



CITY OF DOVER

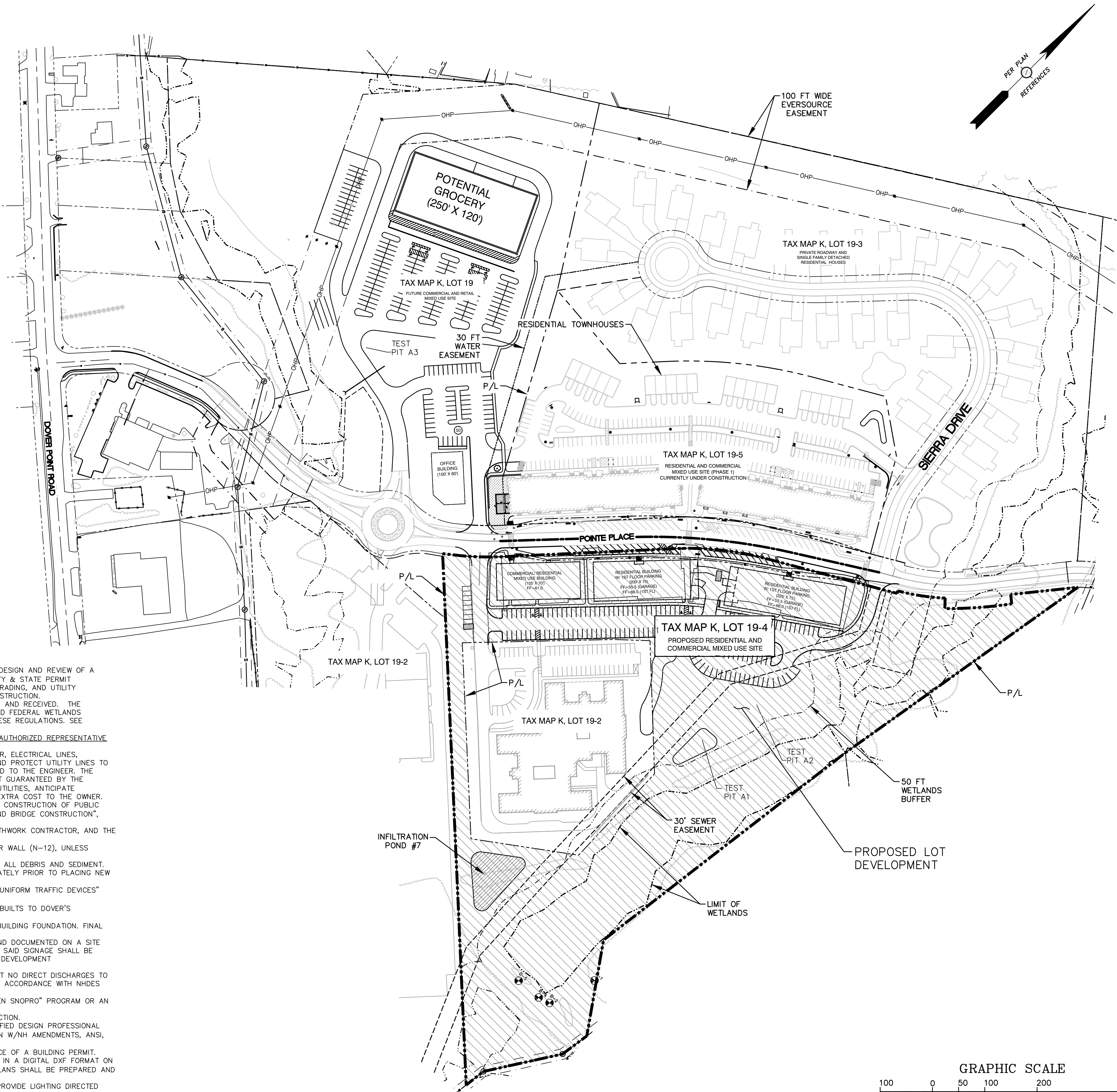
PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 2nd Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, May 24, 2018**
Meeting Time: **10:30 am**

1. 10:30 AM – 11:15 AM: Conceptual review for Pointe Place Development (three additional mixed-use buildings) to include site plan, grading and utilities (Tax Map K, Lot 19-4).
2. 11:15 AM – 11:45 AM: Conceptual review of 8% road grades for two Major Subdivisions with Transfer of Development Rights (TDR) for TDAK & Company LLC, located at 146 Dover Point Road & 99 Sixth Street respectively.

PLAN REFERENCES:

1. "SUBDIVISION AND LOT LINE ADJUSTMENT PLAN" FOR POINTE PLACE & DOVER POINTE ROAD 252 LLC, SHEETS 1-4, TAX MAP K LOT NOS. 19, 19-2, 19-3, & 19-4, DATED 8/13/15 BY MCNEANEY SURVEY ASSOCIATES, INC. AND RECORDED AT STRAFFORD COUNTY REGISTRY OF DEEDS - SCRD PLANS # 110-023, 110-024, 110-025, & 110-026. CITY OF DOVER FILE NO. P15-23 & 33.
2. "POINTE PLACE AND SIERRA DRIVE ROADWAY AND UTILITY INFRASTRUCTURE PLANS", PREPARED BY ALTUS ENGINEERING, INC., APPROVED DECEMBER 16, 2015, CITY OF DOVER FILE NO. P14-56.
3. "EASEMENT RELOCATION PLAN" PREPARED FOR VARBEY BROOK LANDS, LLC AND CHANGING PLACES, LLC AND EVERSOURCE ENERGY, TAX MAP K, LOT NOS. 19, 19-1 OPN, & 19-3, BY MCNEANEY SURVEY ASSOCIATES, INC. DATED 9/30/15 AND RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS SCRD PLAN #110-043.
4. "POINTE PLACE ROUNDABOUT PLANS", PREPARED BY ALTUS ENGINEERING, INC. DATED MAY 24, 2016 AND APPROVED IN JUNE 2016, CITY OF DOVER FILE NO. P14-56.



GENERAL NOTES:

1. THE INTENT OF THIS PLAN SUBMITTAL IS TO PROVIDE THE NECESSARY INFORMATION FOR THE DESIGN AND REVIEW OF A MIXED USE RESIDENTIAL AND COMMERCIAL DEVELOPMENT ASSESSOR'S PARCEL K/19-4 FOR CITY & STATE PERMIT APPLICATIONS. THIS PLAN SET PROVIDES DETAILED INFORMATION FOR THE GENERAL LAYOUT, GRADING, AND UTILITY LOCATIONS. ADDITIONAL DETAILED ENGINEERING DESIGN MAY BE REQUIRED TO IMPLEMENT CONSTRUCTION.
2. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THE LANDOWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACKS REQUIREMENTS REQUIRED UNDER THESE REGULATIONS. SEE PROJECT MANUAL APPENDICES FOR COPY OF PERMITS.
3. CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AND NOTIFY CITY OF DOVER AND OWNER'S AUTHORIZED REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL EXISTING UTILITIES INCLUDING SEWER, ELECTRICAL LINES, COMMUNICATION LINES, AND WATER MAIN PRIOR TO COMMENCING CONSTRUCTION. PRESERVE AND PROTECT UTILITY LINES TO BE RETAINED. ANY DISCREPANCIES BETWEEN FIELD AND PLAN SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE ENGINEER, SURVEYOR, OR OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR DAMAGE TO EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES AT NO EXTRA COST TO THE OWNER. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN DOVER, NEW HAMPSHIRE, AND N.H.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
5. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE DEVELOPER, DESIGN ENGINEER, EARTHWORK CONTRACTOR, AND THE CITY ENGINEER PRIOR TO ANY EARTH DISTURBING ACTIVITY.
6. ALL STORM DRAIN PIPING SHALL BE CORRUGATED POLYETHYLENE PIPE (CPE), SMOOTH INTERIOR WALL (N-12), UNLESS OTHERWISE NOTED.
7. UPON COMPLETION OF CONSTRUCTION, THE DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF ALL DEBRIS AND SEDIMENT. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
8. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO ADA REQUIREMENTS AND "MANUAL ON UNIFORM TRAFFIC DEVICES" AND "STANDARD ALPHABETS OF HIGHWAY SIGNS AND PAVEMENT MARKINGS" LATEST EDITIONS.
9. CONTRACTOR SHALL MAINTAIN RECORD INFORMATION AND PROVIDE RECORD DRAWINGS OR AS-BUILTS TO DOVER'S DEPARTMENT OF PUBLIC WORKS. COORDINATE SUBMITTAL REQUIREMENTS WITH DPW.
10. SEE ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL WORK INCLUDING GRADING WITHIN 5' OF BUILDING FOUNDATION. FINAL LOCATIONS OF WALKS TO MATCH LOCATIONS OF DOORWAYS.
11. HOURS OF CONSTRUCTION SHALL BE DETERMINED DURING THE PRE-CONSTRUCTION MEETING AND DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE SHALL BE LOCATED AND APPROVED BY THE CITY ENGINEER OR DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO LAND DISTURBANCE.
12. SALT & OTHER DE-ICING MATERIALS SHALL BE STORED UNDER COVER OR LOCATED SUCH THAT NO DIRECT DISCHARGES TO RECEIVING WATERS IS POSSIBLE. STORAGE & APPLICATION OF DEICING MATERIALS SHALL BE IN ACCORDANCE WITH NHDES BEST MANAGEMENT PRACTICES.
13. ALL SNOW & ICE REMOVAL SHALL BE PERFORMED BY A CONTRACTOR CERTIFIED BY THE "GREEN SNOPRO" PROGRAM OR AN APPROVED EQUIVALENT.
14. THE SITE SHALL BE ACCESSIBLE IN ALL WEATHER CONDITIONS AT ALL TIMES DURING CONSTRUCTION.
15. PRIOR TO CONSTRUCTION CONTRACTOR SHALL HAVE PLANS REVIEWED & STAMPED BY A QUALIFIED DESIGN PROFESSIONAL THAT THE DESIGN COMPLIES WITH APPLICABLE ACCESSIBLE REGULATIONS (I.E. IBC 2009 EDITION W/NH AMENDMENTS, ANSI, RSA-155-A:5).
16. BUILDING ADDRESS SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
17. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
18. EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
19. RETAINING WALL DESIGN SHALL BE STAMPED BY A STRUCTURAL ENGINEER. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE RETAINING WALL.

THIS DRAWING HAS NOT BEEN
RELEASED FOR CONSTRUCTION

Owner / Applicant:

Varney Brook Lands, LLC
c/o Summit Land Development
340 Central Avenue #202
Dover, NH 03820

signature: _____
Date: _____

ISSUED FOR: TECHNICAL REVIEW
ISSUE DATE: MAY 15, 2018

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL		CDB	05/15/18

DRAWN BY: _____
APPROVED BY: _____
DRAWING FILE: _____

SCALE: 24"x36" 1" = 100'
12"x18" 1" = 200'

OWNER:
VARNEY BROOK LANDS, LLC
P.O. BOX 728
DOVER, NH 03821

APPLICANT:
SUMMIT LAND DEVELOPMENT
340 CENTRAL AVE., #202
DOVER, NH 03820

PROJECT:
POINTE PLACE (PHASE 2)
RESIDENTIAL AND
COMMERCIAL
MIXED USE DEVELOPMENT

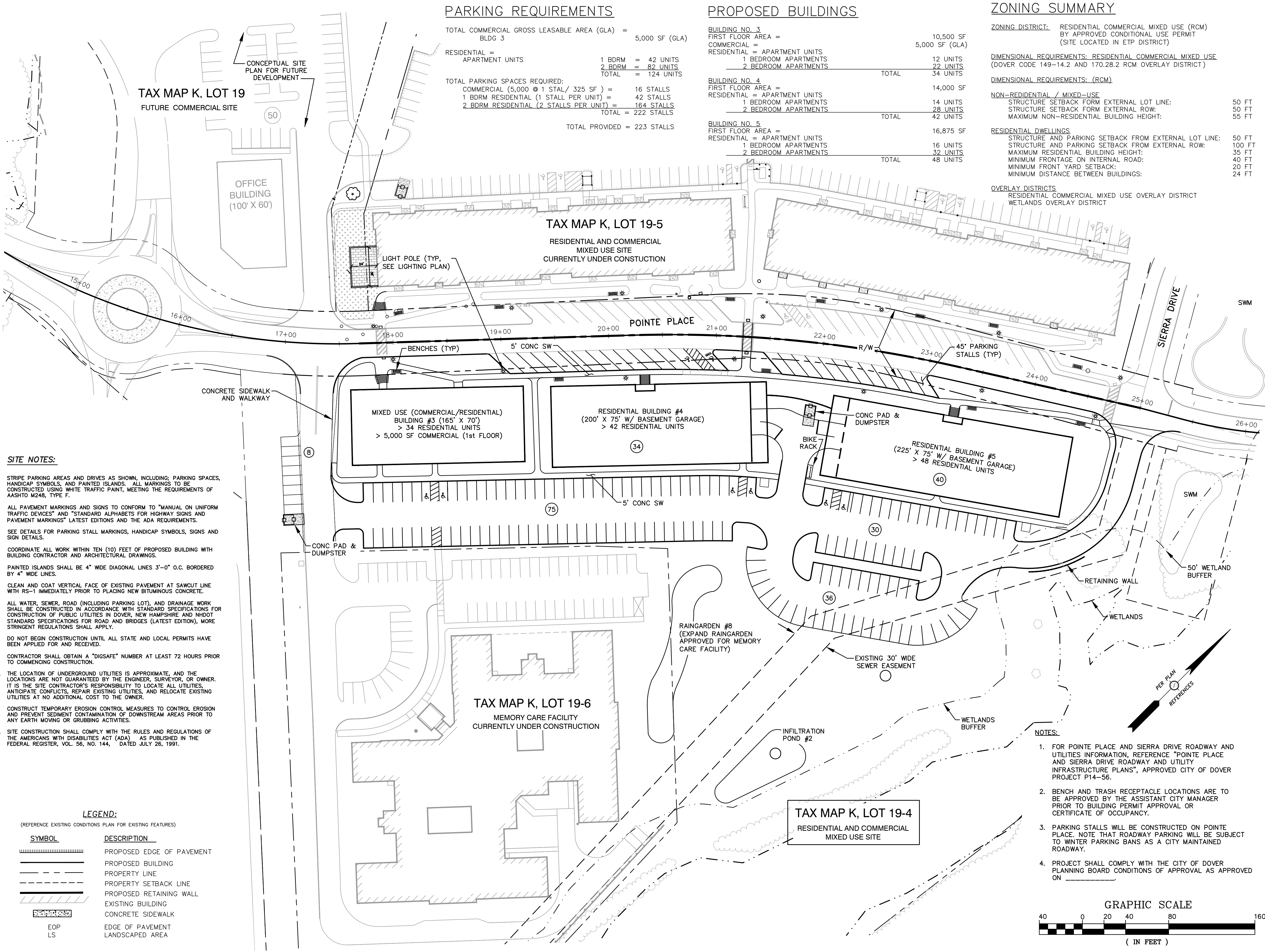
(FILE NO. P18-___)
TAX MAP K, LOT 19-4
DOVER, NH

TITLE:

OVERALL
SITE PLAN

SHEET NUMBER:

S-1



PARKING REQUIREMENTS

TOTAL COMMERCIAL GROSS LEASABLE AREA (GLA) =	BLDG 3	=	5,000 SF (GLA)
RESIDENTIAL =	APARTMENT UNITS		
	1 BDRM	=	42 UNITS
	2 BDRM	=	82 UNITS
	TOTAL	=	124 UNITS
TOTAL PARKING SPACES REQUIRED:			
	COMMERCIAL (5,000 @ 1 STAL/ 325 SF.)	=	16 STALLS
	1 BDRM RESIDENTIAL (1 STALL PER UNIT)	=	42 STALLS
	2 BDRM RESIDENTIAL (2 STALLS PER UNIT)	=	164 STALLS
	TOTAL	=	222 STALLS
TOTAL PROVIDED	=	223 STALLS	

PROPOSED BUILDINGS

BUILDING NO. 3			
FIRST FLOOR AREA =		10,500 SF	
COMMERCIAL =	APARTMENT UNITS	5,000 SF (GLA)	
RESIDENTIAL =			
	1 BEDROOM APARTMENTS	22 UNITS	
	2 BEDROOM APARTMENTS	22 UNITS	
	TOTAL	34 UNITS	
BUILDING NO. 4			
FIRST FLOOR AREA =		14,000 SF	
RESIDENTIAL =	APARTMENT UNITS		
	1 BEDROOM APARTMENTS	14 UNITS	
	2 BEDROOM APARTMENTS	28 UNITS	
	TOTAL	42 UNITS	
BUILDING NO. 5			
FIRST FLOOR AREA =		16,875 SF	
RESIDENTIAL =	APARTMENT UNITS		
	1 BEDROOM APARTMENTS	16 UNITS	
	2 BEDROOM APARTMENTS	32 UNITS	
	TOTAL	48 UNITS	

ZONING SUMMARY

ZONING DISTRICT:	RESIDENTIAL COMMERCIAL MIXED USE (RCM)		
	BY APPROVED CONDITIONAL USE PERMIT		
	(SITE LOCATED IN ETP DISTRICT)		
DIMENSIONAL REQUIREMENTS: RESIDENTIAL COMMERCIAL MIXED USE			
(DOVER CODE 149-14.2 AND 170.28.2 RCM OVERLAY DISTRICT)			
DIMENSIONAL REQUIREMENTS: (RCM)			
NON-RESIDENTIAL / MIXED-USE			
STRUCTURE SETBACK FROM EXTERNAL LOT LINE:		50 FT	
STRUCTURE SETBACK FROM EXTERNAL ROW:		50 FT	
MAXIMUM NON-RESIDENTIAL BUILDING HEIGHT:		55 FT	
RESIDENTIAL DWELLINGS			
STRUCTURE AND PARKING SETBACK FROM EXTERNAL LOT LINE:		50 FT	
STRUCTURE AND PARKING SETBACK FROM EXTERNAL ROW:		100 FT	
MAXIMUM RESIDENTIAL BUILDING HEIGHT:		35 FT	
MINIMUM FRONTAGE ON INTERNAL ROAD:		40 FT	
MINIMUM FRONT YARD SETBACK:		20 FT	
MINIMUM DISTANCE BETWEEN BUILDINGS:		24 FT	
OVERLAY DISTRICTS			
RESIDENTIAL COMMERCIAL MIXED USE OVERLAY DISTRICT			
WETLANDS OVERLAY DISTRICT			

- SITE NOTES:**
1. STRIPE PARKING AREAS AND DRIVES AS SHOWN, INCLUDING: PARKING SPACES, HANDICAP SYMBOLS, AND PAINTED ISLANDS. ALL MARKINGS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F.
 2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC DEVICES" AND "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" LATEST EDITIONS AND THE ADA REQUIREMENTS.
 3. SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
 4. COORDINATE ALL WORK WITHIN TEN (10) FEET OF PROPOSED BUILDING WITH BUILDING CONTRACTOR AND ARCHITECTURAL DRAWINGS.
 5. PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES 3'-0" O.C. BORDERED BY 4" WIDE LINES.
 6. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 7. ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN DOVER, NEW HAMPSHIRE AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGES (LATEST EDITION), MORE STRINGENT REGULATIONS SHALL APPLY.
 8. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
 9. CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
 10. THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE, AND THE LOCATIONS ARE NOT GUARANTEED BY THE ENGINEER, SURVEYOR, OR OWNER. IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
 11. CONSTRUCT TEMPORARY EROSION CONTROL MEASURES TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING OR GRUBBING ACTIVITIES.
 12. SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN THE FEDERAL REGISTER, VOL. 56, NO. 144, DATED JULY 26, 1991.

LEGEND:

SYMBOL	DESCRIPTION
	PROPOSED EDGE OF PAVEMENT
	PROPOSED BUILDING
	PROPERTY LINE
	PROPERTY SETBACK LINE
	PROPOSED RETAINING WALL
	EXISTING BUILDING
	CONCRETE SIDEWALK
	EOP
	LS
	EDGE OF PAVEMENT
	LANDSCAPED AREA

ALTUS
ENGINEERING, INC.

133 COURT STREET
(603) 433-2335

PORTSMOUTH, NH 03801
www.ALTUS-ENG.com

THIS DRAWING HAS NOT BEEN
RELEASED FOR CONSTRUCTION

ISSUED FOR:	TECHNICAL REVIEW
ISSUE DATE:	MAY 15, 2018
REVISIONS	BY DATE
0 INITIAL SUBMITTAL	CDB 05/15/18

DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: 4390-DESIGN.dwg

SCALE: 24"x36" 1" = 40'
12"x18" 1" = 80'

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DOVER, NH 03821

APPLICANT:
SUMMIT LAND DEVELOPMENT
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PROJECT:
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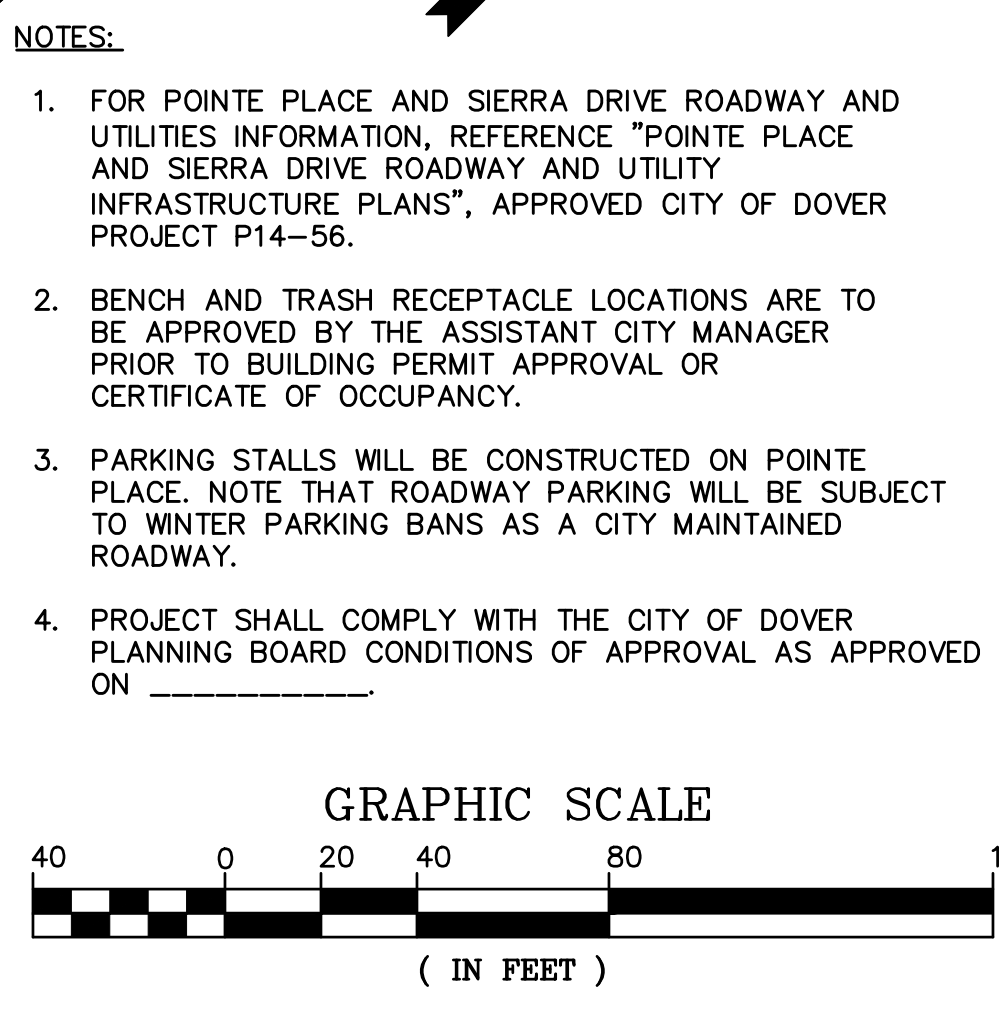
(FILE NO. P18-___)
TAX MAP K, LOT 19-4
DOVER, NH

TITLE:

PRELIMINARY
SITE PLAN

SHEET NUMBER:

C-1



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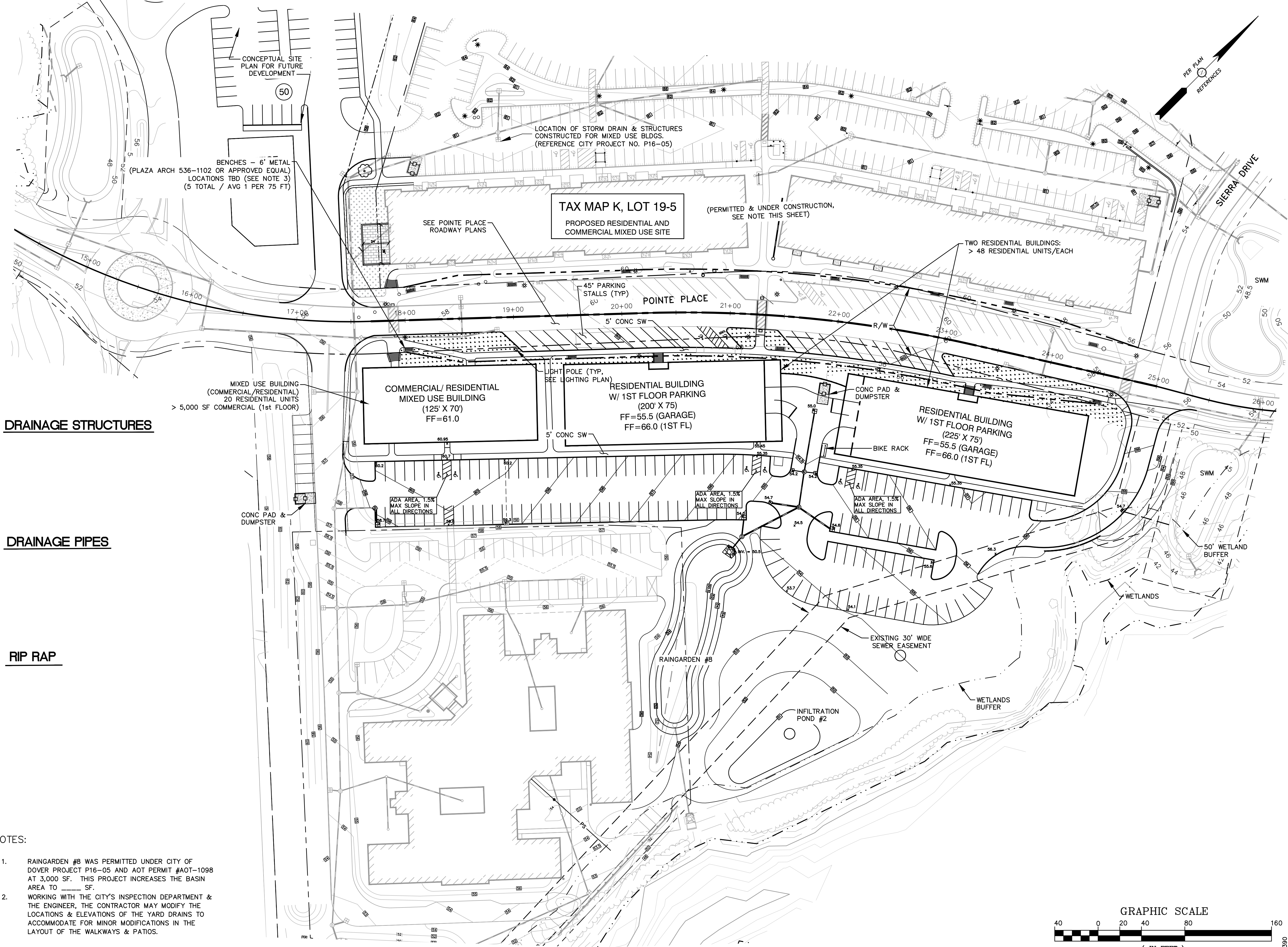
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POINTE PLACE (PHASE 2)
RESIDENTIAL AND
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MIXED USE DEVELOPMENT

(FILE NO. P18-___)
TAX MAP K, LOT 19-4
DOVER, NH

TITLE:
PRELIMINARY
GRADING AND
DRAINAGE PLAN

SHEET NUMBER:

C-2



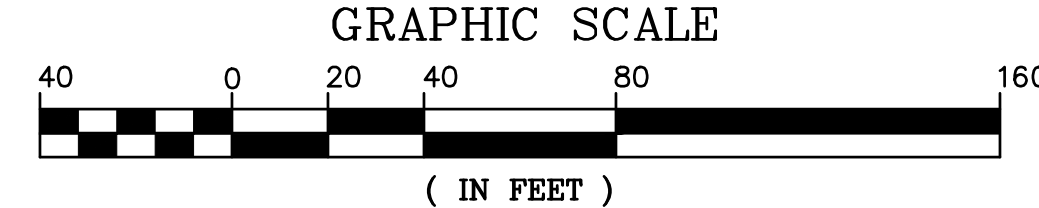
DRAINAGE STRUCTURES

DRAINAGE PIPES

RIP RAP

NOTES:

1. RAINGARDEN #8 WAS PERMITTED UNDER CITY OF DOVER PROJECT P16-05 AND AOT PERMIT #AOT-1098 AT 3,000 SF. THIS PROJECT INCREASES THE BASIN AREA TO ____ SF.
2. WORKING WITH THE CITY'S INSPECTION DEPARTMENT & THE ENGINEER, THE CONTRACTOR MAY MODIFY THE LOCATIONS & ELEVATIONS OF THE YARD DRAINS TO ACCOMMODATE FOR MINOR MODIFICATIONS IN THE LAYOUT OF THE WALKWAYS & PATIOS.



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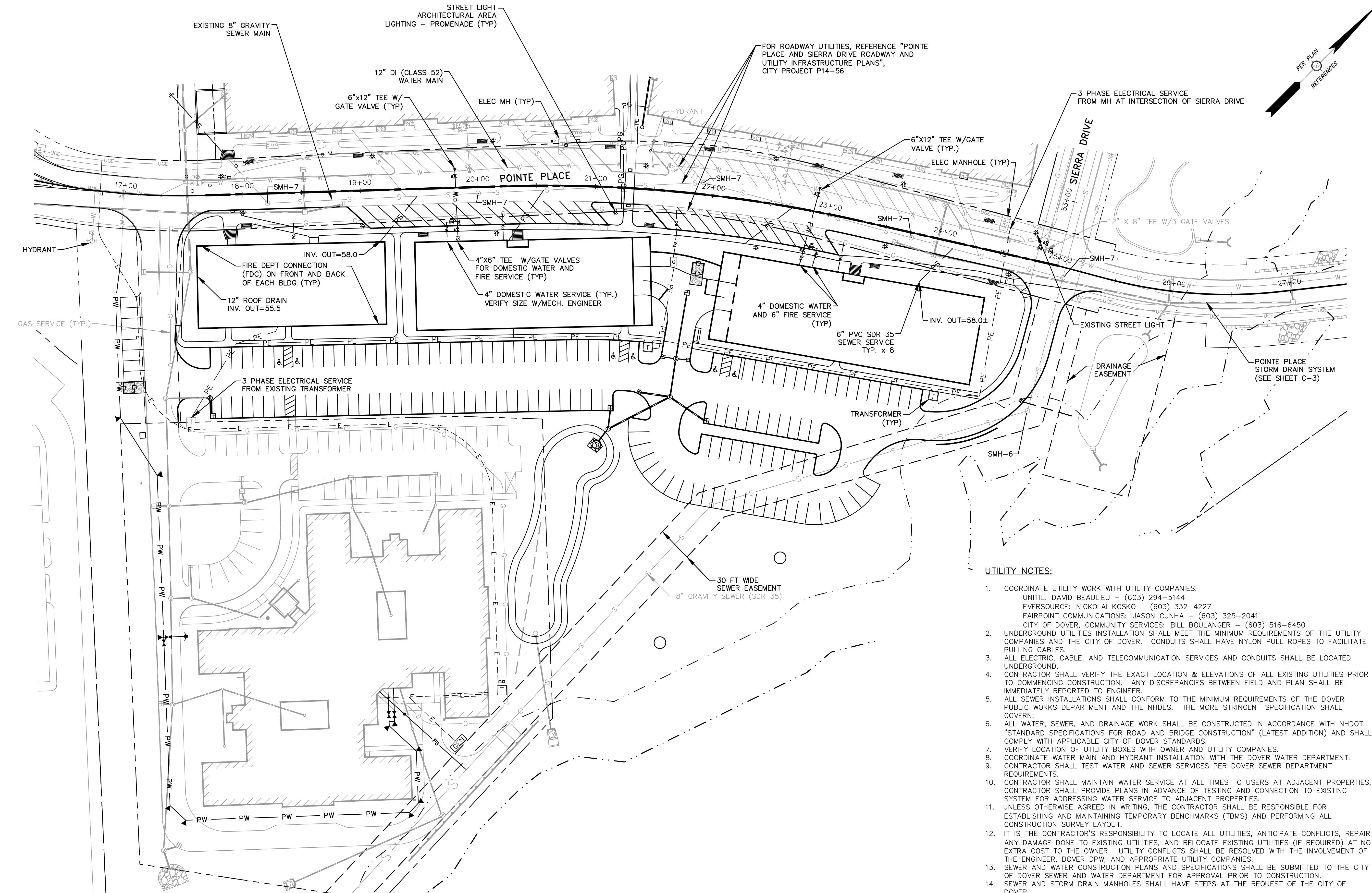
(FILE NO. P18-___)
TAX MAP K, LOT 19-4
DOVER, NH

TITLE:

UTILITY PLAN

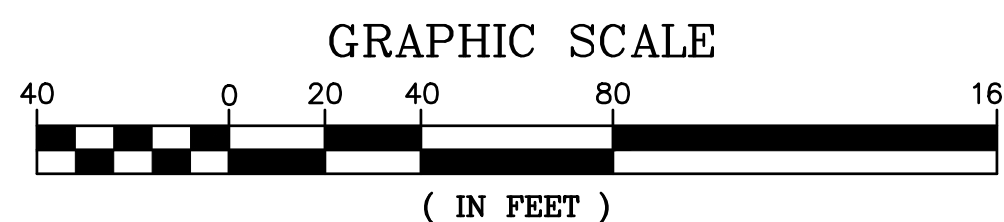
SHEET NUMBER:

C-3



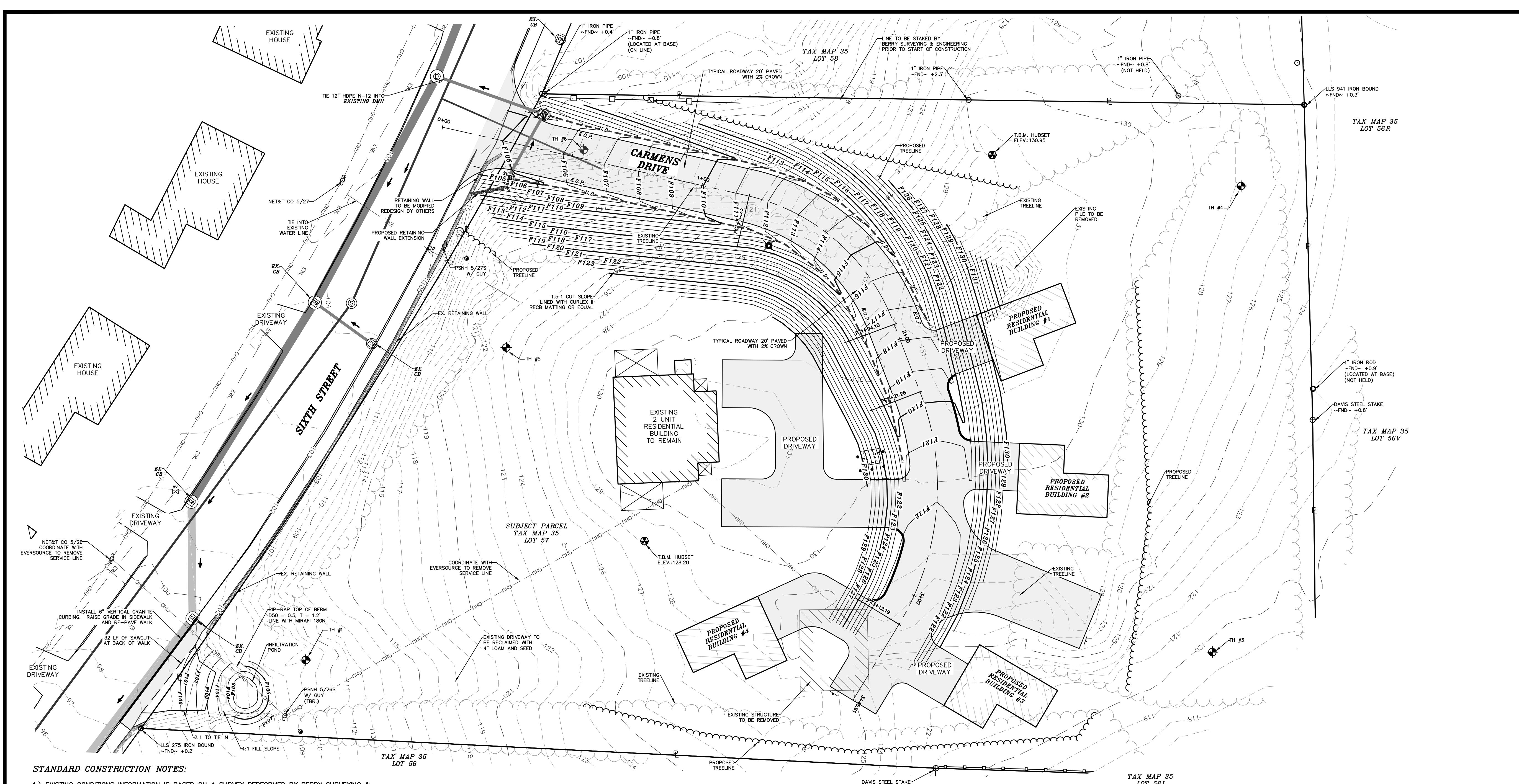
LEGEND

W — EXISTING WATER/CURB STOP/VALVE/HYDRANT	PW — PROPOSED THRUST BLOCK/WATER/CURB STOP/VALVE/HYDRANT
S — EXISTING SEWER/MANHOLE	PS — PROPOSED SEWER/MANHOLE/CLEANOUT
G — EXISTING GAS/VALVE	PG — PROPOSED NATURAL GAS
OHW — EXIST. OVER/UNDERGROUND UTILITIES/POLE	OHW — PROPOSED OVERHEAD UTILITIES/UTILITY POLE
— — ELEC MANHOLE/SECTOR CABINET/PULL BOX/TRANSFORMER	PE — PROPOSED UNDERGROUND ELECTRIC/PHONE/TV
D — EXISTING DRAINAGE/CB/DMH	FS — PROPOSED FIRE SERVICE
	— — PROPOSED DRAINAGE (HARD PIPE)/CB/DMH/HEADWALL



UTILITY NOTES:

- COORDINATE UTILITY WORK WITH UTILITY COMPANIES.
UNITIL: DAVID BEAULIEU — (603) 294-5144
EVERSOURCE: NICKOLAI KOSKO — (603) 332-4227
FAIRPOINT COMMUNICATIONS: JASON CUNHA — (603) 325-2041
CITY OF DOVER, COMMUNITY SERVICES: BILL BOULANGER — (603) 516-6450
- UNDERGROUND UTILITIES INSTALLATION SHALL MEET THE MINIMUM REQUIREMENTS OF THE UTILITY COMPANIES AND THE CITY OF DOVER. CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- ALL ELECTRIC, CABLE, AND TELECOMMUNICATION SERVICES AND CONDUITS SHALL BE LOCATED UNDERGROUND.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION & ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD AND PLAN SHALL BE IMMEDIATELY REPORTED TO ENGINEER.
- ALL SEWER INSTALLATIONS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE DOVER PUBLIC WORKS DEPARTMENT AND THE NHDES. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL WATER, SEWER, AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST ADDITION) AND SHALL COMPLY WITH APPLICABLE CITY OF DOVER STANDARDS.
- VERIFY LOCATION OF UTILITY BOXES WITH OWNER AND UTILITY COMPANIES.
- COORDINATE WATER MAIN AND HYDRANT INSTALLATION WITH THE DOVER WATER DEPARTMENT.
- CONTRACTOR SHALL TEST WATER AND SEWER SERVICES PER DOVER SEWER DEPARTMENT REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN WATER SERVICE AT ALL TIMES TO USERS AT ADJACENT PROPERTIES. CONTRACTOR SHALL PROVIDE PLANS IN ADVANCE OF TESTING AND CONNECTION TO EXISTING SYSTEM FOR ADDRESSING WATER SERVICE TO ADJACENT PROPERTIES.
- UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBMS) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR ANY DAMAGE DONE TO EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES (IF REQUIRED) AT NO EXTRA COST TO THE OWNER. UTILITY CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DOVER DPW, AND APPROPRIATE UTILITY COMPANIES.
- SEWER AND WATER CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY OF DOVER SEWER AND WATER DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- SEWER AND STORM DRAIN MANHOLES SHALL HAVE STEPS AT THE REQUEST OF THE CITY OF DOVER.
- THE PROPOSED STRUCTURE SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER CHAPTER 109-30 OF THE CODE OF THE CITY OF DOVER AND THE 2009 STATE BUILDING CODES.
- SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED.
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13.
- A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE I, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER.
- THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
- BACKFLOW PREVENTERS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
- SEWER AND WATER SERVICE STUBS WERE INSTALLED DURING THE CONSTRUCTION OF POINTE PLACE ROADWAY. CONTRACTOR SHALL LOCATE THE ENDS OF THE EXISTING SERVICE STUBS AND EXTEND THE SERVICES TO THE BUILDINGS.



STANDARD CONSTRUCTION NOTES:

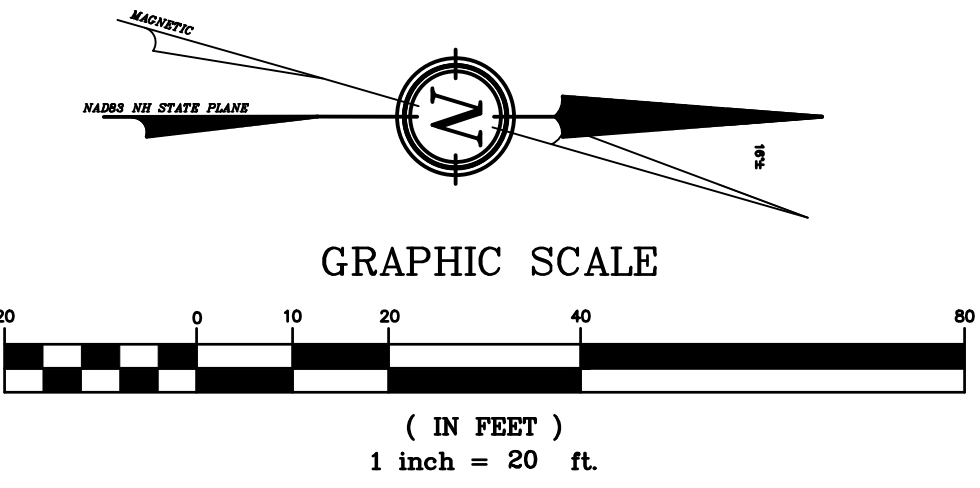
- 1.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
- 2.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016, CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- 3.) CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- 4.) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- 5.) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 6.) THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- 7.) AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 8.) THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R).
- 9.) ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH {} SHALL BE THERMOPLASTIC.
- 10.) ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEEDED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.

STANDARD CONSTRUCTION NOTES CONT:

- 11.) COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM WITH CITY OF DOVER CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
- 12.) ALL CATCH BASINS SHALL BE PRE-CAST H-20 LOADING AND SHALL BE EQUIPPED WITH DEEP SUMPS (4' MIN.) AND HOODS (SEE DETAILS) HOODS ARE TO BE "THE ELIMINATOR" BY KLEANSTREAM. RIMS ARE TO BE REXUS STYLE AND SHALL BE SET FLUSH WITH FINISH GRADE, UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY DOVER DPW. RIMS ABOVE FINISH GRADE WILL BE NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE U.S.A MADE.

NOTES:

- 1.) THE INTENT OF THIS PLAN SET IS TO SHOW THE OVERVIEW OF THE SITE GRADING AT 99 SIXTH STREET WITH A 8% ROAD GRADE.
- 2.) CURRENT OWNER: TDAK & COMPANY LLC
9 KELSEY DRIVE
GREENLAND, NH 03840
- 3.) APPLICANT: TDAK & COMPANY LLC
9 KELSEY DRIVE
GREENLAND, NH 03840
- 4.) TAX MAP 35, LOT 57 OF THE CITY OF DOVER TAX ASSESSOR'S MAPS.



DOVER FILE #P18-07

REVISION	DATE	DESCRIPTION
#1	4-16-18	REVISED PER TRC COMMENTS OF 4-5-18

GRADING AND DRAINAGE PLAN
RESIDENTIAL SUBDIVISION REVIEW
LAND OF
TDAK & COMPANY LLC
99 SIXTH STREET
DOVER, N.H.
TAX MAP 35, LOT 57

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 28, 2018
FILE NO. : DB 2017-060

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

