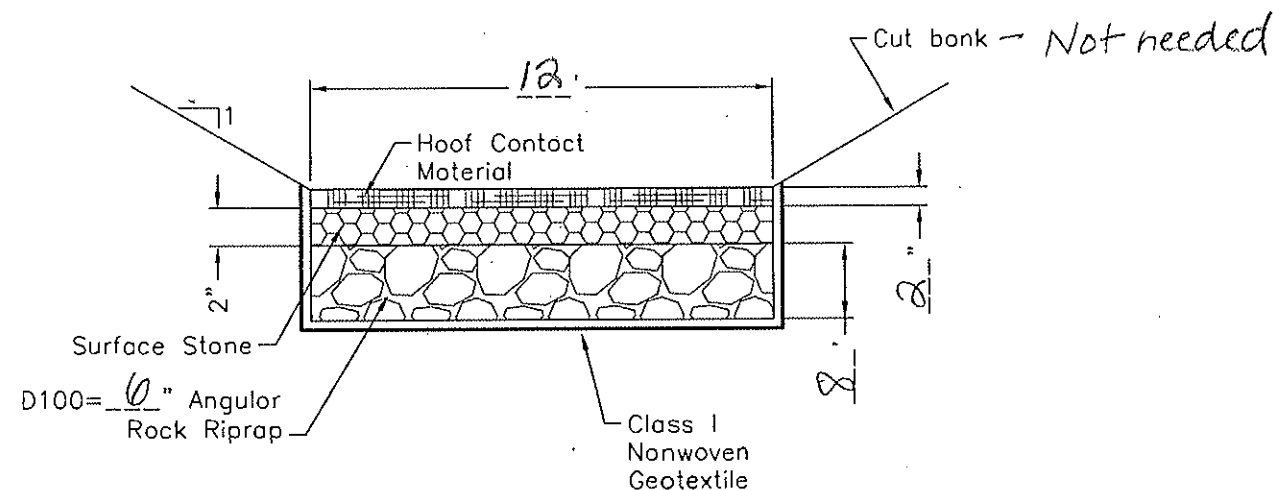
8. Watershed Area = 28 acres; natural channel dimensions measured to accommodate between the 50 and 100 year storm events

9. Hoof Contact material shall be placed to fill voids between larger stone to provide smooth travel way for cattle.

10. Wetlands delineated in field by NRCS Staff



Profile Along Centerline of Crossing  
Looking Downstream  
Not To Scale



Section A-A  
Not To Scale

\*Estimated Quantities:

|                                               |          |      |
|-----------------------------------------------|----------|------|
| D100= 6" Angular Rock Riprap                  | Cu. Yds. | 30   |
| Surface Stone: 1"-3" Stone                    | Cu. Yds. | 7    |
| Hoof Contact Material: 1/2-3/4" Crushed Stone | Cu. Yds. | 7    |
| Excavation                                    | Cu. Yds. | 40   |
| Class I Nonwoven Geotextile                   | Sq. Yds. | 150  |
| Seeding and mulching                          | Acres    | 20.1 |

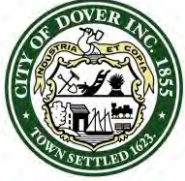
\*Estimated to neat lines and grades.

Date: 02/02  
Designed: B. Linville  
Drawn: B. Linville  
Checked: B. Linville  
Approved: B. Linville

Ford-type Stream Crossing  
for Livestock  
Crossing #3 - Paradis

**NRCS**  
Natural Resource Conservation Service  
United States Department of Agriculture

File No. NH-Stream  
Crossings-Fords.dwg  
Drawing No. NH 240,002  
Sheet 9 of 9



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-29

|                   |                                                        |
|-------------------|--------------------------------------------------------|
| Application Type: | Conditional Use Permit for CBD Dimensional Regulations |
| Applicant:        | Riparia - One Hundred First Street, LLC                |
| Owner:            | Riparia - One Hundred First Street, LLC                |
| Location          | 100 First Street (Assessor's Map 6, Lot 3)             |

**INTENT:** To obtain a Conditional Use Permit to seek relief, per Chapter 170-20-B(1), to the Central Business District requirement to construct a street wall along the front property line. A fence is proposed in place of the street wall.

**LOTS/UNITS PROPOSED:** None

**AGENDA ITEM #:** 4-G

**ACREAGE:** 0.75 Acres

**ZONING DISTRICT:** Central Business District (CBD) - General

**EXISTING LAND USE:** Mixed commercial/residential building

**PROPOSED LAND USE:** Mixed commercial/residential building

**SURROUNDING LAND USE:** Multi-family residential, retail, office and commercial

**ZBA ACTION:** None

**ATTACHMENTS:** Conditional Use Permit application and narrative

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters

**PERMITS REQUIRED:**

- City of Dover Conditional Use Permit

**WAIVERS REQUESTED:** None

**Summary of Request and Background**

The applicant has applied for a Conditional Use Permit for relief from the requirement to build a masonry street wall along the front property line.

The applicant has prepared a letter reviewing how the request complies with the applicable CUP standards.

**Consistency with Land Use Regulations**

Chapter 170-20-B provides for conditional use approval for relief from the CBD standards if nine standards are complied with. In the General CBD, a masonry street wall is required to be built along the front property line.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board accept the application and approve the Conditional Use Permit with the following conditions:

**Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. A formal agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds.



**City of Dover, New Hampshire**  
**CONDITIONAL USE PERMIT APPLICATION**

RECEIVED  
Planning Office  
[Revision Date: February 19, 2014]

Office Use Only

Project #:

P15-29

Date Received:

MAY 11 2015

Amount Paid:

\$462.00

Time Received:

Dover, New Hampshire

**APPLICANT AND OWNER INFORMATION**

Name of Applicant: RIPARIA-ONE HUNDRED FIRST STREET, LLC Telephone # 603-557-8257

Address of Applicant: 466 CENTRAL AVE SUITE 12 DOVER, NH 03820

E-Mail Address: DKBAMFORDZ@AOL.COM

Name of Property Owner (if different from applicant): SAME Telephone # \_\_\_\_\_

Address of Property Owner: \_\_\_\_\_

**PROPERTY INFORMATION**

Assessor's Map # 6 Lot(s) # 3

Address of Property: 100 FIRST STREET

Zoning District(s) CBD Overlay District(s) \_\_\_\_\_

Existing Use of Property: MIXED USE BUILDING UNDER CONSTRUCTION

**CONDITIONAL USE PERMIT INFORMATION**

**Type of Conditional Use Permit (Check All That Apply):**

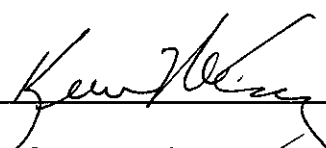
- |                                                      |                                                               |                                            |
|------------------------------------------------------|---------------------------------------------------------------|--------------------------------------------|
| <input type="checkbox"/> Conservation District       | <input type="checkbox"/> RCM Use Overlay District             | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection      | <input type="checkbox"/> Off-Street Parking and Loading       |                                            |
| <input type="checkbox"/> Wetland Protection District | <input checked="" type="checkbox"/> Central Business District |                                            |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:  
SECTION 170-20 F (4) REQUIRES A MASONRY "STREET WALL" BE CONSTRUCTED TO SCREEN PARKING LOTS. WE ARE PROPOSING TO INSTALL A FENCE MADE OF WOOD, VINYL OR COMPOSITE MATERIAL IN PLACE OF THE MASONRY WALL

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: N/A

Name of Professional That Prepared Plans: WOODBURN AND COMPANYAddress 103 KENT PLACE NEW MARKET NH Telephone #: 603-659-5949Professional License #: 002 E-mail address: WOODBURNANDCOMPANY.COM**SIGNATURES**

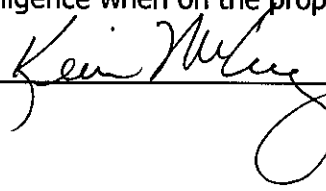
I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:  Date: 5/11/15Signature of Applicant (if different from owner):  Date: \_\_\_\_\_

Signature of Agent: \_\_\_\_\_ Date: \_\_\_\_\_

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 5/11/15

**ABUTTERS (UPDATED 5/11/15)**

|                                             |                                     |                                |                |    |       |
|---------------------------------------------|-------------------------------------|--------------------------------|----------------|----|-------|
| PETER & PAULA GEORGAKILAS LIVING REV. TRUST | PETER & PAULA GEORGAKILAS, TRUSTEES | 62 SILVER STREET               | DOVER          | NH | 03820 |
| INNATE, LLC                                 |                                     | 1 WALDRON COURT                | DOVER          | NH | 03820 |
| COCHeco PARK PRESERVATION ASSOCIATES        | C/O PRESERVATION HOUSING MANAGEMENT | 3100 BROADWAY, SUITE #1234     | KANSAS CITY    | MO | 64111 |
| BRIAN & STEPHANIE FISCHER                   |                                     | 46 NORTH RIVER ROAD            | LEE            | NH | 03824 |
| FIRCH, LLC                                  |                                     | 24 CHESTNUT STREET             | DOVER          | NH | 03820 |
| HOLGATE LIMITED PARTNERSHIP                 |                                     | 130 CENTRAL AVENUE             | DOVER          | NH | 03820 |
| STEPHANIE N. LONG                           |                                     | 35 FIRST STREET                | DOVER          | NH | 03820 |
| BRIAN J. MURPHY                             |                                     | 496 WALLIS ROAD                | RYE            | NH | 03870 |
| ROBERT E. DICKEY IRREVOCABLE TRUST          | ROBERT E. DICKEY, TRUSTEE           | 43 CUSHING STREET              | DOVER          | NH | 03820 |
| KAB REALTY MANAGEMENT, LLC                  |                                     | 35 THIRD STREET                | DOVER          | NH | 03820 |
| COLLEEN F & AILLINN CONNORS                 |                                     | 21 FIRST STREET                | DOVER          | NH | 03820 |
| WHITE DOVE PROPERTIES, LLC                  |                                     | 32 PISCATAQUA ROAD             | DOVER          | NH | 03820 |
| MARY M. FORTIER                             |                                     | 13 FIRST STREET                | DOVER          | NH | 03820 |
| GREGORIOS N. KOUTRELAKOS REVOCABLE TRUST    | GREGORIOS N. KOUTRELAKOS, TRUSTEE   | 4A SMITH WELL ROAD             | DOVER          | NH | 03820 |
| BUILD UPON, LLC                             |                                     | 56 SUMMER STREET               | DOVER          | NH | 03820 |
| MARKER 21 HOLDINGS, LLC                     |                                     | 163 CENTRAL AVENUE             | DOVER          | NH | 03820 |
| CARTELLI'S, LLC                             |                                     | 446 CENTRAL AVENUE             | DOVER          | NH | 03820 |
| PETER & JOAN HENRY                          |                                     | 454 CENTRAL AVENUE             | DOVER          | NH | 03820 |
| WEST CONCORD INVESTMENTS, LLC               |                                     | 4 WEST CONCORD STREET          | DOVER          | NH | 03820 |
| DAVID R. & STACEY L. CAMIRE                 |                                     | P. O. BOX 724                  | SOMERSWORTH    | NH | 03878 |
| JEAN FIELD                                  |                                     | 24 SECOND STREET               | DOVER          | NH | 03820 |
| REDDY INFOSYS, INC.                         |                                     | 60 ZAITZ FARM ROAD             | PRINCETON JCT. | NJ | 08550 |
| RICHARD SCHREUER                            | NANCY DOYLE                         | 234 ECHO COVE ROAD             | SOUTH HAMILTON | MA | 01982 |
| HARLECH, LLC                                |                                     | 273 CORPORATE DRIVE, SUITE 150 | PORTSMOUTH     | NH | 03801 |
| LOYAL ORDER OF MOOSE #443                   |                                     | 45 CHESTNUT STREET             | DOVER          | NH | 03820 |

**OWNER/APPLICANT**

|                                         |                              |       |    |       |
|-----------------------------------------|------------------------------|-------|----|-------|
| RIPARIA - ONE HUNDRED FIRST STREET, LLC | 466 CENTRAL AVENUE, SUITE 12 | DOVER | NH | 03820 |
|-----------------------------------------|------------------------------|-------|----|-------|

**SURVEYOR & CIVIL ENGINEER & LANDSCAPE ARCHITECT**

|                                   |                    |           |    |       |
|-----------------------------------|--------------------|-----------|----|-------|
| MCENEANEY SURVEY ASSOCIATES, INC. | 24 CHESTNUT STREET | DOVER     | NH | 03820 |
| CIVILWORKS, INC.                  | P.O. BOX 1166      | DOVER     | NH | 03821 |
| WOODBURN & COMPANY                | 103 KENT PLACE     | NEWMARKET | NH | 03857 |

RIPARIA – 100 FIRST STREET  
NARRATIVE  
for  
Conditional Use Permit Application  
5/11/2015

RECEIVED  
Planning Office  
MAY 13 2015  
Dover, New Hampshire

Request relief from Zoning Chapter 170-20 F.4.(a) "Street Walls" to allow a fence to be installed where a street wall is required. The fence will be of a black coated metal, or similar material, in a "wrought iron" style. The use of a "wrought iron" style fence versus a masonry street wall accomplishes the intent of the Ordinance while allowing us to match the building architectural look.

**Zoning Chapter 170 B. Conditional Use Permit**

Conditional use approval for relief from the standards herein may be granted by the Planning Board (RSA 674:21 II) after proper public notice and public hearing proposed project complies with the following standards:

*(a) That both public and private BUILDINGS and landscaping shall contribute to the physical definition of RIGHTS OF WAY as CIVIC SPACES.*

The substitution of an attractive "wrought iron" style fence in place of a masonry streetwall satisfies the spirit and intent of the Ordinance by defining the street RIGHT OF WAY. The fence will provide a physical break between the CIVIC SPACE and the private property.

*(b) That development shall adequately accommodate automobiles, while respecting the pedestrian and the spatial form of public areas.*

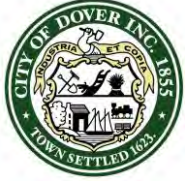
The introduction of the fence does not impede the vehicular flow, while separating the pedestrian use from the parking area.

*(c) That the design of streets and BUILDINGS shall reinforce safe environments, but not at the expense of accessibility.*

The introduction of the fence provides a safety barrier between the pedestrians and the automobiles in an attractive and architecturally pleasing way.

*(d) – (i) Not applicable.*





**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P14-03A

Application Type: Compliance Hearing for Site Review  
Applicant: Riparia - One Hundred First Street, LLC  
Owner: Riparia - One Hundred First Street, LLC  
Location: 100 First Street (Assessor's Map 6, Lot 3)

**INTENT:** Compliance hearing for two conditions of approval for a site review. The landscape and lighting plans are required to be submitted to the Planning Board for approval, per approval granted 2/25/14.

**LOTS/UNITS PROPOSED:** None

**AGENDA ITEM #:** 4-H

**ACREAGE:** 0.75 Acres

**ZONING DISTRICT:** Central Business District (CBD) - General

**EXISTING LAND USE:** Mixed commercial/residential building

**PROPOSED LAND USE:** Mixed commercial/residential building

**SURROUNDING LAND USE:** Multi-family residential, retail, office and commercial

**ZBA ACTION:** None

**ATTACHMENTS:** Application, landscape plan, lighting plan, 2/25/14 letter of decision

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters

**PERMITS REQUIRED:** None

**WAIVERS REQUESTED:** None

### Summary of Request and Background

When the site plan was approved by the Planning Board on February 25, 2014, conditions #14 and 15 required the landscape and lighting plans to be approved by the Planning Board. The applicant has submitted a landscape plan prepared by Woodburn & Company and a lighting plan prepared by Steven Jonason, P.E.

### Consistency with Land Use Regulations

RSA 676:4-I(i) provides that a Planning Board can grant conditional approval of a plan. If any of the conditions are not administrative or minor in nature, the Planning Board shall hold a hearing to determine if the conditions have been complied with.

### STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board accept the application and find that the conditions of approval have been met, with the following conditions:

### Conditions to Be Met Prior to the Issuance of the Certificate of Occupancy:

1. The applicant shall have the landscape architect add a stamp and signature to the landscape plan.



**City of Dover, New Hampshire**  
**APPLICATION FOR EXTENSIONS OF/ AMENDMENTS**  
**TO/ WAIVERS FOR AN APPROVED PLAN**

[Creation Date: April 23, 2013]

Office Use Only

Amount Paid: \_\_\_\_\_

Date/Time Received: \_\_\_\_\_

**MAY 11 2015**

Dover, New Hampshire

**APPLICANT INFORMATION**

Name of Applicant: RIPARIA-ONE HUNDRED FIRST STREET LLC Telephone # 603-557-8257

Address of Applicant: 466 CENTRAL AVE SUITE 12 DOVER NH E-Mail DKBAMFORD2@AOL.COM

Project Name: RIPARIA Project Location: 100 FIRST STREET

Planning File Number: P14-03 Date of Original Approval 2/25/14

File Type: Conditional Use X Site Plan Review X Subdivision \_\_\_\_\_

**EXTENSION INFORMATION (Note: notification of abutters required for first time extensions only)**

Current deadline date: \_\_\_\_\_ Number of Extensions Previously granted by Board \_\_\_\_\_

Reason(s) for extension/comments (attach additional sheets as needed): \_\_\_\_\_

**AMENDMENT INFORMATION**

Condition(s) or portion of plan to be amended: Planning Board need to

Reason(s) for amendment/comments (attach additional sheets as needed): approve landscape?

Condition of Approval to original  
Site project approval

**WAIVER INFORMATION**

Site Review/Subdivision Regulations section(s) to be waived: \_\_\_\_\_

Justification for waiver request(s) (attach additional sheets as needed): \_\_\_\_\_

**SIGNATURES**

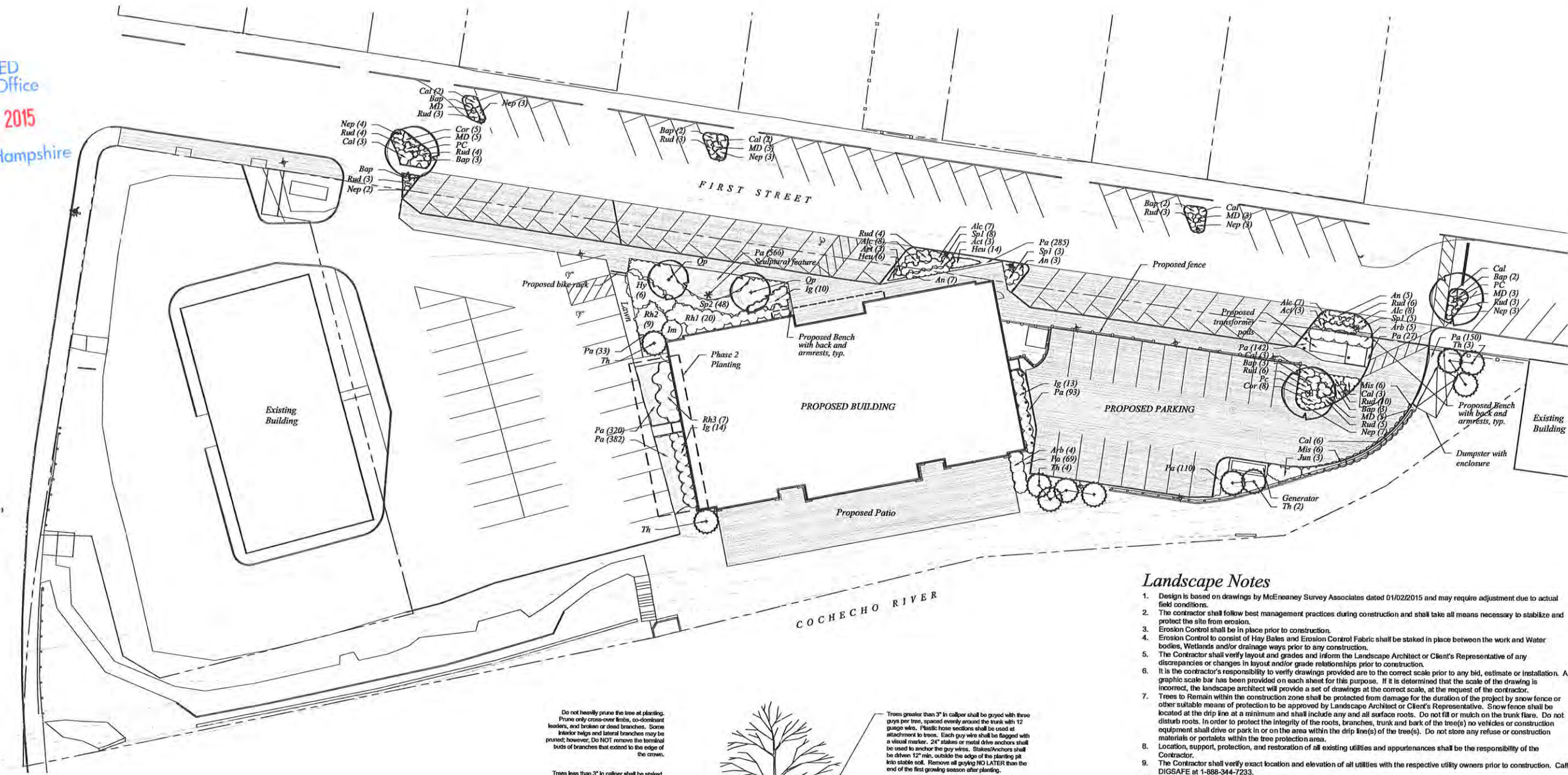
I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: Kenn McLean Date: 5/11/15

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: \_\_\_\_\_ Date: \_\_\_\_\_

RECEIVED  
Planning Office  
MAY 11 2015  
Dover, New Hampshire



#### Plant List

##### TREES

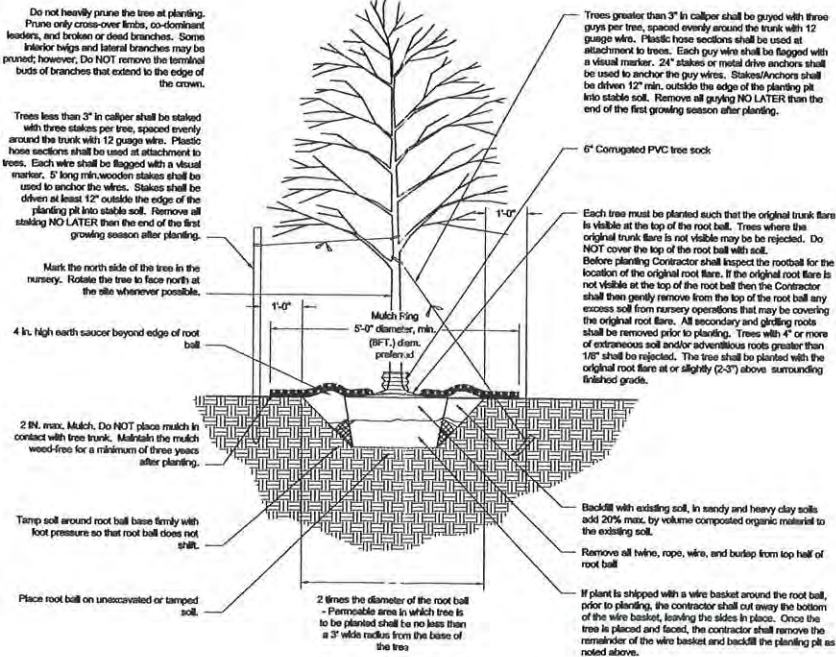
| Symbol | Botanical Name                          | Common Name                | Quantity | Size       | Comments |
|--------|-----------------------------------------|----------------------------|----------|------------|----------|
| Pc     | <i>Pinus celtica</i> 'Chanticleer'      | Chanticleer Flowering Pear | 3        | 4-4.5' Cal |          |
| Op     | <i>Quercus palustris</i> 'Green Pillar' | Pin Oak                    | 2        | 4-4.5' Cal |          |
| Th     | <i>Thuja plicata</i> 'Atrovirens'       | Atrovirens Arborvitae      | 11       | 10-12' Ht  |          |

##### SHRUBS

| Symbol | Botanical Name                           | Common Name              | Quantity | Size      | Comments       |
|--------|------------------------------------------|--------------------------|----------|-----------|----------------|
| Arb    | <i>Thuja occidentalis</i> 'Techny'       | Techny Arborvitae        | 9        | 6-7' Ht   | B&B            |
| Hy     | <i>Hydrangea arborescens</i> 'Annabelle' | Annabelle Hydrangea      | 6        | 5 gal     |                |
| Ig     | <i>Ilex glabra</i> 'Shamrock'            | Shamrock Holly           | 37       | 5 gal     | full to ground |
| Im     | <i>Ilex mesaeae</i> 'Blue Mist'          | Blue Mist Holly          | 1        | 5-6' Ht   | B&B Hy         |
| Jun    | <i>Juniperus chinensis</i> 'Mountain'    | Mountain Juniper         | 3        | 6-7' Ht   | B&B            |
| Rh1    | <i>Rhododendron</i> 'Yuko'               | Yuko Rhododendron        | 20       | 2.5-3' Ht | B&B full       |
| Rh2    | <i>Rhododendron</i> 'PJM' compact clone  | Compact PJM Rhododendron | 9        | 2.5-3' Ht | B&B full       |
| Rh3    | <i>Rhododendron</i> 'Chionoides'         | Chionoides Rhododendron  | 7        | 3-3.5' Ht | B&B full       |
| Sp1    | <i>Spiraea betulifolia</i> 'Tor'         | Tor Birchleaf Spiraea    | 16       | 3 gal     |                |
| Sp2    | <i>Spiraea x Goldmound</i>               | Goldmound Spiraea        | 48       | 3 gal     |                |

##### PERENNIALS, GROUNDCOVERS, VINES AND ANNUALS

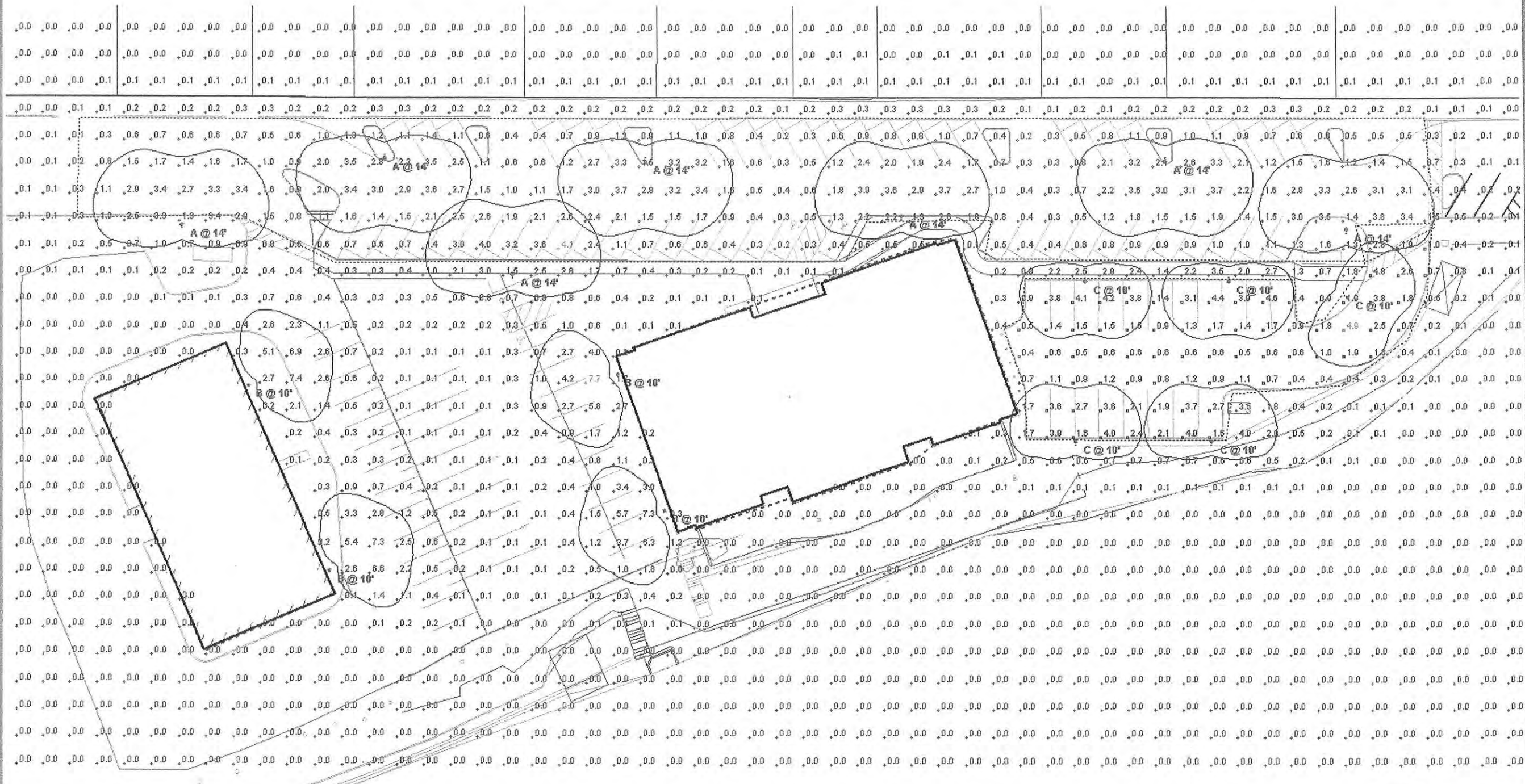
| Symbol | Botanical Name                                  | Common Name                | Quantity | Size    | Comments |
|--------|-------------------------------------------------|----------------------------|----------|---------|----------|
| Act    | <i>Actaea racemosa</i> 'Chocoholic'             | Bugbane                    | 9        | 1 gal   |          |
| Alc    | <i>Alchemilla mollis</i>                        | Lady's Mantle              | 30       | 1 gal   |          |
| An     | <i>Anemone 'Honorine Jobert'</i>                | Windflower                 | 15       | 1 gal   |          |
| Bap    | <i>Baptisia australis</i>                       | False Blue Indigo          | 17       | 1 gal   |          |
| Cal    | <i>Calamagrostis acutifolia</i> 'Karl Foerster' | Feather Reed Grass         | 21       | 1 gal   |          |
| Cor    | <i>Coronopsis 'Crime Bulwer'</i>                | Tickseed                   | 13       | 1 gal   |          |
| Heu    | <i>Heuchera 'Splendens'</i>                     | Coral Bells                | 20       | 1 gal   |          |
| MD     | <i>Nipponanthemum nipponicum</i>                | Montauk Daisy              | 18       | 1 gal   |          |
| Mis    | <i>Miscanthus sinensis</i> 'Morning Light'      | Morning Light Maiden Grass | 12       | 2 gal   |          |
| Nep    | <i>Nepeta faassenii</i> x 'Walker's Low'        | Walker's Low Catmint       | 25       | 1 gal   |          |
| Pa     | <i>Pachysandra terminalis</i>                   | Japanese Spurge            | 22       | 100/lat |          |
| Rud    | <i>Rudbeckia fulgida</i> 'Goldsturm'            | Black-Eyed Susan           | 54       | 1 gal   |          |



Tree Planting Detail, typ.

#### Landscape Notes

- Design is based on drawings by McInerney Survey Associates dated 01/02/2015 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or muck on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call 800-4-A-SAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All disturbed areas will be dressed with 6\"/>



DOVER FIRST STREET

| Symbol | Label | Quantity | Manufacturer                | Ordering Number               | Lamp                  | Number of Lamps | Wattage                    | Lumens Per Lamp | Light Loss Factor | Midspan | Description                                                                                                                     |
|--------|-------|----------|-----------------------------|-------------------------------|-----------------------|-----------------|----------------------------|-----------------|-------------------|---------|---------------------------------------------------------------------------------------------------------------------------------|
| ○      | A     | 7        | ARCHITECTURAL AREA LIGHTING | UOH-T2-32LED-4K-700-9LX       |                       | 1               | UOH-T2-32LED-4K-700.9LX    | 6166.413        | 1                 | 75.00   | 20' DIA. X 14-1/2" TALL LED LUMINAIRE SILVER REFLECTOR AND DIRECTIONAL CLEAR LENS                                               |
| △      | B     | 4        | ARCHITECTURAL AREA LIGHTING | UOH-T4-32LED-4K-165-200       | 32 2198 DIODES, 4200K | 1               | H2-T4-32LED-4K-165-200.0LX | 4456.834        | 1                 | 74.3    | DIE-CAST ALUMINUM BALLAST HOUSING AND LENS FRAME, SPIN ALUMINUM HOOD, CONSISTING OF LED DECK, HOUSING SIDE SHEED.               |
| ○      | C     | 5        | ARCHITECTURAL AREA LIGHTING | UOH-1000-1000-T2-32LED-4K-450 | 32 2198 DIODES, 4200K | 1               | UOH-T2-32LED-4K-450.0LX    | 3947.784        | 1                 | 40      | 20' DIA. X 14-1/2" TALL LED LUMINAIRE CAST ALUMINUM HOUSING, ARRAY CONSISTING OF DIODES, OPTICS, HEATSINKS AND CARTRIDGE PLATE. |

| Statistics   |        |        |        |        |         |         |         |
|--------------|--------|--------|--------|--------|---------|---------|---------|
| Description  | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min | Avg/Max |
| Overall Site | +      | 0.4 fc | 7.7 fc | 0.0 fc | N/A     | N/A     | 0.1:1   |
| Parking Lot  | □      | 1.9 fc | 4.9 fc | 0.4 fc | 12.3:1  | 4.8:1   | 0.4:1   |
| Roadway      | ◁      | 1.6 fc | 4.1 fc | 0.2 fc | 20.5:1  | 8.0:1   | 0.4:1   |

RECEIVED  
Planning Office

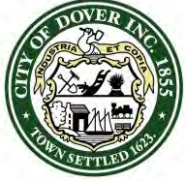
MAY 11 2015

Dover, New Hampshire



Designer  
SAJ  
Date  
5/8/2015  
Scale  
Not to Scale  
Drawing No.  
E0  
Summary

1 of 1



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P13-38A

Application Type: Conditional Use Permit  
Applicant: STF Development  
Owner: STF Development  
Location: 72 Durham Road/Clancy Drive (Assessor's Map I, Lot 12)

**INTENT:** To obtain a Conditional Use Permit for an after the fact encroachment within the 50-foot wetlands buffer caused by the construction of a stone wall. The total buffer impact is 169 square feet.

**LOTS/UNITS PROPOSED:** None

**AGENDA ITEM #:** 4-I

**ACREAGE:** 4.71 Acres

**ZONING DISTRICT:** Suburban Density Multi-Residential (RM-SU)

**EXISTING LAND USE:**  
Multi-family units

**PROPOSED LAND USE:** Multi-family units

**SURROUNDING LAND USE:** Multi-family residential, single-family residential and high school

**ZBA ACTION:** None

**ATTACHMENTS:** Conditional Use plan and application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters and by first class mail to condominium owners for this meeting

**PERMITS REQUIRED:**

- City of Dover Conditional Use Permit

**WAIVERS REQUESTED:** None

**Summary of Request and Background**

The applicant has submitted a plan for an after the fact impact to the 50-foot wetlands buffer for the construction of a stone wall.

The applicant submitted a letter dated May 4, 2015 that explains the issue with the stone wall as constructed and proposes some corrections. The applicant met with the Conservation Commission on May 11, 2015 (see enclosed minutes). The Commission endorsed the Conditional Use Permit with the condition that a level spreader lip be added at the edge of the rip rap.

**Consistency with Land Use Regulations**

The Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and wetland buffers if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This plan is consistent with those standards.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board approve the application with the following conditions:

1. The applicant shall revise the plan to add a lip at the edge of the level spreader proposed.
2. The applicant shall complete the proposed reinforcement of the stone wall, install a gutter to the south side of the roof and install the level spreader, as specified in the May 4, 2015 letter, no later than August 26, 2015. This work shall be performed to the satisfaction of the City Engineer.



**City of Dover, New Hampshire**  
**CONDITIONAL USE PERMIT APPLICATION**

[Revision Date: February 19, 2014]

Office Use Only

Project #:

P13-38A

Date Received:

MAY 04 2015

Amount Paid:

\$392.00

Time Received:

Dover, New Hampshire

**APPLICANT AND OWNER INFORMATION**

Name of Applicant: STF DEVELOPMENT LLC Telephone # 742-2121

Address of Applicant: 242 CENTRAL AVE, DOVER, NH 03820

E-Mail Address: \_\_\_\_\_

Name of Property Owner (if different from applicant): SAME Telephone # \_\_\_\_\_

Address of Property Owner: \_\_\_\_\_

**PROPERTY INFORMATION**

Assessor's Map # I Lot(s) # 12

Address of Property: 72 DURHAM ROAD

Zoning District(s) RM-SU Overlay District(s) WETLANDS

Existing Use of Property: RESIDENTIAL

**CONDITIONAL USE PERMIT INFORMATION**

**Type of Conditional Use Permit (Check All That Apply):**

- |                                                           |                                                         |                                            |
|-----------------------------------------------------------|---------------------------------------------------------|--------------------------------------------|
| <input checked="" type="checkbox"/> Conservation District | <input type="checkbox"/> RCM Use Overlay District       | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection           | <input type="checkbox"/> Off-Street Parking and Loading |                                            |
| <input type="checkbox"/> Wetland Protection District      | <input type="checkbox"/> Central Business District      |                                            |

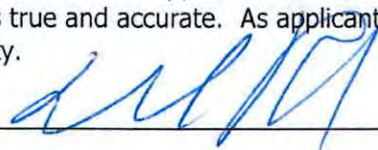
Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

RETAIN THE USE OF AN EXISTING STONE WALL AS A RETAINING FEATURE  
ON SITE, WITH A TOTAL IMPACT OF 169 Sq.Ft.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: N/A

Name of Professional That Prepared Plans: BERRY SURVEYING & ENGINEERINGAddress 335 SECOND CROWN POINT ROAD Telephone #: 603-332-2863  
BARRINGTON, NH 03820Professional License #: KEN BERRY PE 14243 E-mail address: CRBERRY@METROCAST.NET  
LLS 805**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

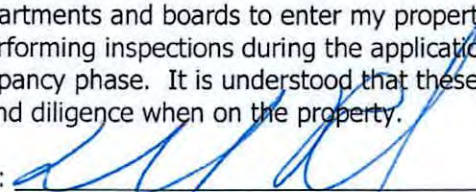
Signature of Property Owner:  Date: 5/4/15

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: \_\_\_\_\_ Date: \_\_\_\_\_

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 5/4/15



## **BERRY SURVEYING & ENGINEERING**

335 Second Crown Point Road  
Barrington, NH 03825  
Phone: (603) 332-2863  
Fax: (603) 335-4623  
[www.BerrySurveying.Com](http://www.BerrySurveying.Com)

City of Dover Planning Board  
Attn: Director Parker  
288 Central Ave  
Dover, NH 03820

May 4, 2015

RE: Conditional Use Permit  
169 SF to Retain Existing Wall

Director Parker & Members of the Dover, Planning Board,

STF Development has constructed the Multi-family site plan which was approved by the Dover Planning Board located at 72 Durham Road. During the As-built Process it was discovered that the rubble masonry wall built at the rear of Units #21-#29 is located within the fifty foot wetlands buffer in two small locations and is only 30" at its highest location. The original plan showed a wall along the buffer and a conditional use permit was granted to allow temporary construction to build the proposed wall.

### ***Safety:***

Since the wall was built, at the request of the engineering department, we have had our structural engineer review the wall construction. In many places the top stone needed to be reset to keep them from moving. Additionally it is recommended that smaller stones be placed in the voids and grouted in place, a practice known as "chinking" to reduce any potential for movement in the wall. These smaller stones, grouted in place will also serve to hold the top stones in place. Upon approval of the CUP the applicant is prepared to undertake this work.

### ***Impact:***

Though the wall itself is within the buffer, it causes no additional impacts. The buffer is an over grown field, and the area retained by the wall is either loamed and seeded or has erosion stone in place. No additional buildings or buildable land is created by the retention of the wall within the buffer, and does not serve to promote any un-permitted activities within the buffer.

### ***Drainage:***

The wall currently has materials migrating through the wall due to water discharging from the roof. Though the intent of the drainage design was to have this water discharge in this fashion, migration of silt was not intended. To mitigate this migration through the wall, a gutter will be added to the building to remove storm flow. The gutters will discharge in two locations; one side to the existing stone lined level spreader, and the other side to a rip-rap splash pad outside the buffer which will need to be constructed. Since the existing impervious surface was accounted for in the original drainage calculations, the re-direction to the flow to stabilized discharge points does not change any of the assumption made and thus the flows and volumes remain constant. As stated above the wall will have the face mortared to stop any further migration of materials.

**Nutrient Load:**

There is no additional nutrient load proposed by leaving the wall intact and in place. No additional impervious surface is proposed due to this wall placement, and the additional retained area is proposed to be lawn or erosion stone. No heavy fertilizers are proposed in this area, and there is no proposed irrigation system.

**Restoration:**

Removing this wall and replacing it with the materials shown on the plan in the location provided on the plan will create more disturbance than currently proposed. The existing site is stable and has vegetation growing. If machines are required to re-set the top stones, mats will be used to remove the ground disturbance from the activity. If total reconstruction of the wall were required, if the CUP were denied, a larger earth removing activity would be required with trucking, larger machinery, and sediment and erosion controls would be required to be installed.

We thank you for your time and consideration on this application. We hope you look favorably upon this request.

Berry Surveying & Engineering

Christopher R. Berry President

**BERRY SURVEYING & ENGINEERING**

335 Second Crown Pt. Rd., Barrington, NH 03825

(603) 332-2863 / (603) 335-4623 FAX

[www.BerrySurveying.Com](http://www.BerrySurveying.Com)

FILE NO. : DB 2013-039



## **BERRY SURVEYING & ENGINEERING**

335 Second Crown Point Road  
Barrington, NH 03825  
Phone: (603) 332-2863  
Fax: (603) 335-4623  
[www.BerrySurveying.Com](http://www.BerrySurveying.Com)

May 4, 2015

### **Abutters List**

#### **Owner of Record**

Tax Map I, Lot 0012

STF Development  
242 Central Ave.  
Dover, NH 03820  
Book 4186, Page 859

#### **Abutters**

Tax Map I, Lot 0011

Taylor, Rita  
P O Box 243  
Dover, NH 03821-0243  
Book 3823, Page 289

Tax Map I, Lot 0009 B

The Garrison Condos  
95 Brewery Ln #10  
Portsmouth, NH 03801

Tax Map I, Lot 0055

Holgate Limited Partnership  
130 Central Ave  
Dover, NH 03820  
Book 1689, Page 16

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MAY 04 2015

Dover, New Hampshire

Tax Map I, Lot 0013

Catalfo Family Rev Trust  
Catalfo, Alfred W & Jane A Trustees  
82 Durham Rd  
Dover, NH 03820  
Book 3163, Page 253

Tax Map I, Lot 0013 A

Catalfo Family Rev Trust  
Catalfo, Alfred W and Jane A Trustees  
82 Durham Rd  
Dover, NH 03820  
Book 3163, Page 251

Tax Map I, Lot 0007 A

Holgate Limited Partnership  
130 Central Ave  
Dover, NH 03820  
Book 1689, Page 15

Tax Map H, Lot 0008 B

O'Brien, Paul & Brooks, Courtney Co-Trustee  
O'Brien Paul family Irrevocable Trust  
81 Durham Rd  
Dover, NH 03820  
Book 4244, Page 611

### **Professionals**

Christopher R. Berry  
David A. Berry, P.E., LLS  
Berry Surveying & Engineering  
335 Second Crown Point Road  
Barrington, NH 03825

Damon E. Burt, CWS, CPESC  
Fraggle Rock Environmental  
38 Garland Road  
Strafford, NH 03884



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May 4, 2015

Abutter's List  
First Class within 200'

### **Owner of Record**

Tax Map I, Lot 0012

STF Development  
242 Central Ave.  
Dover, NH 03820  
Book 4186, Page 859

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Planning Office

MAY 04 2015

Dover, New Hampshire

### **Abutters**

Tax Map I, Lot 0009 B1

Laipis, Athena Trustee  
Laipis Athena Trust  
306 NW 28<sup>th</sup> Street  
Gaineville, FL 32607  
Book 1725, Page 72

Tax Map I, Lot 0009 B2

Chaffee, Pamela J. Trustee  
Chaffee Pamela J. Revocable Trust of 2010  
8 Mulligan Drive  
Dover, NH 03820  
Book 4192, Page 220

Tax Map I, Lot 0009 B3

Richardson, Heidemarie  
3 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3621, Page 342

Tax Map I, Lot 0009 B4

Hanson, Pauline M  
Nollet, David P  
4 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2333, Page 80

Tax Map I, Lot 0009 B5

Bellavita, Giuseppe E  
5 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2774, Page 536

Tax Map I, Lot 0009 B6

Kelly, Karen M  
6 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3676, Page 823

Tax Map I, Lot 0009 B7

Sylvester, Robert D Jr & Elaine P  
7 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4027, Page 84

Tax Map I, Lot 0009 B8

White, Robert J Sr, & Susan K  
8 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2903, Page 300

Tax Map I, Lot 0009 B9

Allaire, Eric J Y & Mara  
9 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4120, Page 979



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Tax Map I, Lot 0009 B10

Tuttle, Robin M  
10 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3713, Page 342

Tax Map I, Lot 0009 B11

Laudenbach, Karl H & Colleen M  
11 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 1772, Page 307

Tax Map I, Lot 0009 B12

Cannizzaro, Carla  
12 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3944, Page 949

Tax Map I, Lot 0009 B13

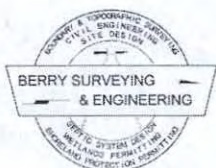
Shackford, Steven A  
13 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3674, Page 628

Tax Map I, Lot 0009 B14

Juneau-Kurylak, Louise I  
14 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2994, Page 622

Tax Map I, Lot 0009 B15

Lopez, Norah  
15 The Garrison at 56 Durham Rd  
Dover, NH 03830  
Book 2353, Page 258



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Tax Map I, Lot 0009 B16

Tucker, Anne E Trustee  
Tucker, Anne E Rev Trust  
16 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3598, Page 986

Tax Map I, Lot 0009 B17

Rose, Peter M  
17 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3013, Page 413

Tax Map I, Lot 0009 B18

Leonard, Nancy K Trustee  
Leonard Nancy Rev Trust 1989  
18 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2042, Page 346

Tax Map I, Lot 0009 B19

Hanna, Edward W. & Delores Trustees  
Hanna Edward w. Revocable Trust  
19 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4220, Page 771

Tax Map I, Lot 0009 B20

Camire, Graham D  
20 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3548, Page 754

Tax Map I, Lot 0009 B21

Paolini, Robert  
21 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4004, Page 602



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Tax Map I, Lot 0009 B22

Ouellette, Linda R &  
Sevigny, Robert E  
P O Box 929  
Portsmouth, NH 03802  
Book 3186, Page 594

Tax Map I, Lot 0009 B23

Hoover, Coeli Marie  
23 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4065, Page 259

Tax Map I, Lot 0009 B24

Walker, Diane Lynn  
C/O Edna Soucy  
24 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2206, Page 800

Tax Map I, Lot 0009 B25

Towle, Alice D  
Towle, Leslie E  
220 Dover Point Rd  
Dover, NH 03820  
Book 1109, Page 357

Tax Map I, Lot 0009 B26

Southworth, Thomas L  
26 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 1177, Page 286

Tax Map I, Lot 0009 B27

Darwish, Tarik K  
Darwish ISA % Garrison City Management  
7 Hanson Street  
Dover, NH 03820  
Book 1079, Page 66



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Tax Map I, Lot 0009 B28

Hersman, Marie J Trustee  
Hersman Marie Revocable Trust  
28 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3805, Page 251

Tax Map I, Lot 0009 B29

Trefethen, Leah E  
29 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 1935, Page 685

Tax Map I, Lot 0009 B30

Cundiff, Amy S  
30 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3997, Page 250

Tax Map I, Lot 0009 B31

Colburn, Lucinda O Trustee  
Colburn Lucinda O Rev Liv Trust  
165 Dana Mill Rd  
Woolwich, ME 04579-4317  
Book 3511, Page 955

Tax Map I, Lot 0009 B32

Estee, Linda G Rev Liv Trust  
Estee Linda G Trustee  
32 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2665, Page 785

Tax Map I, Lot 0009 B33

Foy, Briana L  
95 Sherborne Road  
Barrington, NH 03825  
Book 3759, Page 847



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Tax Map I, Lot 0009 B34

Hodgdon, David G  
34 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4047, Page 515

Tax Map I, Lot 0009 B35

Fisher, Joan S C  
35 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 1847, Page 790

Tax Map I, Lot 0009 B36

Metcalf, Clifford A. Jr.  
36 The Garrison At 56 Durham Road  
Dover, NH 03820  
Book 4216, Page 925

Tax Map I, Lot 0009 B37

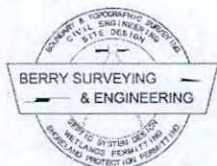
Wright, Zebulon C  
37 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3085, Page 455

Tax Map I, Lot 0009 B38

Hannigan, Karyn & Benn, Jennifer L  
38 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3256, Page 806

Tax Map I, Lot 0009 B39

Grauberger, Lars  
1114 South Cottage Road  
Independence, MO 64050  
Book 4252, Page 504



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Tax Map I, Lot 0009 B40

Offenbach, William Trustee  
Offenbach Rev Liv Trust  
40 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3798, Page 212

Tax Map I, Lot 0009 B41

Adler, Joy Drakos Trustee  
Adler Joy Drakos Rev Trust  
41 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3916, Page 536

Tax Map I, Lot 0009 B42

Allaire, Daniel D & Barnes Allaire Kara E  
42 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4123, Page 397

Tax Map I, Lot 0009 B43

Turner, Gregory  
151 Back Canaan Road  
Strafford, NH 03884-6603  
Page 3962, Page 488

Tax Map I, Lot 0009 B44

Parrillo, Robert & Kim A  
50 Pheasant Lane  
Hampstead, NH 03841  
Book 3666, Page 528

Tax Map I, Lot 0009 B45

Sudduth, Gail R.  
27 Stratham Green  
Stratham, NH 03885  
Book 4233, Page 233



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Tax Map I, Lot 0009 B46

Burton, Richard J & Sandra  
46 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3022, Page 88

Tax Map I, Lot 0009 B47

Courtemanche, Charlene B  
47 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 1830, Page 187

Tax Map I, Lot 0009 B48

Burton, Wayne M & Elizabeth M Trustess  
Burton Family Revocable Trust of 2012  
106 Madbury Rd  
Durham, NH 03824  
Book 4212, Page 289

Tax Map I, Lot 0009 B49

Lindsay Verl H. & Linda S.  
49 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4222, Page 160

Tax Map I, Lot 0009 B50

Leenester, Joanne Pritchard  
50 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 1198, Page 493

Tax Map I, Lot 0009 B51

Adzima, Christopher M  
2121 6<sup>th</sup> Ave. #n1304  
Seattle, WA 98121  
Book 3494, Page 623



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Tax Map I, Lot 0009 B52

Garland, Jeremy  
52 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3922, Page 392

Tax Map I, Lot 0009 B53

Wilson, Mark C & Deborah L  
3 Ashbrook Rd  
Exeter, NH 03833  
Book 2532, Page 580

Tax Map I, Lot 0009 B54

Rhuda, Elizabeth A  
54 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4018, Page 790

Tax Map I, Lot 0009 B55

Hadley, Tedd E II  
55 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 3442, Page 346

Tax Map I, Lot 0009 B56

Manning, Bruce L.  
56 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4228, Page 377

Tax Map I, Lot 0009 B57

Remig, Anita E. Trustee  
Remig Anita E. Revocable trust of 2001  
57 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4225, Page 474



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Tax Map I, Lot 0009 B58

Ellis, Michelle S & Eileen R  
58 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2998, Page 465

Tax Map I, Lot 0009 B59

Holt, Bradley G  
59 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 1783, Page 459

Tax Map I, Lot 0009 B60

Layton, Michael F & Plante, Meghan A  
4 Woodland Road  
Dover, NH 03820  
Book 3093, Page 623

Tax Map I, Lot 0009 B61

Pettiford, Louise M  
61 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 2925, Page 594

Tax Map I, Lot 0009 B62

Feduk, Karen  
62 The Garrison at 56 Durham Rd  
Dover, NH 03820  
Book 4159, Page 940

Tax Map I, Lot 0010

James, Martin C & Lisa J  
64 Durham Road  
Dover, NH 03820-4381  
Book 2250 Page 693



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Tax Map H, Lot 0008 B

O'Brien, Paul & Brooks, Courtney Co-Trustee  
O'Brien Paul family Irrevocable Trust  
81 Durham Rd  
Dover, NH 03820  
Book 4244, Page 611

Tax Map H, Lot 0008A

Edgecomb, Terrance C & Laurie A  
69 Durham Rd #8  
Dover, NH 03820  
Book 2677, Page 521

Tax Map H, Lot 0007

Keating, James F &  
Hall, Kathleen A  
113 Court Street  
Dover, NH 03820  
Book 3564, Page 925

Tax Map H, Lot 0007A

Keating, James F  
97 Durham Road  
Dover, NH 03820  
Book 3564, Page 928

### **Professionals**

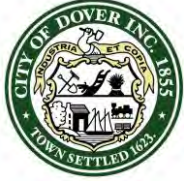
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**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-28

Application Type: Minor Lot Line Adjustment  
Applicant(s): McEneaney Survey Associates  
Owner(s): Daniel W. Ayer Revocable Agreement of Trust and Anthony P. Ayer  
Location: Back Road and 47 McKone Lane (Assessor's Map N, Lots 19 and 19-5)

**INTENT:** To adjust the lot lines between two existing lots on Back Road and McKone Lane. 0.36 acres would be transferred from lot 19 to lot 19-5.

**LOTS/UNITS PROPOSED:** None

**AGENDA ITEM #:** 4-J

**ACREAGE:** 18.34 Acres

**ZONING DISTRICT:** Rural Residential District (R-40)

**EXISTING LAND USE:** One single family house and one vacant lot

**PROPOSED LAND USE:** One single family house and one vacant lot

**SURROUNDING LAND USE:** Single-family residential

**ZBA ACTION:** None

**ATTACHMENTS:** Lot line adjustment plan and application

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters

**PERMITS REQUIRED:** None

**WAIVERS REQUESTED:** None

### Summary of Request and Background

The applicant wants to reconfigure the lot lines between two existing lots. There is no change in the number of lots.

### Consistency with Land Use Regulations

Chapter 155-18 of the Land Subdivision Regulations of the City Code provides for the adjustment of existing lot lines between two or more lots. This plan is consistent with those regulations.

### STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the lot line adjustment plat with the following conditions:

#### Conditions to Be Met Prior to Signing of Plans:

1. The owners' signatures shall be added to the final plat submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall revise the plat to add the Planning File number P15-28 to the title block.



**City of Dover, New Hampshire**  
**MINOR LOT LINE ADJUSTMENT APPLICATION**

[Revised Date: February 12, 2013]  
RECEIVED  
Planning Office

|                 |                              |                                            |
|-----------------|------------------------------|--------------------------------------------|
| Office Use Only | Project #: <u>P15-28</u>     | Date Received: <u>MAY 11 2015</u>          |
|                 | Amount Paid: <u>\$522.00</u> | Time Received: <u>Dover, New Hampshire</u> |

**APPLICANT INFORMATION**

Name of Applicant: McENEANEY SURVEY ASSOCIATES Telephone # 742-0911

Address of Applicant: 24 CHESTNUT ST. DOVER NH 03820

**FIRST PROPERTY OWNER AND PARCEL INFORMATION** DANIEL W. AYER REVOCABLE AGREEMENT OF TRUST

Name of 1<sup>st</sup> Property Owner (if different from applicant): \_\_\_\_\_ Telephone # \_\_\_\_\_

Address of 1<sup>st</sup> Property Owner: 100 MCKONE LN #A DOVER NH 03820

Address of Property: MCKONE LANE E BACK RD

Assessor's Map # N Lot(s) # 19

Property Deed: Book 2665 Page: 736  
2645 472

Zoning District(s) R-40 Overlay District(s) CONSERVATION DISTRICT

Size of Existing Parcel (sq. ft.): 757,044 SF Size of Proposed Parcel (sq. ft.): 741,392 SF

**SECOND PROPERTY OWNER AND PARCEL INFORMATION**

Name of 2<sup>nd</sup> Property Owner (if different from applicant): ANTHONY P. AYER Telephone # \_\_\_\_\_

Address of 2<sup>nd</sup> Property Owner: 47 MCKONE LN DOVER NH 03820

Address of Property: 47 MCKONE LN

Assessor's Map # N Lot(s) # 19-5

Property Deed: Book 3670 Page: 834

Zoning District(s) R-40 Overlay District(s) CON

Size of Existing Parcel (sq. ft.): 41,989 SF Size of Proposed Parcel (sq. ft.): 57,641 SF

**[Use additional application form if more than two lots are being adjusted]**

**SURVEYOR INFORMATION**

Name of Surveyor and Company (Licensed in N.H.) KEVIN MCENEANEY  
MCENEANEY SURVEY ASSOCIATES

Address 24 CHESTNUT ST. DOVER NH 03820 Telephone #: 742-0911

Professional License #: 661 E-mail address: KEVIN@SURVEYNH.COM

**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of First Property Owner: Daniel M. Ayer Date: 3/18/15

Signature of Second Property Owner: MT P. Cyr Date: 03/18/15

Signature of Applicant (if different from owner): Kew Mc Coy Date: 5/6/15

Signature of Agent: Kew Mc Coy Date: 5/6/15

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Daniel M. Ayer Date: 3/18/15

**APPLICANTS****AYER LOT LINE ADJUSTMENT 5/7/15**

|          |                                                   |                     |                      |            |
|----------|---------------------------------------------------|---------------------|----------------------|------------|
| N / 19-5 | ANTHONY P. AYER                                   | 47 MCKONE LANE      | DOVER, NH 03820      | 3670 / 834 |
| N / 19   | DANIEL W. AYER, TRUSTEE DANIEL W. AYER REV. TRUST | 100 MCKONE LANE # A | DOVER, NH 03820-3852 | 2665 / 736 |

**ABUTTERS**

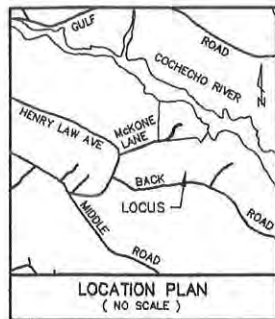
|           |                                                                                   |                      |                      |            |
|-----------|-----------------------------------------------------------------------------------|----------------------|----------------------|------------|
| N / 18    | DANIEL & JACQUELINE AYER REVOCABLE TRUSTS<br>DANIEL AND JACQUELINE AYER, TRUSTEES | 100 MCKONE LANE # A  | DOVER, NH 03820-3852 | 2665 / 744 |
| N / 18-2  | DANIEL & JACQUELINE AYER REVOCABLE TRUSTS<br>DANIEL AND JACQUELINE AYER, TRUSTEES | 100 MCKONE LANE # A  | DOVER, NH 03820-3852 | 2950 / 946 |
| N / 18-4  | DANIEL & JACQUELINE AYER REVOCABLE TRUSTS<br>DANIEL AND JACQUELINE AYER, TRUSTEES | 100 MCKONE LANE # A  | DOVER, NH 03820-3852 | 2665 / 744 |
| N / 18-5  | DANIEL & JACQUELINE AYER REVOCABLE TRUSTS<br>DANIEL AND JACQUELINE AYER, TRUSTEES | 100 MCKONE LANE # A  | DOVER, NH 03820-3852 | 2665 / 744 |
| K / 1     | SUSAN J. ROUSSEAU PETER ROUSSEAU                                                  | 200 HENRY LAW AVENUE | DOVER, NH 03820      | 1139 / 797 |
| K / 1-    | MATTHEW P. SURINA JENNIFER L. SURINA                                              | 43 MCKONE LANE       | DOVER, NH 03820-3896 | 3948 / 744 |
| K / 1-A   | RAYMOND J. MARTINEAU JR., TRUSTEE<br>RAYMOND MARTINEAU JR. REVOCABLE TRUST        | P.O. Box 118         | DOVER, NH 03821      | 3514 / 847 |
| K / 1-B   | STATE OF NEW HAMPSHIRE FISH AND GAME DEPARTMENT                                   | 11 HAZEN DRIVE       | CONCORD, NH 03301    | 3690 / 671 |
| K / 6     | HELEN F. PRESTON, TRUSTEE HELEN PRESTON REV. TRUST                                | 130 MIDDLE ROAD      | DOVER, NH 03820      | 3766 / 610 |
| K / 6-A   | GARRISON CITY BROADCASTING % WTSN                                                 | P.O. Box 400         | DOVER, NH 03820      | 1096 / 79  |
| K / 6-C   | STEVEN M. BOURQUE DEBORAH A. BOURQUE                                              | 147 BACK ROAD        | DOVER, NH 03820      | 2345 / 295 |
| K / 6-D   | BEATRICE M. FOGG REGINALD H. FOGG                                                 | 143 BACK ROAD        | DOVER, NH 03820      | 790 / 187  |
| K / 6-E   | MICHAEL D. VACCARELLO MARIA A. NELSON                                             | 153 BACK ROAD        | DOVER, NH 03820      | 4236 / 974 |
| N / 8-B   | STATE OF NEW HAMPSHIRE FISH AND GAME DEPARTMENT                                   | 11 HAZEN DRIVE       | CONCORD, NH 03301    | 3887 / 774 |
| N / 8-2   | DAVID DELLA PENTA KAREN DELLA PENTA                                               | 32 WISTERIA DRIVE    | DOVER, NH 03820-5110 | 3169 / 175 |
| N / 8-3   | WISTERIA DRIVE HOMEOWNERS ASSOCIATION                                             | 9 PATRIOT DRIVE      | DOVER, NH 03820      | 4222 / 601 |
| N / 18-1  | STATE OF NEW HAMPSHIRE FISH AND GAME DEPARTMENT                                   | 11 HAZEN DRIVE       | CONCORD, NH 03301    | 3793 / 585 |
| N / 19OPN | FALCON DRIVE HOMEOWNER'S ASSOCIATION c/o JOHN J. ROSS                             | 18 FALCON DRIVE      | DOVER, NH 03820      | 3860 / 232 |
| N / 19-1  | JOEL A. BERNIER ALICA N. BERNIER                                                  | 12 FALCON DRIVE      | DOVER, NH 03820-5017 | 3470 / 719 |
| N / 19-2  | WILLIAM F. COOK SHACINA J. HERSEY                                                 | 18 FALCON DRIVE      | DOVER, NH 03820      | 4231 / 412 |
| N / 19-3  | CHASE H. FLANDERS JANINE E. TERRY                                                 | 26 FALCON DRIVE      | DOVER, NH 03820-5017 | 4223 / 861 |
| N / 19-4  | WILLIAM GOWELL JULIE GOWELL                                                       | 21 FALCON DRIVE      | DOVER, NH 03820      | 4272 / 79  |
| N / 19-A  | ELAINE M. THURSTON FRANK K. THURSTON                                              | 174 BACK ROAD        | DOVER, NH 03820      | 812 / 165  |
| N / 19-B  | RACHIT KASHYAP LINDSAY ELLISON KASHYAP                                            | 180 BACK ROAD        | DOVER, NH 03820      | 4266 / 311 |
| N / 19-C  | THOMAS J. VITKO SUZANNE M. VITKO                                                  | 186 BACK ROAD        | DOVER, NH 03820      | 2213 / 771 |
| N / 20-C  | LISA R. PAMPREEN FRANK X. PAMPREEN                                                | 202 BACK ROAD        | DOVER, NH 03820      | 2582 / 161 |
| N / 20-1  | MICHAEL J. MURPHY                                                                 | 26 MALLARD LANE      | DOVER, NH 03820      | 2778 / 123 |
| N / 20-2  | WENDY A. BENNETT WILLIAM D. BENNETT                                               | 34 MALLARD LANE      | DOVER, NH 03820-5016 | 3188 / 1   |
| N / 20-3  | GLC BUILDERS & DEVELOPERS LLC                                                     | 9 KINGS GRANT DRIVE  | ATKINSON, NH 03811   | 4080 / 452 |
| N / 21    | JACQUELINE AYER, TRUSTEE JACQUELINE AYER REV. TRUST                               | 100 MCKONE LANE # A  | DOVER, NH 03820-3852 | 2665 / 734 |
| N / 21-1  | JOHN E. HINKLEY DEBORAH A. HINKLEY                                                | 166 BACK ROAD        | DOVER, NH 03820-5004 | 3689 / 486 |
| N / 21-2  | EDWARD S. WINKLER ANNE-MARIE. WINKLER                                             | 152 BACK ROAD        | DOVER, NH 03820      | 4208 / 25  |

**SURVEYOR**

MCENEANEY SURVEY ASSOCIATES, INC.

24 CHESTNUT STREET

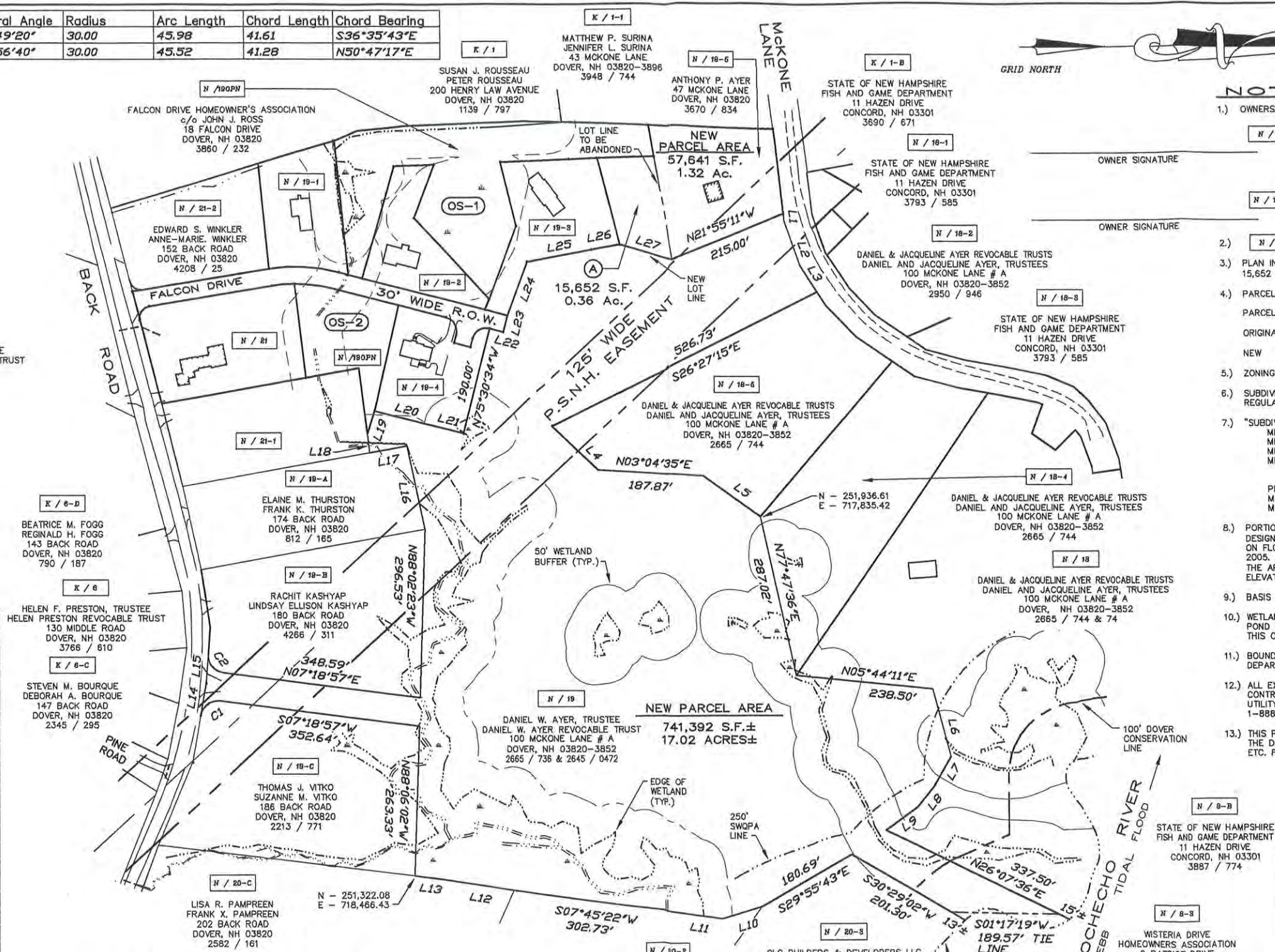
DOVER, NH 03820



### ABUTTERS

|                                                                                               |                                                                                                                          |
|-----------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|
| N / 18-1                                                                                      | N / 18-4                                                                                                                 |
| JOEL A. BERNIER<br>ALICE N. BERNIER<br>12 FALCON DRIVE<br>DOVER, NH 03820-5017<br>3470 / 719  | WILLIAM GOWELL<br>JULIE GOWELL<br>21 FALCON DRIVE<br>DOVER, NH 03820<br>4272 / 79                                        |
| N / 18-2                                                                                      | N / 21                                                                                                                   |
| WILLIAM F. COOK<br>SHACINA J. HERSEY<br>18 FALCON DRIVE<br>DOVER, NH 03820<br>4231 / 412      | JACQUELINE AYER, TRUSTEE<br>JACQUELINE AYER REVOCABLE TRUST<br>100 MCKONE LANE # A<br>DOVER, NH 03820-3852<br>2665 / 734 |
| N / 18-3                                                                                      | N / 21-1                                                                                                                 |
| CHASE H. FLANDERS<br>JANINE E. TERRY<br>26 FALCON DRIVE<br>DOVER, NH 03820-5017<br>4223 / 861 | JOHN E. HINKLEY<br>DEBORAH A. HINKLEY<br>166 BACK ROAD<br>DOVER, NH 03820-5004<br>3689 / 486                             |

| No. | Central Angle | Radius | Arc Length | Chord Length | Chord Bearing |
|-----|---------------|--------|------------|--------------|---------------|
| C1  | 87°49'20"     | 30.00  | 45.98      | 41.61        | S36°35'43"E   |
| C2  | 86°56'40"     | 30.00  | 45.52      | 41.28        | N50°47'17"E   |



### REFERENCE PLANS:

- OPEN SPACE SUBDIVISION FOR DANIEL & JACQUELINE AYER, TAX MAP N, LOTS 18, 19 AND 21, BACK ROAD & MCKONE LANE, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE. SCALE: 1" = 40'; DATED: DECEMBER 5, 2004, REV. THROUGH 2/26/2005; BY KEM LAND SURVEY, INC. RECORDED S.C.R.D. COVER SHEET: PLAN 80-38, OVERALL BOUNDARY PLAN: 80-39, OPEN SPACE LOT PLAN - PHASE 1: 80-40.
- LOT LINE ADJUSTMENT PLAN FOR 26 DOVER POINT, L.L.C. AND DANIEL W. AYER REV TRUST, TAX MAP N, LOTS 18 AND 19-3; BACK ROAD & FALCON DRIVE, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE. SCALE: 1" = 100'; DATED: SEPTEMBER 21, 2007, REV. TO 10/26/07; BY KEM LAND SURVEY, INC. RECORDED S.C.R.D. PLANS 95-51 & 95-52.
- LOT LINE ADJUSTMENT PLAN FOR JACQUELINE AYER REV TRUST AND DANIEL W. AYER REV TRUST, TAX MAP N, LOTS 18 AND 18-3, MCKONE LANE, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE. SCALE: 1" = 100'; DATED: DECEMBER 19, 2007; BY KEM LAND SURVEY, INC. RECORDED S.C.R.D. PLAN 93-92.
- MINOR SUBDIVISION OF LAND FOR JACQUELINE AYER REV TRUST AND, TAX MAP N, LOT 18, MCKONE LANE, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE. SCALE: 1" = 60'; DATED: OCTOBER 7, 2008, REVISED THROUGH 12/19/08; BY KEM LAND SURVEY, INC. RECORDED S.C.R.D. PLAN 96-52.
- LOT LINE ADJUSTMENT PLAN FOR JACQUELINE AYER REV TRUST AND DANIEL W. AYER REV TRUST, TAX MAP N, LOT 18, MCKONE LANE, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE. SCALE: 1" = 60'; DATED: NOVEMBER 30, 2009, REVISED THROUGH 2/20/10; BY KEM LAND SURVEY, INC. RECORDED S.C.R.D. PLAN 99-01.
- DETAIL LOT LINE ADJUSTMENT PLAN FOR MICHAEL PATENAUDE AND DANIEL W. AYER REV TRUST, TAX MAP N, LOTS 19 AND 19-4, BACK ROAD & FALCON DRIVE, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE. SCALE: 1" = 40'; DATED: MARCH 1, 2011; BY KEM LAND SURVEY, INC. RECORDED S.C.R.D. PLAN 101-73 & 101-74.

### LEGEND

- PROPERTY LINE
- 250' STATE SHORELAND PROTECTION LINE
- 100' DOVER CONSERVATION DISTRICT LINE
- EDGE OF WETLANDS / WATERLINE
- EASEMENT LINE
- SURVEY TIE LINE
- SETBACK / BUFFER LINE
- EDGE OF PAVEMENT / TRAVELED WAY
- WETLANDS
- UTILITY POLE
- TYPICAL
- S.F. - SQUARE FEET
- Ac. - ACRE
- S.C.R.D. - STRAFFORD COUNTY REGISTRY OF DEEDS
- SWQPA - SHORELAND WATER QUALITY PROTECTION ACT
- O.A. - OVERALL

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

### NOTES:

- OWNERS OF RECORD:
  - N / 18 DANIEL W. AYER REVOCABLE AGREEMENT OF TRUST, DANIEL W. AYER, TRUSTEE, 100 MCKONE LANE # A, DOVER, NEW HAMPSHIRE 03820-3852, S.C.R.D. VOL. 2665, PAGE 0736, S.C.R.D. VOL. 2645, PAGE 0472.
  - N / 18-6 ANTHONY P. AYER, 47 MCKONE LANE, DOVER, NEW HAMPSHIRE 03821, S.C.R.D. VOL. 3670, PAGE 834.
- N / 19 - DENOTES TAX MAP AND PARCEL NUMBER.
- PLAN INTENT: TO ADJUST THE LOT LINES AS SHOWN. PARCEL (A) 15,652 S.F. / 0.36 Ac. IS TO BE ADDED TO PARCEL N / 19-5.
- PARCEL AREAS:

| PARCEL:  | N / 18                     | N / 18-6               |
|----------|----------------------------|------------------------|
| ORIGINAL | 757,044 S.F.± / 17.38 Ac.± | 41,989 S.F. / 0.96 Ac. |
| NEW      | 741,392 S.F.± / 17.02 Ac.± | 57,641 S.F. / 1.32 Ac. |
- ZONING DISTRICT IS R-40.
- SUBDIVISION WAS CONSIDERED UNDER THE OPEN SPACE SUBDIVISION REGULATIONS.
- "SUBDIVISION WITH REDUCED SIZED HOUSE LOTS"

|                                           |               |
|-------------------------------------------|---------------|
| MINIMUM LOT SIZE                          | = 20,000 S.F. |
| MINIMUM FRONTAGE FOR LOTS                 | = 40 FEET     |
| MINIMUM BUFFER ALONG FRONTAGE             | = 100 FEET    |
| MINIMUM BUILDING SETBACKS FOR LOTS:       |               |
| ABUTTING A STREET                         | = 20 FEET     |
| ABUTTING A LOT                            | = 20 FEET     |
| PROPOSED STRUCTURE BUFFER DISTANCES:      |               |
| MINIMUM DISTANCE FROM EXISTING STRUCTURES | = 100 FEET    |
| MINIMUM DISTANCE FROM EXTERNAL BOUNDARIES | = 50 FEET     |
- PORTIONS OF THE SUBJECT PARCEL ARE LOCATED WITHIN A FEDERALLY DESIGNATED 1 PERCENT ANNUAL CHANCE FLOOD (100-YEAR FLOOD), AS SHOWN ON FLOOD INSURANCE RATE MAPS 33017C03300 & 33017C04300, MAY 17, 2005. THOSE AREAS LOCATED ALONG THE SHORELINE OF THE COCHECHO RIVER. THE AREAS OF 100-YEAR FLOOD ARE DESIGNATED AS ZONE "A"; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
- BASIS OF BEARING IS THE CITY OF DOVER G.I.S. SYSTEM.
- WETLANDS WERE DELINEATED BY DAVID ALLAIN, ROUND POND SOIL SURVEY, 217 POND HILL ROAD, BARRINGTON, NH THROUGH OCTOBER 2004, AND LOCATED BY THIS OFFICE.
- BOUNDARY INFORMATION IS TO BE PROVIDED THE CITY OF DOVER PLANNING DEPARTMENT IN A DIGITAL FORMAT UPON FINAL APPROVAL.
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
- THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

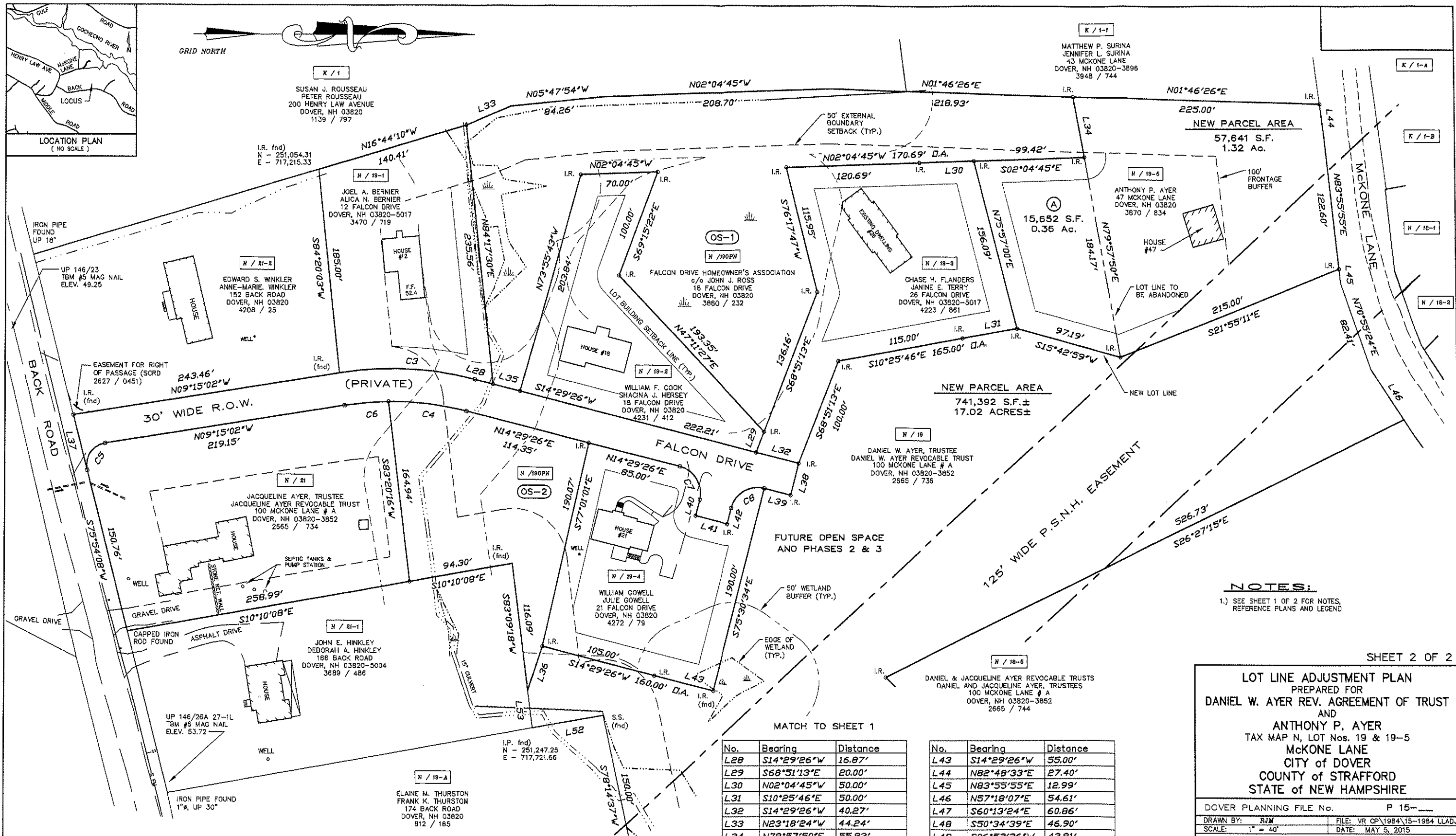
SHEET 1 OF 2

LOT LINE ADJUSTMENT PLAN  
PREPARED FOR  
DANIEL W. AYER REV. AGREEMENT OF TRUST  
AND  
ANTHONY P. AYER  
TAX MAP N, LOT Nos. 19 & 19-5  
MCKONE LANE, FALCON DRIVE & BACK ROAD  
CITY OF DOVER  
COUNTY OF STRAFFORD  
STATE OF NEW HAMPSHIRE

DOVER PLANNING FILE No. P 15-  
DRAWN BY: RJM FILE: VR CP\1984\15-1984 LLADJ  
SCALE: 1" = 100' DATE: MAY 5, 2015



**McNeaney Survey Associates, inc.**  
P.O. Box 681 - 24 CHESTNUT STREET  
DOVER, NH 03820 (603) 742-0911  
SURVEYING - PLANNING - CONSULTING



| NO.        | DATE | DESCRIPTION | BY                | CHK |
|------------|------|-------------|-------------------|-----|
| REVISIONS  |      |             |                   |     |
| 12-1984    |      | LL ADJ      | KEM               | -   |
| PROJECT NO |      | TYPE        | FIELDBOOK & PAGES |     |

| No. | Central Angle | Radius | Arc Length | Chord Length | Chord Bearing |
|-----|---------------|--------|------------|--------------|---------------|
| C3  | 23°44'28"     | 300.00 | 124.31     | 123.42       | S02°37'18"W   |
| C4  | 15°12'26"     | 270.00 | 71.66      | 71.45        | N06°53'13"E   |
| C5  | 94°50'50"     | 20.00  | 33.11      | 29.46        | N56°40'27"W   |
| C6  | 08°32'02"     | 270.00 | 40.21      | 40.18        | N04°59'01"W   |
| C7  | 90°00'00"     | 25.00  | 39.27      | 35.36        | N59°29'26"E   |
| C8  | 90°00'00"     | 25.00  | 39.27      | 35.36        | N30°30'34"W   |
| C9  | 87°49'20"     | 30.00  | 45.98      | 41.61        | S36°35'43"E   |
| C10 | 86°56'40"     | 30.00  | 45.52      | 41.28        | N50°47'17"E   |

| No. | Bearing     | Distance |
|-----|-------------|----------|
| L28 | S14°29'26"W | 16.87'   |
| L29 | S68°51'13"E | 20.00'   |
| L30 | N02°04'45"W | 50.00'   |
| L31 | S10°25'46"E | 50.00'   |
| L32 | S14°29'26"W | 40.27'   |
| L33 | N23°18'24"W | 44.24'   |
| L34 | N79°57'50"E | 55.83'   |
| L35 | S14°29'26"W | 25.00'   |
| L36 | S71°48'32"E | 42.16'   |
| L37 | S75°54'08"W | 51.88'   |
| L38 | S75°30'34"E | 30.00'   |
| L39 | S14°29'26"W | 25.00'   |
| L40 | S75°30'34"E | 15.00'   |
| L41 | N14°29'26"E | 30.00'   |
| L42 | N75°30'34"W | 15.00'   |

| No. | Bearing     | Distance |
|-----|-------------|----------|
| L43 | S14°29'26"W | 55.00'   |
| L44 | N82°48'33"E | 27.40'   |
| L45 | N83°55'55"E | 12.99'   |
| L46 | N57°18'07"E | 54.61'   |
| L47 | S60°13'24"E | 60.86'   |
| L48 | S50°34'39"E | 46.90'   |
| L49 | S06°52'26"W | 43.81'   |
| L50 | N80°30'23"W | 55.90'   |
| L51 | N85°44'23"W | 51.48'   |
| L52 | S10°19'49"E | 65.93'   |
| L53 | S83°09'18"W | 33.91'   |

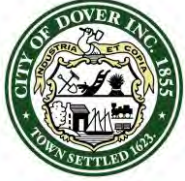
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NOTES:  
1.) SEE SHEET 1 OF 2 FOR NOTES, REFERENCE PLANS AND LEGEND

LOT LINE ADJUSTMENT PLAN  
PREPARED FOR  
DANIEL W. AYER REV. AGREEMENT OF TRUST  
AND  
ANTHONY P. AYER  
TAX MAP N, LOT Nos. 19 & 19-5  
MCKONE LANE  
CITY OF DOVER  
COUNTY OF STRAFFORD  
STATE OF NEW HAMPSHIRE

DOVER PLANNING FILE No. P 15-  
DRAWN BY: RJM FILE: VR CP\1984\15-1984 LLADJ  
SCALE: 1" = 40' DATE: MAY 5, 2015

P.O. Box 681 - 24 CHESTNUT STREET  
DOVER, NH 03820 (603) 742-0911  
SURVEYING - PLANNING - CONSULTING



**CITY OF DOVER**

## PLANNING BOARD - STAFF MEMO FILE #P15-26

|                   |                                                        |
|-------------------|--------------------------------------------------------|
| Application Type: | Conditional Use Permit for CBD Dimensional Regulations |
| Applicant:        | Michael O'Malley/7 Broadway LLC                        |
| Owner:            | Michael O'Malley/7 Broadway LLC                        |
| Location          | 7 Broadway (Assessor's Map 3, Lot 57)                  |

**INTENT:** To obtain a Conditional Use Permit to seek relief, per Chapter 170-20-B(1), to the Central Business District rear setback requirement to construct a stairway within 3 feet of the rear property line, where 10 feet is the minimum.

**LOTS/UNITS PROPOSED:** None

**AGENDA ITEM #:** 4-K

**ACREAGE:** 0.07 Acres

**ZONING DISTRICT:** Central Business District (CBD) - General

**EXISTING LAND USE:** Mixed commercial/residential building

**PROPOSED LAND USE:** Mixed commercial/residential building

**SURROUNDING LAND USE:** Multi-family residential, retail, office, commercial and fire station

**ZBA ACTION:** None

**ATTACHMENTS:** Conditional Use Permit application and map

**APPLICATION IS COMPLETE:** Yes

**NOTICES SENT:** Abutter notices were sent by certified mail to all abutters

**PERMITS REQUIRED:**

- City of Dover Conditional Use Permit

**WAIVERS REQUESTED:** None

**Summary of Request and Background**

The applicant has applied for a Conditional Use Permit for relief from the building setback of ten feet from the rear property line.

While the applicant did not specially address how the request complies with the applicable CUP standards in Chapter 170-20-B, most of the standards are not applicable because the addition is so small and is to the rear of the building. The existing building is already on the rear property line and the addition will be a minimum of three feet away from the line.

**Consistency with Land Use Regulations**

Chapter 170-20-B provides for conditional use approval for relief from the CBD standards if nine standards are complied with. In the General CBD, the building must be ten feet from the rear property line.

**STAFF RECOMMENDATION:**

The Planning Department recommends the Planning Board accept the application and approve the Conditional Use Permit with the following conditions:

**Conditions to Be Met Prior to the Issuance of the Conditional Use Permit:**

1. A formal agreement between the Planning Board and the applicant shall be prepared and recorded at the Strafford County Registry of Deeds.



**City of Dover, New Hampshire**  
**CONDITIONAL USE PERMIT APPLICATION**

[Revision Date: February 19, 2014]

|                 |              |                  |                |                             |
|-----------------|--------------|------------------|----------------|-----------------------------|
| Office Use Only | Project #:   | <u>P15-26</u>    | Date Received: | <u>MAY 11 2015</u>          |
|                 | Amount Paid: | <u>\$ 464.50</u> | Time Received: | <u>Dover, New Hampshire</u> |

**APPLICANT AND OWNER INFORMATION**

Name of Applicant: Michael O'Malley / 7 Broadway Telephone # 603 969 5672

Address of Applicant: 1 Shore Rd. Cape Neddick, ME 03902

E-Mail Address: michaelsccc@me.ne, rr. com

Name of Property Owner (if different from applicant): 7 Broadway Telephone # 603 969 5672

Address of Property Owner: \_\_\_\_\_

**PROPERTY INFORMATION**

Assessor's Map # 3 Lot(s) # 57

Address of Property: 7 broad way

Zoning District(s) CBD Overlay District(s) 57

Existing Use of Property: Commercial, retail space / 2 apartments

**CONDITIONAL USE PERMIT INFORMATION**

**Type of Conditional Use Permit (Check All That Apply):**

- |                                                      |                                                               |                                            |
|------------------------------------------------------|---------------------------------------------------------------|--------------------------------------------|
| <input type="checkbox"/> Conservation District       | <input type="checkbox"/> RCM Use Overlay District             | <input type="checkbox"/> I-1 District Uses |
| <input type="checkbox"/> Groundwater Protection      | <input type="checkbox"/> Off-Street Parking and Loading       |                                            |
| <input type="checkbox"/> Wetland Protection District | <input checked="" type="checkbox"/> Central Business District |                                            |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

I am seeking to construct the stairway within 3-4"  
of the rear of the lot line, where a minimum rear  
yard setback of 10ft. is required

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: \_\_\_\_\_

Name of Professional That Prepared Plans: \_\_\_\_\_

Address \_\_\_\_\_ Telephone #: \_\_\_\_\_

Professional License #: \_\_\_\_\_ E-mail address: \_\_\_\_\_

**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: Michael Malley Date: 4-27-15

Signature of Applicant (if different from owner): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Agent: \_\_\_\_\_ Date: \_\_\_\_\_

**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Michael Malley Date: 4-27-15

Property data updated May 7, 2015

### Subject Properties

03057-000000 7 BROADWAY

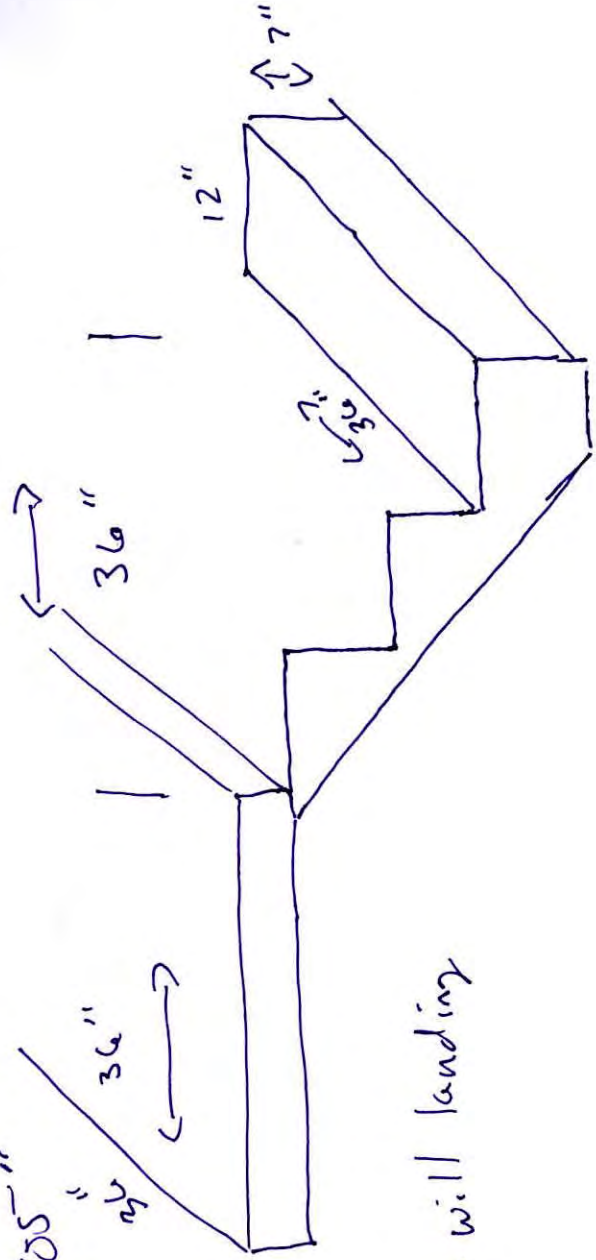
### Abutters

| ID                      | Owner Name                          | Owner Name2               | Owner Address            | Owner City         | Owner State   | Owner Zip            |
|-------------------------|-------------------------------------|---------------------------|--------------------------|--------------------|---------------|----------------------|
| 04003-000000            | RANDALL CLAYTON F LIVING REV        | RANDALL CLAYTON F TRUSTEE | 151 CLEMENT RD           | ROLLINSFORD        | NH            | 03869                |
| 03055-000000            | CITY OF DOVER                       |                           | 288 CENTRAL AVE          | DOVER              | NH            | 03820                |
| 04005-000000            | TRINKET REALTY LLC                  |                           | 519 CENTRAL AVE          | DOVER              | NH            | 03820                |
| 03054-000000            | MOREAU BERNICE TRUSTEE              | MOREAU ROBERT A REVOCABL  | 90 PORTLAND AVE          | DOVER              | NH            | 03820                |
| 03053-000000            | FSG3 PROPERTY GROUP LLC             |                           | 10 SUMMER DR             | DOVER              | NH            | 03820                |
| 03058-059000            | SULLIVAN JOHN W                     |                           | PO BOX 543               | HAMPTON            | NH            | 03843-054            |
| 04002-000000            | RANDALL CLAYTON F LIVING REV        | RANDALL CLAYTON F TRUSTEE | 151 CLEMENT RD           | ROLLINSFORD        | NH            | 03869                |
| 03057-000000            | 7 BROADWAY LLC                      |                           | PO BOX 22073             | PORTSMOUTH         | NH            | 03802                |
| 03056-000000            | CITY OF DOVER                       |                           | 288 CENTRAL AVE          | DOVER              | NH            | 03820                |
| 03042-000000            | BOLLARD PROPERTIES LLC              |                           | PO BOX 1818              | DOVER              | NH            | 03821                |
| 03062-000000            | ESPRESSO HOLDINGS LLC               |                           | 738 ISLINGTON ST         | PORTSMOUTH         | NH            | 03801                |
| 03061-000000            | GIRI DOVER LLC                      |                           | 1212 HANCOCK ST STE 200  | QUINCY             | MA            | 02169                |
| <del>03061-000000</del> | <del>SOJOURN PROPERTY MANAGEM</del> |                           | <del>750 EXETER RD</del> | <del>HAMPTON</del> | <del>NH</del> | <del>03842-102</del> |
| 03060-000000            | SOJOURN PROPERTY MANAGEM            |                           | 750 EXETER RD            | HAMPTON            | NH            | 03842                |
| 04001-000000            | DOVER DRUG                          |                           | 151 CLEMENT RD           | ROLLINSFORD        | NH            | 03869                |
| 04020-000000            | PAPAIONNOU SOTIRIOS & ALEXAI        | PAPAIONNOU ATHANASIOS ANE | 1 BIRCH DR               | SOUTH BERWICI      | ME            | 03908                |
| 04019-000000            | PAPAIANOANNOU ATHANASIOS &          | PAPAIANOANNOU SOTIRIOS    | 177 HENRY LAW AVENUE     | DOVER              | NH            | 03820-381            |
| 03045-000000            | COCHECO MILLS HOLDINGS LLC          |                           | 3 PENSTOCK WAY           | NEWMARKET          | NH            | 03857-441            |
| 03044-000000            | 8 CHAPEL STREET LLC                 |                           | PO BOX 241               | STRATHAM           | NH            | 03885-024            |
| 03050-000000            | PITTS MICHAEL &                     | PITTS TERI                | 58 ATKINSON ST           | DOVER              | NH            | 03820                |
| 03051-000000            | BARSTOW PETRA J &                   | BARSTOW CHRISTOPHER       | 528 DENNETT ST           | PORTSMOUTH         | NH            | 03801                |
| 03052-000000            | BRATTER MYLES S &                   | BRATTER ELIZABETH A       | 75 SPUR RD               | DOVER              | NH            | 03820                |
| 03049-000000            | ASH STREET REALTY TRUST             | BUCK STEPHEN M TRUSTEE    | 20 STONEGATE LN          | WOLFEBORO          | NH            | 03894                |

22 abutters

\* Total height 105"

Top

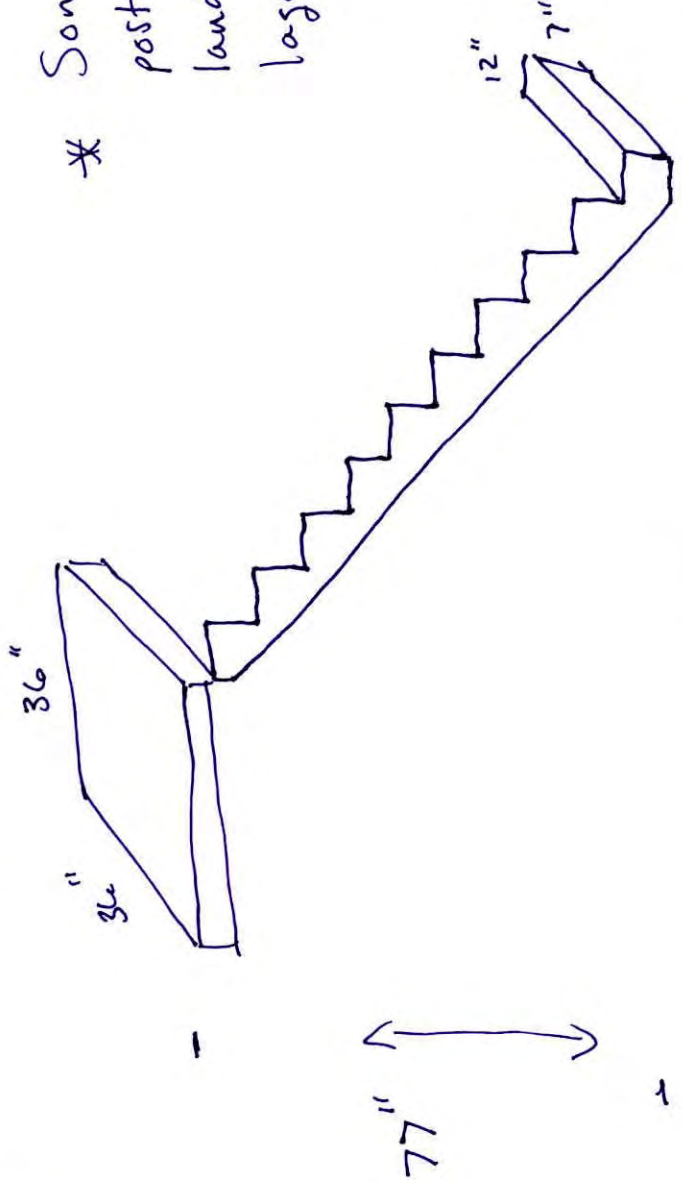


\* Total step will landing  
15.

\* 2nd landing Return  
3" off wall

\* Sono tubes with 3  
post on outside of  
landings. Landings will  
lagged into wall of building.

\* Bottom Return landing



77"

Brick Wall

see ATTACH Drawing

REAR LINE HELD  
EQUIDISTANT BETWEEN  
LOCUS STRUCTURE AND  
ABUTTING STRUCTURE

(34')

APPROXIMATE LOCATON OF  
FORMER GARAGE CALLED FOR  
IN EASEMENT DESCRIPTION  
LOCATION AS SHOWN BASED  
ON SANBORN FIRE INSURANCE  
MAP DATED 1888.

10' WIDE  
EASEMENT

PAVED

(88.00')

PAVED  
(88.00')

3-56  
DOVER FIRE  
DEPARTMENT  
NO DESCRIPTION  
FOUND FOR THIS  
PARCEL

3-57  
7 BROADWAY

3-58 & 59  
5 & 3 BROADWAY

3-60  
495 CENTRAL AVENUE

TAX MAP)

18.5' (9.42')

(59.65')

RNER HELD PER TAX MAP  
ES FOR THE FIRE HOUSE

ASSUMED STREET  
LINE PER DEED  
CALLS

NO DIMENSIONS ARE  
GIVEN FOR THIS PARCEL  
IN THE DEED (SCRD  
BOOK 2150, PAGE 700)

BROADWAY

CENTRAL AVENUE

