



CITY OF DOVER

DOVER PLANNING BOARD – AGENDA

Meeting Type: Regular Meeting
Meeting Location: Council Chambers – City Hall, 288 Central Avenue
Meeting Date: **Tuesday, September 22, 2015**
Meeting Time: **7:30 pm**

1. CITIZENS' FORUM

2. APPROVAL OF THE PRIOR MINUTES

- August 25, 2015 Regular Meeting Minutes.

3. OLD BUSINESS

4. NEW BUSINESS

- A. Consideration and acceptance of an Extension Request for a Site Review for Littleworth Road Solar, LLC (Owner: Bruce Caswell), Assessor's Map G, Lot 31, zoned I-2, located at 68 Littleworth Road. (Previously approved on August 26, 2014). *(P14-53A)
- B. Consideration and acceptance of a Minor Lot Line Adjustment for Mike Torr, (Owner: David G. Torr) Assessor's Map B, Lots 6D & 6G, zoned R-40, located at 62 County Farm Cross Road. *(P15-47)
- C. Consideration and acceptance of a Minor Subdivision of land for Christopher R. Berry, (Owner: Carl Thibodeau), Assessor's Map L, Lot 48M, zoned R-20, located at 8 Pineview Drive. (1 new lot) *(P15-48)
- D. Consideration and acceptance of a Site Plan Review for Gulf Landing Properties, LLC, Assessor's Map 38, Lot 9A-2, zoned B-3, located off of Central Avenue. (3,888 sq. ft. of office space on the first floor with 8 residential units above). *(P14-35)
- E. Consideration and acceptance of a Conditional Use Permit for River Valley Development Corporation (Owner: Gulf Landing Properties, LLC), Assessor's Map 38, Lot 9A-2, zoned B-3, located off of Central Avenue. (10,251 sq. ft. of disturbance to the 50 foot wetland buffer)* (P15-37)
- F. Consideration of City Council's Recommendations for Zoning Amendments.

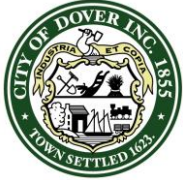
5. STAFF COMMENTS

6. MEMBER COMMENTS

7. ADJOURNMENT

*Indicates that if the application is accepted for discussion, the public hearing will be held the same evening, at which time any interested party may offer comment to the Planning Board. Persons with questions or wishing to see the plans are invited to visit the Planning Office, Monday through Thursday from 8:30 am to 5:30 pm and Friday 8:30 am to 4:00 pm.

You may also view materials at www.dover.nh.gov, a map showing project locations can be found at <http://www.dover.nh.gov/government/city-operations/planning/index>. Follow us on Twitter @DoverNHPlanning and find us on Facebook at <https://www.facebook.com/DoverNHPlanning>.



CITY OF DOVER

DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting
Meeting Location: McConnell Center, Room 306
61 Locust Street, Dover, NH 03820
Meeting Date: **Tuesday, August 25, 2015**
Meeting Time: **7:00 pm**

Members Present: Dennis Ciotti (Chair), Kirt Schuman (Vice Chair), William Garrison (Councilor), Frank Torr, Lee Skinner, Tom Clark, Dave White, Catherine Plante, Christopher Lawrence, Gina Cruikshank (Alternate), Maggie Fogarty (Alternate), Curtis J. Pratt (Alternate)

Members Not Present:

Staff Present: Christopher Parker (Assistant City Manager), Donna Pohli (Assistant City Planner), Tracy Smith (Recording Secretary)

The Chair called the meeting to order at 7:05 p.m.

1. CITIZENS' FORUM

Citizens Forum Open. Nobody Spoke. Citizens Forum Closed

2. APPROVAL OF THE PRIOR MINUTES

- July 28, 2015 Regular Meeting Minutes.

Motion: K.Schuman made a motion to approve the July 28, 2015 Regular Meeting Minutes. Seconded by B.Garrison. Vote U/A

3. OLD BUSINESS

- A. Consideration and possible vote of an Open Space Subdivision for MCL Builders and Developers, LLC (Owner: Mace Family Revocable Trust), Assessor's Map I, Lot 6-C, zoned R-12, located at 46 Back River Road. (Subdivide existing lot into 8 lots. The applicant is requesting three waivers). *(P15-05)

Motion: D.White made a motion to remove item 3.A from the table. Seconded by C.Lawrence. Vote U/A

The Chair introduced the new Planning Board member, Curtis Pratt.

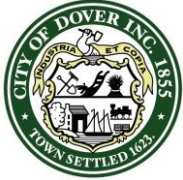
C.Parker gave an overview of the application and stated the applicant requested four waivers. The Planning Department is not in favor of the fourth waiver.

Bob Stowell, Trittech Engineering, represented the applicant, summarized the application process, and explained the reason for the fourth waiver to extend the City sewer from Back River Rd along the northerly boundary line to have gravity sewer to four homes, where the last two homes would have individual sewer pumps.

Public Hearing Reopened. Nobody Spoke. Public Hearing Closed.

C.Parker stated his concern with the amount of waivers needed for this project, particularly with the fourth waiver which does not comply with the rules pertaining to the Open Space Subdivision. He recommended the gas and sewer lines be relocated, and stated the sewer line would be moved anyway if they hit ledge in construction. He explained the Conventional Subdivision was a better layout for this project which he had supported, and the first two waivers would not have been needed if the Conventional Subdivision layout had been used.

STAFF RECOMMENDATION:



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The Planning Department recommends that the Planning Board approve the Open Space Subdivision with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The owner's signatures shall be added to the final plat submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall revise the plat to add the Planning File number P15-05 to the cover sheet and title block on all sheets.
4. The approval includes the granting of 3 of the waivers requested for the reasons stated by the applicant. The Board finds that the criteria of Chapter 155-51.A have been met for these 3.
5. The applicant shall revise the plat to include a 30 foot no cut/no disturb buffer per Chapter 155-36.F on the north and relocate the gas and sewer lines and eliminate the 20 foot sewer easement.
6. The applicant shall add the required public transit section to the standard traffic impact study to be approved by the Planning Department.
7. Applicant shall revise the plan to change "he tide" to "the tide" in note #17 on Sheet EX-1.
8. The applicant shall revise the plat to note 2 45° bends on watermain by hydrant, not 1 90°.
9. The applicant shall revise the plat to remove note 27 on Sheet S-1, and replace with an easement for future watermain connections to the North (map 16 lot 20) and South (map I lot 6) parcels. The easement should be in favor of the abutting parcels.
10. Applicant shall revise plan on Sheet S-2 to:
 - a. label the sight distance for the proposed road or add a detail and reference on plan sheet;
 - b. include a fire truck turning radius to the satisfaction of the Fire Department or add detail and reference on plan sheet;
 - c. label gravel in the connector road.
11. Applicant shall revise plan Sheet La-1 to state that trees in perimeter buffer must be 8 feet tall and include evergreen trees per 155-36-F and add the 4 "PS" trees shown on plan to the legend.
12. Applicant to fix gas line on the legend to match what is shown on the plan (fixing single line to double line).
13. Applicant shall revise the plan to turn the hydrant symbol as it is difficult to read on plans currently.
14. The applicant shall have the Stormwater Management Maintenance and Inspection Plan approved by the Community Services Department.
15. The applicant shall submit proposed Homeowner's Association Documents, addressing maintenance of the drainage infrastructure and utilities, the private road, open space ownership, access to the open space lot, and preservation of perimeter landscaping. These documents shall be reviewed by the Planning Department, with consultation by the City Attorney on compliance with conditions.

Conditions to Be Met Prior to Any Construction Activity:

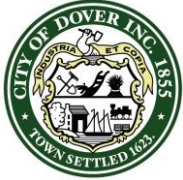
16. Construction hours shall be limited to Monday-Friday 7 AM-6 PM, with no Saturday or Sunday hours. Hours of construction shall be documented on a site construction sign along with the contact information for the general contractor. Said signage shall be located and approved by the City Engineer or Director of Planning and Community Development.

Conditions to Be Met Prior to Issuance of a Building Permit:

17. Any new building shall pay the current impact fees in place at the time of building permit application.
18. Any new building shall be assessed the current water/sewer investment fees in place at the time of application for water/sewer service.

Conditions to Be Met Prior to Issuance of a Certificate of Occupancy:

19. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.



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20. The applicant shall submit documentation that a Homeowner's Association has been formed.

L.Skinner stated his concern with the waiver for the street width and the problems that could develop with recreation vehicle parking, on street parking, and snow removal on narrow streets.

C.Plante requested clarification as why is it better to have more pumps than a sewer easement. C.Parker explained it's better to have access to the sewer than having it located in the yard with a no cut, no disturb rule. This will be a private road with a Homeowner Association. He recommended the gas and sewer line be relocated due to the area testing for ledge.

F.Torr stated his concern regarding tree removal. C.Parker stated there is a Forestry Management Plan in place for Open Space Subdivisions.

D.Ciotti stated he did not have a concern with the street width due to the road being private and recreation vehicle parking could be established. He expressed concern regarding the original design that was introduced, the lack of open space to be enjoyed by neighbors, and the applicant requesting four waivers.

L.Skinner stated the Open Space Subdivision process would create open space for the City with private land used for the benefit of local residents. He stated his concern with the process being used as it is intended.

B.Stowell reviewed the reasons for the Open Space Subdivision and the waivers.

Discussion ensued regarding concern for the destruction of the historical barn, the street width, and the voting options for the Planning Board.

Motion: D.White made a motion to approve subject to staff recommendations. Seconded by C.Plante. Vote: 7/2 (Opposed: C.Lawrence, L.Skinner)

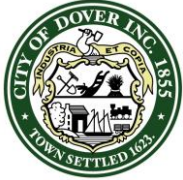
4. NEW BUSINESS

- A. Impact Fee Waiver Request for Riparia – One Hundred First Street, LLC, Assessor's Map 6, Lot 3, located at 100 First Street. (Waiver of Public Safety – Police Impact Fee in return for First Street lighting as per 170.23-F-1-c).

C.Parker gave overview of the Impact Fee Waiver Request and explained the reasons for when waivers are granted and the amount of the impact fee of \$14,000 in comparison to the amount of the lighting at \$32,000 to show the return on the investment for the City. He displayed the lighting plan to the Board members and stated the applicant verified the theme and decoration of the lights with the Planning Department. This does not have a public hearing.

Discussion ensued with the timing of the waiver, the location and amount of the lighting, what was required of the applicant in the conditions of approval, and the benefit to the community to have the continuity with the lighting theme. C.Parker stated the lights are already in place, and if the waiver request is denied, the applicant could remove the lights and submit an amendment to the site plan to remove the lights.

Discussion continued with regarding evaluating future projects with more detail and not rushing them through.



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Motion: K.Schuman made a motion to allow the applicant to speak. Seconded by C.Lawrence. Vote: 5-4 Passed

K.McEneaney, McEneaney Survey Associates, represented the applicant and stated the reason for the timing is because it was anticipated with the land development agreement because it is part of that agreement. He explained the benefits to the building, and the safety benefits to the public to have lighting on the North side. He further stated Buildings are being remodeled there and the guarantee of 5.1 million of taxable property. He clarified that the application is not receiving payment, but a credit in the amount of \$14,000 and stated the amounts of the fees the applicant has paid.

STAFF RECOMMENDATION:

The Planning Department recommends that after duly considering the merits of the waiver, the Planning Board should grant the waiver.

Motion: B.Garrison made a motion to grant the waiver. Seconded by T.Clark. Vote: 5-4 (Opposed: F.Torr, C.Plante, C.Lawrence, D.White)

- B. Consideration and acceptance of a Minor Lot Line Adjustment for George Maglaras (Owner: City of Dover), Assessor's Map 24, Lots 105 & 105A, zoned CWD, located at 20 & 22 Cocheco Street. *(P15-45)
- C. Consideration and acceptance of a Minor Lot Line Adjustment for George Maglaras, Assessor's Map 24, Lots 138 & 139, zoned CWD, located at 31 & 33 Cocheco Street. *(P15-46)

K.Schuman stated items 4.B and 4.C would be heard together.

C.Parker gave an overview of the applications and clarified no new lots are being created.

G.Maglaras explained the lot line adjustments are requested by the State Department of Environmental Services (DES) as it relates to a remedial action plan put together between the applicant, the Environmental Protection Agency (EPA), DES, and the Northeast Utilities (Eversource).

C.Plante requested clarification regarding the lot line adjustment with land owned by the City. G.Maglaras stated the DES requested to take a piece of impacted property the City owns to transfer to him in order to deal with one property owner with the remedial plan. Otherwise, the City of Dover would become a potential responsible party and would be subject to restraints with the use of the City's property.

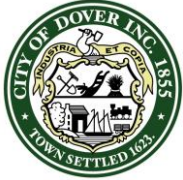
C.Parker explained the industrial history of the area and the EPA would rather have one property owner to deal with to clean up the property and the material on the site. There is an Activity/Use Restriction plan developed to clean up material on the site. He stated G.Maglaras approached the City administration to transfer property so Eversource can plan the cleanup.

C.Plante requested clarification of future development with the property. C.Parker explained the Activity/Use Restriction plan in place as it pertains to the needed pump station on the site.

D.Ciotti verified the location of the existing property line.

G.Maglaras explained the ongoing negotiation with EPA and DES began in 1981, and these adjustments are being made at their request.

C.Parker clarified the line style on the plans.



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Motion: K.Schuman made a motion to accept the applications for items 4.B and 4.C. Seconded by T.Clark. Vote: U/A

Public Hearing Opened. Nobody Spoke. Public Hearing Closed.

STAFF RECOMMENDATION: (P15-45)

The Planning Department recommends the Planning Board accept the application, hold the public hearing, and approve the application with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.
3. The applicant shall label the lot lines to be eliminated and show the lot line between lot 105 and Portion 24-105 to be eliminated.
4. The applicant shall revise the plat to add the zoning district boundary that runs along Portland Ave.
5. The applicant shall revise the plat to add the Planning File number P15-45 to the title block.
6. The applicant shall correct spelling to "Cochecho" in note 4 and when referencing the river.
7. The applicant shall revise the plan to correct note #8 to say Strafford County Registry of Deeds rather than Stratham Registry of Deeds.

Motion: K.Schuman made a motion to approve subject to staff recommendations. Seconded by F.Torr. Vote U/A

STAFF RECOMMENDATION: (P15-46)

The Planning Department recommends the Planning Board accept the application, hold the public hearing, and approve the application with the following conditions:

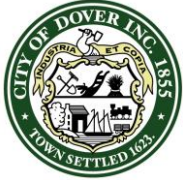
Conditions to Be Met Prior to Signing of Plans:

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.
3. The applicant shall revise the plat to add the zoning district boundary that runs along Portland Ave.
4. The applicant shall provide a second sheet to show the names and addresses of all abutters.
5. The applicant shall revise the plat to add the Planning File number P15-46 to the title block.
6. The applicant shall correct spelling to "Cochecho" in note 4 and when referencing the river.
7. The applicant shall remove the lot line between lot 105 and Portion 24-105.
8. The approval includes the granting of the waivers requested for the reasons stated by the applicant. The Board finds that the criteria of Chapter 155-51-A have been met.

Motion: F.Torr made a motion to approve subject to staff recommendations. Seconded by K.Schuman. Vote U/A

- D. Consideration and acceptance of a Conditional Use Permit, per Chapter 170-20-B(2), for Jason White (Owner: Big Holdings, LLC), Assessor's Map 23, Lot 24, zoned CBD-General, located at 245-249 Central Avenue. (Proposed 2nd residential building with 4 dwelling units & ground floor garage stalls as opposed to commercial).* (P15-44)

C.Parker gave an overview of the application.



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Christian Smith, Engineer with Beals Associates, represented the applicant. He stated Jason White, proprietor of Big Holdings, LLC was also present and stated the information provided in the application and compliance letter submitted by Beals Associates.

D.Ciotti verified with C. Smith the location of the 5x5 dumpster access would be through parking stall #16, and the amount of parking spaces. C.Parker clarified the amount of parking spaces required according to the new building and the parking regulations.

D.Ciotti stated his concern with the dumpster access and the layout of the proposal. He suggested private trash removal to have the parking space available. C.Parker stated the dumpster relocation could be listed as a condition of approval.

C.Plante verified with C.Parker the Planning Staff suggestion to remove spaces # 8 and # 9 to provide the 5 ft. grass space between the edge of the parking lot and the property line. C.Parker stated the applicant would need a waiver to keep the spaces.

D.White stated his concerns with issues pertaining to the development of the site and the impact to abutters regarding drainage and snow storage. C.Parker stated the issues can be reviewed by the Planning Technical Review Committee (TRC).

Discussion ensued regarding concerns with amount of parking and snow storage location. C.Smith stated the existing parking available and the snow storage pertaining to this parking, and the parking spaces required according to the regulations. C.Parker clarified the intent for the application to be reviewed by TRC.

Motion: K.Schuman made a motion to accept the application. Seconded by L.Skinner. Vote U/A

Public Hearing Opened. Nobody Spoke. Public Hearing Closed.

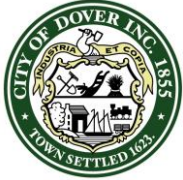
STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the Conditional Use Permit with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.
3. The applicant shall revise the plan to remove parking spaces #8 and #9 so that the 5 foot pavement setback is retained.
4. Revise plan to include erosion and sediment control features which shall be installed prior to any earth disturbance.
5. The applicant shall be subject to a formal agreement between the Planning Board and the applicant. Said agreement shall be recorded at the Strafford County Registry of Deeds per Chapter 170-20-B(3).
6. The Technical Review Committee shall review final plan and note any site concerns.
7. The applicant shall relocate the dumpster.
8. The applicant shall revise the plan to update the parking requirements.

F.Torr stated TRC would need to review the retaining wall.



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C.Lawrence verified with C.Smith the surface would be asphalt covering with 67% lot coverage amount.

C.Parker stated Staff agreed with the 14 parking spaces. He clarified the Parking Sub-Committee goals and the parking for this application in an urban environment.

L.Skinner stated his concern with the Parking Committee recommendations.

Motion: L.Skinner made a motion to approve subject to staff recommendations. Seconded by K.Schuman. Vote U/A

- E. Consideration and acceptance of a Site Plan Review for Johnson Creek Village (Owner: Real McKoy Properties, LLC), Assessor's Map H, Lot 1, zoned B-4, located at 301 Durham Road. (Proposed 9,880 sq. ft. elderly assisted care home attached to existing structure to contain 2 accessory staff apartments). *(P15-38)

C.Parker gave an overview of the application.

Dana Lynch, CivilWorks, Inc., represented the applicant and stated Aramis Black and Art Guandano from AG Architects, also present. He clarified information as stated in the application, and displayed and reviewed Sheet 3, 5, and 6 of the proposed plan. The waiver for the bike rack was withdrawn. He stated a one slot bicycle rack will be provided. He explained the waiver for the porous sidewalks is to make hazard free accommodation for the elderly residents.

Discussion ensued regarding the waiver for porous pavement and the requirement. D.Lynch stated the reason for the request is to have a smooth pavement for the elderly.

Motion: F.Torr made a motion to accept the application. Seconded by T.Clark. Vote U/A

Public Hearing Opened. Nobody Spoke. Public Hearing Closed.

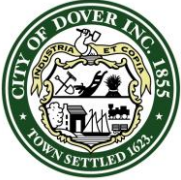
C.Parker stated the Planning Staff supports the waiver, adding it is meeting the medical need for the elderly.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the site plan with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The owner's signatures shall be added to the final plan submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.
3. The applicant shall provide the NHDES septic system design permit and note the number on the final plan.
4. The applicant shall have the NHDOT verify in writing that an amended driveway permit is not needed based on the use.
5. The applicant shall revise traffic analysis to include trip distribution, public transit, and Professional Engineer's stamp and signature.
6. The Professional Engineer, Licensed Land Surveyor, and Soil Scientist shall stamp and sign the final plan set.
7. The applicant shall revise sheet 3 to add the fencing near the dumpster to legend.



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8. The applicant shall revise note #7 on sheet 3 to correct “car” to “care”.
9. The applicant shall provide Fire Department turning radius template with a 40’ scale so that the Fire Department can also see the driveway entrance.
10. The approval includes the granting of the waiver requested for the reasons stated by the applicant. The Board finds that the criteria of Chapter 149-19.A have been met.
11. The applicant shall have the Stormwater Management Maintenance and Inspection Plan approved by the Community Services Department.
12. The applicant shall revise stormwater report to be reviewed and approved by the Engineering Department, adjusting drainage to better meet the water quality and pre/post-volume requirements.

Conditions to Be Met Prior to Any Construction Activity:

13. Construction hours shall be limited to Monday-Friday 7 AM-6 PM, Saturday 8 AM-5 PM, with no Sunday hours. Hours of construction shall be documented on a site construction sign along with the contact information for the general contractor. Said signage shall be located and approved by the City Engineer or Director of Planning and Community Development.

Conditions to Be Met Prior to Issuance of a Building Permit:

14. Any new building shall pay the current impact fees in place at the time of building permit application.

Conditions to Be Met Prior to Issuance of a Certificate of Occupancy:

15. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.

C.Plante asked why the Planning Department did not recommend a site walk. C.Parker stated the property is located on a major roadway, and not an impact to the abutters, as well as, the applicant responded to the TRC comments.

C.Plante asked if the abutter of the shared driveway had been properly notified. D.Lynch stated they had meeting and the abutter had no concerns at the meeting.

Motion: F.Torr made a motion to approve subject to staff recommendations. Seconded by K.Schuman. Vote U/A

- F. Consideration and acceptance of a Site Plan Review for Geoff Aleva, PE (Owner: Bob McGuire), Assessor’s Map G, Lot 31-1, zoned I-2, located at 50 Crosby Road. (Proposed 12,000 sq. ft. building with 21 parking spaces). *(P15-43)

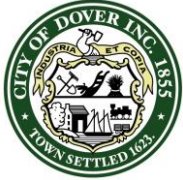
C.Parker gave overview of the application.

Geoff Aleva, Civil Consultants, stated this is a restart of the project that was previously before the Planning Board in 2006. He explained his proposal to reduce existing impervious material on the site, and regarding storm water to add a gravel edge to keep material from getting into the wetland. He distributed copies of a plan which gives an aerial view of Crosby Road and what is proposed on the North side of the building. Regarding condition #7, he stated his agreement with his stamp and asked if he had to have a survey completed.

C.Parker stated he was willing to amend if he received necessary documentation from Kevin McEneaney.

C.Parker verified with G.Aleva the plantings on the second sheet of the distributed plan are from the previous approval.

Motion: F.Torr made a motion to accept the application. Seconded by L.Skinner. Vote U/A



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Public Hearing Opened. Nobody Spoke. Public Hearing Closed.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the site plan with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The owner's signatures shall be added to the final plan submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.
3. Revise plan to add a note that any changes of use other than industrial manufacturing shall require that the applicant comply with the Site Plan Regulations.
4. The applicant shall provide an architectural rendering sheet.
5. The applicant shall provide a lot plan with abutter information, property line dimensions and bearings.
6. Applicant shall submit in writing approval of an amended driveway permit or reasoning as to why an amended permit is unnecessary.
7. Applicant shall revise plan to include stamp and signature of the surveyor and engineers or other form of description.
8. Applicant shall revise sheet L1 to add a note indicating the intent of this plan.
9. Applicant shall revise plan to add parking calculation based off of the new parking requirements.
10. Applicant shall confirm with Building Official that the handicap parking space complies with ADA regulations.
11. Applicant shall revise plan to show fire lanes.
12. Applicant shall include a turnaround template including driveway area for the fire department apparatus.
13. The applicant shall obtain approval from DBIDA on the covenant waiver.
14. Applicant to revise plan to indicate how the runoff from the roof area will be collected and conveyed.
15. Applicant shall revise traffic analysis to add description of road way, sight distance, trip distribution, and public transit sections.
16. The approval includes the granting of the waivers requested for the reasons stated by the applicant. The Board finds that the criteria of Chapter 149-19.A have been met.
17. The applicant shall have the Stormwater Management Maintenance and Inspection Plan approved by the Community Services Department.

Conditions to Be Met Prior to Any Construction Activity:

18. Construction hours shall be limited to Monday-Friday 7 AM-6 PM, Saturday 8 AM-5 PM, with no Sunday hours. Hours of construction shall be documented on a site construction sign along with the contact information for the general contractor. Said signage shall be located and approved by the City Engineer or Director of Planning and Community Development.

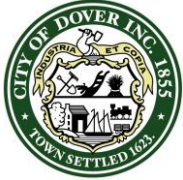
Conditions to Be Met Prior to Issuance of a Building Permit:

19. Any new building shall pay the current impact fees in place at the time of building permit application.
20. Any new building shall be assessed the current water/sewer investment fees in place at the time of application for water/sewer service.

Conditions to Be Met Prior to Issuance of a Certificate of Occupancy:

21. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.

C.Parker clarified the information in the conditions of approval regarding DBIDA, condition #14, condition #16 and the technical aspects regarding the site plan.



CITY OF DOVER

DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting
Meeting Location: McConnell Center, Room 306
61 Locust Street, Dover, NH 03820
Meeting Date: **Tuesday, August 25, 2015**
Meeting Time: **7:00 pm**

Motion: F.Torr made a motion to approve subject to staff recommendations. Seconded by D.White. Vote U/A

5. STAFF COMMENTS

C.Parker presented information regarding the Notice of Merger document. D.Ciotti read the Notice of Merger document regarding 44 Portland Ave, LLC, 42J Dover Point Road, and the merging of two parcels recorded at the Strafford County Registry of Deeds for Tax Map 24, Lot 104, recorded in deed Book 4257, Page 750 and Tax Map 24, Lot 104A, recorded in deed Book 4257, Page 750. The Board members approved the document with a show of hands, and the document was signed by D.Ciotti.

C.Parker distributed a document from the New Hampshire Municipal Association to inform the Planning Board members of the Municipal Law Lecture Series conference available in September and October. The Board members are to contact him if they are interested in attending the conference.

The Board members were reminded that the Planning meetings will be returning to the Council Chambers at City Hall in September.

The Board members want to continue receiving paper packets instead of reviewing materials provided online.

Dave Carpenter will be joining the Planning Department as a new employee in Community Development.

D.Pohli will be addressing the site plan regulations.

6. MEMBER COMMENTS

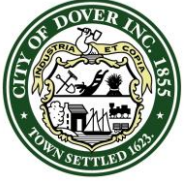
C.Lawrence stated information he received regarding Berry Brook.

C.Plante addressed Durham regulations regarding their historic district in comparison to Dover regulations. C.Parker stated the limited purview and planning associated with the historic districts.

F.Torr noted other communities are not as prepared as Dover to address medical marijuana.

7. ADJOURNMENT

Motion: K.Schuman made a motion to adjourn at 9:49 p.m. Seconded by D.White. Vote: U/A



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P14-53A

Application Type: One-year extension to an approved Site Plan
Applicant(s): Littleworth Road Solar, LLC
Owner(s): Bruce Caswell
Location: 68 Littleworth Road (Assessor's Map G, Lot 31)
Meeting Date: September 22, 2015

INTENT: A previously approved (August 26, 2014) site plan has expired for a community solar garden, and requires re-approval with the conditions listed below.

LOTS/UNITS PROPOSED: No change

AGENDA ITEM #: 4-A

ACREAGE: 9.18 acres

ZONING DISTRICT: Rural Restricted Industrial (I-2)

EXISTING LAND USE: Single-family residential and industrial park

PROPOSED LAND USE: Single-family house, farm fields and community solar garden

SURROUNDING LAND USE: Single Family residential and industrial park

ZBA ACTION: N/A

ATTACHMENT: Site Plan

APPLICATION IS COMPLETE: Yes

NOTICES SENT: Abutter notices were sent by certified mail to all abutters

PERMITS REQUIRED:

- City of Dover Conditional Use Permit

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant is requesting that the Planning Board reapprove the application to allow for the remaining conditions from the August 26, 2014 approval to be completed now that the state rebate program has been finalized. The applicant never submitted final plans within the 90 day period from the original approval, therefore the approval expired.

Consistency with Land Use Regulations

Chapter 149-4-A of the Site Review Regulations of the City Code provides for site review approval for the construction of new structures. The Rural Restricted Industrial District (I-2) is intended to provide a location for manufacturing, assembly, fabrication, packaging, distribution, storage, warehousing, wholesaling and shipping activities to expand the economic base of the city and provide employment opportunities.

The installation of solar arrays is a reasonable use of the industrially zoned property given the amount of wetlands on the site, which would make the placement of buildings more difficult and likely cause a greater impact to wetlands.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold another public hearing, reapprove the application with the following conditions:

Conditions to Be Met:

1. The owner's signature shall be added to the final plan set submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plan.



714-53A

City of Dover, New Hampshire
APPLICATION FOR EXTENSIONS OF/ AMENDMENTS
TO/ WAIVERS FOR AN APPROVED PLAN

Planning Office

[Creation Date: April 23, 2013]

Office Use Only

Amount Paid:

318.00

Date/Time Received:

AUG 31 2015

cx # 1609

Dover, New Hampshire

APPLICANT INFORMATION

Name of Applicant: Littleworth Road Solar, LLC

Telephone # 603-817-1175

Address of Applicant: 22 Rosemary Lane, Durham NH 03824

E-Mail andrew@nhsolargarden.com

Project Name: Littleworth Road Solar

Project Location: 68 Littleworth Road, Dover NH

Planning File Number: _____

Date of Original Approval 08/26/2014

File Type: Conditional Use

X

Site Plan Review

X

Subdivision

EXTENSION INFORMATION (Note: notification of abutters required for first time extensions only)

Current deadline date: 11/26/14 (Expired)

Number of Extensions Previously granted by Board 0

Reason(s) for extension/comments (attach additional sheets as needed): While waiting for the State Rebate Program to become finalized (which was finally completed in April 2015) we were unaware that our approval lapsed. The State approval process is key to this project and now that we have the approval letter that is required we are able to move forward with the project.

AMENDMENT INFORMATION

Condition(s) or portion of plan to be amended: Everything will stay the same

Reason(s) for amendment/comments (attach additional sheets as needed): _____

WAIVER INFORMATION

Site Review/Subdivision Regulations section(s) to be waived: Everything will stay the same

Justification for waiver request(s) (attach additional sheets as needed): _____

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:

Brian Caswell

Date:

8/31/15

Signature of Applicant (if different from owner):

[Signature]

Date:

8/25/15

Signature of Agent:

Date:

P14-S3A



August 31, 2015

RECEIVED
Planning Office

AUG 31 2015

Dover, New Hampshire

To Whom it May Concern,

First we would like to thank the Board for reviewing this Application for Extension into consideration for our Littleworth Road Solar, LLC project, located at 66 Littleworth Road, Dover NH.

On August 26, 2014 the Board approved the acceptance of Conditional Use Permit and Site Plan Application for the construction of a Community Solar Garden at the site indicated above. In waiting for the State to finalize the rules and regulations of building a solar array of this size and sort, we failed to comply with the stipulations granted by the Board and our permitting lapsed.

The State has finalized all rules and we are ready to break ground on this project and as that you take our extension into consideration and extend our permitting, so that we may go forward with the construction process.

Thank you for your time and consideration with this matter, it is much appreciated.

Regards,

Andrew Kellar



Andrew Kellar
Project Developer/Founder
andrew@nhsolargarden.com
603-817-1175
603-658-3489 (fax)
<http://www.linkedin.com/in/andrewkellar>

**CITY OF DOVER EXTENSIONS OF/AMENDMENTS TO/WAIVERS FOR AN APPROVED PLAN
LIST OF ABUTTERS**

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. The applicant must obtain the abutter information from the records of the Tax Assessor's Office (not more than five days prior to filing) in order to process the site review application.

ABUTTER is defined as the owner of record of a parcel of land located in New Hampshire and that adjoins or is directly within two hundred (200) feet (including land across the street or waterway) of the proposed site under consideration by the Planning Board. For a condominium or other collective form of ownership, abutter means the officers of the collective or association. *(See additional requirement below)*

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS
G	31	Bruce Caswell	68 Littleworth Road, Dover NH

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS
Andrew Kellar	Littleworth Road Solar, LLC	74 Union Road, Stratham NH 03885

Surveyor and/or Engineer:

NAME	COMPANY	MAILING ADDRESS
Jamie Rheault	Whitman & Bingam Associates	510 Mechanic St., Leominster MA 01453

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS
		N/A	

Abutters:

TAX MAP	LOT #	OWNER (S) OF RECORD	MAILING ADDRESS
G	32	Riley, Fred E & Ruth K Trust 1991	201 Tolend Rd, Barrington NH 03825-3708
G	31-1	McGuire, A Robert Jr. Trustee Horizon Trust of NH	PO Box 988, Dover NH 03821
G	31-5	Liege Corporation	PO Box 682, Portsmouth NH 03802
G	31-3	Jewitt Commercial Park LLC	32 Harriman Hill Rd, Raymond NH 03077
G	31-2	Crosby Commons Condominiums	14 Hilton Dr., Newmarket NH 03587
F	29	Fairchild Joanne M Trustee 1999 Trust	77 Littleworth Rd, Dover NH 03820
F	30	Sandra Cutchin	81 Littleworth Rd, Dover NH 03820
F	32	Edson B Chase Sr. & Guy Chase	87 Littleworth Rd, Dover NH 03820

For projects which meet 149-4A, if a condominium association is an abutter, add all owners of individual units that are located within two hundred (200) feet of the common property line for notification by first class mail.

UNIT #	OWNER (S) OF RECORD	MAILING ADDRESS
	N/A	

Fred E & Ruth K Riley Trust 1991
201 Tolend Rd.
Barrington NH 03285

Sandra Cutchin
81 Littleworth Rd
Dover NH 03820

Sandra Cutchin
81 Littleworth Rd
Dover NH 03820

Fred E & Ruth K Riley Trust 1991
201 Tolend Rd.
Barrington NH 03285

Sandra Cutchin
81 Littleworth Rd
Dover NH 03820

Edson B Chase Sr
Guy Chase
87 Littleworth Rd
Dover NH 03820

Fred E & Ruth K Riley Trust 1991
201 Tolend Rd.
Barrington NH 03285

Joanne M Fairchild Trust, Trustee 1999
77 Littleworth Rd
Dover NH 03820

Edson B Chase Sr
Guy Chase
87 Littleworth Rd
Dover NH 03820

Robert A McGuire Jr. Trustee
Horizon Trust of NH
PO Box 988
Dover, NH 03821

Joanne M Fairchild Trust, Trustee 1999
77 Littleworth Rd
Dover NH 03820

Edson B Chase Sr
Guy Chase
87 Littleworth Rd
Dover NH 03820

Robert A McGuire Jr. Trustee
Horizon Trust of NH
PO Box 988
Dover, NH 03821

Joanne M Fairchild Trust, Trustee 1999
77 Littleworth Rd
Dover NH 03820

Bruce Caswell
68 Littleworth Rd
Dover NH 03820

Robert A McGuire Jr. Trustee
Horizon Trust of NH
PO Box 988
Dover, NH 03821

Crosby Commons Condominiums
14 Hilton Dr
Newmarket NH 03857

Bruce Caswell
68 Littleworth Rd
Dover NH 03820

Liege Corporation
PO Box 682
Portsmouth NH 03801

Crosby Commons Condominiums
14 Hilton Dr
Newmarket NH 03857

Bruce Caswell
68 Littleworth Rd
Dover NH 03820

Liege Corporation
PO Box 682
Portsmouth NH 03801

Crosby Commons Condominiums
14 Hilton Dr
Newmarket NH 03857

Andrew Kellar
74 Union Rd
Stratham NH 03885

Liege Corporation
PO Box 682
Portsmouth NH 03801

Jewitt Commercial Park, LLC
32 Harriman Hill Rd
Raymond, NH 03077

Andrew Kellar
74 Union Rd
Stratham NH 03885

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32 Harriman Hill Rd
Raymond, NH 03077

Jewitt Commercial Park, LLC
32 Harriman Hill Rd
Raymond, NH 03077

Andrew Kellar
74 Union Rd
Stratham NH 03885

Whitman & Bingham Associates
510 Mechanic St.
Leominster MA 01453

Whitman & Bingham Associates
510 Mechanic St.
Leominster MA 01453

Whitman & Bingham Associates
510 Mechanic St.
Leominster MA 01453



- NOTES:**
- PROPERTY LINES AS SHOWN ON PLAN ARE TAKEN FROM THE FOLLOWING PLANS OF RECORD:
MINOR SUBDIVISION PLAN OF LAND OF NAPOLEON J. & MARYANNE BOUCHER
PROPOSED CROSBY ROAD INDUSTRIAL PARK PHASE II
DOVER, NEW HAMPSHIRE
LECLERC STOWELL ASSOCIATES
NOVEMBER 23, 1985
BOOK 30 PAGE 116
 - LOT LINE ADJUSTMENT PLAN
PREPARED FOR BUSINESS PARTNERS, INC. AND CHAUVIN ARNOUX, INC.
CROSBY ROAD & FARADAY DRIVE
TAX MAP G, LOTS 1L & 31-1
DOVER, NEW HAMPSHIRE
MCNEANEY SURVEY ASSOCIATES
NOVEMBER 5, 1999
BOOK 57 PAGE 85
 - EXISTING CONDITIONS AS SHOWN ON THIS PLAN ARE TAKING FROM THE PLAN TITLED "WETLAND WORKSHEET, BRUCE CASWELL, TAX MAP G LOT 31, 66 LITTLEWORTH ROAD, DOVER, NEW HAMPSHIRE", DATED JUNE 2, 2014, PREPARED BY TRITECH ENGINEERING CORPORATION.
 - CURRENT OWNER: BRUCE CASWELL
P.O. BOX 1982
DOVER, NH 03821
 - DEED REFERENCE: BOOK 4067 PAGE 862
 - ZONING DISTRICT: RURAL RESTRICTED INDUSTRIAL DISTRICT (1-2)
MINIMUM LOT SIZE: 20,000 S.F.
MINIMUM LOT FRONTAGE: 100 FT.
MINIMUM FRONT YARD OFFSET: 50 FT. (LITTLEWORTH ROAD)
35 FT. (TYPICAL)
MINIMUM SIDE YARD OFFSET: 10 FEET
MINIMUM REAR YARD OFFSET: 10 FEET
 - THE SUBJECT PROPERTY IS WITHIN THE CONSERVATION DISTRICT, ZONING ORDINANCE 170-27. AREAS SUCH AS THOSE WITHIN 50 FEET OF STREAMS, BROOKS OR OTHER FRESHWATER BODIES, 100 FEET FROM TIDAL WATER AND SLOPES IN EXCESS OF 20% ARE PART OF THE CONSERVATION DISTRICT AND THE REGULATIONS OF 170-27 APPLY.
 - A PORTION OF THE SUBJECT PREMISES IS GRAPHICALLY SITUATED IN THE 100 TO 500 YEAR FLOOD ZONE, ZONE "B", PER FLOOD INSURANCE RATE MAP 330145-00059, DATED APRIL 15, 1980.
 - NO ALTERATION OF WETLANDS, RIVERS OR STREAMS ARE PROPOSED AS PART OF THE IMPROVEMENTS.
 - PLAN IS TO BE USED FOR PERMITTING ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. THE PLAN IS FOR THE LAYOUT OF THE SOLAR PANEL ARRAY ONLY.
 - AN ON-THE-GROUND TOPOGRAPHIC SURVEY HAS NOT PERFORMED FOR THIS PROJECT.
 - ALL VEGETATION CONTROL AND/OR REMOVAL TO BE COMPLETED BY MECHANICAL OR MANUAL MEANS. NO CHEMICALS ARE TO BE USED ON THE SITE FOR VEGETATION CONTROL AND/OR REMOVAL.
 - THE PROJECT PARCEL CONTAINS 9.2 ACRES± OR 400,241 S.F.± OF LAND.
 - AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
 - ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
 - A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
 - A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.

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Dover, New Hampshire

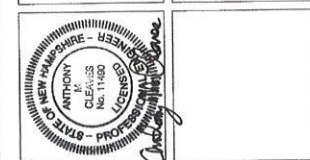
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Planning Office
AUG 31 2015
Dover, New Hampshire

DOVER, NH PLANNING FILE #: P14-52 & P14-53

CHECKED BY:	AMC
DRAWN BY:	WRF
DATE:	JULY 31, 2014
SCALE:	1"=40'
SHEET NUMBER:	1 OF 2
JOB NUMBER:	13195
COMPS:	9656
PLAN NUMBER:	4-L-896
FIELD BOOK REF(S):	N/A
PLAN REF(S):	SEE NOTES

REVISIONS	NO.	DATE	DESCRIPTION
	3	09/09/14	WRF REVISIONS PER PLANNING REVIEW
	2	09/04/14	WRF REVISIONS PER PLANNING REVIEW
	1	08/26/14	WRF REVISIONS PER CONS COMM REVIEW

PROPOSED SITE LAYOUT PLAN FOR LITTLEWORTH ROAD SOLAR PANEL ARRAY DOVER, NEW HAMPSHIRE	PREPARED FOR: NHSOLARGARDEN.COM ANDREW KELLAR 74 UNION ROAD STRATHAM, NEW HAMPSHIRE 03885 (603) 817-1175
--	---



WHITMAN & BINGHAM ASSOCIATES
REGISTERED ENGINEERS & LAND SURVEYORS
200 W. MAIN STREET
LECOMBET, MASSACHUSETTS 01463
TEL: (617) 557-5200
FAX: (617) 557-1425

GENERAL EROSION CONTROL NOTES:

1. THE SITE PLAN DEPICTS THE REQUIRED SOIL EROSION CONTROL MEASURES. THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - A. SOIL EROSION IS KEPT TO A MINIMUM.
 - B. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERTY.
 - C. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
2. THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR ALL SITUATION RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES OR WATER BODIES DURING CONSTRUCTION AS A RESULT OF THIS PROJECT.
3. LOAM AND SEED ALL DISTURBED AREAS AT THE EARLIEST TIME POSSIBLE. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
4. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE BUT NO LONGER THAN TWO DAYS. CLEAN AND RESET SILT FENCES WHICH ACCUMULATE SEDIMENT AND OTHER DEBRIS.
5. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION. PREVENTION OR STABILIZATION, BUT THAT SHOW SIGNS OF EROSION. NOTIFY ENGINEER OF ANY SIGNIFICANT EROSION PROBLEM.
6. TEMPORARILY SEED, WITHIN 7 DAYS, ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS WITH TEMPORARY SEED MIX. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 30.
7. FOLLOW EROSION CONTROL BARRIER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF EROSION CONTROL BARRIER. SECURE ENTIRE BOTTOM OF SILT FENCE BY BURYING BOTTOM OF FENCE IN A TRENCH, REFER TO SILT FENCE DETAILS.

CONSTRUCTION SEQUENCE AND EROSION CONTROL:

1. INSTALL CONSTRUCTION ENTRANCE (SEE DETAIL).
 2. CONSTRUCT EROSION CONTROL BARRIER(S) AS DEPICTED ON THE DESIGN PLANS.
 3. CLEAR AND GRUB TO LIMITS OF CUT AND FILL.
 4. CONSTRUCT AND STABILIZE PERIMETER SLOPES AND TREATMENT SWALES.
 5. CONSTRUCT TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS. ADDITIONAL TEMPORARY SEDIMENT BASINS SHOULD BE CONSTRUCTED, BEYOND THOSE SHOWN ON THIS PLAN, AS SITE CONDITIONS WARRANT ADDITIONAL PROTECTION FROM SEDIMENT TRANSPORT.
 6. THE SITE SUBCONTRACTOR SHALL MAINTAIN SEDIMENTATION AND EROSION CONTROL DEVICES THROUGHOUT THE PROJECT SITE FOR THE DURATION OF THE CONSTRUCTION.
 7. ALL SLOPES STEEPER THAN 3:1 SHALL BE SEEDDED AND MULCHED WITHIN 72 HOURS OF THEIR COMPLETION.
 8. ALL SWALES AND DITCHES WITH SLOPES EXCEEDING 5% SHALL BE TREATED WITH JUTE MATTING.
 9. BEGIN INSTALLATION OF SUPPORT PIERS FOR SOLAR RACKING SYSTEM AND WIRING.
 10. INSTALL SOLAR RACKING SYSTEM.
 11. INSTALL SOLAR PANELS, TRANSFORMER, GENERATOR, AND/OR OTHER MECHANICAL EQUIPMENT.
 12. CONSTRUCT SLOPED AREAS & SIDE SLOPES. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
 13. CONSTRUCT TEMPORARY DIVERSION CHANNELS AS REQUIRED.
 14. CONSTRUCT TEMPORARY BERM, DRAINAGE DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
 15. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DAILY.
 16. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 17. REMOVE TEMPORARY CONTROL MEASURES ONCE EXPOSED AREAS ARE STABILIZED AND PERMANENT EROSION AND SEDIMENT FACILITIES ARE INSTALLED AND ACCOMPLISH FINAL CLEAN UP.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED.
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN ESTABLISHED.
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
18. PRIOR TO CONVERTING SEDIMENT BASINS TO STORMWATER BASINS, ALL DISTURBED AREAS SHOULD BE STABILIZED AND ACCUMULATED SEDIMENT REMOVED FROM THE BASINS. NO SEDIMENT IS ALLOWED TO ERODE FROM THE SITE OR BE FLUSHED INTO A STREAM OR DRAINAGEWAY. THE SLOPES OF THE BASINS SHOULD THEN BE LOAMED AND SEEDDED IN ACCORDANCE WITH PERMANENT SEEDING SCHEDULE AND REQUIRED RIPRAP AREAS SHOULD BE INSTALLED.
 19. ALL DISTURBED AREAS SHALL BE STABILIZED WITH GRASS OR MULCH.
 20. THE LENGTH OF TIME AN AREA CAN BE DISTURBED AND UNSTABILIZED IS 45 DAYS.
 21. ALL DITCHES AND SWALES TO BE STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
 22. THE SEQUENCE OF CONSTRUCTION MAY OVERLAP AND VARY AS NECESSARY.

WINTER CONSTRUCTION NOTES:

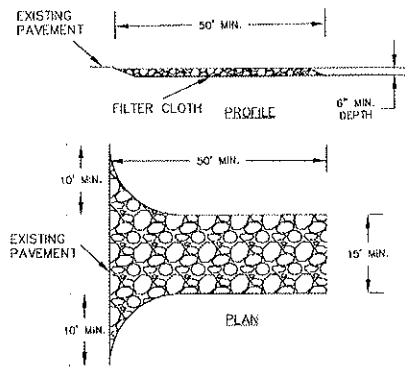
1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15, OR WHICH ARE DISTURBED AFTER NOVEMBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15, OR WHICH ARE DISTURBED AFTER NOVEMBER 15, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

GENERAL SEEDING NOTES:

1. USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30
2. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/01 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.
3. SEED BED PREPARATION:
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED.

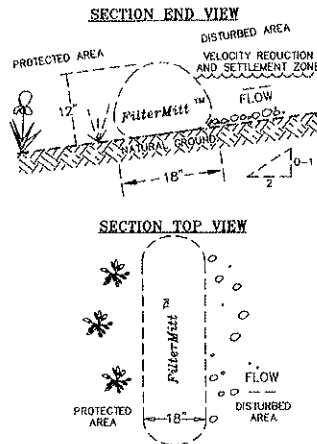
PERMANENT SEED	TEMPORARY SEED
TALL FESCUE -- 20 LBS/ACRE	OATS -- 80 LBS/ACRE 4/01-5/14
CREeping RED FESCUE -- 20 LBS/ACRE	ANNUAL RYE GRASS -- 40 LBS/ACRE
BIRDFOOT TREFOIL -- 8 LBS/ACRE	SUDANGRASS -- 40 LBS/ACRE 5/15-8/14
TOTAL -- 48 LBS/ACRE	ANNUAL RYEGRASS -- 80 LBS/ACRE 5/15-8/14
	WINTER RYE -- 112 LBS/ACRE 9/15-9/30
	WINTER RYE -- 112 LBS/ACRE 10/01-3/31
	(PROTECT W/MULCH COVER)

*OR AS DIRECTED BY QUALIFIED SEED PROFESSIONAL



CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

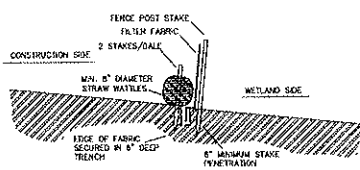
1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE PROPOSED ENTRANCE.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED PROPERLY.



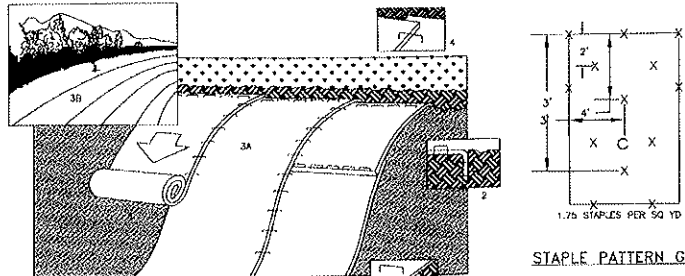
OUTSIDE CASING: 100% organic hessian.
FILLER INGREDIENT: *FiberRoot Mulch™*
• A blend of coarse and fine compost and shredded wood.
• Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
• Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./t.f.)

Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

SILT SOCK DETAIL
NOT TO SCALE



FILTER FENCE DETAIL
NO SCALE



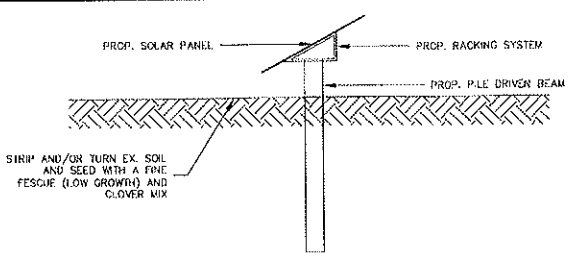
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A) DOWN ON (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPACED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

SLOPE INSTALLATION

EROSION CONTROL JUTE MATTING
NOT TO SCALE

THIS SPACE NOT USED



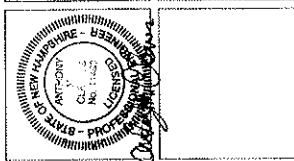
SOLAR PANEL ARRAY CROSS-SECTION
NOT TO SCALE

CHECKED BY: AMC	SCALE: AS NOTED	JOB NUMBER: 13195	PLAN NUMBER: 4-L-896	FIELD BOOK REF(S): N/A
DRAWN BY: WRF	DATE: JULY 31, 2014	SHEET NUMBER: 2 OF 2	COMPS: 9856	PLAN REF(S): SEE NOTES

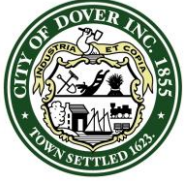
NO.	REVISIONS	DATE	BY
3	REVISIONS PER PLANNING REVIEW	09/09/14	WRF
2	REVISIONS PER PLANNING REVIEW	09/04/14	WRF
1	REVISIONS PER CONS COMM REVIEW	08/26/14	WRF

EROSION CONTROL NOTES & DETAILS
FOR
LITTLEWORTH ROAD SOLAR PANEL ARRAY
IN
DOVER, NEW HAMPSHIRE

PREPARED FOR:
NHSOLARGARDEN.COM
ANDREW KELLAR
741 UNION ROAD
STRATHAM, NEW HAMPSHIRE 03885
(603) 617-1175



**WHITMAN & BINGHAM**
A S O C I A T E S
REGISTERED ENGINEERS & LAND SURVEYORS
500 AFRICAN STREET
LECONHAM, VT 05648
TEL: (802) 537-5200
FAX: (802) 537-1425



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P15-47

Application Type: Minor Lot Line Adjustment
Applicant(s): Mike Torr
Owner(s): David G. Torr
Location: 62 County Farm Cross Road (Assessor's Map B, Lots 6D and 6G)
Meeting Date: September 22, 2015

INTENT: To adjust the lot lines between two existing lots at 62 County Farm Cross Road. Lot 6D will be increased to 6.77 acres and Lot 6G will be decreased to 8.42 acres.

LOTS/UNITS PROPOSED: No change in the number of lots

AGENDA ITEM #: 4-B

ACREAGE: 15.19 acres

ZONING DISTRICT: Rural Residential District (R-40)

EXISTING LAND USE: Single family dwelling and vacant lot

PROPOSED LAND USE: One single family house on each lot

SURROUNDING LAND USE: Single-family residential

ZBA ACTION: None

ATTACHMENTS: Lot line adjustment plan and application

APPLICATION IS COMPLETE: Yes

NOTICES SENT: Abutter notices were sent by certified mail to all abutters

PERMITS REQUIRED: None

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant wants to reconfigure the lot lines between two existing lots. There is no change in the number of lots.

Consistency with Land Use Regulations

Chapter 155-18 of the Land Subdivision Regulations of the City Code provides for the adjustment of existing lot lines between two or more lots. This plan is consistent with those regulations.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the lot line adjustment plat with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The owners' signatures shall be added to the final plat submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall add the surveyor's stamp and signature to the final plat.
4. The applicant shall revise the plan to include the house number of the abutter at lot 5.
5. The applicant to revise the plan to show the building setback line/envelope on sheet 1 for both lots.



City of Dover, New Hampshire MINOR LOT LINE ADJUSTMENT APPLICATION

[Revision Date: February 12, 2013]

Office Use Only	Project #:	<u>P15-47</u>	Date Received:	<u>SEP 04 2015</u>
	Amount Paid:	<u>\$384.00</u>	Time Received:	<u>Dover, New Hampshire</u>

APPLICANT INFORMATION

Name of Applicant: MIKE TORR Telephone # (603) 978-2301
Address of Applicant: #21 BETTS ROAD, ROCHESTER, NH

FIRST PROPERTY OWNER AND PARCEL INFORMATION

Name of 1st Property Owner (if different from applicant): DAVID G. TORR Telephone # _____
Address of 1st Property Owner: #21 BETTS ROAD, ROCHESTER, NH 03867
Address of Property: #62 COUNTY FARM CROSS ROAD
Assessor's Map # B Lot(s) # 6D & 6G
Property Deed: Book 943 Page: 248
Zoning District(s) R-40 Overlay District(s) _____
Size of Existing Parcel (sq. ft.): 15.19 AC Size of Proposed Parcel (sq. ft.): 8.42 / 6.77

SECOND PROPERTY OWNER AND PARCEL INFORMATION

Name of 2nd Property Owner (if different from applicant): _____ Telephone # _____
Address of 2nd Property Owner: _____
Address of Property: _____
Assessor's Map # _____ Lot(s) # _____
Property Deed: Book _____ Page: _____
Zoning District(s) _____ Overlay District(s) _____
Size of Existing Parcel (sq. ft.): _____ Size of Proposed Parcel (sq. ft.): _____

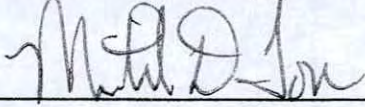
[Use additional application form if more than two lots are being adjusted]

SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) JASON B. POHOPEK
Address PO BOX 651 BARRINGTON, NH 03825 Telephone #: (603) 842-2467
Professional License #: NHLS #941 E-mail address: j46p@yahoo.com

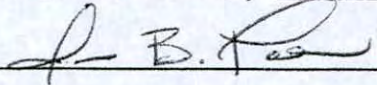
SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of First Property Owner:  Date: 8/20/2015

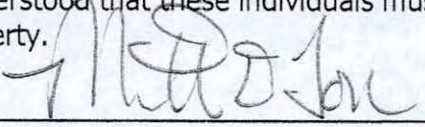
Signature of Second Property Owner: _____ Date: _____

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent:  Date: 8/20/2015

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 8/20/2015

ABUTTERS LIST

THIS SECTION OF THE APPLICATION MUST BE COMPLETED BY ALL APPLICANTS

Pursuant to RSA 676:7, THE State Law of New Hampshire, the City of Dover is required to notify the applicant and every abutter of the public hearing by certified mail. The cost of the required publication or posting of notice, and the cost of mailing said notices, shall be paid by the applicant.

"Abutter" is defined in Chapter 170, Dover Zoning Ordinance, as:

The owner of record of a parcel of land located in New Hampshire and adjoins or is directly within **two hundred (200) feet** (including land across the street or waterway) of the proposed site under consideration by the Board

In the case of an abutting property being under a condominium or other collective form of ownership, the term "abutter" means the officers of the collective or association, as defined in RSA 356-B:3,XXIII. Additionally, the individual owners of units within the association, which are located within two hundred (200) feet of the common property line shall be notified only by first class mail.

PLEASE NOTE: abutter ownership information for lots located in Dover, shall be obtained through the City's Tax Assessment Office.

Tax Map	Lot	Owner(s) of Record	Mailing Address
B	6D	David G. Torr	#21 Betts Road, Rochester, NH 03867-5140
B	6G	David G. Torr	#21 Betts Road, Rochester, NH 03867-5140
B	6C	Everett & Ruthann Day	#54 County Farm Cross Road, Dover, NH 03820
B	6H1	Royce & Susan Stegman	#54 County Farm Cross Road, Dover, NH 03820
B	6H	Penny & Paul Seaver	#30 County Farm Cross Road, Dover, NH 03820
B	5	Elizabeth Cochran & David Harkinson & Daniel Harkinson	#182 Lovell Lake Road, Wakefield, NH 03872
B	12	Mary Merkley	#98 County Farm Cross Road, Dover, NH 03820
B	12A	David Price	#84 County Farm Cross Road, Dover, NH 03820
B	10F	Richard & Theresa Hayes	#57 County Farm Cross Road, Dover, NH 03820
B	10	David & Denise Garcia	#51 County Farm Cross Road, Dover, NH 03820
B	10E	Richard & Lynn Conway	#65 County Farm Cross Road, Dover, NH 03820
B	10D	Michael & Christine Ecker	#71 County Farm Cross Road, Dover, NH 03820
B	10A	Ronald & Dyanne Chevalier	#83 County Farm Cross Road, Dover, NH 03820

Land Surveyor:

Jason B. Pohopek

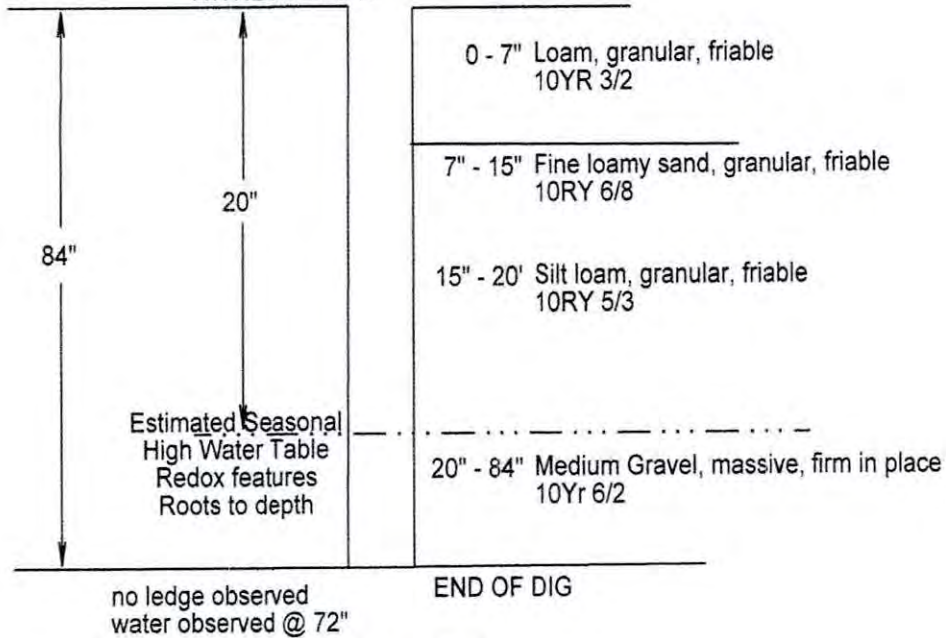
PO Box 651, Barrington, NH 03825

SUBJECT PARCEL: #62 County Farm Cross Road
Dover, NH

OWNER OF RECORD: David Torr
REASON FOR TEST PIT: Lot Line Adjustment

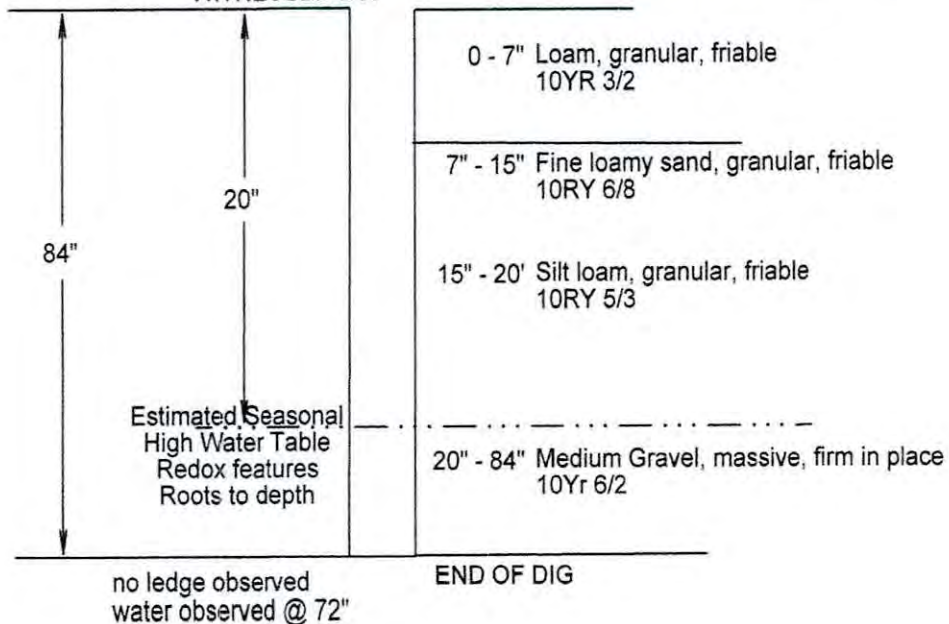
Test Pit #1

OBSERVED: JULY 4, 2015
EVALUATED BY: JASON B. POHOPEK, NH DESIGNER #1512
WITNESSED BY:



Test Pit #2

OBSERVED: JULY 4, 2015
EVALUATED BY: JASON B. POHOPEK, NH DESIGNER #1512
WITNESSED BY:

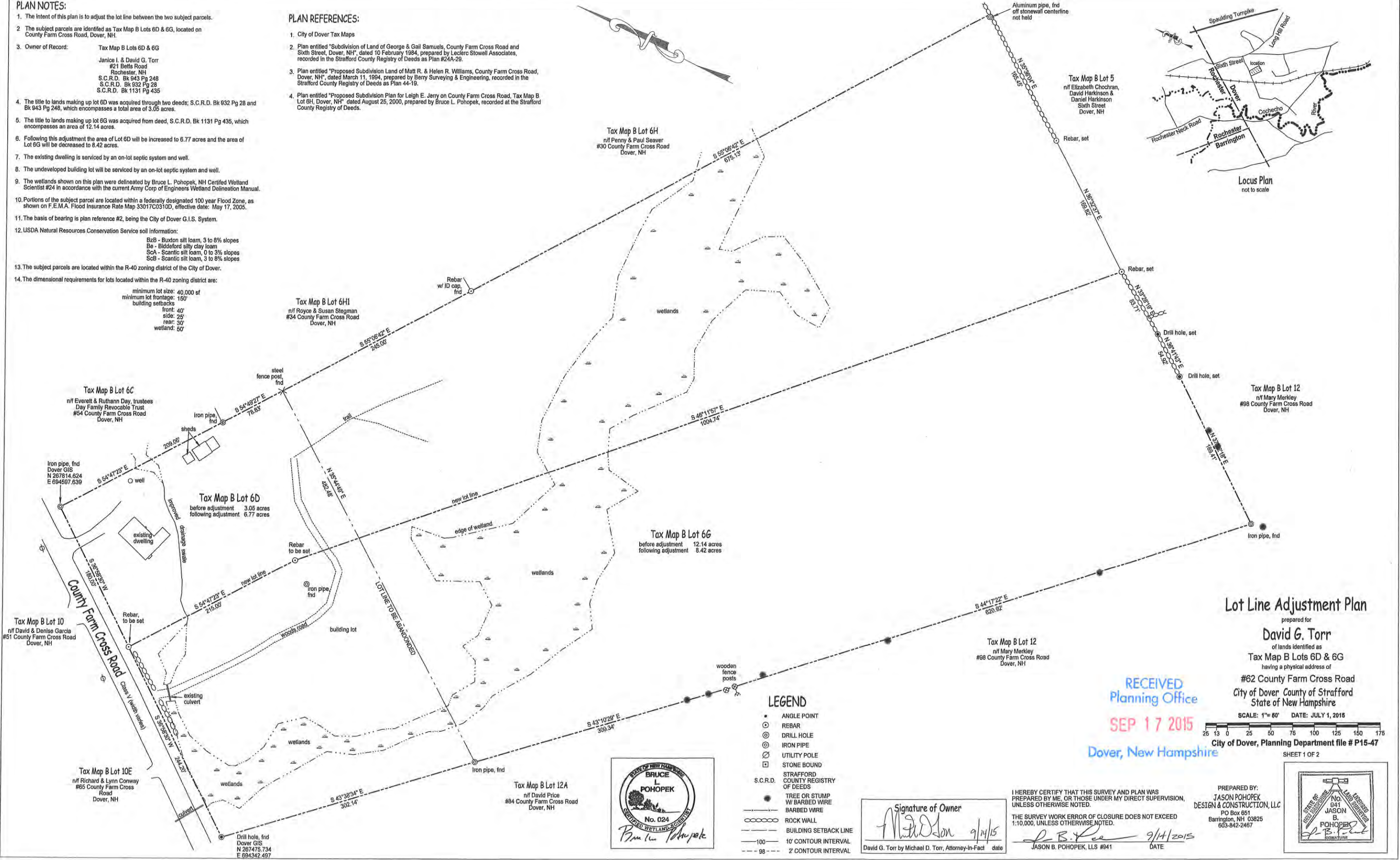


PLAN NOTES:

1. The intent of this plan is to adjust the lot line between the two subject parcels.
2. The subject parcels are identified as Tax Map B Lots 6D & 6G, located on County Farm Cross Road, Dover, NH.
3. Owner of Record:
Tax Map B Lots 6D & 6G
Janice L. & David G. Torr
#21 Betts Road
Rochester, NH
S.C.R.D. Bk 943 Pg 248
S.C.R.D. Bk 932 Pg 28
S.C.R.D. Bk 1131 Pg 435
4. The title to lands making up lot 6D was acquired through two deeds; S.C.R.D. Bk 932 Pg 28 and Bk 943 Pg 248, which encompasses a total area of 3.05 acres.
5. The title to lands making up lot 6G was acquired from deed, S.C.R.D. Bk 1131 Pg 435, which encompasses an area of 12.14 acres.
6. Following this adjustment the area of Lot 6D will be increased to 6.77 acres and the area of Lot 6G will be decreased to 8.42 acres.
7. The existing dwelling is serviced by an on-lot septic system and well.
8. The undeveloped building lot will be serviced by an on-lot septic system and well.
9. The wetlands shown on this plan were delineated by Bruce L. Pohopek, NH Certified Wetland Scientist #24 in accordance with the current Army Corp of Engineers Wetland Delineation Manual.
10. Portions of the subject parcel are located within a federally designated 100 year Flood Zone, as shown on F.E.M.A. Flood Insurance Rate Map 33017C0310D, effective date: May 17, 2005.
11. The basis of bearing is plan reference #2, being the City of Dover G.I.S. System.
12. USDA Natural Resources Conservation Service soil information:
BzB - Buxton silt loam, 3 to 8% slopes
Be - Biddeford silty clay loam
ScA - Scantic silt loam, 0 to 3% slopes
ScB - Scantic silt loam, 3 to 8% slopes
13. The subject parcels are located within the R-40 zoning district of the City of Dover.
14. The dimensional requirements for lots located within the R-40 zoning district are:
minimum lot size: 40,000 sq ft
minimum lot frontage: 150'
building setbacks
front: 40'
side: 25'
rear: 30'
wetland: 50'

PLAN REFERENCES:

1. City of Dover Tax Maps
2. Plan entitled "Subdivision of Land of George & Gail Samuels, County Farm Cross Road and Sixth Street, Dover, NH", dated 10 February 1984, prepared by Leclerc Stowell Associates, recorded in the Strafford County Registry of Deeds as Plan #24A-29.
3. Plan entitled "Proposed Subdivision Land of Matt R. & Helen R. Williams, County Farm Cross Road, Dover, NH", dated March 11, 1994, prepared by Berry Surveying & Engineering, recorded in the Strafford County Registry of Deeds as Plan 44-19.
4. Plan entitled "Proposed Subdivision Plan for Leigh E. Jerry on County Farm Cross Road, Tax Map B Lot 6H, Dover, NH", dated August 25, 2000, prepared by Bruce L. Pohopek, recorded at the Strafford County Registry of Deeds.

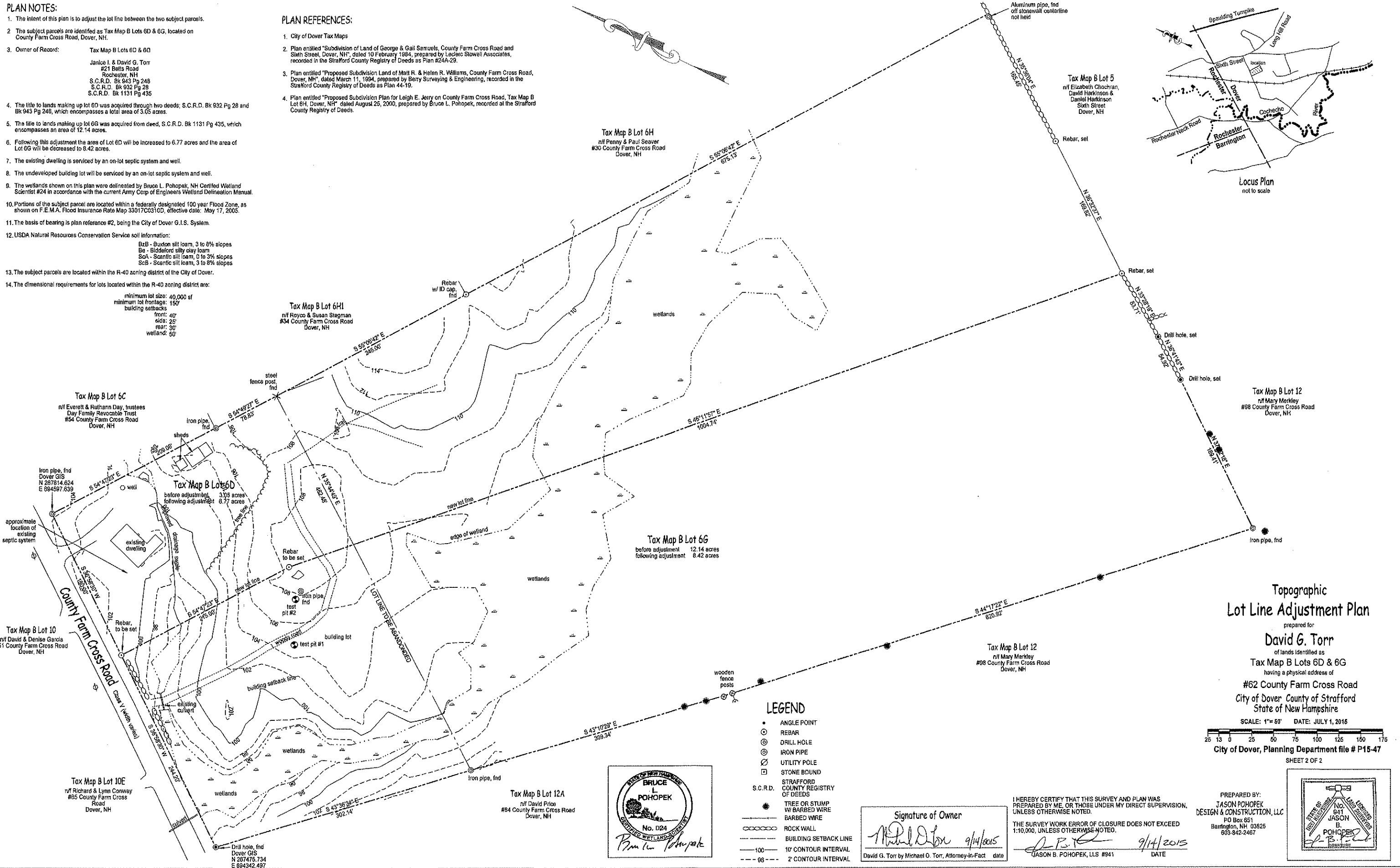


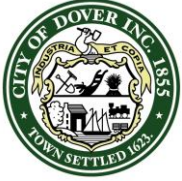
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Rochester, NH
S.C.R.D. Bk 943 Pg 248
S.C.R.D. Bk 932 Pg 28
S.C.R.D. Bk 1131 Pg 435
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- The basis of bearing is plan reference #2, being the City of Dover G.I.S. System.
- USDA Natural Resources Conservation Service soil information:
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Bx - Biddeford silty clay loam
ScA - Scantic silt loam, 0 to 3% slopes
ScB - Scantic silt loam, 3 to 8% slopes
- The subject parcels are located within the R-40 zoning district of the City of Dover.
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minimum lot frontage: 150'
building setbacks
front: 40'
side: 25'
rear: 30'
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PLAN REFERENCES:

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- Plan entitled "Proposed Subdivision Plan for Leigh E. Jerry on County Farm Cross Road, Tax Map B Lot 6H, Dover, NH", dated August 25, 2000, prepared by Bruce L. Pohopek, recorded at the Strafford County Registry of Deeds.





CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P15-48

Application Type: Minor Subdivision
Applicant(s): Chris Berry
Owner(s): Carl Thibodeau
Location: 8 Pineview (Tax Map L, Lot 48M)
Meeting Date: September 22, 2015

INTENT: To subdivide an existing lot at 8 Pineview Drive into two lots. The lot sizes would be 0.74 acres and 1.19 acres.

UNITS PROPOSED: One new lot

AGENDA ITEM #: 4-C

ACREAGE: 1.93 Acres

ZONING DISTRICT: Low Density Residential (R-20)

EXISTING LAND USE: 2-family house

PROPOSED LAND USE: One new lot

SURROUNDING LAND USE:
Residential

ZBA ACTION: Z15-16 variance granted on August 20, 2015 to allow 92.51 feet of frontage where 125 feet is required

ATTACHMENT: Subdivision plan, application, and ZBA minutes

APPLICATION IS COMPLETE: Yes

NOTICES SENT: Abutter notices were sent by certified mail for this meeting

PERMITS REQUIRED: None

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant proposes to subdivide a lot into two new lots. The Zoning Board of Adjustment granted a variance to allow 92.51 feet of frontage with the conditions listed below.

Consistency with Land Use Regulations

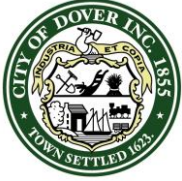
Chapter 155-15 of the Land Subdivision Regulations of the City Code provides for subdivisions of existing lots. This plan is consistent with those regulations considering the variance granted for frontage.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, hold the public hearing, and approve the subdivision plan with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The owner's signatures shall be added to the final plat submitted for signature.
2. The applicant shall provide the Planning Department with a digital version of the final plat.
3. The applicant shall revise the plat to add the Planning File number P15-48 to the title block.
4. The applicant shall revise the plat to add the location of the existing and proposed water, stormwater sewer, sanitary sewer, electrical, and any other utility lines.
5. The applicant shall revise the plat to include a neighborhood plan.
6. The applicant shall revise the plat to have the locus map meet the requirements of 1"=1000' with a 3000' radius.
7. The applicant shall revise the plat to add the house location to parcel 2.
8. The applicant shall revise note 7 on sheets 1 and 2 to indicate the variance was to allow 92.51' of frontage and the conditions of the variance that:
 - a. No more than two units over the two lots be created
 - b. Screening will be installed prior to issue of the building permit
 - c. The utility easement would be donated to the City, if needed
 - d. The new home will have a similar look and feel to the existing neighborhood mitigated through street-scape improvements.



**CITY OF
DOVER**

ZONING BOARD OF ADJUSTMENT - MINUTES

Meeting Type: Regular Meeting
Meeting Location: McConnell Center, Room 306
61 Locust Street, Dover NH 03820
Meeting Date: **Thursday, August 20, 2015**
Meeting Time: **7:00 pm**

- The house be constructed as shown on the plan.
- The new units be required to tie in to the sewer system.
- No more than three units exist on the combined two lots.
- There will be minimal cutting of the existing wooded buffer.
- The lot line adjustment be approved by the Planning Board.

Seconded by F.Landford. Vote U/A

- C. Z15-16 Owner Carl Thibodeau, 8 Pineview Drive (Tax Map L, Lot 48M), located in the Low Density Residential (R-20) District, requests a variance from **Section 170-12.B** of the Zoning Ordinance and the R-20 Table of Use and District Dimensional Regulations to allow 92.51 feet of frontage where 125 feet is required.

Christopher Berry, Berry Surveying & Engineering, represented the applicant and stated the information and five criteria as listed on the application. He stated Mr. and Mrs. Thibodeau were also present.

Discussion ensued regarding the proposed structure to be built and that the utility easement would remain. C.Parker confirmed the applicant would not build an Accessory Dwelling Unit structure.

Public Hearing Opened. Nobody Spoke.

STAFF RECOMMENDATION:

The Planning Department recommends the Board hold the public hearing and approve the request for variance. If the Board chooses to approve the request, staff suggests a condition that a deed restriction be added for Lot 48M, stating that there shall be no conversion of the existing dwelling to accommodate two units. A note to the same effect should be added to the plan.

C.Parker recommended to approve the variance with the following conditions:

- No more than two units over the two lots be created.
- Screening will be installed prior to issue of the building permit.
- The utility easement would be donated to the City, if needed.
- The new home will have a similar look and feel to the existing neighborhood mitigated through street-scape improvements.

Public Hearing Closed

B.Hall stated his concern with the condition regarding the look and feel with existing lots and meeting the zoning requirements. C.Parker stated the applicant wants to build with a look that the structures have been there all along, which is why he put in that condition.

Motion: F.Landford made a motion to grant the variance with the conditions as suggested by the Planning Department. Seconded by A.Adams. Vote U/A

- D. Z15-17 Owner Heron Bay Partners, LLC, 38 Cielo Drive (Tax Map H, Lot 4-38), located in the Assembly and Office (I-4) and Residential-Commercial Mixed Use (RCM) Overlay Districts, requests



City of Dover, New Hampshire SUBDIVISION APPLICATION

RECEIVED
[Revision Date: April 23, 2013]
Planning Office

Office Use Only

Project #:

Amount Paid:

715-48

\$580.00

Date Received:

Time Received:

SEP 09 2015

CR#011226

Dover, New Hampshire

APPLICANT AND OWNER INFORMATION

Name of Applicant: Christopher R. Berry Telephone # 603-332-2863

Address of Applicant: 335 Second Crown Point Rd. Barrington, NH 03825

Name of Property Owner (if different from applicant): Carl Thibodeau Telephone #

Address of Property Owner: 8 Pineview Dr. Dover, NH 03820

E-Mail Address:

PROPERTY INFORMATION

Address of Property: 8 Pineview Dr. Dover, NH 03820

Assessor's Map # L Lot(s) # 48-M

Zoning District(s) R-20/Low Density Overlay District(s)

Size of Parcel: 84, 144 sq ft/1.93 ac Property Deed: Book 3478 Page: 889

Existing Use of Property: Residential lot

SUBDIVISION INFORMATION

Subdivision Type: Major (4 + net new lots): Minor (3 or fewer lots): ☒ Open Space:

Existing Number of Lots: 1 Proposed Number of Lots: 2

City Water? ☒ Yes ☐ No How far is city water from the property?

City Sewer? ☒ Yes ☐ No How far is city sewer from the property?

Highway Access (check where applicable): ☒ City Street ☐ State Highway

Estimated Length of Proposed Roads: feet Public or Private Road?

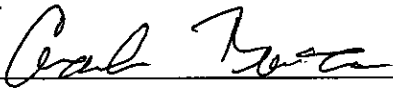
WAIVER REQUESTS

Subdivision Regulations section(s) to be waived:

Justification for waiver request(s) (attach additional sheets as needed):

SURVEYOR INFORMATIONName of Surveyor and Company (Licensed in N.H.) Kenneth A. Berry, Berry Surveying & EngineeringAddress 335 Second Crown Point Rd. Barrington Telephone #: 603-332-2863Professional License #: LLS #805 E-mail address: k.berry@berrysurveying.com**ENGINEER INFORMATION**Name of Engineer and Company (Licensed in N.H.) Kenneth A. Berry, Berry Surveying & EngineeringAddress 335 Second Crown Point Rd. Barrington Telephone #: 603-332-2863Professional License #: PE #14243 E-mail address: k.berry@berrysurveying.com**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:  Date: 9-8-15

Signature of Applicant (if different from owner): _____ Date: _____

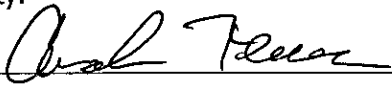
Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 9-8-15**AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY**

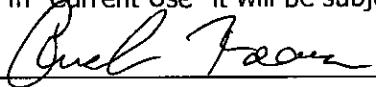
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Signature of Property Owner:  Date: 9-8-15

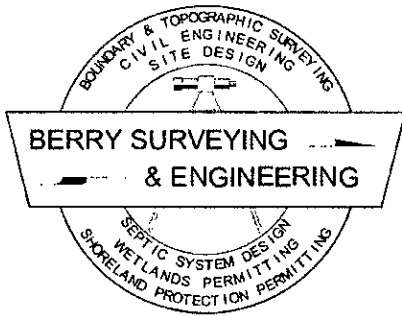
Signature of Applicant (if different from owner): _____ Date: _____

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Signature of Applicant (if different from owner): _____ Date: _____



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road
Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

8-4-2015

Abutters List

Owner:

Tax Map L, Lot 48-M

Thibodeau, Carl P, Jr. & Doreen
8 Pineview Dr
Dover, NH 03820

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SEP 09 2015
Dover, New Hampshire

Abutters:

Tax Map L, Lot 48-L

Strawbridge, Eleanor & Victor
6 Pineview Dr
Dover, NH 03820

Tax Map L, Lot 49-L

Hulbert, David & Elizabeth
9 Homestead Ln
Dover, NH 03820

Tax Map L, Lot 49-K

Fallon, Michael & Virginia
11 Homestead Ln
Dover, NH 03820

Tax Map L, Lot 48-N

Sweeney, Molly & Fernan
11 Pineview Dr
Dover, NH 03820

Tax Map L, Lot 48-J

Russel, Darlene & John
9 Pineview Dr
Dover, NH 03820

Tax Map L, Lot 48-K

Holmes, Ronald E Jr
4 Pineview Dr
Dover, NH 03820

Tax Map L, Lot 48-H

Ward, Diana M
5 Pineview Dr
Dover, NH 03820

Tax Map L, Lot 48-O

Ford, Arthur & Marlene
7 Pineview Dr
Dover, NH 03820

Tax Map L, Lot 48-A

Dubois, Arthur & Mary
Irrevocable Trust
283 Dover Point Rd
Dover, NH 03820

Tax Map L, Lot 49-M

Gonthier, Norman & Cathy
7 Homestead Lane
Dover, NH 03820

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335 Second Crown Pt. Rd., Barrington, NH 03825
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Tax Map L, Lot 49-H

Kozler, Brian
320 Dover Point Rd
Dover, NH 03820

Tax Map L, Lot 49-I

Rockwell, Susan J
10 Homestead Ln
Dover, NH 03820

Tax Map L, Lot 49-J

Vandenbussche, Leonard & Sherri
12 Homestead Ln
Dover, NH 03820

Tax Map L, Lot 48-G

Parker, Eric G.
205 Spur Rd.
Dover, NH 03820

Tax Map L, Lot 48-Q

Bettencourt, Arthur L.
201 Spur Road
Dover, NH 03820

Tax Map L, Lot 48-P

Bardwell, Eileen C, Trustee
Bardwell Eileen C Rev. Trust
199 Spur Rd.
Dover, NH 03820

Tax Map L, Lot 48-R

Gary J & Pamela Lindsay
197 Spur Rd.
Dover, NH 03820

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335 Second Crown Pt. Rd., Barrington, NH 03825
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www.BerrySurveying.Com

NH DOT

John O. Morton Building
PO Box 483 | 7 Hazen Drive
Concord, New Hampshire 03302-0483

Tax Map L, Lot 49-A (Condo association)

Cricklewood on the Bellamy
c/o Evergreen Management, INC
72 Portsmouth Ave.
Stratham, NH 03862

First-class mail to the individual owners of units within the association within 200ft:

Stockbower, David & Raquel
5 Blue Heron Dr.
Dover, NH 03820

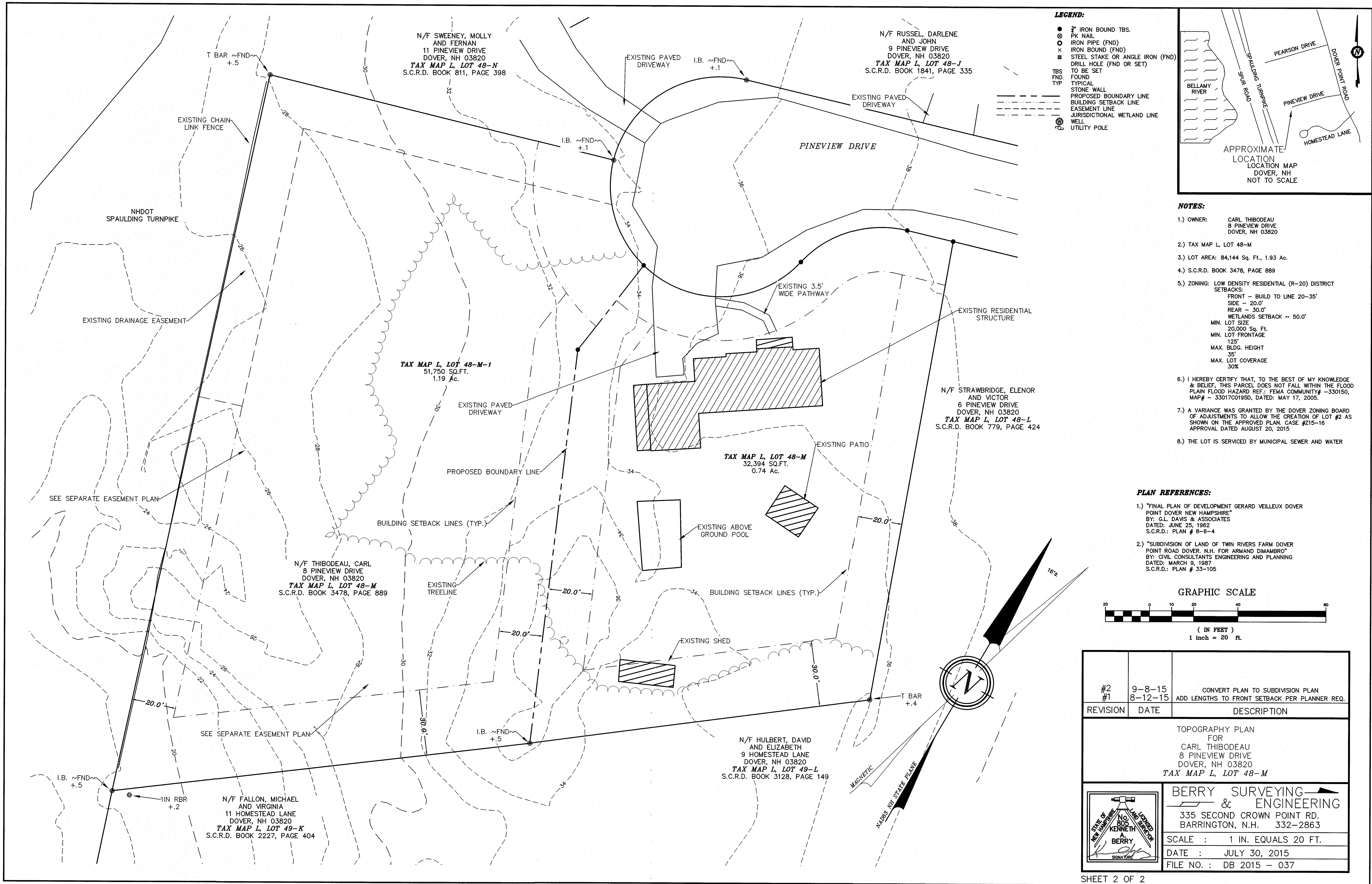
Donna Jean Ventura Trust
Donna Jean Ventura Trustee
10650 Coraline Pl.
Chatsworth, CA 91311

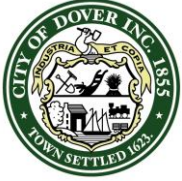
Professionals:

Christopher R. Berry
Berry Surveying & Engineering
335 Second Crown Point Rd
Barrington, NH 03820

**BERRY SURVEYING & ENGINEERING**

335 Second Crown Pt. Rd., Barrington, NH 03825
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CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P14-35

Application Type: Site Plan for Commercial/Residential Building
Applicant(s): River Valley Development Corporation
Owner(s): Gulf Landing Properties
Location: Off Central Ave (Tax Map 38, Lot 9A-2)
Meeting Date: September 22, 2015

INTENT: To construct a 3,888 sq.ft. building with commercial on the first floor and residential on the second and third floors and a 16 space parking lot

UNITS PROPOSED: 8 Residential Units

AGENDA ITEM #: 4-D

ACRES: 1.12 acres

ZONING DISTRICT: Thoroughfare Business (B-3) District

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Residential and Commercial Building

SURROUNDING LAND USE:
Commercial uses including a bowling alley, restaurants, car wash, and grocery

ZBA ACTION: Z14-01 and Z14-02 variances were granted on January 16, 2014 to permit the construction of a building to be located 25 feet from front lot line and variance to allow 12 multi-family units provided that no more than 10 are constructed and each dwelling shall contain no more than 2 bedrooms

ATTACHMENT: Site plan and application;
TRC minutes

APPLICATION IS COMPLETE: No

NOTICES SENT: Abutter notices were sent by certified mail for this meeting

PERMITS REQUIRED:

- EPA NOI permit
- CUP for Wetland Buffer Impact

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant proposes to build a new building with commercial on the first floor and residential on the second and third floors, with associated parking, utilities and drainage improvements.

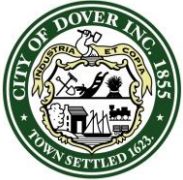
The applicant appeared before the Technical Review Committee on September 3, 2015 (see TRC Minutes attached).

Consistency with Land Use Regulations

Chapter 149-4 of the Site Review Regulations of the City Code provides for site review by the Planning Board of new construction of various types. The site is located in the Thoroughfare Business (B-3) District. This plan is consistent with those regulations provided the CUP (agenda item 4-E) is granted.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, open a public hearing, and then table the application to allow the applicant more time to address the comments from TRC (please see the attached minutes with the strike through text which indicates the comments have been addressed).



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES - P14-35

Application Type: Site Plan Review
Applicant: Gulf Landing Properties, LLC
Owner: Gulf Landing Properties, LLC
Location: Central Avenue (Tax Map 38, Lot 9A-2)
Date: September 3, 2015

INTENT: Site plan to construct a 3,888 s.f building with commercial on the first floor, and with eight (8) residential units on the second and third floors.

LOTS/UNITS PROPOSED: 8 multi-family residential units

AGENDA ITEM #: 1

ACREAGE: 1.12 acres

ZONING DISTRICT: Thoroughfare Business (B-3)

EXISTING LAND USE: Vacant

SURROUNDING LAND USE: Commercial

ZBA ACTION: Variances granted on 1/16/14 (Z01 & 02) to permit 10 multi-family units and 25' front setback from right-of-way

PERMITS REQUIRED: EPA NOI permit

WAIVERS REQUESTED: None

ATTENDANCE:

Members:

Christopher Parker (Planning)
Elena Piekut (Zoning)
Dan Barufaldi (Economic Development)
Marn Speidel (Police)
Dennis Ciotti (Planning Board)
Tom Clark (Building/Fire)

Others:

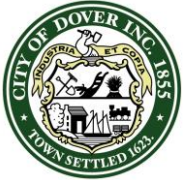
Chris Berry (Engineer)
Mike Patenaude (Owner)
Donna Pohli (Planning)
Curtis Pratt (Planning Board)

Approval of 7/23/15 Meeting Minutes

Motion to approve August 6, 2015 meeting minutes by Dennis Ciotti and seconded by Tom Clark. Vote U/A.

Planning Comments:

- ~~Submit an updated application~~
 - Impact fees and water and sewer investment fees will be assessed
 - Memo to file about why Special Exception was not needed
 - Need floor plans and architectural renderings
 - Need streetscape plan (*per 149-13.A(17)*)
 - ~~Confirm that there will not be a 4th floor by removing all references to it~~
 - ~~Indicate how many units on each floor~~
 - The Professional Engineer and Licensed Land Surveyor will need to sign and date final plans
 - ~~Need landscape plan prepared by a licensed Professional Landscape Architect~~
 - Revise neighborhood plan to include required details per Chapter 149-13.A(16) (*including zoning district*)
 - Add pedestrian walkway along right of way and confirm all pedestrian walkways (including along building) are porous or provide sketch of stone dust plan
 - ~~Add bike rack~~
 - Updated Storm Water Management Plan depicting the existing and proposed storm drainage system and engineered drainage analysis needed (*to the satisfaction of the City Engineer*)
 - Storm Water Management System Operation and Maintenance Plan needed (*to the satisfaction of the City Engineer*)
 - ~~Reference Book and Page of access easement~~
 - Need Traffic Assessment and Analysis (*including public transit*)
 - Add dates and numbers of the permits once approved
 - Submit conditional use permit application for wetlands buffer encroachments - identify total area of wetlands buffer impact (*needs to be approved*)
 - ~~Provide additional information and agreement for the parking easement~~
 - ~~If proposing a bank, confirm adequate space for vehicle stacking~~
- Cover Sheet:
- ~~Add Planning Department File Number: P14-35 to title as well~~
- Page 3:
- ~~Parking requirements - please revise to reflect new parking calculation of a maximum of 16 parking spaces~~
 - ~~Identify the location and extent of access easement and provide a reference to the easement deed~~
 - Note 31: provide date and case numbers of variance approvals, add conditions of approval including that units may only have 2 bedrooms or less



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES - P14-35

Application Type: Site Plan Review
Applicant: Gulf Landing Properties, LLC
Owner: Gulf Landing Properties, LLC
Location: Central Avenue (Tax Map 38, Lot 9A-2)
Date: September 3, 2015

Page 9

- ~~Temporary silt fence note: add that fence shall be inspected by the City Engineer or Building Official prior to construction~~
- ~~Fix typo in leader note on Sheet 9 to "install" not "insall"~~
- ~~Add SF and SS lines to legend~~

Page 11

- Provide perimeter parking lot landscaping per site plan regulations (*specify that shrubs meet the 2.5 foot height requirement at time of planting*)
- Request waiver from Ch. 149-14.E(1)(e) (no light permitted onto adjacent properties)
- Confirm that the lighting plan meets the regulations (including heights, ~~indicate parking area, etc.~~)
- ~~Review calculations and explain maximum on table, since staff found 4.7fe in parking lot~~
- ~~Define zones on plan that are included in table~~
- ~~Label B fixtures on lighting plan~~

Police Department Comments:

- Provide more detail at Central Avenue intersection. Include all Central Avenue lanes and pavement markings
- Change "Right Turn Only" sign near Central Avenue to "No Left Turn" (R3-2) sign
- Add another "Right Turn Only Ahead" sign at southeast corner
- Discuss the Central Avenue turning movements in a traffic impact assessment
- Is there any potential for integrating traffic with the car wash/coffee shop drive thru?
- Remove note 39 on Sheet 3, unless there are light poles proposed
- Add another R6-1R (One Way) sign by the building
- Add R6-1L and R6-1R signs to the sign posts at exit driveway, to be visible for approaching traffic along the access road

- What will be stored in the 2,000 gallon emergency storage tank?
- Include the 19 adjacent spaces in the parking calculations, if applicable
- ~~Does "EL" mean Easement Line? Not shown in key~~
- If leased to a bank, another TRC may be needed

Engineering Comments:

- Shrink rain garden and shift parking over
- Move 2,000 gallon emergency storage tank to south side of pumps
- Curb and landscape the islands along lot 9D/right of way and behind the building (northeast corner) or make pervious
- SMH + DMH lids to be pamrex or neenah hinged
- Move hydrant closer to road and install gate before it on sheet 5
- Reclaim right of way on sheet 6 and only pave 24' not the full 50'
- Add a stop sign going out to Central Ave
- Revise D1 on Sheet D-101 to define sump depth to be 3 or 4'
- Revise U2 on Sheet U-101: solid coupling schedule 40 to SDR 35. Fernco not allowed
- Revise snow storage depression on north side as it is currently over sewer pumps

Fire/Inspections Comments:

- Provide turning radius for FD's T-1
- Install 2nd Fire Lane sign near 120 UF ft leader note on plan
- Provide name for the R-O-W
- Relocate the Fire Dept connection to the westerly wall
- Show the front door better on plan

Economic Development Comments:

- ~~Show landscaping~~

Planning Board Comments:

- A conditional use permit application is required for wetlands
- Name the right-of-way
- Add recorded maintenance plan to reference list
- Pedestrian way necessary
- Include rams head on plan sheet, not just on roadway plan
- Indicate how gas leaks will be handled

Motion to adjourn by Tom Clark and seconded by Dennis Ciotti. Vote: U/A

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City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: April 23, 2013]

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Planning Office

Office Use Only

Project #:

P14-35

Date Received:

Amount Paid:

\$2509.00

Time Received:

SEP 14 2015

Dover, New Hampshire

APPLICANT AND OWNER INFORMATION

Name of Applicant: Gulf Landing Properties, LLC. Telephone # 1-978-815-4590

Address of Applicant: 9 Patriot Drive, Dover, NH 03820

E-Mail Address: rvdc1501@comcast.net

Name of Property Owner (if different from applicant): _____ Telephone # _____

Address of Property Owner: _____

PROPERTY INFORMATION

Address of Property: Off Central Ave

Assessor's Map # 38 Lot(s) # 9a-2

Zoning District(s) B3 Overlay District(s) _____

Size of Parcel: 48,717 sq. ft. 1.11 ac. Property Deed: Book 4213 Page: 615

Existing Use of Property: Vacant property.

SITE PLAN INFORMATION

Describe Proposed Use: Commercial building with 8 residential units above.

Area of Parcel to be Developed: 26,400 sq. ft.

If Multi-family Residential, Specify Number of Units & Buildings Proposed: 1 building with 8 units.

Number of Parking Spaces: Existing 0 Proposed 28

Highway Access (check where applicable): ☒ City Street ☐ State Highway

Number of Employees Total: Unknown at this time. In Maximum Shift: _____

Disposition of Parcel:

Building Setbacks:

Building Footprint 3,900 sq. ft.

Front Yard 25' with variance ft.

Total Building Area 11,700 sq. ft.

Rear Yard 15 ft.

Paved Area 11,200 sq. ft.Side Yard: Right 12 ft.
Left 12 ft.City Water? ☒ Yes ☐ NoHow far is city water from the property? At Boundary.City Sewer? ☒ Yes ☐ NoHow far is city sewer from the property? At Boundary.**BUILDING INFORMATION**Type of Building to be Built: Commercial on the first floor with 8 residential units above.Height of Building: 40' Finished Floor Elevation: 147.00

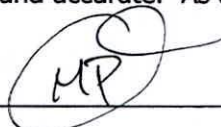
Number of Seats (where applicable) _____

WAIVER REQUESTSSite Review Regulations section(s) to be waived: Lighting onto abutting Lot

Justification for waiver request(s) (*attach additional sheets as needed*): The abutting lot contains highly dense commercial use with existing lighting. With the re-development of the right of way, it is appropriate to have some spill over lighting

SURVEYOR INFORMATIONName of Surveyor and Company (Licensed in N.H.) Berry Surveying & Engineering, Kenneth A. BerryAddress 335 Second Crown Point Road, Barrington, NH 03825 Telephone #: (603)332-2863Professional License #: 805 E-mail address: kberry@berrysurveying.com**ENGINEER INFORMATION**Name of Engineer and Company (Licensed in N.H.) Berry Surveying & Engineering, Kenneth A. BerryAddress 335 Second Crown Point Road, Barrington, NH 03825 Telephone #: (603)332-2863Professional License #: 14243 E-mail address: kberry@berrysurveying.com**SIGNATURES**

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Signature of Agent: _____

Date: 9-11-15**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

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Signature of Property Owner: _____

Date: 9-11-15**AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY**

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Date: 9-11-15

Signature of Applicant (if different from owner): _____

Date: _____

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Signature of Property Owner: _____

Date: 9-11-15

Signature of Applicant (if different from owner): _____

Date: _____

MEMORANDUM

93 Stiles Road, Suite 201, Salem, New Hampshire 03079 USA
800 Turnpike Street, Suite 300, North Andover, Massachusetts 01845 USA
Phone (603) 212-9133 and Fax (603) 226-4108
Email tepp@teppllc.com and Web www.teppllc.com

Ref: 1284
Subject: Traffic Assessment
Proposed Mixed-Use Development
Dover, New Hampshire
From: Kim Eric Hazarvartian, Ph.D., P.E., PTOE
Principal
Date: April 7, 2015

**INTRODUCTION**

Berry Surveying & Engineering has retained TEPP LLC to prepare this traffic assessment memorandum (TAM) of the proposed Allons-Y Park mixed-use development.

The site is in City of Dover, New Hampshire, east of Central Avenue and northwest of a major commercial activity center. The project will provide one building with about 3,900 square feet (sf) of office floor area and 8 apartment units.

This TAM is a standard traffic impact assessment and analysis per City policy and includes:

- site description
- road description
- sight distances
- trip generation
- trip distribution

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Dover, New Hampshire

Findings are:

- proposed redevelopment will generate a small number of peak-hour vehicle-trips
- the proposed redevelopment is anticipated to result in no significant impact to area traffic operations and safety
- the project involves modifying the minor unsignalized driveway along Central Avenue west of Morin Street to right-in-and-right-out only
- this modification is anticipated to make no significant change to traffic operations and safety of the major signalized driveway along Central Avenue opposite Morin Street

SITE DESCRIPTION

The existing site:

- is north of Central Avenue, with no direct access to Central Avenue
- is northwest of a major commercial activity center, which provides indirect access to Central Avenue
- has an area of 1.11 acres
- is vacant

The project will provide one building with:

- about 3,900 sf of office floor area
- 8 apartment units

The major commercial activity center includes two full-movement driveways along the east side of Central Avenue:

- a major signalized driveway opposite Morin Street
- a minor unsignalized driveway about 300 feet to the north

The project will convert the minor unsignalized driveway to right-in-and-right-out only.

ROAD DESCRIPTION

Central Avenue:

- is an arterial street
- is under the jurisdiction of the City
- provides a connection to/from the south with central Dover
- provides a connection to/from the north with Indian Brook Drive and Spaulding Turnpike interchange 9
- includes two lanes per direction, with a center lane for left turns or as a two-way left-turn lane



SIGHT DISTANCES

The project will not create a new driveway along Central Avenue.

TRIP GENERATION

The Institute of Transportation Engineers (ITE) compiles and publishes trip-generation information for a variety of land uses in *Trip Generation Manual*.¹ This authoritative guide for estimating site traffic includes:

- general office building, land use 710, based on floor area²
- apartment, land use land use 220, based on dwelling units³

Table 1 presents calculated trip generation as follows:

- weekday, 96 vehicle-trips (total of in and out)
- weekday AM street-peak hour, 10 vehicle-trips (6 in and 4 out)
- weekday PM street-peak hour, 11 vehicle-trips (4 in and 7 out)
- Saturday, 61 vehicle-trips (total of in and out)
- Saturday peak hour, 6 vehicle-trips (3 in and 3 out)

ITE states, in the authoritative *Trip Generation Handbook: A Recommended Practice*, that “the total generation of vehicle trips entering and exiting the multi-use site may be reduced from simply a sum of the individual, discrete trips generated by each land use.”⁴

The project itself constitutes a multi-use site. The project and with the adjoining major commercial activity center may also be considered to constitute a multi-use site. However, Table 1 conservatively does not reflect reductions in trip generation.

TRIP DISTRIBUTION

The calculated added vehicle-trips will not result in a material traffic impact on the area, regardless of trip distribution/assignment. Site trips will split to/from the north versus to/from south along Central Avenue.

¹ ITE, *Trip Generation Manual*, 9th Edition (Washington DC, 2012).

² ITE, pages 1250 to 1265.

³ ITE, pages 332 to 359.

⁴ Kevin G. Hooper, P.E., Principal Editor, *Trip Generation Handbook: A Recommended Practice*, 2nd edition (Washington DC: Institute of Transportation Engineers, June 2004), page 85.

Table 1. Trip generation.

Period	Calculated Vehicle-Trips		
	Office ^a	Residential ^b	Total
Weekday Daily	43	53	96
Weekday AM Street-Peak Hour			
In	5	1	6
Out	<u>1</u>	<u>3</u>	<u>4</u>
Total	6	4	10
Weekday PM Street-Peak Hour			
Enter	1	3	4
Exit	<u>5</u>	<u>2</u>	<u>7</u>
Total	6	5	11
Saturday Daily	10	51	61
Saturday Peak Hour			
Enter	1	2	3
Exit	<u>1</u>	<u>2</u>	<u>3</u>
Total	2	4	6

^aBased on ITE, *Trip Generation Manual*, 9th edition, general office building, land use 710, 3,900-sf floor area.

^bBased on ITE, *Trip Generation Manual*, 9th edition, apartment, land use 220, 8 dwelling units. In versus out for the Saturday peak hour is estimated.

CONCLUSION

ITE suggests that land developments generating at least 100 peak-hour vehicle trips, in the busier direction, are candidates for consideration of traffic impact analysis.⁵ The calculated change in peak-hour trip generation is well below this level.

The greatest peak-hour trip generation in Table 1 is 10 vehicle-trips:

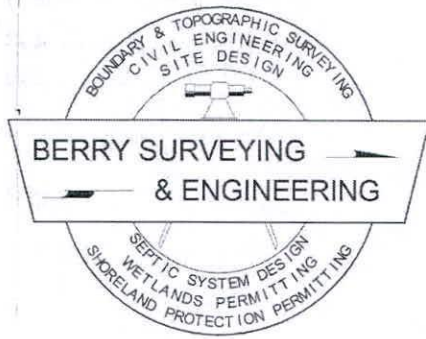
- an average of about 1 vehicle per 6 minutes added to the area
- split in versus out of the site
- further split to/from the north versus to/from south along Central Avenue

⁵ ITE, *Manual of Transportation Engineering Studies* (Prentice Hall: Englewood Cliffs, New Jersey, 2000), page 144.

TEPP LLC received typical traffic volumes along the minor unsignalized driveway along Central Avenue west of Morin Street, as follows:

- weekday AM peak hour, 5 vehicles (4 in and 1 out)
- weekday PM peak hour, 9 vehicles (6 in and 3 out)
- Saturday midday peak hour, 17 vehicles (6 in and 11 out)

The project involves modifying the minor unsignalized driveway along Central Avenue west of Morin Street to right-in-and-right-out only. Therefore, a portion of the above volumes will re-route to the major signalized driveway opposite Morin Street. However, these volumes are small and would represent an insignificant change.



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road
Barrington, NH 03825
Phone: (603) 332-2863
Fax: (603) 335-4623
www.BerrySurveying.Com

Stormwater System Operation and Maintenance Plan

And

Inspection and Maintenance Manual

Alons-Y Park
Gulf Landing Properties, LLC
Tax Map 38, Lot 9A-2 Central Avenue
Dover, NH 03820

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SEP 14 2015

Dover, New Hampshire

Prepared By

Berry Surveying & Engineering
335 Second Crown Point Road
Barrington, NH 03825
603-332-2863

September 14, 2015

File Number
2015-058

This Operation and Maintenance Plan & Inspection and Maintenance Manual was prepared for the Stormwater System to be constructed at Tax Map 38, Lot 9A-2 Central Avenue. It has been prepared in accordance with RSA 485-A:17 and Administrative Rules Env-Wq 1507.08 administered by the NHDES Alteration of Terrain and City of Dover Site Plan Review Regulations.

Stormwater System Operation and Maintenance Plan

And

Inspection and Maintenance Manual

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Introduction

The Best Management Practices (BMP) described in this manual are specified in more detail within the plan set giving design details and specifications. The New Hampshire Stormwater Manual, Volume 2, Post-Construction Best Management Practices Selection & Design (December 2008, NHDES & US EPA) is included by reference to this manual. Additional details, construction specifications, and example drawings are provided within this reference. (<http://des.nh.gov/organization/divisions/water/stormwater/>)

The BMP's are covered below in the general order in which the storm water flows. Each BMP has a description and maintenance consideration listed. A checklist table is provided after the narrative to summarize the maintenance responsibilities and schedule. A Log Form is also provided for the owner's use.

For details regarding the design of the Storm Water System see also Drainage Analysis & Sediment and Erosion Control Plan also published by Berry Surveying & Engineering, dated September 14, 2015. See also plan set completed for Gulf Landing September 14, 2015.

Gulf Landing Properties, LLC, land owner for Central Ave, Tax Map 38, Lot 9A-2, is responsible for the Stormwater System Operation and Maintenance. A significant step in this responsibility is the Inspection and Maintenance of each component of the system. Ongoing, semi-annual, and annual inspection and maintenance requirements are documented below and must be taken seriously. Failure of any component of the system can result in surface water run-off ponding and/or freezing in the parking lot, leaving the developed site untreated, and/or causing violations to issued permits. The owner must maintain, and have available, plans of the Stormwater System in order properly inspect and maintain the system. (Reduced copies attached.) The owner is responsible to ensure that any subsequent owner, owners association, or subcontractor has copies of the Log Form and Annual Report records and fully understands the responsibilities of this plan. The grantor owner will ensure this document is provided to the grantee owner by duplicating the Ownership Responsibility Sheet which is found toward the back of this document, which will be maintained with the Inspection & Maintenance Logs, provided to the City of Dover Community Services Department with the Annual Report and available to NHDES upon request.

Deep Sump Catch Basins and Drain Manholes

Description: Deep Sump Catch Basins are used throughout the site as a pretreatment measure to remove sediment and debris from storm water runoff. Deep Sump Catch Basins will be designed with a sump that is four times the depth of the discharge culvert and a minimum of four feet. All pretreatment deep sump catch basins will have an outlet pipe hood which extends one-foot below the outlet invert and will include a hood vent.

Maintenance Considerations: Sediment must be removed from Deep Sump Catch Basins and Deep Sump Manholes on a regular basis, at least twice a year and more often if the sumps become half-full. Inspections should be conducted periodically. At a minimum they should be cleaned after snow-melt and after leaf-drop. Damaged outlet hoods must be replaced. It is recommended that a vacuum truck be utilized as contrasted to a clam-shell method to avoid damage to the hood. Hydrocarbons found to be floating in the basin should be removed by skimming, absorbent materials, or other method. Disposal of all material, sediment, and debris must be done in accordance with state and federal regulations. Drain manholes throughout the site must be inspected and maintained in order to preserve the integrity of the storm water drainage system as a whole.

Bio-retention System (Rain Gardens & Dry-Swales)

Description: Rain Gardens, or bio-retention areas, are located close to the source of runoff. They are intended to integrate with the site landscaping and become an aesthetically pleasing opportunity to provide highly effective stormwater treatment. The rain gardens associated with this proposed development contribute toward recharge of surface water run-off into the ground. It is important that sediment be removed from run-off prior to discharge into the bio-retention area to preserve the mulch and soil mix ratio. During construction it is important that the ground surface not be exposed to traffic or construction equipment to preserve the infiltration capabilities of the existing soil. Construction specifications are included in the plan set and New Hampshire Stormwater Manual, Volume 2, 4-3 Treatment Practices, 4c Bio-retention System.

Maintenance Considerations:

Rain Gardens should be inspected at least twice annually and following any rainfall event exceeding 2.5 inches in a twenty-four hour period. Maintenance rehabilitation will be conducted as warranted by each inspection. Trash and debris will be removed at each inspection.

On an annual basis the infiltration capabilities need to be confirmed by evaluating the drawdown time. If the bio-retention system does not drain within 72-hours following a rainfall event, a qualified professional will assess the condition of the rain garden to determine measures required to restore the infiltration function. This is normally the direct result of sediment accumulation which will be removed to restore the filter media ratio.

Also on an annual basis, the vegetation should be inspected to ensure healthy condition. Invasive species need to be removed, along with dead or diseased vegetation.

Rain Gardens that are equipped with underdrains will have the underdrains flushed annually by running water from a hose into the clean-outs and watching the collection catch basins for discharge. Clean-outs will be located at the ends of the runs. Catch basins used as over-flow devices and collection points for underdrains will be maintained as a deep sump catch basin above.

Snow Storage Areas

Description: To the greatest extent possible, the piling of snow from the parking lot should be accomplished outside of the bio-media associated with the rain gardens. Although salt tolerant species have been specified for the rain garden, the sand and salt accumulation within the rain garden will become a maintenance consideration in the spring.

Maintenance Considerations: After the snow has melted in the spring, the snow storage area will be raked removing any accumulated sediment and gross solids. As this area will be stabilized with loam and seed, the surface will be repaired and replanted to remediate any damage resulting due to maintenance or snow removal activities.

Annual Report

Description: The owner is responsible for keeping an **I & M Activity Log** that documents inspection, maintenance and repairs to the storm water management system, and a **Deicing Log** to track the amount and type of deicing material applied to the site. The original owner is responsible to ensure that any subsequent owner(s) have copies of the Stormwater System Operation and Maintenance Plan & Inspection and Maintenance Manual, copies of past logs and checklists. The Annual Report will be prepared and submitted to the City of Dover Community Services Department with copies of both logs and check lists no later than December 15th of each year and made available to NHDES upon request. Upon an ownership change, the Annual Report will include the Transfer of Ownership Responsibility Forms duplicated from the form found below.

Respectfully,
BERRY SURVEYING & ENGINEERING

Kenneth A. Berry, PE, LLS
CPESC, CESSWI
Principal, VP – Technical Operations

STORMWATER SYSTEM OPERATION AND MAINTENANCE PLAN

Inspection & Maintenance Manual Checklist

Alons-Y Park
Gulf Landing Properties, LLC
Tax Map 38, Lot 9A-2 Central Avenue
Dover, NH 03820

BMP / System	Minimum Inspection Frequency	Minimum Inspection Requirements	Maintenance / Cleanout Threshold
Pavement Sweeping	Three Times Per Year	N/A	N/A
Litter/Trash Removal	Routinely	Inspect dumpsters, outdoor waste receptacles area, and yard areas.	Parcel will be free of litter/trash.
Deicing Agents	N/A	N/A	Use salt as the primary agent for roadway safety during winter.
Closed Drainage System:			
Snow Storage Area	1 time per year. Spring prior to the growing season.	Inspect for sediment build-up, gross solids, and damage to vegetation.	Remove excess sediment and gross solids, rake the area and repair/re-vegetate any damaged areas

Rain Garden	2 times per year	Check for sediment and debris accumulation buildup.	Remove sediment & debris when required.
Rain Garden / Dry-Swales	Annually	72-Hour drawdown time evaluation and vegetation evaluation. Underdrain flushing.	Remove dead & diseased vegetation along with all debris, take corrective measures of filtration media if required. Flush underdrain clean-outs with a hose.
Annual Report	1 time per year	Submit Annual Report to Dover Community Services Department and kept on file by the owner.	Report to be submitted on or before December 15th each year. Make copies available to NHDES upon request.

Inspection Checklist

Inspection Notes:

Alons-Y Park

Tax Map 38, Lot 9A-2 Central Avenue

[illegible]

STORMWATER SYSTEM OPERATION & MAINTENANCE PLAN CERTIFICATION

Owner	Responsibility
Name: Alons-Y Park Gulf Landing Properties, LLC Tax Map 38, Lot 9A-2 Central Avenue Dover, NH 03820 Telephone: 978-815-4590	The owner is responsible for the conduct of all construction activities, and ultimate compliance with all the provisions of the Stormwater System Operation & Maintenance Plan and the implementation of the Inspection and Maintenance Manual.

OWNER CERTIFICATION

I certify under penalty of law that this document and all attachments were prepared under my direction and supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Signed: _____ Date: _____

Printed Name:

Representing:

RECEIVED
Planning Office

SEP 14 2015

Dover, New Hampshire

**DRAINAGE ANALYSIS
&
SEDIMENT AND EROSION
CONTROL PLAN**

Prepared for:
**GULF LANDING PROPERTIES, LLC
CENTRAL AVENUE, DOVER, NH**

Prepared by:
**Berry Surveying & Engineering
335 Second Crown Point Road
Barrington, NH 03825**

Project Number:
DB 2013-091

September 14, 2015

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USGS Quadrangle Location Map 1" = 1000'

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Submission Items

Appendix I - Existing Conditions Analysis

2 Yr – 24 Hr Node Listing
10 Yr – 24 Hr Node Listing
25 Yr – 24 Hr Full Summary

Appendix II - Proposed Conditions Analysis

2 Yr – 24 Hr Node Listing
10 Yr – 24 Hr Node Listing
25 Yr – 24 Hr Full Summary

Appendix III Calculations, Charts, & Graphs

Enclosed: Sheet W1 - Existing Conditions Watershed Plan
Sheet W2 - Proposed Conditions Watershed Plan

DESIGN METHOD OBJECTIVES

GULF LANDING PROPERTIES, LLC proposes to construct a commercial building with associated access drives and parking, located off of Central Avenue, sharing the parking lot in front of Dover Bowl in Dover, NH. The proposal consists of construction of a 3,900 square foot (SF) building, two access drives to the internal drive aisles, one exit drive and parking network, and sixteen (16) parking spaces. There are two existing stormwater discharge points which were determined to be final analysis points for the drainage study. Existing and Proposed Conditions analyses were conducted for the purpose of estimating the peak rate of stormwater run-off and to subsequently design adequate mitigation of drainage. By designing two watershed models we have compared the differences in these rates of peak run-off, as well as volumetric differences. Sheet W1 outlines the characteristics of the site in its existing or pre-construction conditions. The second analysis displays the proposed (post-construction) conditions (See Sheet W2). The analysis was conducted using data for; 2 Yr – 24 Hr (3.13"), 10 Yr – 24 Hr (4.75"), and 25 Yr -24 Hr (6.01"). The storm event analyses were accomplished using the USDA SCS TR-20 method within the HydroCAD Stormwater Modeling System environment.

1.0 Existing Conditions Analysis:

Reference: Sheet W1 - Existing Conditions Watershed Plan (Enclosed)
Sheet 2 of 9 – Existing Conditions Plan

The existing subject property is approximately 2 acres, zoned commercial and located within the densely developed land in downtown Dover, NH. Most of the land to be developed appears to have been filled many years ago. The total area analyzed, 40.23 acres, consisting of 8.05 acres of existing grass, 8.61 acres of woods, 1.88 acres of sand, and 21.29 acres of impervious area which includes the existing, abutting structures, and paved access roads and parking areas, as well as Central Ave, and abutting lands westerly of Central Ave. The subject parcel and abutting parcels include jurisdictional wetlands that convey runoff from Central Avenue, the surrounding developed land, and the subject parcel. They eventually flow of surface water runoff to the east of the subject parcel to a major wetland complex to the rear of Dover Bowl and Plaza. The soils were evaluated through the on-line USDA soils mapping program. However, the subject soils were mostly consist of "Man Made" soils or fill. The wetland and wooded areas consist of "A" soils. Due to the saturated nature of the wetlands, those soils were categorized with a CN value of 77 and the fill areas were assigned a CN value of 39 or "Grass Good HSG A". The grass and woodland areas have all been categorized as "Good" for analysis purposes. The several test pits that were performed had seasonal high water tables of approximately 36".

The subject parcel has access rights to both the existing roadway to the south of the site and to the parking lot, which is located east of the site. There is an independent drainage system for the abutting properties which flows to a catch basin (CB #4) to the east of the site. The southern portion of the subject site flows to another catch basin (CB #4) and both catch basins then flow to a drain manhole (DMH #102) modeled as Final Reach 1000. The rear of the site flows to an existing 12" culvert located in a ditch line

adjacent to the large parking lot for Dover Bowl. Both drainage systems eventually flow to the large wetland complex to the rear of Dover Bowl.

The subject parcel and the abutting properties are divided into nine subcatchments in their existing conditions.

Subcatchment #1:

Subcatchment number one consists of the developed area to the east of the site, including part of the Dover Bowl building and all of the Dover Bowl parking lot. The runoff from this area flows to catch basin #3.

Subcatchment #1FS:

Subcatchment number one FS consists of the front part of the subject parcel, plus the paved right of way to the south of the site, half of the Black Dog Carwash parcel, half of Central Ave, and portions of the properties on Central Ave. This land area is mostly developed with paved roads and structures, with the exception of the subject site, which is primarily grass. The runoff from this area flows to catch basin #3.

Subcatchment #2:

Subcatchment number two consists of the rear portion of the site, along with portions of the properties to the north of the site. This land area is mostly woods, with portions of developed area including paved driveways and structures. Runoff in this area flows through the on-site wetland to the existing 12" HDPE culvert.

Subcatchments #3, #4, and #5:

Subcatchment numbers three, four, and five are composed entirely of roof area, and all three connect to the drainage system through closed roof drains. Subcatchment #3 is the rear portion of the building, and is connected directly to DMH #102. Subcatchments #4 and #5 connect to the closed drainage system in the front of the building, and water subsequently flows through the drainage system to DMH #102.

Subcatchment #6:

Subcatchment number six consists of the area south of the subject site, across the right of way. This land area is fully developed with structures, pavement, and grassed islands, and also includes a portion of Central Ave. Runoff from this area primarily flows over land to catch basins in the driveway, which carry the water to catch basin #4 and then to DMH #102. Catch Basin #4 (Pond #6), an existing Catch Basin built on a six-foot diameter concrete structure with stainless steel debris guard, is a pivotal point in the analysis collecting runoff from the plaza, access road, Central Avenue, and areas westerly of Central Avenue. (See Subcatchments #7 and #8 below.)

Subcatchment #7:

Subcatchment number seven is a large area that encompasses the area north of Planet Fitness, the Planet Fitness building, and a large portion of the Planet Fitness parking lot. It also contains Morin Street, and the area south of Morin Street, which is a mix of woods and developed area with paved parking and structures. These two large areas are connected by a portion of Central Ave, which also contributes to the area. There is a large mix of land types in this area, including woods, grass, roofs, paved parking, and roads. All flows from this area are eventually directed to the closed drainage system in the Petco driveway, which connect to catch basin #4, and subsequently DMH #102.

Subcatchment #8:

Subcatchment number eight consists of areas to the south and east of Planet Fitness, including Subway and Dunkin Donuts. Again, there is a wide range of land types in this area, including woods, grass, sand, roofs, paved parking, and driveways. Soils in this area are exceptionally well drained. Flows in this area are directed to a depression to the north of Morin Street, which holds this runoff before flowing into the closed drainage system on the Shaw's property. This depression has been modeled as pond #8.

2.0 Proposed Conditions Analysis:

Reference: Sheet W2 - Proposed Conditions Watershed Plan (Enclosed)
Sheet 3 of 9 - Proposed Site Plan
Sheet 4 of 9 - Grading Plan

Final Reach #100:

The off-site subcatchment #1 and the rear of the subject site, subcatchment #3 flow to the same 12" HDPE culvert, as in the existing conditions. Because the rear portion of the site is primarily wetlands and wetland buffers, the delineation of these two subcatchments are basically unchanged.

Final Reach #200:

The area that flows to Reach #200 in the existing conditions continues to flow to Reach #200. The off-site subcatchment #2 is primarily unchanged; however on-site subcatchment #4 has been divided into four subcatchments.

The pavement from the southwesterly side of building , the area in front of the building and the building itself all flow into the rain garden in front of the building (Pond #100). The rain garden is an infiltration device, which is directly connected to Drain manhole #50, which is connected to Reach #200.

The rear parking area is directed to a catch basin (Pond #10), which flows to Drain manhole #50, which is connected to the final reach #200.

3.0 FULL COMPARATIVE ANALYSIS

Peak Rate of Discharge

ANALYSIS	COMPONENT	PEAK RATE DISCHARGE (Cubic Feet / Second) (Volume in Acre- Feet)		
		2 Yr (Volume)	10 Yr	25 Yr
Final Reach #1000	Existing	18.86 (1.436)	31.46	41.75
	Proposed	18.86 (1.489)	31.18	41.69

Treatment:

Treatment takes place within the proposed rain garden (Pond #100). Most of the parking area, and the roof top is directed into this structure, which utilizes a specified filter media to treat the stormwater runoff (See UNH Storm water Center Isolator Row performance and Rain Garden Design).

The Rain Garden (Pond #100) contains the first flush event and infiltrates the volume through the bio-media for treatment. Find Enclosed BMP Sheets & revised Infiltration Report. What is not taken into consideration in the volumetric differentiation is the root take-up that will take place within the rain garden. It is also our opinion that the bio-media will retain a certain proportion of the small storm events which is not taken into consideration in the stormwater hydrology model. Although both are known features of a rain garden, there is not sufficient documentation to quantify these factors.

4.0 SEDIMENT & EROSION CONTROL PLANS BEST MANAGEMENT PRACTICES (BMP's)

Reference: Sheet W2 - Proposed Conditions Plan
Sheet 7 of 9 – Sediment & Erosion Control Plan
Sheet E-101 and E-102 – Sediment & Erosion Control Details

The proposed site development is protected from erosion and the roadways and abutting properties are protected from sediment by the use of Best Management Practices as outlined in the New Hampshire Stormwater Manual, Volume 2, Post-Construction Best Management Practices Selection & Design (December 2008, NHDES & US EPA). Any area disturbed by construction will be re-stabilized within 30 days and abutting properties and wetlands will not be adversely affected by this development. All swales and drainage structures will be constructed and stabilized prior to having run-off directed to them. Reference is also made to the Stormwater System Operation and Maintenance Plan / Inspection & Maintenance Manual which has been written specifically for this project and available to the owner.

Silt Fence

The plan set demonstrates the location of silt fence for sediment control. The Erosion and Sediment Control Details, has the specifications for installation and maintenance of the silt fence.

Filtrexx Soxx (or equal)

The plan set demonstrates the location of Filtrexx Soxx, or equal, for sediment control. The Erosion and Sediment Control Details, has the specifications for installation and maintenance of the Filtrexx Soxx.

Note: See the note on Sheet 7 of 9 regarding the double layer of silt and sediment protection where the proposal extends within 50 feet of the wetland.

Drainage Swales / Stormwater Conveyance Channels

Drainage swales will be stabilized with vegetation for long term cover as outlined below, and on Sheet E-101 using seed mixture C. As a general rule, velocities in the swale should not exceed 3.0 feet per second for a vegetated swale although velocities as high as 4.5 FPS are allowed under certain soil conditions.

Vegetated Stabilization

All areas that are disturbed during construction will be stabilized with vegetated material within 30 days of breaking ground. Construction will be managed in such a manner that erosion is prevented and that no abutter's property will be subjected to

any siltation, unless otherwise permitted. All areas to be planted with grass for long-term cover will follow the specification and on Sheet E-102 using seeding mixture C, as follows:

Mixture	Pounds per Acre	Pounds per 1,000 Sq. Ft.
Tall Fescue	24	0.55
Creeping Red Fescue	24	0.55
Total	48	1.10

Stabilized Construction Entrance

A temporary gravel construction entrance provides an area where mud can be dislodged from tires before the vehicle leaves the construction site to reduce the amount of mud and sediment transported onto paved municipal and state roads. The stone size for the pad should be between 1 and 2-inch coarse aggregate, and the pad itself constructed to a minimum length of 50' for the full width of the access road. The aggregate should be placed at least six inches thick. A plan view and profile are shown on Sheet E-102- Sediment and Erosion Control Detail Plan.

Environmental Dust Control

Dust will be controlled on the site by the use of multiple Best Management Practices. Mulching and temporary seeding will be the first line of protection to be utilized where problems occur. If dust problems are not solved by these applications, the use of water and calcium chloride can be applied. Calcium chloride will be applied at a rate that will keep the surface moist but not cause pollution.

Filter Strips

Filter strips are areas of land with natural or planted vegetation designed to receive sheet run-off from up gradient development. These natural areas, preferably wooded, are effective in removing sediment and sediment-laden pollutants from such run-off, although their effectiveness is severely diminished when forced to deal with concentrated flow and must therefore be equipped with a level-spreading device. Filter strips should not have a slope exceeding fifteen percent and have a minimum length of seventy-five feet.

Drainage Swales / Stormwater Conveyance Channels

Drainage swales will be stabilized with vegetation for long term cover as outlined below, and on Sheet E-102 using seed mixture C. As a general rule, velocities in the swale should not exceed 3.0 feet per second for a vegetated swale although velocities as high as 4.5 FPS are allowed under certain soil conditions.

Deep Sump Catch Basin

Deep Sump Catch Basins are used throughout the site as a pretreatment measure to remove sediment and debris from storm water runoff. Each catch basin used as a pretreatment device prior to a subsequent BMP (Best Management Practice) will be designed and installed "off-line" and not installed in series. Deep Sump Catch Basins will be designed with a sump that is four times the depth of the discharge culvert and a minimum of four feet. All pretreatment deep sump catch basins will have an outlet pipe hood which extends one-foot below the outlet invert and will include a hood vent. Sediment must be removed from Deep Sump Catch Basins on a regular basis, at least twice a year and more often if the sumps become half-full. Inspections should be conducted periodically. See Sheet D-101 for details.

Construction Sequence

1. Cut and remove trees in construction areas as directed or required.
2. Install Silt Fence and construct and/or install temporary and permanent sediment erosion and detention control facilities (Vegetated swales, level spreaders, and constructed filter strips), as required. Erosion, sediment and facilities shall be installed and stabilized prior to directing run-off to them.
3. Clear, grub, and dispose of debris in approved facilities.
4. Excavate and stockpile topsoil / loam. All disturbed areas shall be stabilized immediately after grading.
5. Construct the driveway, parking, and its associated drainage structures. All drainage structures will be constructed and stabilized prior to routing runoff to the structure. Excavate for building footings, retaining walls, utilities, and construct building pad.
6. Begin permanent and temporary seeding and mulching. All cut and fill slopes and disturbed areas shall be seeded and mulched as required, or directed. All roadways and parking areas shall be stabilized within 72 hours of achieving finish grades. All cut and fill slopes shall be stabilized within 72 hours of achieving finished grades.
7. Daily, or as required, construct temporary berms, drainage ditches, sediment traps, etc. to prevent erosion on the site and prevent any siltation of abutting waters or property.

8. Inspect and maintain all erosion and sediment control measures during construction.
9. Complete permanent seeding and landscaping.
10. Remove temporary erosion control measures after seeding areas have established themselves and site improvements are complete. Smooth and re-vegetate all disturbed areas.
11. All swales and drainage structures will be constructed and stabilized prior to having run-off being directed to them.
12. Finish graveling all roadways/parking.

Temporary Erosion Control Measures

1. The smallest practical area of land shall be exposed at any one time.
2. Erosion, sediment control measures shall be installed as shown on the plans and at locations as required, or directed by the engineer.
3. All disturbed areas shall be returned to original grades and elevations. Disturbed areas shall be loamed with a minimum of 4" of loam and seeded with not less than 1.10 pound of seed per 1,000 square feet (48 pounds per acre) of area.
4. Silt fences and other barriers shall be inspected periodically and after every rainstorm during the life of the project. All damaged areas shall be repaired, sediment deposits shall periodically be removed and properly disposed of.
5. After all disturbed areas have been stabilized, the temporary erosion control measures are to be removed and the area disturbed by the removal smoothed and re-vegetated.
6. Areas must be seeded and mulched within 5 days of final grading, permanently stabilized within 15 days of final grading, or temporarily stabilized within 30 days of initial disturbance of soil.

Inspection and Maintenance Schedule

Fencing will be inspected during and after storm events to ensure that the fence still has integrity and is not allowing sediment to pass. Sediment build-up in swales and level spreaders will be removed if it is deeper than six inches. See also Stormwater System Operation & Maintenance Plan and Inspection & Maintenance Manual published separately also by Berry Surveying & Engineering.

5.0 CONCLUSION

This proposed site development for Gulf Landing Properties, LLC reduces peak rates at all storm events, remediates volumes at the 2 Yr events through bio-retention devices, and treats all stormwater coming from parking lot and building discharges.

A Site Specific, Terrain Alteration Permit (RSA 485: A-17) is not required for this site plan due to the area of disturbance being 88,000 square feet.

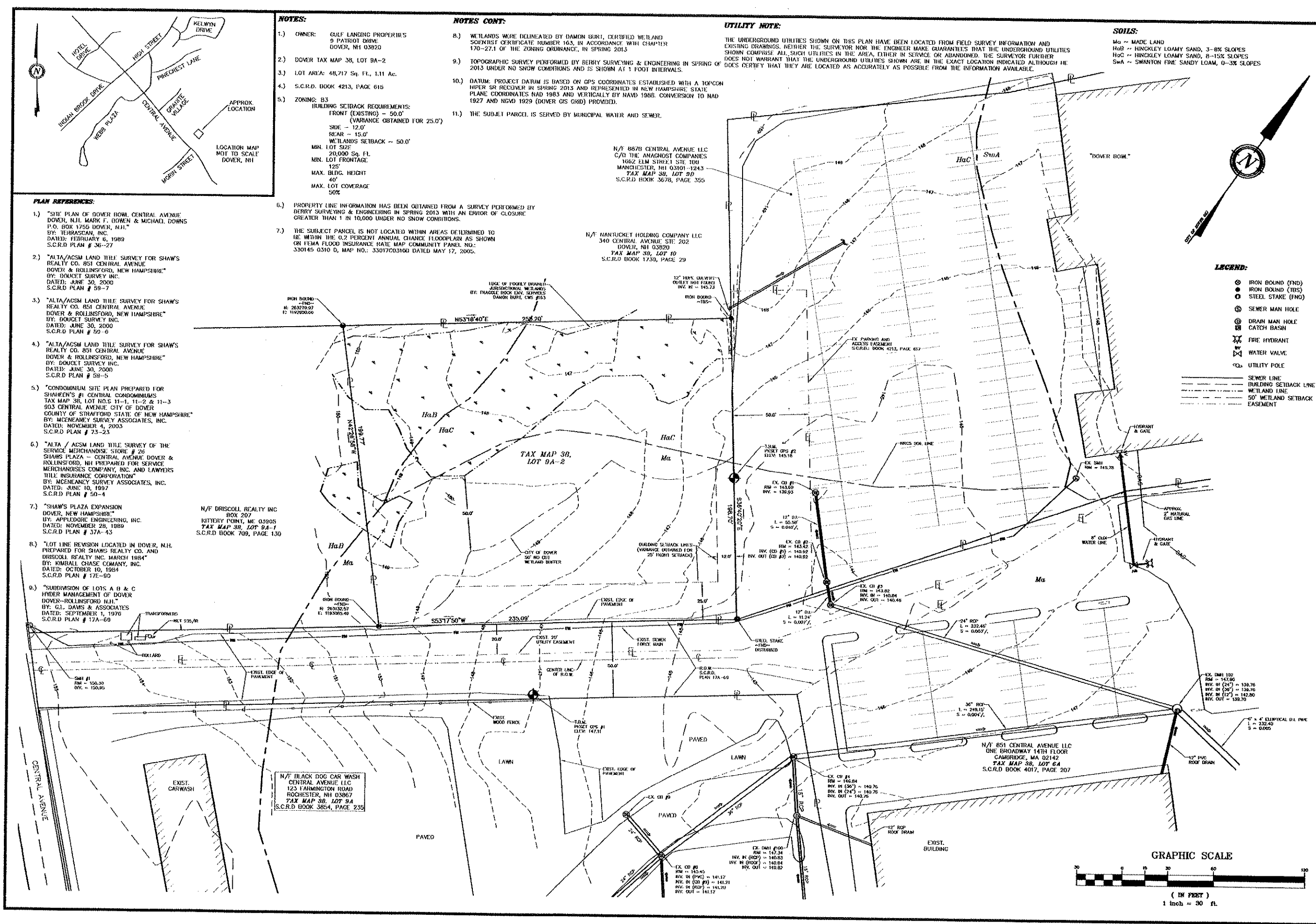
Respectfully Submitted,

BERRY SURVEYING & ENGINEERING

Christopher R. Berry, EIT
Principal, President

Kenneth A. Berry, PE, LLS
CPESC, CESSWI
Principal, VP-Technical Operations

Berry Surveying & Engineering is a division of Berry Construction Co., Inc. licensed by the NH Joint Board of Licensure to conduct Civil Engineering and Land Surveying business in the State of New Hampshire.



NOTES:

- OWNER: GULF LANDING PROPERTIES
9 PATRIOT DRIVE
DOVER, NH 03820
- DOVER TAX MAP 38, LOT 9A-2
- LOT AREA: 48,717 Sq. Ft., 1.11 Ac.
- S.C.R.D. BOOK 4213, PAGE 618
- ZONING: B3
BUILDING SETBACK REQUIREMENTS:
FRONT (EXISTING) - 50.0'
(VARIANCE OBTAINED FOR 25.0')
SIDE - 12.0'
REAR - 15.0'
WETLANDS SETBACK - 50.0'
MIN. LOT SIZE
20,000 Sq. Ft.
MIN. LOT FRONTAGE
125'
MAX. BLDG. HEIGHT
40'
MAX. LOT COVERAGE
50%

NOTES CONT:

- WETLANDS WERE DELINEATED BY DAMON BURT, CERTIFIED WETLAND SCIENTIST CERTIFICATE NUMBER 163, IN ACCORDANCE WITH CHAPTER 170-27.1 OF THE ZONING ORDINANCE, IN SPRING 2013.
- TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SPRING OF 2013 UNDER NO SNOW CONDITIONS AND IS SHOWN AT 1 FOOT INTERVALS.
- DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN SPRING 2013 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAD 1985 CONVERSION TO NAD 1927 AND NGVD 1929 (DOVER GCS GRID) PROVIDED.
- THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.

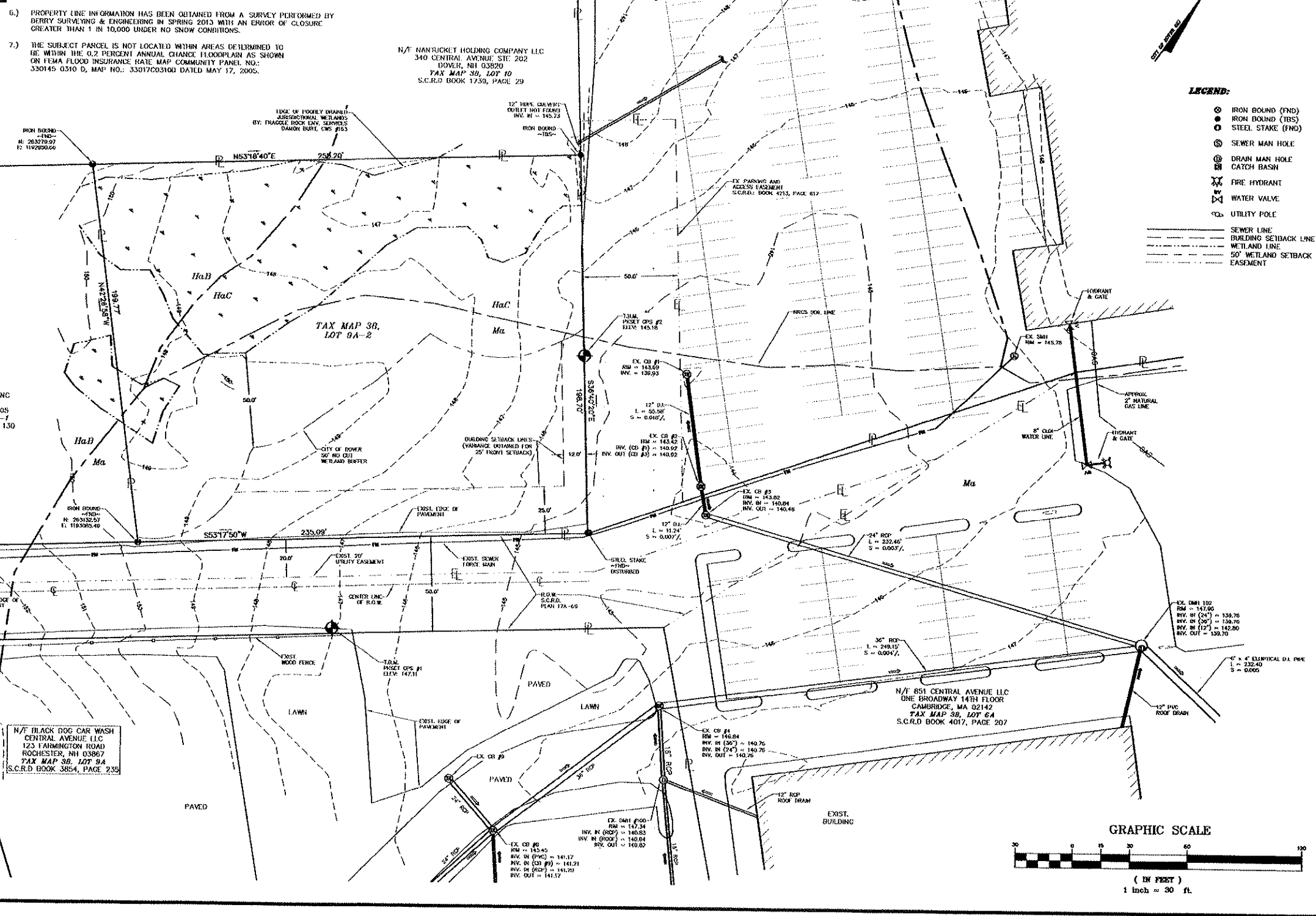
UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. NEITHER THE SURVEYOR NOR THE ENGINEER MAKE GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

SOILS:

Ma - MADE LAND
HaB - HINCKLEY LOAMY SAND, 3-8% SLOPES
HaC - HINCKLEY LOAMY SAND, 8-13% SLOPES
SwA - SWANTON FINE SANDY LOAM, 0-3% SLOPES

- PLAN REFERENCES:**
- "50' PLAN OF DOVER BOWL, CENTRAL AVENUE DOVER, N.H. MARK F. BOWEN & MICHAEL DOWNS P.O. BOX 1755 DOVER, N.H." BY: TERRACON, INC. DATED: FEBRUARY 6, 1989 S.C.R.D. PLAN # 36-27
 - "ALTA/ACSM LAND TITLE SURVEY FOR SHAW'S REALTY CO. 851 CENTRAL AVENUE DOVER & ROLLINSFORD, NEW HAMPSHIRE" BY: DOUGET SURVEY INC. DATED: JUNE 30, 2000 S.C.R.D. PLAN # 59-7
 - "ALTA/ACSM LAND TITLE SURVEY FOR SHAW'S REALTY CO. 851 CENTRAL AVENUE DOVER & ROLLINSFORD, NEW HAMPSHIRE" BY: DOUGET SURVEY INC. DATED: JUNE 30, 2000 S.C.R.D. PLAN # 59-6
 - "ALTA/ACSM LAND TITLE SURVEY FOR SHAW'S REALTY CO. 851 CENTRAL AVENUE DOVER & ROLLINSFORD, NEW HAMPSHIRE" BY: DOUGET SURVEY INC. DATED: JUNE 30, 2000 S.C.R.D. PLAN # 59-5
 - "CONDOMINIUM SITE PLAN PREPARED FOR SHAHEEN'S #1 CENTRAL CONDOMINIUMS TAX MAP 38, LOT NOS 11-1, 11-2 & 11-3 903 CENTRAL AVENUE CITY OF DOVER COUNTY OF STRAFFORD STATE OF NEW HAMPSHIRE" BY: MCNEANEY SURVEY ASSOCIATES, INC. DATED: NOVEMBER 4, 2003 S.C.R.D. PLAN # 73-23
 - "ALTA / ACSM LAND TITLE SURVEY OF THE SERVICE MERCHANDISE STORE # 26 SHAW'S PLAZA - CENTRAL AVENUE DOVER & ROLLINSFORD, NH PREPARED FOR SERVICE MERCHANDISE COMPANY, INC. AND LAWYERS TITLE INSURANCE CORPORATION" BY: MCNEANEY SURVEY ASSOCIATES, INC. DATED: JUNE 10, 1997 S.C.R.D. PLAN # 50-4
 - "SHAW'S PLAZA EXPANSION DOVER, NEW HAMPSHIRE" BY: APPLIED ENGINEERING, INC. DATED: NOVEMBER 25, 1989 S.C.R.D. PLAN # 37A-43
 - "LOT LINE REVISION LOCATED IN DOVER, N.H. PREPARED FOR SHAW'S REALTY CO. AND DRISCOLL REALTY INC. MARCH 1984" BY: KIMBALL CHASE COMPANY, INC. DATED: OCTOBER 10, 1984 S.C.R.D. PLAN # 17E-00
 - "SUBDIVISION OF LOTS A B & C HYDER MANAGEMENT OF DOVER DOVER-ROLLINSFORD N.H." BY: G.L. DAVIS & ASSOCIATES DATED: SEPTEMBER 1, 1976 S.C.R.D. PLAN # 17A-60



DOVER FILE NO. P14-35

REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS FOR GULF LANDING PROPERTIES, LLC. CENTRAL AVENUE DOVER, NH 03820 TAX MAP 38, LOT 9A-2

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}
SCALE: 1 IN. EQUALS 30 FT.
DATE: SEPTEMBER 14, 2015
FILE NO.: DB 2013-081

SHEET 2 OF 22

UTILITY NOTE :

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. NEITHER THE SURVEYOR NOR THE ENGINEER MAKE GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

PARKING REQUIREMENTS:

PROPOSED MIXED USE DEVELOPMENT ~ 2 SPACES PER UNIT
8 UNITS ~ 16 SPACES REQUIRED ON SITE (MAX.)
16 SPACES PROVIDED ON SITE

SOILS

MA ~ MADE LAND

HaC ~ HINKLEY LOAMY SAND, 0-8% SLOPES

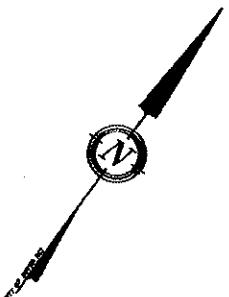
LEGEND:

- IRON BOUND (TO BE SET) (N/A)
- IRON BOUND (FIND)
- UTILITY POLE
- SEWER MANHOLE
- CATCH BASIN
- WATER VALVE
- HYDRANT
- ⊕ TEST HOLE AND IDENTIFICATION
- WETLANDS LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINES
- DETAIL SHEET / DETAIL
- PROPOSED & EXISTING TREE LINE
- ESTABLISHED CENTER LINE
- PROPOSED UNDERGROUND ELECTRIC
- S.G.C. SLOPED GRANITE CURB
- V.G.C. VERTICAL GRANITE CURB
- E.O.P. EDGE OF PAVEMENT
- B.C.C. BITUMINOUS CONCRETE CURB
- E.L. EASEMENT LINE
- P.L. PROPERTY / BOUNDARY LINE

NOTES:

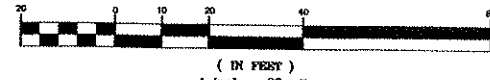
1. THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE SITE PLAN DESIGN OF PROPOSED OFFICE SPACE WITH EIGHT RESIDENTIAL UNITS ON THE SECOND AND THIRD FLOORS.
2. CURRENT OWNER: GULF LANDING PROPERTIES LLC
9 PATRIOT DRIVE
DOVER, NH 03820
3. THE PROJECT PARCEL IS LOT NO. 9A-2, MAP 38 OF THE CITY OF DOVER TAX ASSESSOR'S MAPS.
4. THE PROJECT PARCEL CONTAINS 1.11 ACRES OR 48,717 SQUARE FEET AREA OF LAND.
5. TITLE REFERENCE FOR THE PROJECT PARCEL IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, (S.C.R.D.) BOOK NO. 4213, PAGE NO. 615.
6. LOCUS PARCEL IS SUBJECT TO EASEMENTS AS NOTED AND ENJOYS AN ACCESS EASEMENT AS NOTED.
7. ZONING NOTES: D3 DISTRICT
MINIMUM LOT SIZE: 20,000 SQUARE FEET
MINIMUM FRONTAGE: 125 FEET
BUILDING SETBACK REQUIREMENTS:
FRONT (EXISTING) 50 FEET (VARIANCE OBTAINED FOR 25')
SIDE 12 FEET
REAR 15 FEET
MAXIMUM LOT COVERAGE: 50 PERCENT
MAXIMUM BUILDING HEIGHT: 40 FEET
8. PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SPRING 2013 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000 UNDER NO SNOW CONDITIONS.
9. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AREAS DETERMINED TO BE WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 3301700290D DATED MAY 17, 2005.
10. WETLANDS WERE DELINEATED BY DAMON BURT, CERTIFIED WETLAND SCIENTIST CERTIFICATE NUMBER 163, IN ACCORDANCE WITH CHAPTER 170-27.1 OF THE ZONING ORDINANCE, IN SPRING 2013.
11. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
12. EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY, OR AS WAIVED BY DOVER PLANNING BOARD.
13. TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SPRING OF 2013 UNDER NO SNOW CONDITIONS AND IS SHOWN AT 1 FOOT INTERVALS.
14. DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN SPRING 2013 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988. CONVERSION TO NAD 1927 AND NGVD 1929 (DOVER GIS GRID) PROVIDED.
15. THE PROPOSED STRUCTURE SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER CHAPTER 109-30 OF THE CODE OF THE CITY OF DOVER AND THE 2009 STATE BUILDING CODES.
16. SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIALS AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED.
17. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13.
18. A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE 4, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER.
19. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
20. THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
21. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
22. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
23. ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF TIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
24. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN THE 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED AND FLAGGED. ALL WETLAND FLAGGING SHALL BE INSPECTED BY THE CITY ENGINEER OR BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF SITE WORK.
25. ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
26. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
27. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
28. BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
29. THE PROPOSED USE FOR THE SITE IS OFFICE & RESIDENTIAL.
30. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
NH NATURAL HERITAGE BUREAU: APPLICATION PENDING.
EPA NPDES GENERAL CONSTRUCTION PERMIT / NOI: APPLICATION PENDING / SWPPP REQUIRED.
31. LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THE PROPOSED STRUCTURE: FRONT SETBACK REDUCTION TO 25' ALLOW 10 RESIDENTIAL UNITS
32. THIS PLAN PROPOSES 55,000 SQ. FT. OF DISTURBANCE.
33. CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233).
34. ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
35. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALED REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
36. THERE IS CLEAR SITE DISTANCE TO THE INTERSECTION OF CENTRAL AVE AND TO THE PARKING AREA ASSOCIATED WITH THE SURROUNDING SHOPPING PLAZA.
37. LAMP BASES ARE TO BE A MINIMUM OF 3' OFF THE EDGE OF PAVEMENT AND ARE TO BE PAINTED YELLOW.
38. SNOW STORAGE AREAS ARE AS SHOWN ON THIS SITE PLAN. EXCESS SNOW WILL BE REMOVED FROM THIS SITE AND DISPOSED OF IN A QUALIFIED LOCATION.
39. AS IT IS ENCOURAGED IN THE B3 ZONE, THE APPLICANT INTENDS TO HAVE SHARED PARKING BETWEEN THE OFFICE USE AND THE RESIDENTIAL USE. THESE USES ARE GENERALLY COMPLEMENTARY TO EACH OTHER IN TERMS OF PEAK HOUR PARKING USAGE.
40. THE PARKING AND DISTURBANCE WITH THE LOCAL 50 FOOT WETLANDS BUFFER WILL REQUIRE A CONDITIONAL USE PERMIT GRANTED BY THE PLANNING BOARD AS PART OF THE APPROVAL OF THIS PROJECT.
41. SEE SHEET 11 OF 22 FOR LUMINAIRE SCHEDULE.

N/F 8870 CENTRAL AVENUE LLC
C/O THE ANAGNOST COMPANIES
1662 ELM STREET STE 100
MANCHESTER, NH 03101-1243
TAX MAP 38, LOT 9D
S.C.R.D BOOK 3678, PAGE 355



50' R.O.W. S.C.R.D. PLAN#17A-69

GRAPHIC SCALE



THE WETLAND DELINEATION WAS COMPLETED SPRING 2013 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE AND LOCATED BY: DAMON BURT, CERTIFIED WETLAND SCIENTIST #163.

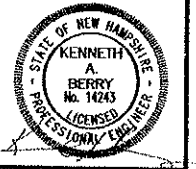
N/F BLACK DOG CAR WASH
CENTRAL AVENUE LLC
123 FARMINGTON ROAD
ROCHESTER, NH 03867
TAX MAP 38, LOT 9A
S.C.R.D BOOK 3854, PAGE 235

DOVER FILE NO. P14-35

REVISION	DATE	DESCRIPTION

PROPOSED SITE PLAN
FOR
GULF LANDING PROPERTIES LLC
OFF CENTRAL AVE
DOVER, N.H.
TAX MAP 38, LOT 9A-2

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}
SCALE : 1 IN. EQUALS 20 FT.
DATE : SEPTEMBER 14, 2015
FILE NO. : DB 2013 - 091





ADMISSION OF ERROR: OMISSION AND/OR OVERSIGHT:
WHILE IT IS OUR INTENT TO DELIVER OUR SERVICES FREE OF ERROR, OMISSIONS OR OVERSIGHTS MAY OCCUR. WE WILL ADVISE YOU OF ANY SUCH ERRORS OR OMISSIONS AS SOON AS WE BECOME AWARE OF THEM. AS THE DRAFTING COMPANY, WE WILL RELY ON THE EXPERIENCE AND KNOWLEDGE OF THE ARCHITECT AND/OR ENGINEER. WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. WE ASSUME ALL RESPONSIBILITY FOR THEM AND WILL BE USE TO ASSIST IN THE REVIEW.

FSM
DRAWINGS

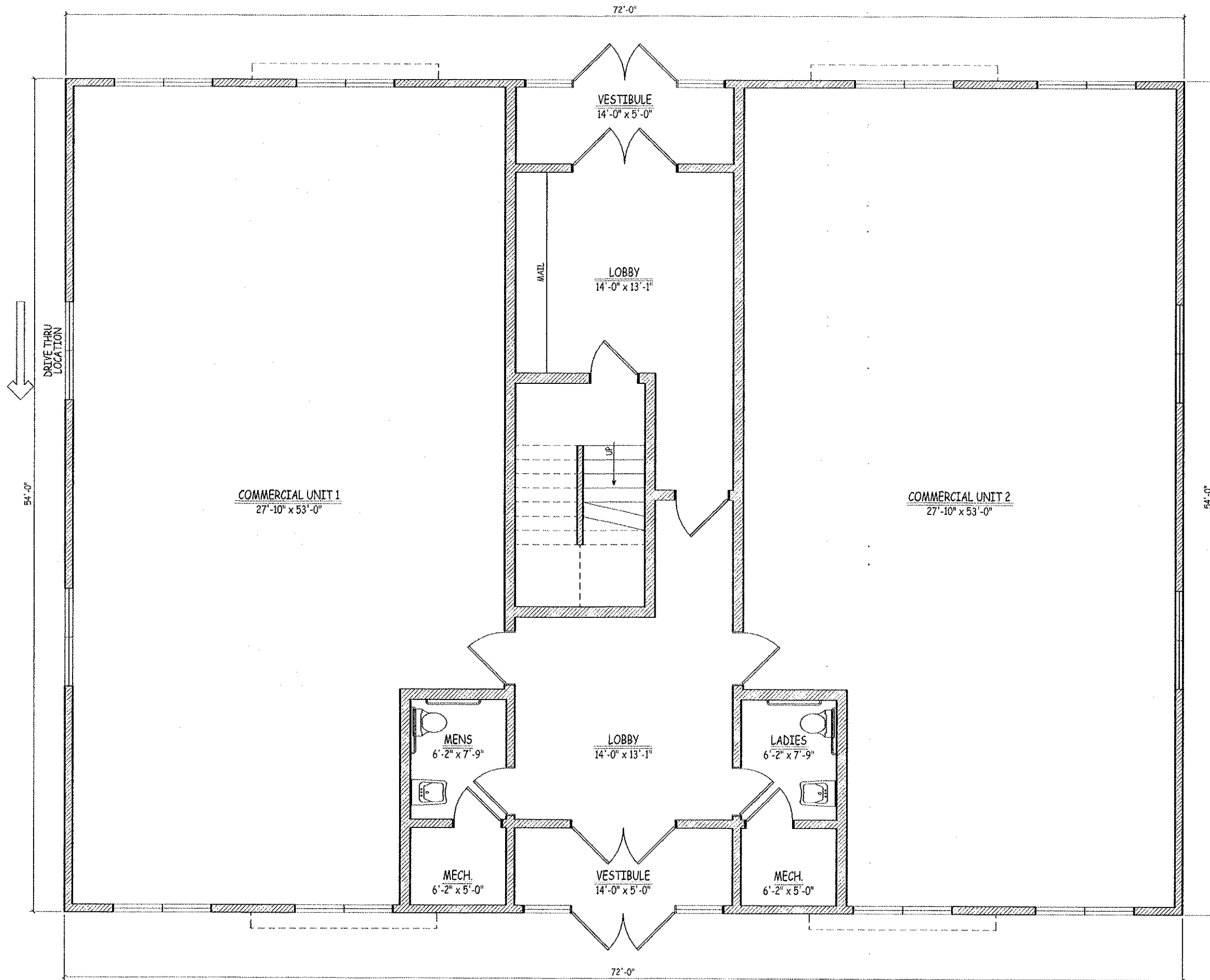
FRONT ELEVATION

RIVER VALLEY DEVELOPMENT

DRAWN BY: AD
CHECKED BY: PD
DATE DRAWN: 9/30/15
DATE ISSUED:
SCALE: 1/4"=1'-0"
JOB NO.: 13165M

REVISIONS		
1	12/16/13	PRELIMINARY PLANS RELEASED FOR REVIEW
2	1/8/13	REVISIONS TO FRONT ELEVATION
3	4/30/14	REVISIONS TO COMMERCIAL AREA
4	5/6/14	RELEASE FOR ONE STORY ONE ELEVATION/LARGER FOOTPRINT
5	9/10/15	REVISIONS TO PRELIMINARY PLANS

1



ADMISSION OF ERROR, OMISSION AND/OR OVERSIGHT:
WHILE IT IS OUR INTENT TO DELIVER OUR SERVICES FREE OF
ERROR, OMISSION OR OVERSIGHT, WE WILL ADMIT TO BE
HUMAN AND THEREFORE FOR OUR WORKS, WE WILL ACTING SOLELY
ON THE BASIS OF THE INFORMATION PROVIDED TO US BY THE
CLIENT. WE WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR
OMISSIONS THAT MAY OCCUR DURING THE DESIGN PROCESS.
WE WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS
THAT MAY OCCUR DURING THE CONSTRUCTION PROCESS.
WE WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS
THAT MAY OCCUR DURING THE OPERATION AND MAINTENANCE
PHASES NECESSARY FOR THE PROJECT. WE WILL NOT BE
RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY
OCCUR DURING THE REVIEW.

FSM

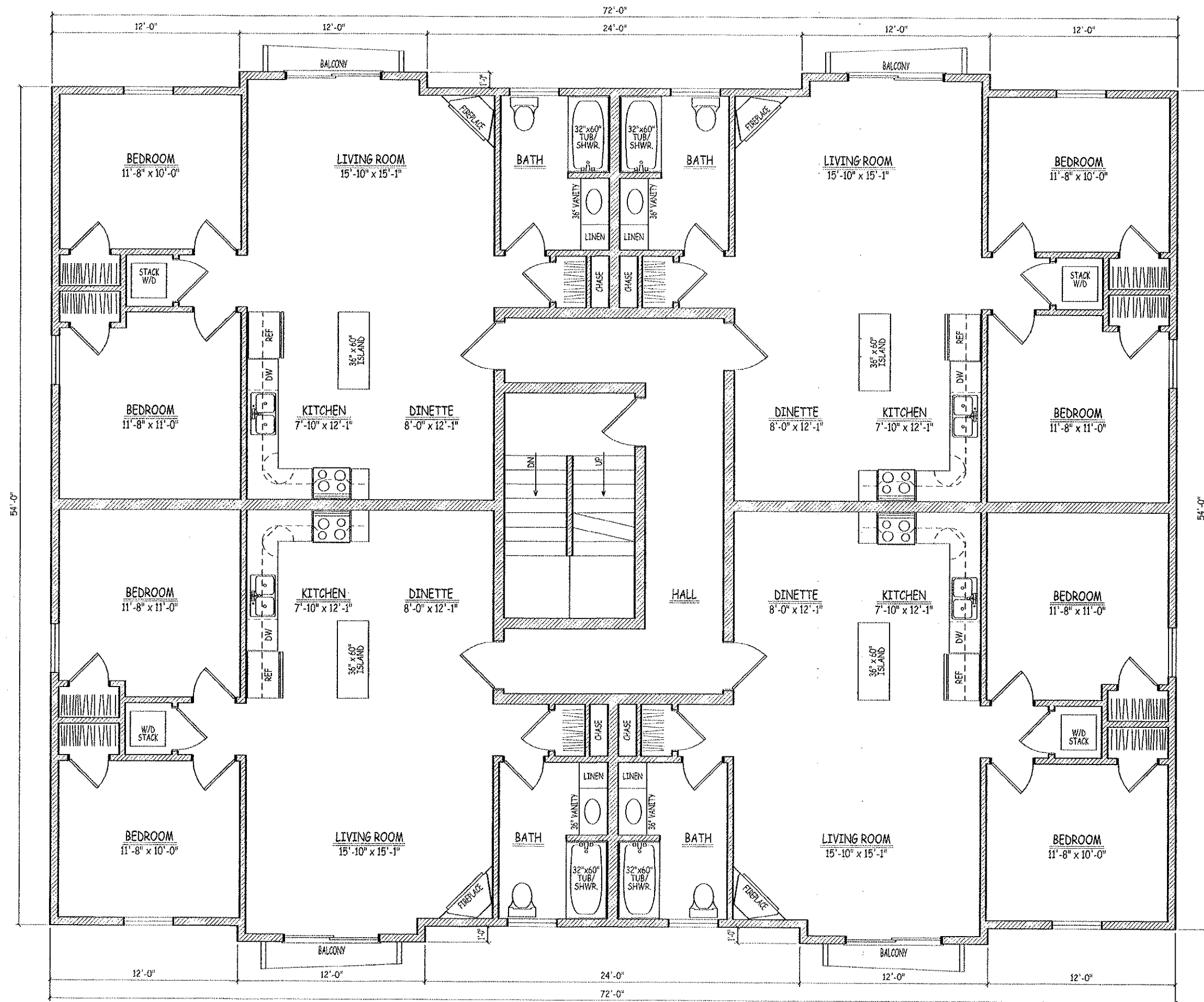
DRAWINGS

1ST LEVEL FLOOR PLAN
(APPROX. 1452 SQ. FT. UNITS)

RIVER VALLEY DEVELOPMENT

DRAWN BY:	AD
CHECKED BY:	PD
DATE DRAWN:	9/10/15
DATE ISSUED:	
SCALE:	1/4"=1'-0"
JOB NO.:	131356M

REVISIONS	
1	12/16/13 PRELIMINARY PLANS RELEASED FOR REVIEW
2	1/8/14 REVISIONS TO FRONT ELEVATION
3	4/30/14 REVISIONS TO COMMERCIAL AREA
4	5/6/14 RETISE FOR ONE STATION ONE ELEVATOR LARGER FOOTPRINT
5	9/10/15 REVISIONS TO PRELIMINARY PLANS



ADMISSION OF ERROR, OMISSION, AND/OR OVERSIGHT:
 WHILE IT IS OUR INTENT TO DELIVER OUR SERVICES FREE OF
 ERROR, OMISSION, OR OVERSIGHT, WE WILL ADMIT TO BE
 RESPONSIBLE FOR ANY SUCH ERRORS, OMISSIONS, OR
 OVERSIGHTS. AS THE DRAWING COMPANY, WE WILL NOT BE
 RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR OVERSIGHTS
 FOR DIMENSIONS, AREA, OR VOLUME. IT IS THE USER'S
 RESPONSIBILITY TO VERIFY ALL DIMENSIONS, AREA, AND
 VOLUME. WE ASSUME NO RESPONSIBILITY FOR THEM AND WILL NOT
 BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR OVERSIGHTS
 TO ASSIST IN THE REVIEW.

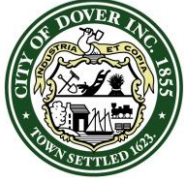
FSM
 DRAWINGS

TYPICAL 2ND & 3RD LEVEL FLOOR PLANS
 (APPROX. 893 SQ. FT. UNITS)
 RIVER VALLEY DEVELOPMENT

DRAWN BY: AD
 CHECKED BY: PD
 DATE DRAWN: 9/10/10
 DATE ISSUED:
 SCALE: 1/4"=1'-0"
 JOB NO.: 13185M

REVISIONS	
1	12/16/13 PRELIMINARY PLANS RELEASED FOR REVIEW
2	1/8/13 REVISIONS TO FRONT ELEVATION
3	4/30/14 REVISIONS TO COMMERCIAL AREA
4	5/16/14 REVISIONS TO ONE STAIR/ONE ELEVATOR/LARGER FOOTPRINT
5	9/10/15 REVISIONS TO PRELIMINARY PLANS

3



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P15-37

Application Type: Conditional Use Permit
Applicant(s): River Valley Development Corporation
Owner(s): Gulf Landing Properties, LLC
Location: Off Central Ave (Assessor's Map 38, Lot 9A-2)
Meeting Date: September 22, 2015

INTENT: To obtain a Conditional Use Permit for work in wetlands to provide parking and related infrastructure to the site plan for a commercial and residential building (P14-35). The total buffer impact is 10,25.55 square feet.

LOTS/UNITS PROPOSED: 8 Residential Units

AGENDA ITEM #: 4-E

ACREAGE: 1.12 Acres

ZONING DISTRICT: Thoroughfare Business (B-3) District

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Residential and Commercial Building

SURROUNDING LAND USE: Commercial uses including a bowling alley, restaurants, car wash, and grocery

ZBA ACTION: Z14-01 and Z14-02 variances were granted on January 16, 2014 to permit the construction of a building to be located 25 feet from front lot line and variance to allow 12 multi-family units provided that no more than 10 are constructed and each dwelling shall contain no more than 2 bedrooms

ATTACHMENT: Conditional Use Permit application and Conservation Commission minutes from August 10, 2015 and September 14, 2015

APPLICATION IS COMPLETE: Yes

NOTICES SENT: Abutter notices were sent by certified mail for this meeting

PERMITS REQUIRED: EPA NOI permit

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant is requesting a Conditional Use Permit for work in wetlands to provide parking and related infrastructure to the site plan for a commercial and residential building proposed in P14-35.

The applicant appeared before the Conservation Commission on August 10, 2015 and September 14, 2015 (see attached minutes) and had a site walk on August 6, 2015. At their September 14, 2015 meeting, the Commission voted to endorse the plan with an observation that the potential exists that there might be a water table draw down that could impact adjacent wetlands.

Consistency with Land Use Regulations

The Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and areas within 50 feet of wetlands if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards.

STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board accept the application, open a public hearing and then table the Conditional Use Permit to allow the applicant time to address the staff comments before coming to the Board.



CITY OF DOVER

DOVER CONSERVATION COMMISSION – MINUTES

Meeting Type: Regular Meeting
Meeting Location: 2nd Floor Conference Room, City Hall, 288 Central Avenue
Meeting Date: Monday, August 10, 2015
Meeting Time: 5:30 pm

3. NEW BUSINESS

- A. City of Dover Conditional Use Permit for River Valley Development Corp. (Agent: Chris Berry), Assessor's Map 38, Lot 9-A-2, located off Central Avenue. Proposal is to build

Chris Berry was present to explain the proposal for an office building with 8 residential units on a vacant lot, owned by Gulf Landing Property. Parking, drive aisles and drainage improvements are within the 50-foot wetlands buffer. The site walk was held on Thursday, August 6th at 6:00 pm.

Hunt: Quisumbing-King, Bird and I went on the site walk last week.

Berry: We know you want to see more details on the plans and information on drainage. We have not completed the final drainage analysis yet. Downstream drainage infrastructure can't handle the 50 and 100 year storm events. There are high water tables on the lot. Infiltration is not possible on site. We want to remove existing pavement to help. No more vegetation will be removed. Snow storage will be in the buffer and snow will have to be removed off site in a big storm.

Houle: Why is there not an outlet in the rain garden?

Berry: We are counting on infiltration.

Houle: I am concerned about the impact of draw down on the adjacent wetlands. There are ways to analyze the impacts, although it may not be required by the rules.

Berry: I would ask that we not be required to provide that analysis on this project. It is not required by the regulations.

Joyce: I am comfortable with this project. I am not sure we can require that.

Houle: We are charged with protecting wetlands.

Joyce: We can tell the Planning Board that the plan may impact wetlands due to the drawdown of the water table.

Bird: Are there any Wetlands Bureau rules that regulate wetlands impacts due to drawdown of wetlands?

Berry: I do not believe they have any regulations on that. It is not like Massachusetts.

Gasses: Is this going back to TRC?

Berry: Yes it will.

Gasses: I would feel better if it goes back to TRC first and then we can make our recommendations based on the final plan.

Bird: I don't think that this would delay the project if they get into TRC before your September meeting.

Gasses moved to table the application until it is reviewed by TRC again, Houle seconded. Vote: Unanimous

4. REPORT FROM THE CHAIR

- A. Review of Correspondence Received From NH Department of Environmental Services

Bird reviewed the following letters from the DES Wetlands Bureau:

1. Request for more information from NHDES for dock for Justin Webber at 254A Dover Point Rd.
2. Request for more information from NHDES for dock for Miles Cook at 22 Isaac Lucas Circle.
3. Request for more information from NHDES for dock for City of Dover on River Street.
4. Request for more information from NHDES for wetland impacts for RCCD at 180 Tolend Rd.
5. Letter from RCCD to NHDES responding to request for more information at 180 Tolend Road.
6. Request for more information from NHDES for dock for Bob Witkop at 17 Landing Way.



CITY OF DOVER

DOVER CONSERVATION COMMISSION – MINUTES

Meeting Type: Regular Meeting
Meeting Location: 2nd Floor Conference Room, City Hall, 288 Central Avenue
Meeting Date: Monday, September 14, 2015
Meeting Time: 5:30 pm

Bird: On page 3, paragraph 4, the term buffer is used in relation to the stream but no distance is specified.

Wyskiel: The whole property is conserved so a buffer is not needed.

Donovan: Is the stream subject to the state shoreland regulations?

Bird: It is not a fourth order stream, so no.

Hunt: What about trees that might grow up near the stream?

Wyskiel: Maybe we need to allow some tree removal in that circumstance.

Donovan: Trees will not grow in a wetland in the middle of a field.

Hunt: There are some mowers that use an arm to reach into areas where you don't want to drive a tractor.

Joyce: In paragraph 4, replace buffer with protection of stream and riparian areas. Add a new paragraph to require application of a native wetlands seed mix. We need some demarcation along the stream with stakes and flags to alert the person doing the mowing.

Hunt: The plan needs to be flexible due to changing weather conditions.

Donovan: If damages occur, like rutting and compaction, it needs to be corrected immediately.

Hunt: We would like to see the final plan with all the exhibits.

Bird: It would be good to have the affidavits signed. I would recommend that the HOA submit the final plan for the commission to take a vote on next meeting. Not so much to approve but to endorse.

Strange: We are having our annual meeting on September 26th so that timing would work.

- B. City of Dover Conditional Use Permit for River Valley Development Corp. (Agent: Chris Berry), Assessor's Map 38, Lot 9-A-2, located off Central Avenue. Proposal is to build an office building with 8 residential units on a vacant lot, owned by Gulf Landing Properties, LLC. Parking, drive aisles and drainage improvements are within the 50-foot wetlands buffer.

Chris Berry was present to explain the proposal for an office building with 8 residential units on a vacant lot, owned by Gulf Landing Property. Parking, drive aisles and drainage improvements are within the 50-foot wetlands buffer. The site walk was held on Thursday, August 6th. We went to TRC in September. We did a drainage analysis that showed that there is a large contribution area that can't be handled on-site. There were two issues brought up last month – dewatering of wetlands potential and going back to TRC. We are asking for an endorsement to have for the Planning Board meeting.

Bird asked about what communications they have had with Shaw's and their response.

Berry: I have been trying to speak with them for the last year and I finally received a response this week so I have sent them our plans and studies.

Joyce: Can we pass on the concern about the potential impacts on wetlands from dewatering caused by lowering the water table?

Donovan: There is nothing in the state or city rules that required a dewatering analysis.

Erickson made a motion to endorse the application, Donovan seconded.

Joyce wanted to propose an amendment to the motion related to the dewatering.

Joyce made a motion to amend the motion on the floor to add "with an observation that the potential exists that there might be a water table draw down that could impact adjacent wetlands", Quisumbing-King seconded. Vote on the amendment: 3 yes, 1 no (Donovan) and 1 abstention (Erickson), motion passes. Vote on original motion as amended: 5-0, motion passes.

3. NEW BUSINESS



City of Dover, New Hampshire
CONDITIONAL USE PERMIT APPLICATION

[Revision Date: February 19, 2014]

RECEIVED
Planning Office

Office Use Only

Project #:

P15-37

Date Received:

JUL 06 2015

Amount Paid:

\$310.00

Time Received:

Dover, New Hampshire

APPLICANT AND OWNER INFORMATION

Name of Applicant: River Valley Development Corporation Telephone # _____

Address of Applicant: 9 Patriot Drive, Dover, NH 03820

E-Mail Address: _____

Name of Property Owner (if different from applicant): Gulf Landing Prop. Telephone # _____

Address of Property Owner: 9 Patriot Drive, Dover, NH 03820

PROPERTY INFORMATION

Assessor's Map # 38 Lot(s) # 9A-2

Address of Property: Central Avenue

Zoning District(s) B-3 Overlay District(s) _____

Existing Use of Property: Vacant lot.

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

- | | | |
|---|---|--|
| ☐ Conservation District | ☐ RCM Use Overlay District | ☐ I-1 District Uses |
| ☐ Groundwater Protection | ☐ Off-Street Parking and Loading | |
| ☒ Wetland Protection District | ☐ Central Business District | |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

Mixed use development, with parking in the 50' no cut wetland buffer.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: N/A

Name of Professional That Prepared Plans: BERRY SURVEYING + ENGR.
Address 335 SECOND CROWN POINT ROAD Telephone #: 332-2863
BARRINGTON, NH 03825
Professional License #: 805 LHS PE 14243 E-mail address: _____

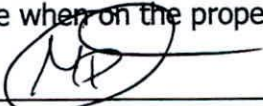
SIGNATURES

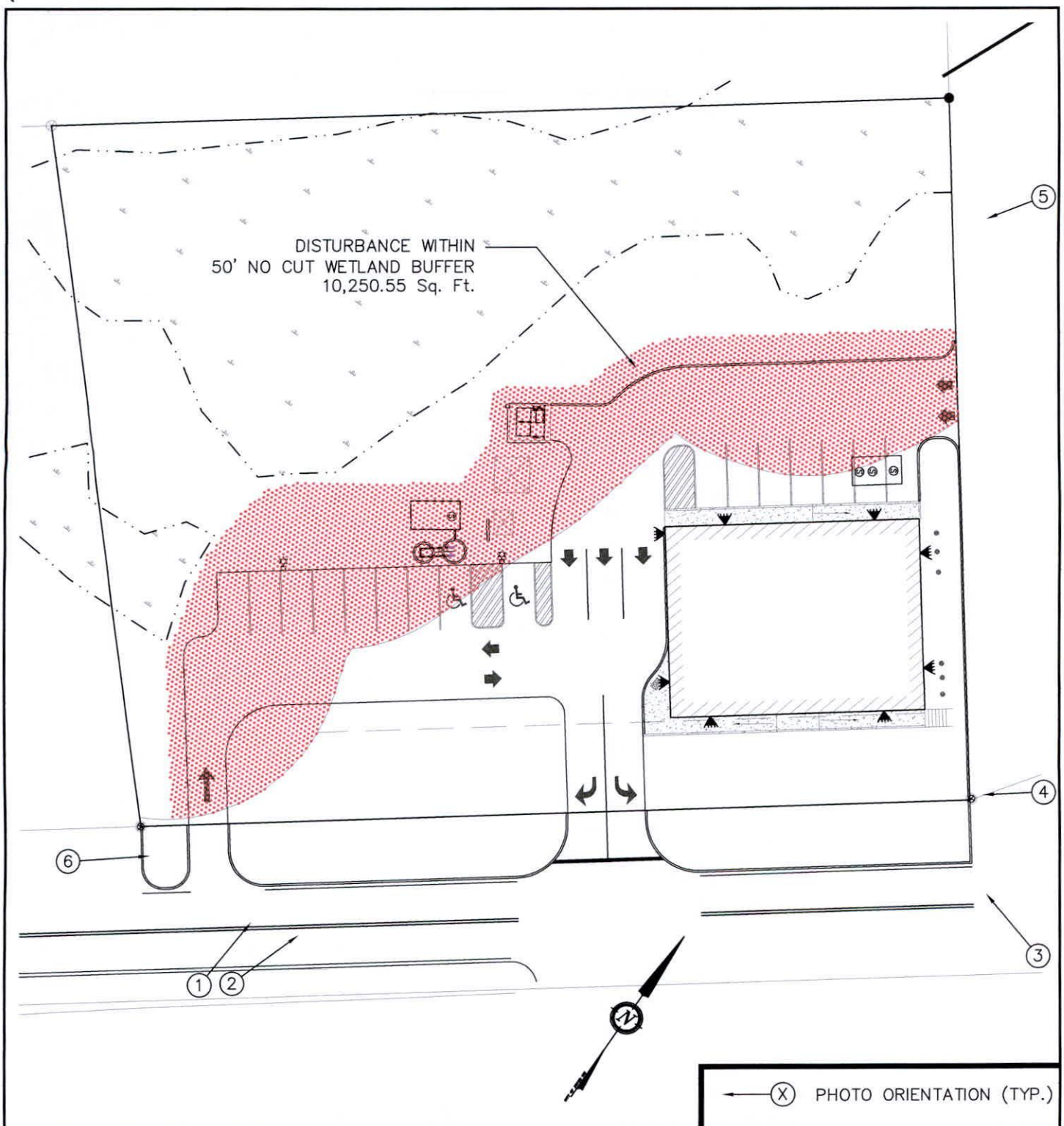
I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:  Date: 7-6-15
Signature of Applicant (if different from owner):  Date: 7-6-15
Signature of Agent:  Date: 7-6-15

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 7-6-15



WETLAND BUFFER IMPACT
GULF LANDING PROPERTIES, LLC
CENTRAL AVENUE
DOVER, NH
TAX MAP 38, LOT 9A-2

BERRY & SURVEYING
ENGINEERING

148 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

SCALE : 1 IN. EQUALS 40 FT.

DATE : JULY 1, 2015

FILE NO. : DB 2013-091



#1



#2

PROJECT PHOTOS
GULF LANDING PROPERTIES, LLC
CENTRAL AVENUE
DOVER, NH
TAX MAP 38, LOT 9A-2

BERRY SURVEYING & ENGINEERING

148 SECOND CROWN POINT RD.
ROCHESTER, N.H. 332-2863

SCALE : NONE

DATE : JULY 1, 2015

FILE NO. : DB 2013 - 091



#3



#4

PROJECT PHOTOS
GULF LANDING PROPERTIES, LLC
CENTRAL AVENUE
DOVER, NH
TAX MAP 38, LOT 9A-2

BERRY SURVEYING & ENGINEERING

148 SECOND CROWN POINT RD.
ROCHESTER, N.H. 332-2863

SCALE : NONE

DATE : JULY 1, 2015

FILE NO. : DB 2013 - 091



#5



#6

PROJECT PHOTOS
GULF LANDING PROPERTIES, LLC
CENTRAL AVENUE
DOVER, NH
TAX MAP 38, LOT 9A-2

BERRY SURVEYING & ENGINEERING

148 SECOND CROWN POINT RD.
ROCHESTER, N.H. 332-2863

SCALE : NONE

DATE : JULY 1, 2015

FILE NO. : DB 2013 - 091



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

Director Christopher Parker
City of Dover Planning Department
288 Central Ave
Dover, NH 03820

RE: Conditional Use Application for Central Avenue, Assessor's Map 38 Lot 9A-2

Mr. Parker,

On behalf of River Valley Development Corporation, Berry Surveying & Engineering submits for Planning Board approval a Conditional Use Permit Application to construct a parking lot, requiring 10,251 square feet of disturbance in the 50' no cut wetland buffer. Of the disturbed area, 6,346.44 square feet of the parking lot will remain in the 50' no cut wetland buffer. The remainder is temporary disturbance related to the construction of the parking lot.

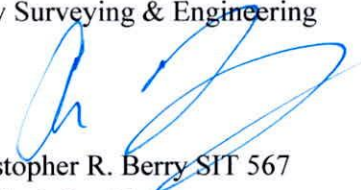
In the spring of 2013, Damon Burt of Fraggie Rock Environmental located 15,312.9 square feet of poorly drained jurisdictional wetlands on the property in question. When the 50' no cut wetland buffer is applied, the building envelope is 9,475 square feet, or 19% of the lot's total area.

The approval of this Conditional Use Application would allow the developer to construct a mixed use building and associated parking, including the necessary stormwater treatment infrastructure.

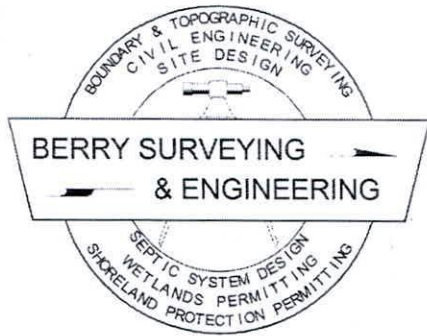
Based on the information above, we respectfully request the approval of this Conditional Use Permit Application to allow for construction in the 50' no cut wetland buffer.

Thank you for your time and attention to this matter and we look forward to working with you on this project.

Berry Surveying & Engineering



Christopher R. Berry SIT 567
Principal, President



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

crberry@metrocast.net

August 6, 2015

City of Dover
Conservation Commission
288 Central Ave
Dover, NH 03820

Re: Site Development RVDC
Off Central Ave
Dover, NH

Mr. Chair and Members of the Dover Conservation Commission,

On behalf of RVDC and Gulf Landing LLC, we have been working on the re-development of this site off Central Ave in Dover, NH. To date we have provided the general scheme of the application and the details associated with the construction of the project. The board took a site walk on August 6th, 2015, where there were a few questions, and Berry Surveying & Engineering (BS&E) as well as the applicant were able to provide ready answers.

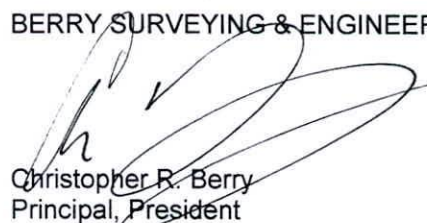
Though BS&E is still working out the final flow numbers and details associated with the project, considerable amount of drainage analysis has been conducted, and we would like to present our findings to the board.

In general the percentage of impervious surface for this project site in total is increasing by a small amount. Some of the existing ROW is being converted to green space, and therefore the total increase is minimized. There are two rain gardens proposed to treat the storm water from the site and minimize flows off site. Below is the summary of the final reach point chosen for this analysis.

	2YR	10YR	25YR
Existing	30.85 CFS 2.985 AF	57.69 CFS	77.64 CFS
Proposed	28.03 CFS 3.051 AF	54.11 CFS	76.88 CFS

Peak Rates are decreased at all events. Volume is increased by 0.066 AF at the two year event to the final wetlands system.

BERRY SURVEYING & ENGINEERING


Christopher R. Berry
Principal, President


Kenneth A. Berry PE, LLS
Principal, VP-Technical Operations



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road
Barrington, NH 03825
Phone: (603) 332-2863
Fax: (603) 335-4623
www.BerrySurveying.Com

September 10, 2015

Abutters List

Owner of Record

Gulf Landing Properties, LLC.
9 Patriot Drive
Dover, NH 03820
Book 4213, Page 615

Applicant:

Gulf Landing Properties, LLC.
9 Patriot Drive
Dover, NH 03820

RECEIVED
Planning Office

SEP 11 2015

Dover, New Hampshire

Abutters

Tax Map 38, Lot 6A

851 Central Avenue LLC
177 Huntington Ave, STE 1901
Boston, MA 02115
Book 4017 Page 207

Tax Map 38, Lot 9A

Black Dog Car Wash Central Ave LLC
123 Farmington Road
Rochester, NH 03867
Book 3854 Page 235

Tax Map 38, Lot 9A-1

Driscoll Realty INC
Box 207
Kittery Point, ME 03905
Book 709 Page 130

Tax Map 38, Lot 10

Nantucket Holding Company LLC
340 Central Ave Ste 202
Dover,, NH 03820
Book 1739 Page 29

Tax Map 38, Lot 9D

887B Central Avenue LLC
c/o The Anagnost Companies
1662 Elm Street Ste 100
Manchester, NH 03101-1243
Book 3678 Page 355

Professionals

Christopher R. Berry SIT
Kenneth A. Berry LLS, PE, JP
Berry Surveying & Engineering
335 Second Crown Point Road
Barrington, NH 03825

Fraggle Rock Environmental
Attention: Damon Burt
38 Garland Road
Strafford, NH 03884

Bruton & Berube, PLLC
Attention: Francis X. Bruton
798 Central Avenue
Dover, New Hampshire 03820



BERRY SURVEYING & ENGINEERING

335 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
www.BerrySurveying.Com

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. NEITHER THE SURVEYOR NOR THE ENGINEER MAKE GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

PROPOSED MIXED USE DEVELOPMENT ~ 2 SPACES PER UNIT
8 UNITS = 16 SPACES REQUIRED

16 SPACES PROVIDED ON SITE

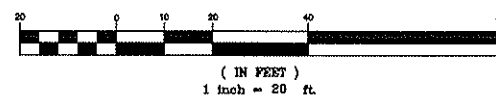
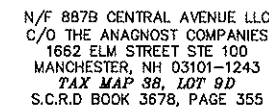
MA ~ MADE LAND

HoC ~ HINKLEY LOAMY SAND, 0-8% SLOPES

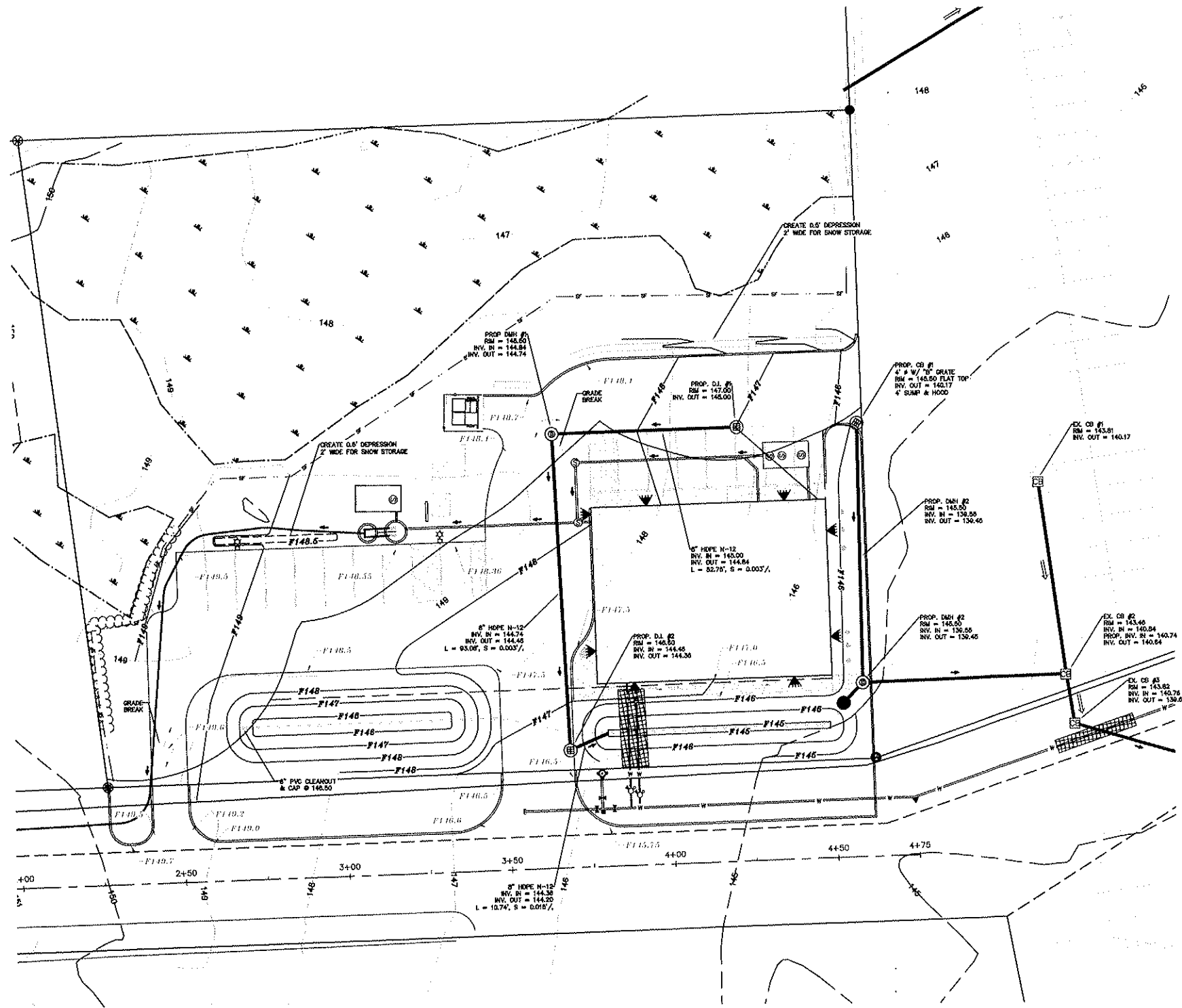
LEGEND:

●	IRON BOUND (TO BE SET) (N/A)
●	IRON BOUND (FND)
⊙	UTILITY POLE
⊙	SEWER MANHOLE
□	CATCH BASIN
+	WATER VALVE
+	HYDRANT
TH #11	TEST HOLE AND IDENTIFICATION
=====	WETLANDS LINE
=====	50' WETLAND BUFFER
=====	BUILDING SETBACK LINES
6121 BB	DETAIL SHEET / DETAIL
=====	PROPOSED & EXISTING TREELINE
=====	ESTABLISHED CENTER LINE
UG	PROPOSED UNDERGROUND ELECTRIC
S.G.C	SLOPED GRANITE CURB
V.G.C	VERTICAL GRANITE CURB.
E.O.P.	EDGE OF PAVEMENT.
B.C.C.	BITUMINOUS CONCRETE CURB.

- 1.) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE SITE PLAN DESIGN OF PROPOSED OFFICE SPACE WITH TEN RESIDENTIAL UNITS ON THE SECOND, THIRD AND FOURTH FLOORS.
- 2.) CURRENT OWNER: GULF LANDING PROPERTIES LLC
9 PATRIOT DRIVE
DOVER, NH 03820
- 3.) THE PROJECT PARCEL IS LOT NO. 8A-2, MAP 39 OF THE CITY OF DOVER TAX ASSESSOR'S MAPS.
- 4.) THE PROJECT PARCEL CONTAINS 1.11 ACRES OR 48,717 SQUARE FEET AREA OF LAND.
- 5.) TITLE REFERENCE FOR THE PROJECT PARCEL IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, (S.C.R.D.) BOOK NO. 4213, PAGE NO. 615.
- 6.) LOCUS PARCEL IS SUBJECT TO EASEMENTS AS NOTED AND ENJOYS AN ACCESS EASEMENT AS NOTED.
- 7.) ZONING NOTES: B3 DISTRICT
MINIMUM LOT SIZE: 20,000 SQUARE FEET
MINIMUM FRONTAGE: 125 FEET
BUILDING SETBACK REQUIREMENTS:
FRONT (EXISTING) 50 FEET (VARIANCE OBTAINED FOR 25')
SIDE 12 FEET
REAR 15 FEET
MAXIMUM LOT COVERAGE: 50 PERCENT
MAXIMUM BUILDING HEIGHT: 40 FEET
- 8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SPRING 2013 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000 UNDER NO SNOW CONDITIONS.
- 9.) THE SUBJECT PARCEL IS NOT LOCATED WITHIN AREAS DETERMINED TO BE WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 330145 0310 D, MAP NO.: 33017003100 DATED MAY 17, 2005.
- 10.) WETLANDS WERE DELINEATED BY DAMON BURT, CERTIFIED WETLAND SCIENTIST CERTIFICATE NUMBER 163, IN ACCORDANCE WITH CHAPTER 170-27.1 OF THE ZONING ORDINANCE, IN SPRING 2013.
- 11.) AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
- 12.) EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- 13.) TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SPRING OF 2013 UNDER NO SNOW CONDITIONS AND IS SHOWN AT 1 FOOT INTERVALS.
- 14.) DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN SPRING 2013 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988. CONVERSION TO NAD 1927 AND NGVD 1929 (DOVER GIS GRID) PROVIDED.
- 15.) THE PROPOSED STRUCTURE SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER CHAPTER 109-30 OF THE CODE OF THE CITY OF DOVER AND THE 2009 STATE BUILDING CODES.
- 16.) SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIALS AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED.
- 17.) FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13.
- 18.) A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE I, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER.
- 19.) ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 20.) THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
- 21.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
- 22.) BACKFLOW PREVENTORS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
- 23.) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- 24.) THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN THE 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED AND FLAGGED. ALL WETLAND FLAGGING SHALL BE INSPECTED BY THE CITY ENGINEER OR BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF SITE WORK.
- 25.) ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
- 26.) A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
- 27.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 28.) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- 29.) THE PROPOSED USE FOR THE SITE IS OFFICE & RESIDENTIAL.
- 30.) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
NH NATURAL HERITAGE BUREAU: APPLICATION PENDING.
EPA NPDES GENERAL CONSTRUCTION PERMIT / NO: APPLICATION PENDING / SWPPP REQUIRED.
- 31.) LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THE PROPOSED STRUCTURE: FRONT SETBACK REDUCTION TO 25'
ALLOW 10 RESIDENTIAL UNITS
- 34.) THIS PLAN PROPOSES 46,000 SQ. FT. OF DISTURBANCE.
- 35.) CALL DIG SAFE PRIOR TO BEGINNING WORK (1-800-344-7233).
- 36.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 37.) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 38.) THERE IS CLEAR SITE DISTANCE TO THE INTERSECTION OF CENTRAL AVE AND TO THE PARKING AREA ASSOCIATED WITH THE SURROUNDING SHOPPING PLAZA.
- 39.) LAMP BASES ARE TO BE A MINIMUM OF 3' OFF THE EDGE OF PAVEMENT AND ARE TO BE PAINTED YELLOW.
- 40.) SNOW STORAGE AREAS ARE AS SHOWN ON THIS SITE PLAN. EXCESS SNOW WILL BE REMOVED FROM THIS SITE AND DISPOSED OF IN A QUALIFIED LOCATION.
- 41.) AS IT IS ENCOURAGED IN THE B3 ZONE, THE APPLICANT INTENDS TO HAVE SHARED PARKING BETWEEN THE OFFICE USE AND THE RESIDENTIAL USE. THESE USES ARE GENERALLY COMPLEMENTARY TO EACH OTHER IN TERMS OF PEAK HOUR PARKING USAGE.
- 42.) THE PARKING AND DISTURBANCE WITH THE LOCAL 50 FOOT WETLANDS BUFFER WILL REQUIRE A CONDITIONAL USE PERMIT GRANTED BY THE PLANNING BOARD AS PART OF THE APPROVAL OF THIS PROJECT.
- 43.) SEE SHEET 9 OF 9 FOR LANDSCAPE SCHEDULE.



THE WETLAND DELINEATION WAS COMPLETED SPRING 2013 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE AND LOCATED BY: DAMON BURT, CERTIFIED WETLAND SCIENTIST #183.



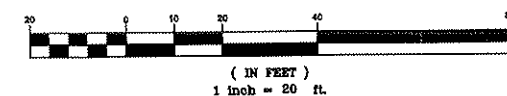
NOTES:

- 1.) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE GRADING & DRAINAGE DESIGN OF PROPOSED OFFICE SPACE ON THE FIRST FLOOR, WITH EIGHT (8) RESIDENTIAL UNITS ON THE SECOND, THIRD AND FOURTH FLOORS.
- 2.) CURRENT OWNER: GULF LANDING PROPERTIES LLC
9 PATRIOT DRIVE
DOVER, NH 03820
- 3.) THE PROJECT PARCEL IS LOT NO. 9A-2, MAP 38 OF THE CITY OF DOVER TAX ASSESSOR'S MAPS.
- 4.) THE PROJECT PARCEL CONTAINS 1.11 ACRES OR 48,717 SQUARE FEET AREA OF LAND.
- 5.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 6.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 7.) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND SEDIMENT AND EROSION CONTROLS.
- 8.) ALL CATCH BASINS SHALL BE PRE-CAST H-20 LOADING AND SHALL BE EQUIPPED WITH DEEP SUMPS (4' MIN.) AND HOODS (SEE DETAILS) HOODS ARE TO BE "THE ELIMINATOR" BY KLEANSTREAM. RIMS ARE TO BE NHDOT "B" STYLE AND SHALL BE SET FLUSH WITH FINISH GRADE, UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY THE DESIGN ENGINEER. RIMS ABOVE FINISH GRADE WILL BE NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE U.S.A. MADE.
- 9.) SEE SEDIMENT & EROSION CONTROL PLAN AND CONSTRUCTION DETAILS E101 & E102 FOR INLET PROTECTION DETAILS.
- 10.) ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED.
- 11.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 12.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.
- 13.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS AND INCLUDE THE PUMPING OF THE BASIN SUMPS.
- 14.) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
- 15.) ALL BASINS AND DRAINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS.

LEGEND:

- IRON BOUND (TO BE SET) (N/A)
- IRON BOUND (FND)
- UTILITY POLE
- SEWER MANHOLE
- CATCH BASIN
- WATER VALVE
- HYDRANT
- TH #11 TEST HOLE AND IDENTIFICATION
- 50' WETLAND BUFFER
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- Ⓢ DETAIL SHEET / DETAIL
- PROPOSED & EXISTING TREELINE
- PROPOSED CENTER LINE
- PROPOSED UNDERGROUND UTILITY
- S.G.C. SLOPED GRANITE CURB
- V.G.C. VERTICAL GRANITE CURB
- E.O.P. EDGE OF PAVEMENT
- B.C.C. BITUMINOUS CONCRETE CURB

GRAPHIC SCALE



DOVER FILE NO. P14-35

REVISION	DATE	DESCRIPTION

GRADING PLAN
FOR
GULF LANDING PROPERTIES LLC
OFF CENTRAL AVE
DOVER, N.H.
TAX MAP 38, LOT 9A-2

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}
SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 1, 2015
FILE NO. : DB 2013 - 091



SHEET 4 OF 9