CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 2nd Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, June 28, 2018**
Meeting Time: **10:30 am**

1. 10:30 AM – 11:15 AM: Site Review for First Street at Garrison, LLC, Assessor's Map 6, Lots 3-1 & 9, zoned CBD - General, located at First Street. (Proposal is to re-use the existing building and construct one new building, the first building with 24 two bedroom units and 8 one bedroom units also containing 1,520 sq. ft. of commercial space with the second building containing 2 two bedroom units and 6 one bedroom units also with 880 sq. ft. of commercial space and 51 proposed parking space. A CUP application will also appear before the Planning Board). (P18-25)

TECHNICAL REVIEW COMMITTEE MINUTES - P18-27

CITY OF DOVER

Application Type:	Gravel Driveway TRC Only
Applicant(s):	Bob Sherwood Landscape Company
Owner(s):	One Grove Street LLC
Location:	1 Grove St (Tax Map 31, Lots 4 & 11)
Date:	June 14, 2018

INTENT: To create a parking area for the owners and employees of Hampshire Controls, by removing existing lawn 30 ft. wide by 120 ft. long at a depth of 6 in., and installing crushed gravel. This will be a parking lot for the owners and employees of Hampshire Controls.

LOTS/UNITS PROPOSED: N/A

AGENDA ITEM #: 1

ACREAGE: 0.5 acre

ZONING DISTRICT: B-2

EXISTING LAND USE: Hampshire Controls

SURROUNDING LAND USE: Railroad, commercial, residential, proposed mixed use

ZBA ACTION: None

PERMITS REQUIRED: Driveway Permit

WAIVERS REQUESTED: None

ATTENDANCE:
Members:
Donna Benton, Planning
Elena Piekut, Planning/Zoning
Frank Torr, Planning Board
Dave White, Engineering
James Maxfield, Fire/Inspections
Sgt. Marn Speidel, Police
Dan Barufaldi, Economic Development

Others:
Bob Sherwood, Applicant
Chris Parker, Planning

Approval of 4/26/2018 Meeting Minutes
D. White moved to approve the minutes of April 26, 2018. Sgt. Speidel seconded. Vote: U/A

PLAN REVIEW:
Planning Comments:
- Please revise plan set to:
  - Indicate number of parking spaces and layout
  - Indicate area to be gravel
  - Add owners signatures and date

Police Department Comments:
- What will be the disposition of the dumpster?
- Is 30' wide enough to accommodate side-by-side parking?
- Discuss the traffic pattern
- Where is the snow storage? Should be on lawn rather than against building

Fire/Inspections Comments:
- Assess to remain on Grove Street so need to consider accommodation for van accessible space in accordance with applicable regulations

Engineering Comments:
- Drainage needs to be addressed and captured/handled on site, suggest grade to rear lawn to capture and treat
- Layout parking with 40' width works better. Consider a bit wider
- Add note that if the site is to be paved in the future, it needs to come back for review first to look at stormwater treatment

Economic Development Comments:
- Is the proposed parking area level or at an incline? Would water drain to the river?

Planning Board Comments: None

Motion that this project can be administratively approved once TRC comments are addressed by D. White and seconded by D. Barufaldi Vote U/A.

Motion to adjourn TRC at 10:55am am by D. White and seconded by J. Maxfield. Vote: U/A

DRAFT

RECEIVED
Planning Office
JUN 14 2018
Dover, New Hampshire

FIRST STREET AT GARRISON, LLC
&
FIRST STREET AT CHESTNUT, LLC

SITE REVIEW APPLICATION
6/12/18

BUILDING COMPOSITION SUMMARY

The project will consist of 2 new buildings with the following composition:

Larger building, located between 100 First Street and 24 Chestnut Street buildings:

24	2 Bedroom Units
8	1 Bedroom Units
1520 s.f.	Commercial Space

Smaller building, located along the Cocheco River:

2	2 Bedroom Units*	*Of the 8 units in this building, there will be
6	1 Bedroom Units*	2 ADA units, size yet to be determined.
880 s.f.	Commercial Space	

Total Units: 26 - 2 Bedroom Units, 14 - 1 Bedroom Units, 2400 s.f. Commercial Space

NEW PARKING CONFIGURATION

17 Spaces located on the first floor of the larger building.

34 Surface spaces located around the 24 Chestnut Street building.

Total proposed parking spaces: 51

City of Dover, New Hampshire
SITE REVIEW APPLICATION

[Revision Date: August 02, 2017]

RECEIVED
Planning Office

Office Use Only	Project #:		Date Received:	MAY 17 2018
	Amount Paid:		Time Received:	~~Dover, New Hampshire~~

APPLICANT AND OWNER INFORMATION

Name of Applicant: FIRST STREET AT GARRISON, LLC Telephone # 740-0000

Address of Applicant: 466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820

E-Mail Address:

Name of Property Owner (*if different from applicant*): FIRST STREET AT CHESTNUT, LLC Telephone # 740-0000

Address of Property Owner: 466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820

PROPERTY INFORMATION

Address of Property: FIRST STREET

Assessor's Map # 6 Lot(s) # 3-1 & 9

Zoning District(s) CBD GENERAL Overlay District(s)

Size of Parcel: 6/3-1 = 31,673 sq. ft. .73 ac. Property Deed: Book 4228 Page: 707
6/9 = 17,719 .41 ac. 4424 295

Existing Use of Property: 6/3-1: VACANT / PARKING LOT
6/9: OFFICE BUILDING WITH PARKING

SITE PLAN INFORMATION

Describe Proposed Use: MIXED USE: RESIDENTIAL & COMMERCIAL SPACE

Area of Parcel to be Developed: LOT 6/3-1 + 6/9 COMBINED = 49,392 sq. ft.

If Multi-family Residential, Specify Number of Units* & Buildings Proposed**: *26 - 2 BEDROOMS, *14 - 1 BEDROOMS RESIDENTIAL UNITS
** BUILDINGS PROPOSED = 3 NEW
1880 S.F. COMMERCIAL SPACE

Number of Parking Spaces: Existing 50 ± Proposed 51

Highway Access (check where applicable): ✓ City Street ____ State Highway

Number of Employees Total: N/A In Maximum Shift: N/A

Disposition of Parcel:

Building Footprint 11,654 sq. ft.

Total Building Area 52,720 sq. ft.

Paved Area "NEW" 0 sq. ft.

Building Setbacks:

Front Yard 20 ft.

Rear Yard 10 ft.

Side Yard: Right 12 ft. Left 13 ft.

City Water? ✓ Yes ___ No How far is city water from the property? IN FIRST STREET

City Sewer? ✓ Yes ___ No How far is city sewer from the property? ON PROPERTY

BUILDING INFORMATION

Type of Building to be Built: STEEL/WOOD FRAME W/MASONRY EXTERIOR

Height of Building: 1- 5 STORY 1- 2.5 STORY Finished Floor Elevation: 46.5'

Number of Seats (where applicable) N/A

WAIVER REQUESTS TBD

Site Review Regulations section(s) to be waived: ___

Justification for waiver request(s) (*attach additional sheets as needed*): ___

SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) MCENEANEY SURVEY ASSOCIATES, INC.

Address 24 CHESTNUT STREET DOVER NH 03820 Telephone #: 742-0911

Professional License #: KEVIN MCENEANEY, LLS #661 E-mail address: kevin@surveynh.com

ENGINEER INFORMATION

Name of Engineer and Company (Licensed in N.H.) CIVILWORKS NEW ENGLAND

Address 181 WATSON ROAD DOVER NH 03820 Telephone #: 749-0443

Professional License #: PAUL CONNOLLY, P.E. #5176 E-mail address: pconnolly@civilworksne.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. Furthermore, I/we submit that the existing conditions sheet of the plan represents the lot in question, and that no alteration of the site shall take place during Planning Board review up to and including the pre-construction meeting. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: Kevin McEneaney Date: 5/17/18

Signature of Applicant (*if different from owner*): ___ Date: ___

Signature of Agent: Kevin McEneaney Date: 5/17/18

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: 5/17/18

AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY

I, and my successors, hereby the City of Dover or its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: 5/17/18

Signature of Applicant (*if different from owner*): _____ Date: _____

CERTIFICATION OF FEES

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board. Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner: _____ Date: 5/17/18

Signature of Applicant (*if different from owner*): _____ Date: _____

CITY OF DOVER SITE REVIEW
LIST OF ABUTTERS

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS
6	3-1 + 9	First Street at Chestnut, LLC	466 Central Ave, Ste 12 Dover NH 03820

Applicant (if different from owner): First Street at Garrison, LLC (same address)

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	MAILING ADDRESS
Kevin McEneaney	McEneaney Survey Associates	24 Chestnut Street Dover NH 03820
Paul Connolly	Civilworks New England	181 Watson Road Dover NH 03820

Conservation Easement Holder: N/A

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS

PLANNING BOARD
ESTIMATED FEE SCHEDULE

This is only provided to give you an estimate of the application fees. *After you submit an application, staff will invoice you a total.* All fees must be paid two weeks before the Planning Board meeting. **If the Fee has not been paid, the item will not be placed upon the agenda.**

A. TOTAL FEE paid by cash or check made payable to "City of Dover"

1. Application fee for the following:
   - SUBDIVISION $150.00 x # _____ new lots created = $ _____
   - LOT LINE ADJUSTMENT $200.00 (if more than two lots involved, add $100.00 per lot) = $ _____
   - SITE REVIEW - RESIDENTIAL $100.00 x # ____ per dwelling unit = $ _____
   - SITE REVIEW – NON-RESIDENTIAL (not to exceed $10,000)
     New construction $.15 sq. ft. x # _____ sq. ft. = $ _____
     Additions (new floor space) $.10 per sq. ft. x # _____sq. ft. = $ _____
   - IMPERVIOUS PAVED AREA (for new development) OR IMPERVIOUS PARKING LOT ADDITIONS (not to exceed $10,000) $.07 sq. ft. x # _____ = $ _____
   - MOTEL/HOTEL $35.00 x # ___ per lodging unit = $ _____
   - CHANGE OF USE (not to exceed $5,000)
     Existing floor space $.10 per sq. ft. x # ____ sq. ft. = $ _____
   - CONDITIONAL USE PERMIT $150.00 x # _____ per application = $ _____
   - GRAVEL PIT/ EXCAVATIONS - Application fee $50.00 & Permit fee $75.00 = $ _____
   - EXTENSIONS OF/AMENDMENTS TO/WAIVERS FOR AN APPROVED PLAN ($150.00 minimum) $50.00 x # ____ per hour of review $ _____
   - REQUEST FOR REZONING $150.00 = $ _____
   - DRIVEWAY WAIVER – $100.00 application fee =
     Letter of rejection from Engineering Department, diagram & letter from owner $ _____

B. Abutter Notification/Mailing Labels - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will need to provide to this office the engineer, architect, land surveyor or soil scientist whose professional seal appears on the plan with names and addresses for notices. You will be notified with the amount due, once this has been completed.

1. Applicant & Owner, engineer, architect, land surveyor or soil scientist
   Certified letters fee # _____ of x $8.00 =
2. Certified letters fee: # of abutters _____ X $8.00 = $ _____
3. First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X $1.00 = $ _____
4. Creating/Printing Abutter Labels in triplicate per sheet _____ x $10.00 = $ _____

C. Foster's newspaper public notice fee **$ 80.00**

D. Digital Version of the Plan in PDF/A format or Archive Fee $1.00 x # _____ per sheet of plan set = $ _____

(Revised May 15, 2017)

TOTAL FEE $ _____

Standard Traffic Impact Assessment & Analysis

RIVER'S EDGE
First Street
Dover, New Hampshire

prepared for:
First Street at Garrison, LLC
466 Central Avenue, Suite 12
Dover, NH 03820
Tel. No. 740-000

prepared by:
Civilworks New England
P.O. Box 1166
Dover, NH 03821

THE STATE OF NEW HAMPSHIRE
DANA C. LYNCH
No. 5745
LICENSED
PROFESSIONAL ENGINEER

5/14/18

May, 2018

Description of Site and Surrounding Land Uses

The project site is located on the southerly side of First Street and is shown on Tax Map 6 as Lots 3-1 & 9. The parcel area is 28,188 sq. ft. or 0.65 acres and is located in the Central Business District (CBD). The site is currently occupied by a single story brick commercial building.

The project site fronts on First Street and is surrounded by a mix of uses commonly found in the Dover CBD. The Cochecho River borders the southerly side of the site and on the opposite side of the River lie mid-rise apartments as well as mixed-use (residential/commercial) structures. On the westerly side of the site lies Chestnut Street. To the east of the site there is a five-story structure (100 First Street) containing commercial space, anticipated to be a restaurant, on the first floor and 32 apartment units above. On the opposite side of First Street land use is primarily multi-family residences. Mixed-use structures, commercial first floor and residential upper floors, are located on the corners of First Street and Central Avenue.

Description of Roadways

The project site fronts on, and is accessed via, First Street. First Street is a one-way street with the exception of the westerly-most 120 ft. of the street which provides two-way access from Chestnut Street to the existing commercial building and surface parking associated with 100 First Street to the east of the site. The one-way portion of First Street flows as a single travel lane in a westerly direction from Central Avenue toward Chestnut Street. First Street currently measures approximately 35 ft. curb to curb. Sidewalks run down both sides of the street. There are approximately twenty four (24) on-street, angled parking spaces along the northerly curb line of First Street. There are also twenty nine (29) angled parking spaces beyond the southerly curb line of First Street which are private and designated for use by residents of 100 First Street. The remaining one-way travel lane measures approximately 21 ft. wide.

As previously mentioned, the westerly end of First Street is two-way for a distance of approximately 120 ft. This traffic pattern facilitates east bound movement from Chestnut Street into the parking for 24 Chestnut Street and 100 First Street. Eastbound, or entering traffic, is directed to turn into these parking lots by "DO NOT ENTER" and "RIGHT TURN ONLY" signs in a raised island separating the travel lane from the existing angle parking. Westbound left and right turning lanes facilitate access to Chestnut Street. The intersection of First Street with Chestnut Street is a signalized intersection. The northbound and southbound approaches of Chestnut Street each provide two (2) lanes. Left turns, either into First Street or into the retail area on the westerly side of Chestnut Street, are not protected movements. The First Street approach lanes to the intersection consist of a 10 ft. left-turn lane and 12 ft. right-turn lane. This approach has a signal phase separate from the retail center approach on the opposite side of Chestnut Street. There are accessibility ramps and crosswalks, along with

This analysis assumes that 100 percent of departing trips will utilize the Chestnut Street/First Street intersection with the further assumption that 60 percent will turn left onto Chestnut Street southbound and 40 percent will turn right onto Chestnut Street northbound.

Based on the preceding assumptions, the following trip distribution is anticipated:

	Entering Trip Ends		Exiting Trip Ends	
Parameter	**via Central Ave.**	**via Chestnut St**	**via Chestnut St northbound**	**via Chestnut St southbound**
A.M. Peak Hour	1	2	3	4
P.M. Peak Hour	4	10	4	7

It should be noted that time of day (A.M. vs. P.M.) does not impact trip distribution due to the overriding effect of access limitations to the downtown traffic pattern as it relates to origin and destination desires. Further, the analysis results above indicate the largest peak hour vehicle movement, either entering or exiting the subject site, occurs during the P.M. peak hour with 10 vehicles turning right onto First Street eastbound from Chestnut Street and 11 vehicles turning right onto Chestnut Street northbound. To put this volume in context, Strafford Regional Planning Commission traffic counts in September, 2013 indicate the average daily traffic volume is slightly over 12,000 vehicles per day along Chestnut Street. The current P.M. Peak Hour Volume on Chestnut Street is slightly over 1,000 vehicles per hour, combined northbound and southbound.

Public Transit

The site is within 1/8 miles of the Dover Transportation Center which provides access to both the COAST bus system serving the NH Seacoast and the Downeaster rail service which provides rail service to Boston and Freeport, ME.

Land Use: 223
Mid-Rise Apartment

Description

Mid-rise apartments are apartments (rental dwelling units) in rental buildings that have between three and ten levels (floors). Apartment (Land Use 220), low-rise apartment (Land Use 221) and high-rise apartment (Land Use 222) are related uses.

Additional Data

The peak hour of the generator typically coincided with the peak hour of the adjacent street traffic.

The sites were surveyed in the late 1980s in Montgomery County, Maryland.

Source Number

321

Mid-Rise Apartment
(223)

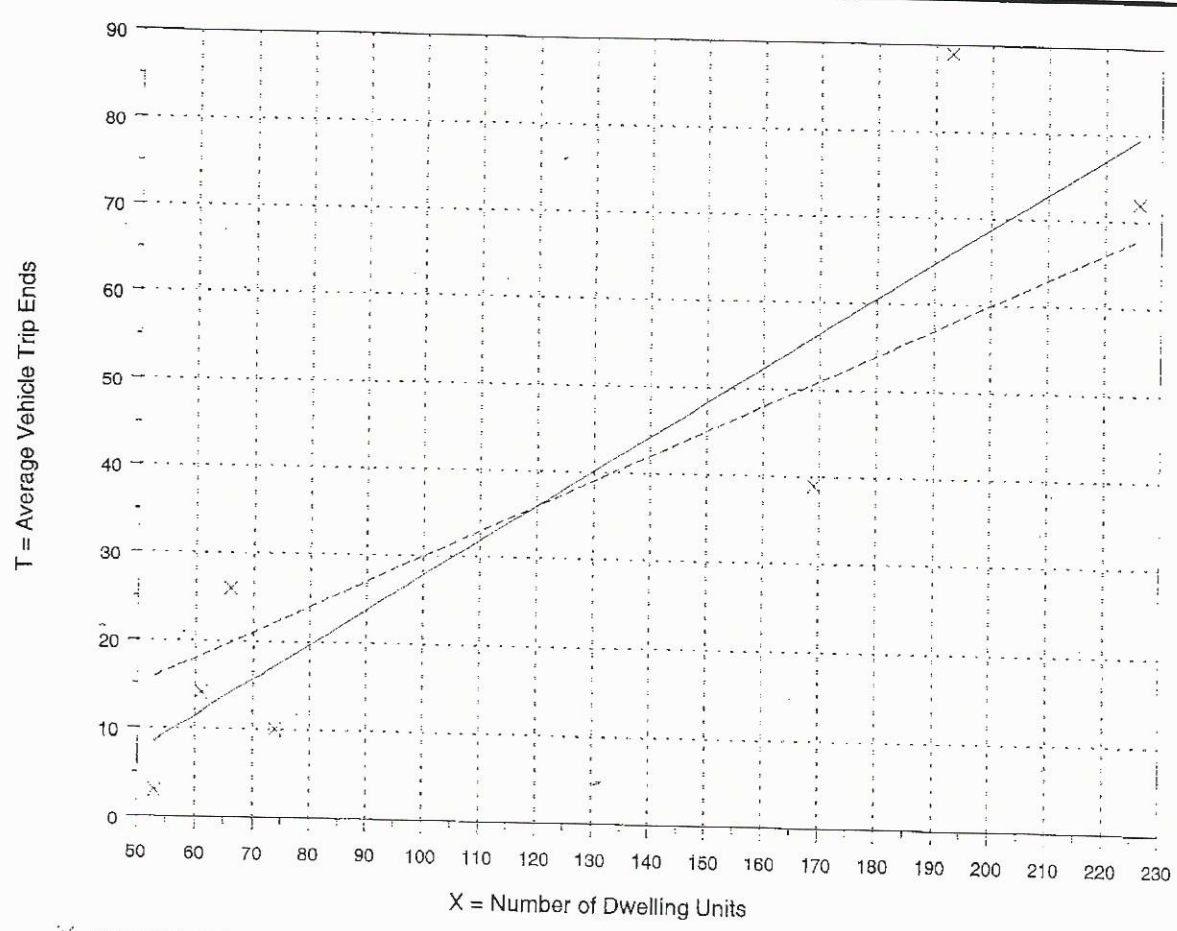
Average Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Number of Studies: 7
Avg. Number of Dwelling Units: 120
Directional Distribution: 31% entering, 69% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.30	0.06 - 0.46	0.56

Data Plot and Equation



Fitted Curve Equation: T = 0.41(X) - 13.06

$R^2 = 0.83$

Mid-Rise Apartment
(223)

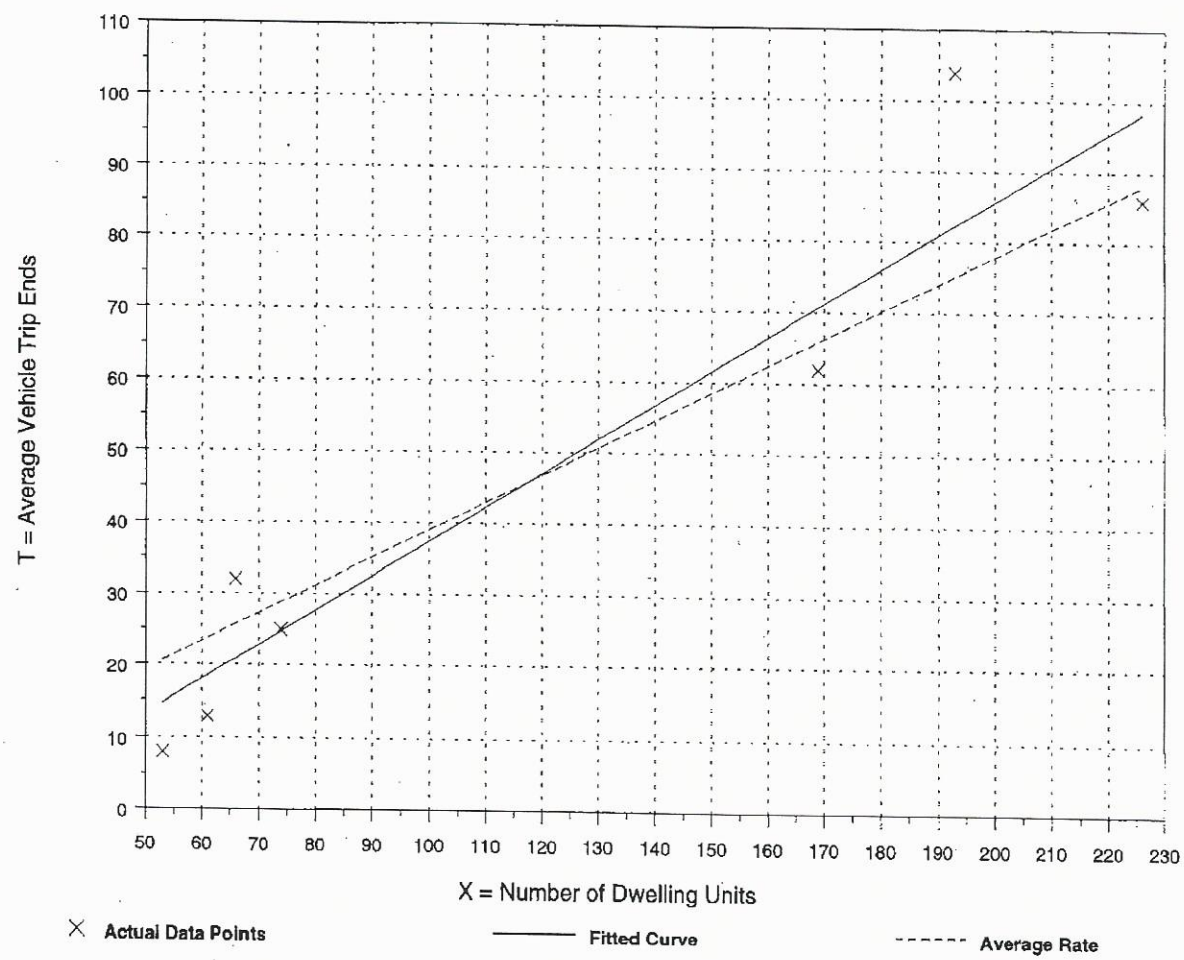
Average Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Number of Studies: 7
Avg. Number of Dwelling Units: 120
Directional Distribution: 58% entering, 42% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.39	0.15 - 0.54	0.63

Data Plot and Equation



Fitted Curve Equation: T = 0.48(X) - 11.07

R^2 = 0.89

Land Use: 814
Specialty Retail Center

Description

Specialty retail centers are generally small strip shopping centers that contain a variety of retail shops and specialize in quality apparel; hard goods; and services, such as real estate offices, dance studios, florists and small restaurants. Shopping center (Land Use 820) is a related use.

Additional Data

The sites were surveyed from the late 1970s to the 2000s in California, Florida, Georgia, New York and Pennsylvania.

Source Numbers

100, 304, 305, 367, 423, 507, 577

Specialty Retail Center
(814)

Average Vehicle Trip Ends vs: **1000 Sq. Feet Gross Leasable Area**
On a: **Weekday,**
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

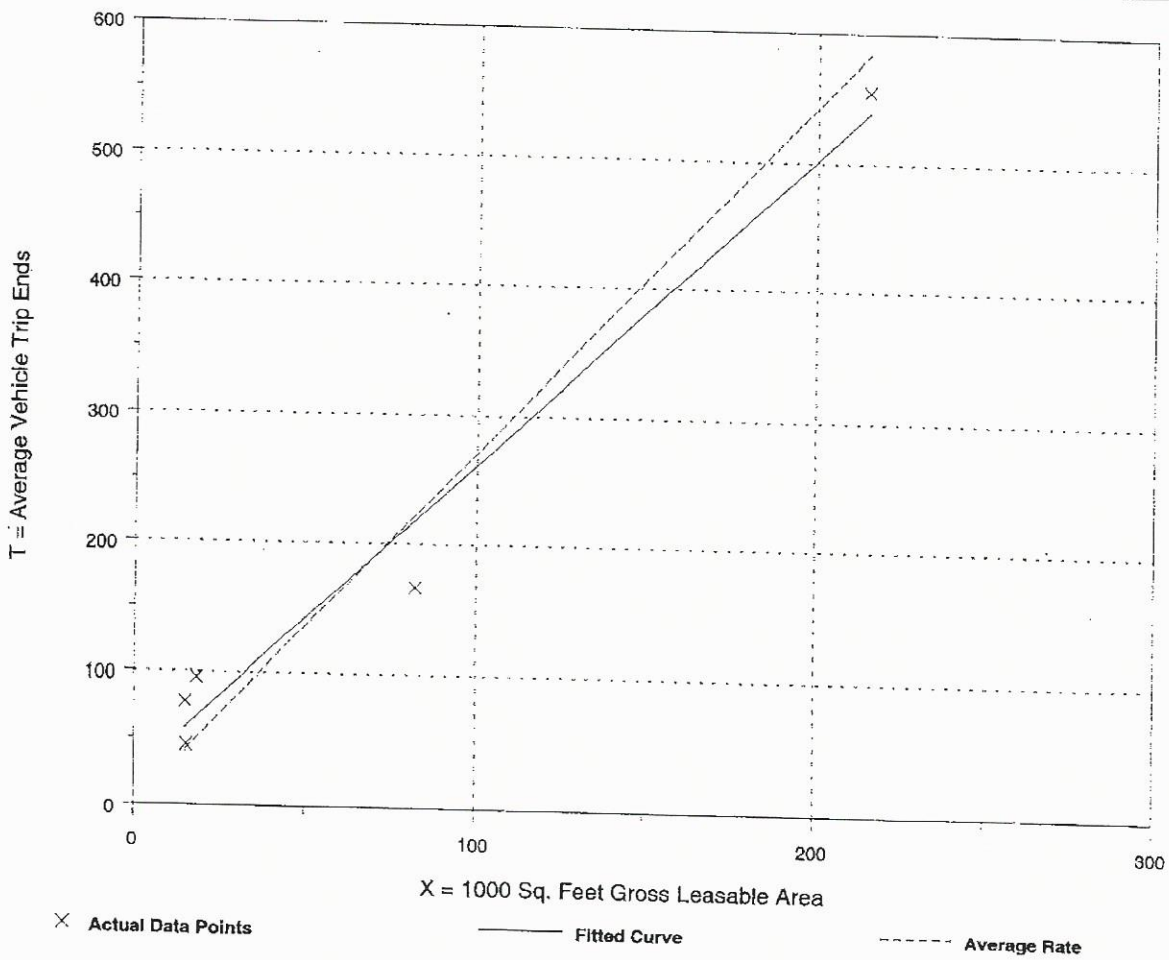
Number of Studies: 5
Average 1000 Sq. Feet GLA: 69
Directional Distribution: 44% entering, 56% exiting

Trip Generation per 1000 Sq. Feet Gross Leasable Area

Average Rate	Range of Rates	Standard Deviation
2.71	2.03 - 5.16	1.83

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Fitted Curve Equation: T = 2.40(X) + 21.48

R^2 = 0.98

RIVERS EDGE

A

MULTI-USE FACILITY

PREPARED FOR:

FIRST STREET AT GARRISON, LLC

AND

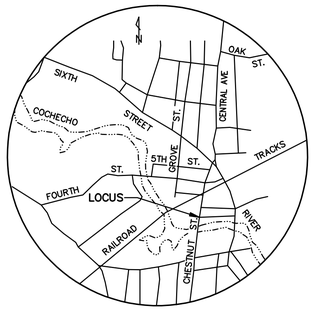
FIRST STREET AT CHESTNUT, LLC

DOVER TAX MAP 6, LOT Nos. 3-1 & 9

DOVER, NEW HAMPSHIRE

MAY 11, 2018

DOVER PLANNING FILE No. P 18–__



LOCATION PLAN
NO SCALE

SURVEYOR:
McENEANEY SURVEY ASSOCIATES, INC.
P.O. Box 681
DOVER, NEW HAMPSHIRE 03821
(603) 742–0911

ENGINEER:
CIVILWORKS NEW ENGLAND
P.O. Box 1166
DOVER, NEW HAMPSHIRE 03821
(603) 749–0443

OWNER: 6 / 3–1
FIRST STREET AT GARRISON, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOL. 4228, PAGE 707

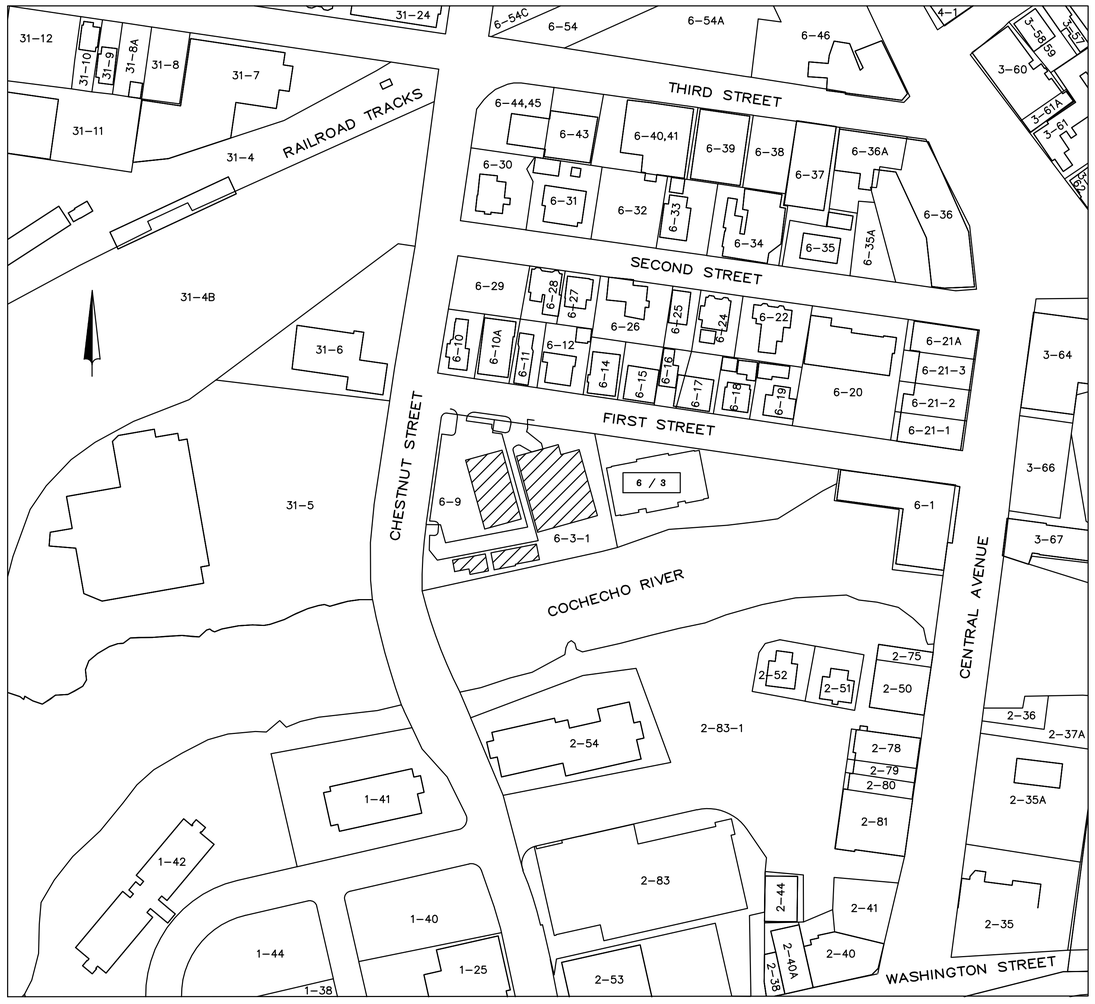
OWNER: 6 / 9
FIRST STREET AT CHESTNUT, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOL. 4424, PAGE 295

OWNER SIGNATURES

OWNER SIGNATURES

LIST OF ABUTTERS

MAP / LOT	NAME	ADDRESS	DEED REFERENCE
6 / 3–1	FIRST STREET AT GARRISON, LLC	466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820	4228 / 707
6 / 9	FIRST STREET AT CHESTNUT, LLC	466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820	4424 / 295
6 / 3	RIPARIA – ONE HUNDRED FIRST STREET, LLC	466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820	4228 / 704
6 / 10	HOLGATE LIMITED PARTNERSHIP	130 CENTRAL AVENUE DOVER, NH 03820	1689 / 5 (31)
6 / 10A	HOLGATE LIMITED PARTNERSHIP	130 CENTRAL AVENUE DOVER, NH 03820	1689 / 5 (31)
6 / 11	STEPHANIE N. LONG	35 FIRST STREET DOVER, NH 03820	3683 / 177
6 / 12	BRIAN J. MURPHY	496 WALLIS ROAD RYE, NH 03870	3541 / 547
6 / 14	ALDEN PROPERTIES, LLC	750 LAFAYETTE ROAD, SUITE 201 PORTSMOUTH, NH 03801	4303 / 657
31 / 5	HARLECH, LLC	273 CORPORATE DRIVE, SUITE 150 PORTSMOUTH, NH 03801	2036 / 90
31 / 6	LOYAL ORDER OF MOOSE #443	45 CHESTNUT STREET DOVER, NH 03820	757 / 327
1 / 42	DOVER HOUSING AUTHORITY	62 WHITTIER STREET DOVER, NH 03820	
2 / 83–1	CITY OF DOVER, NH	288 CENTRAL AVENUE DOVER, NH 03820	1028 / 36



TAX MAP SKETCH & NEIGHBORHOOD PLAN
1" = 100'±

SHEET INDEX

SHEET 1	COVER SHEET W/ NEIGHBORHOOD PLAN
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	DEMOLITION PLAN
SHEET 4	PROPOSED SITE DEVELOPMENT PLAN
SHEET 5	PROPOSED SITE GRADING PLAN
SHEET 6	PROPOSED SITE UTILITY PLAN
SHEET 7	PROPOSED SITE LANDSCAPE PLAN
SHEET 8	PROPOSED SITE LIGHTING PLAN
SHEET 9	STANDARD DETAIL SHEET 1
SHEET 10	STANDARD DETAIL SHEET 2
SHEET 11	SEWER STANDARD SHEET 1
SHEET 12	SEWER STANDARD SHEET 2

REFERENCE PLANS:

1.) DISPOSITION PLAN OF LAND – THE CITY OF DOVER –PARCEL M/1/1, PARCEL P/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: APRIL 29, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 19–43.

2.) DISPOSITION PLAN OF LAND – PARCEL C/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JULY 19, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 18–53.

3.) MINOR SUBDIVISION OF LAND PREPARED FOR THE CITY OF DOVER, NH, TAX MAP 6, LOT No. 3, FIRST STREET, CITY of DOVER, COUNTY of STRAFFORD, STATE of NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 6, 2014; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107–62.

4.) EASEMENT AND LICENSE PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3, FIRST STREET & CHESTNUT STREET, CITY of DOVER, COUNTY of STRAFFORD, STATE of NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 2, 2014, REVISED THROUGH 5/1/14; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107–63.

FILE: w10 CP\1924\18–1924 SD

NOTES:

1.) OWNERS OF RECORD:

6 / 3–1 — FIRST STREET AT GARRISON, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOLUME 4228, PAGE 707

6 / 9 — FIRST STREET AT CHESTNUT, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOLUME 4424, PAGE 295

31 / 6 — LOYAL ORDER OF MOOSE #443

2.) 6 / 3–1 – DENOTES TAX MAP AND PARCEL NUMBER.

3.) PARCEL AREAS:

6 / 3–1	=	31,673 S.F.± / 0.73 Ac.±
6 / 9	=	17,719 S.F. / 0.41 Ac.
COMBINED "PROJECT" AREA	=	49,392 S.F.± / 1.14 Ac.±

4.) THE INTENT OF THIS PLAN IS TO DEPICT THE PARCELS BOUNDARIES AND EXISTING SITE CONDITIONS AS OF MAY 10, 2018.

5.) ZONING DISTRICT:

CBD GENERAL SUB–DISTRICT (CBD)
DIMENSIONAL REQUIREMENTS:

MINIMUM LOT SIZE	=	N/A
MINIMUM LOT COVERAGE	=	75 PERCENT
FRONTAGE BUILD–OUT	=	70 PERCENT MINIMUM
FRONT BUILD TO LINE	=	AVERAGE WITHIN 250 FEET OF PROJECT
SIDE SETBACK MIN. / MAX.	=	0 FEET / 24 FEET
REAR SETBACK	=	10 FEET MINIMUM
MAXIMUM BUILDING HEIGHT MIN./MAX.	=	2 STORY / 5 STORY

6.) THE "PROJECT" PARCEL IS LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD, ZONE AE (BASE FLOOD ELEVATIONS DETERMINED); AND AREAS DETERMINED TO BE INSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 330145; PANEL 0310; SUFFIX E; MAP NUMBER 33017C0310E; EFFECTIVE DATE SEPT. 30, 2015.
– WITH REGARDS TO PARCEL 6 / 3–1, REFERENCE IS MADE TO LETTER OF MAP REVISION (LOMR) FEMA CASE No. 14–01–2374A, DATED JUNE 05, 2014.

7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED FEBRUARY 14, 2011.
VERTICAL DATUM IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED FEBRUARY 14, 2011.

8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATES, INC. DURING FEBRUARY 2011 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.

9.) THE "PROJECT" PARCEL IS SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELINE WATER QUALITY PROTECTION ACT (SWQPA). THOSE AREAS WITHIN 250 FEET OF THE COCHECHO RIVER REFERENCE LINE.

10.) THERE ARE CURRENTLY 30 STRIPED PARKING SPACES LOCATED ON PARCEL 6 /3–1, INCLUDING 2 ACCESSIBLE SPACES.
PARCEL 6 / 9 IS NOT CURRENTLY STRIPED.

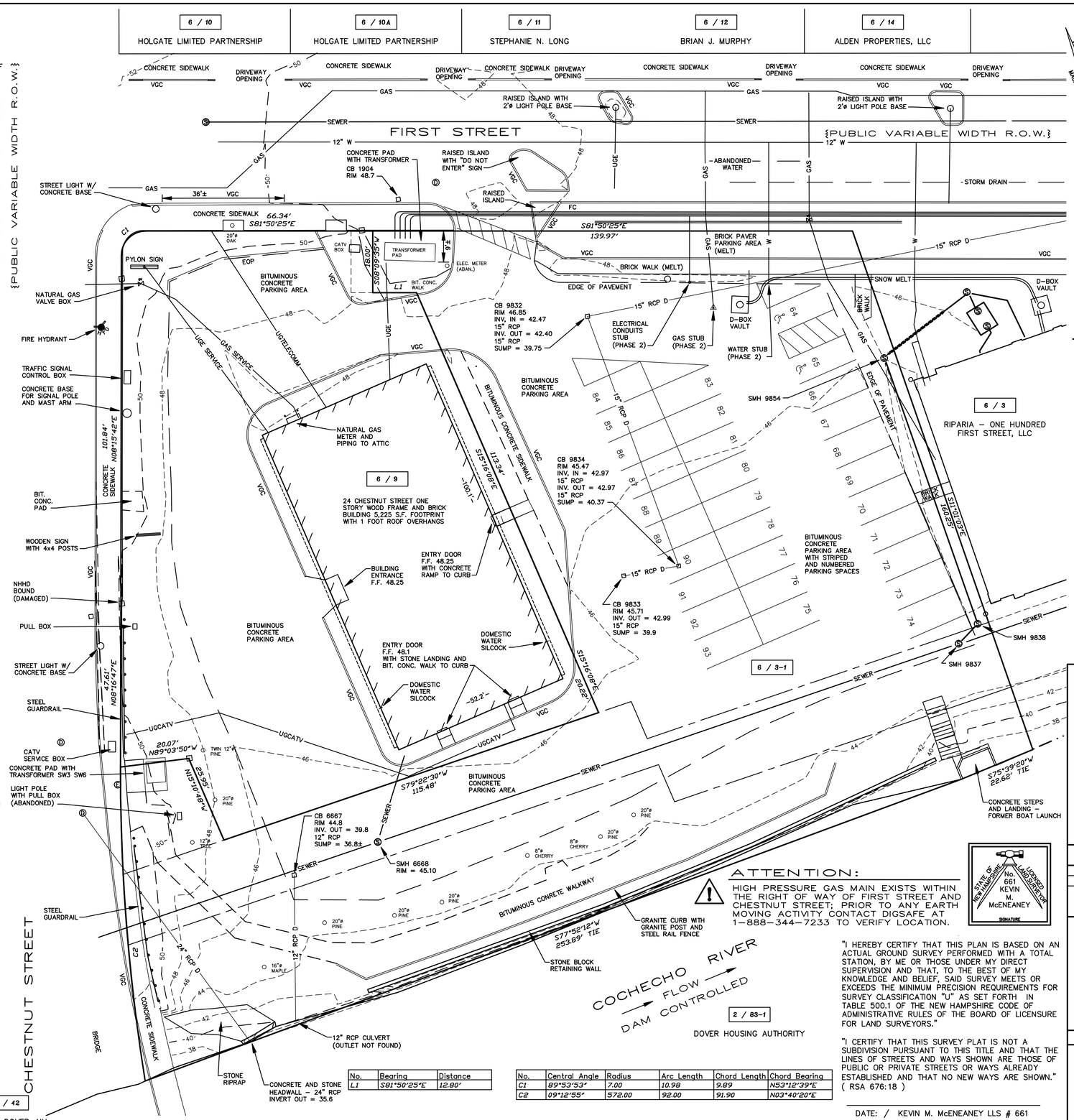
11.) THERE ARE NO WETLANDS ON THE SUBJECT PARCEL.

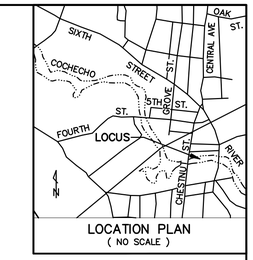
12.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1–888–344–7233.

13.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

14.) PARCEL 6 / 3–1 (PORTION OF DISPOSITION PARCEL P/1/1 AND PARCEL M/1/1) IS SUBJECT TO:
– THE RIGHTS GRANTED TO THE DOVER HOUSING AUTHORITY, ITS SUCCESSOR'S AND ASSIGNS AS DESCRIBED IN S.C.R.D. VOL. 1028, PAGE 30 AND S.C.R.D. VOL. 1028, PAGE 36; REFERENCE PLAN No. 1.
– THE COVENANT THAT THE REDEVELOPER SHALL NOT RESTRICT THE USE OR OCCUPANCY OF THE PROPERTY UPON THE BASIS OF RACE, COLOR, RELIGION, SEX, OR NATIONAL ORIGIN.
– FLOWAGE RELEASE AS RESERVED TO PACIFIC MILLS AS DESCRIBED IN S.C.R.D. VOL. 467, PAGE 267.
– PROHIBITION OF THE SALE OF THE PARCEL TO PARTIES EXEMPT FROM AD VALOREM PROPERTY TAXATION WITHOUT THE EXPRESS CONSENT OF THE CITY OF DOVER.
– TWO (2) SEWER EASEMENTS GRATED TO THE CITY OF DOVER, NH AS DESCRIBED IN S.C.R.D. VOL. 4228, PAGE 707. REFERENCE PLAN No. 4.

15.) PARCEL 6 / 9 (DISPOSITION PARCEL C/1/1) IS SUBJECT TO:
– THE RIGHTS GRANTED TO THE DOVER HOUSING AUTHORITY, ITS SUCCESSOR'S AND ASSIGNS AS DESCRIBED IN S.C.R.D. VOL. 1014, PAGE 434 OVER THE 4,083 S.F. UTILITY EASEMENT AND 114 S.F. WALKWAY EASEMENT AS SHOWN ON REFERENCE PLAN No. 2.
– THE COVENANT THAT THE REDEVELOPER SHALL NOT RESTRICT THE USE OR OCCUPANCY OF THE PROPERTY UPON THE BASIS OF RACE, COLOR, RELIGION, SEX, OR NATIONAL ORIGIN.
– FLOWAGE RELEASE AS RESERVED TO PACIFIC MILLS AS DESCRIBED IN S.C.R.D. VOL. 467, PAGE 267.
– EXISTING SEWER RIGHTS TO THE CITY OF DOVER, NH AS DESCRIBED IN S.C.R.D. VOL. 991, PAGE 561.
– EASEMENT FOR STATIONS AND LINES FOR TRAFFIC SIGNALIZATION TO THE CITY OF DOVER, NH AS DESCRIBED IN S.C.R.D. VOL. 1030, PAGE 695.





LOCATION PLAN
(NO SCALE)

REFERENCE PLANS:

1.) DISPOSITION PLAN OF LAND – THE CITY OF DOVER –PARCEL M/1/1, PARCEL P/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: APRIL 29, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 19–43.

2.) DISPOSITION PLAN OF LAND – PARCEL C/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JULY 19, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 18–53.

3.) MINOR SUBDIVISION OF LAND PREPARED FOR THE CITY OF DOVER, NH, TAX MAP 6, LOT No. 3, FIRST STREET, CITY of DOVER, COUNTY of STRAFFORD, STATE of NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 6, 2014; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107–62.

4.) EASEMENT AND LICENSE PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3, FIRST STREET & CHESTNUT STREET, CITY of DOVER, COUNTY of STRAFFORD, STATE of NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 2, 2014, REVISED THROUGH 5/1/14; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107–63.

5.) LOT LINE ADJUSTMENT PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3–1, AND FIRST STREET AT CHESTNUT, LLC, TAX MAP 6, LOT No. 9, FIRST STREET & 24 CHESTNUT STREET, CITY of DOVER, COUNTY of STRAFFORD, STATE of NEW HAMPSHIRE. SCALE: 1" = 15'; DATED: MAY 11, 2018; BY THIS OFFICE. TO BE RECORDED.

SHEET 2

No.	Bearing	Distance
L1	S81°50'25"E	12.80'

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53'	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55'	572.00	92.00	91.90	N03°40'20"E

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233 TO VERIFY LOCATION.

STATE OF NEW HAMPSHIRE — No. 661 KEVIN M. McENEANEY — LICENSED LAND SURVEYOR — SIGNATURE

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 676:18)

DATE: / KEVIN M. McENEANEY LLS # 661

RIVERS EDGE
EXISTING CONDITIONS PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3–1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18–__

DRAWN BY: RJM	FILE: W10 CP\1924\18–1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

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McEneaney Survey Associates
P.O. Box 681 – 24 Chestnut Street
Dover, NH 03820 (603) 742–0911
SURVEYING – PLANNING – CONSULTING

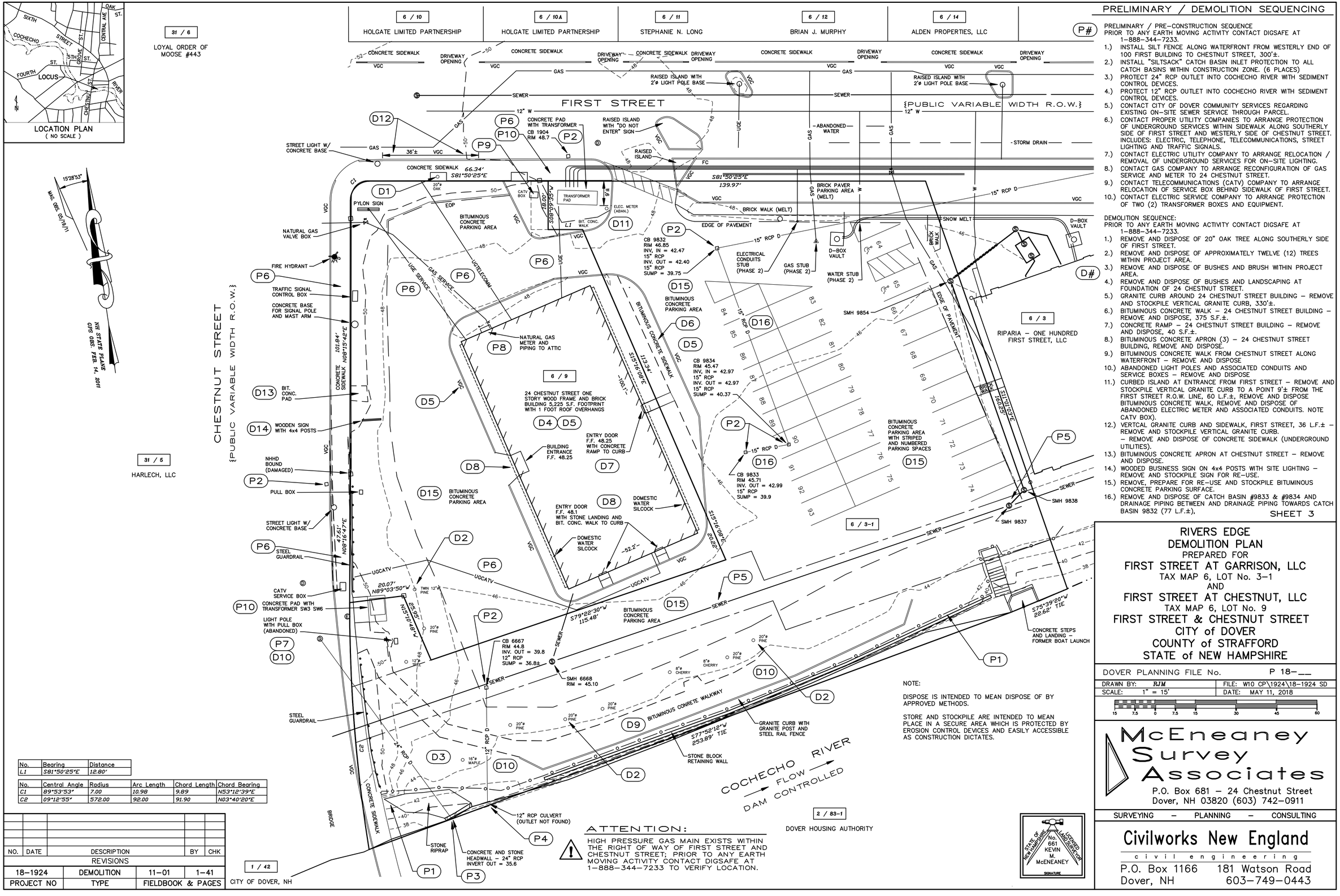
Civilworks New England
civil engineering
P.O. Box 1166 181 Watson Road
Dover, NH 603–749–0443

NO.	DATE	DESCRIPTION	BY	CHK

REVISIONS

18–1924	EXIST COND	11–01	1–41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

LOCATION PLAN
(NO SCALE)



PRELIMINARY / DEMOLITION SEQUENCING

PRELIMINARY / PRE–CONSTRUCTION SEQUENCE
PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT
1–888–344–7233.

1.) INSTALL SILT FENCE ALONG WATERFRONT FROM WESTERLY END OF 100 FIRST BUILDING TO CHESTNUT STREET, 300'±.
2.) INSTALL "SILTSACK" CATCH BASIN INLET PROTECTION TO ALL CATCH BASINS WITHIN CONSTRUCTION ZONE. (6 PLACES)
3.) PROTECT 24" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.
4.) PROTECT 12" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.
5.) CONTACT CITY OF DOVER COMMUNITY SERVICES REGARDING EXISTING ON–SITE SEWER SERVICE THROUGH PARCEL.
6.) CONTACT PROPER UTILITY COMPANIES TO ARRANGE PROTECTION OF UNDERGROUND SERVICES WITHIN SIDEWALK ALONG SOUTHERLY SIDE OF FIRST STREET AND WESTERLY SIDE OF CHESTNUT STREET. INCLUDES: ELECTRIC, TELEPHONE, TELECOMMUNICATIONS, STREET LIGHTING AND TRAFFIC SIGNALS.
7.) CONTACT ELECTRIC UTILITY COMPANY TO ARRANGE RELOCATION / REMOVAL OF UNDERGROUND SERVICES FOR ON–SITE LIGHTING.
8.) CONTACT GAS COMPANY TO ARRANGE RECONFIGURATION OF GAS SERVICE AND METER TO 24 CHESTNUT STREET.
9.) CONTACT TELECOMMUNICATIONS (CATV) COMPANY TO ARRANGE RELOCATION OF SERVICE BOX BEHIND SIDEWALK OF FIRST STREET.
10.) CONTACT ELECTRIC SERVICE COMPANY TO ARRANGE PROTECTION OF TWO (2) TRANSFORMER BOXES AND EQUIPMENT.

DEMOLITION SEQUENCE:
PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT
1–888–344–7233.

1.) REMOVE AND DISPOSE OF 20" OAK TREE ALONG SOUTHERLY SIDE OF FIRST STREET.
2.) REMOVE AND DISPOSE OF APPROXIMATELY TWELVE (12) TREES WITHIN PROJECT AREA.
3.) REMOVE AND DISPOSE OF BUSHES AND BRUSH WITHIN PROJECT AREA.
4.) REMOVE AND DISPOSE OF BUSHES AND LANDSCAPING AT FOUNDATION OF 24 CHESTNUT STREET.
5.) GRANITE CURB AROUND 24 CHESTNUT STREET BUILDING – REMOVE AND STOCKPILE VERTICAL GRANITE CURB, 330'±.
6.) BITUMINOUS CONCRETE WALK – 24 CHESTNUT STREET BUILDING – REMOVE AND DISPOSE, 375 S.F.±.
7.) CONCRETE RAMP – 24 CHESTNUT STREET BUILDING – REMOVE AND DISPOSE, 40 S.F.±.
8.) BITUMINOUS CONCRETE APRON (3) – 24 CHESTNUT STREET BUILDING, REMOVE AND DISPOSE.
9.) BITUMINOUS CONCRETE WALK FROM CHESTNUT STREET ALONG WATERFRONT – REMOVE AND DISPOSE
10.) ABANDONED LIGHT POLES AND ASSOCIATED CONDUITS AND SERVICE BOXES – REMOVE AND DISPOSE
11.) CURBED ISLAND AT ENTRANCE FROM FIRST STREET – REMOVE AND STOCKPILE VERTICAL GRANITE CURB TO A POINT 9'± FROM THE FIRST STREET R.O.W. LINE, 60 L.F.±, REMOVE AND DISPOSE BITUMINOUS CONCRETE WALK, REMOVE AND DISPOSE OF ABANDONED ELECTRIC METER AND ASSOCIATED CONDUITS. NOTE CATV BOX).
12.) VERTCAL GRANITE CURB AND SIDEWALK, FIRST STREET, 36 L.F.± – REMOVE AND STOCKPILE VERTICAL GRANITE CURB.
– REMOVE AND DISPOSE OF CONCRETE SIDEWALK (UNDERGROUND UTILITIES).
13.) BITUMINOUS CONCRETE APRON AT CHESTNUT STREET – REMOVE AND DISPOSE.
14.) WOODED BUSINESS SIGN ON 4x4 POSTS WITH SITE LIGHTING – REMOVE AND STOCKPILE SIGN FOR RE–USE.
15.) REMOVE, PREPARE FOR RE–USE AND STOCKPILE BITUMINOUS CONCRETE PARKING SURFACE.
16.) REMOVE AND DISPOSE OF CATCH BASIN #9833 & #9834 AND DRAINAGE PIPING BETWEEN AND DRAINAGE PIPING TOWARDS CATCH BASIN 9832 (77 L.F.±).

SHEET 3

NOTE:

DISPOSE IS INTENDED TO MEAN DISPOSE OF BY APPROVED METHODS.

STORE AND STOCKPILE ARE INTENDED TO MEAN PLACE IN A SECURE AREA WHICH IS PROTECTED BY EROSION CONTROL DEVICES AND EASILY ACCESSIBLE AS CONSTRUCTION DICTATES.

No.	Bearing	Distance
L1	S81°50'25"E	12.80'

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
		REVISIONS		

18–1924	DEMOLITION	11–01	1–41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

ATTENTION:
HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233 TO VERIFY LOCATION.

STATE OF New Hampshire — No. 661 KEVIN M. McENEANEY — LICENSED LAND SURVEYOR — SIGNATURE

RIVERS EDGE DEMOLITION PLAN

PREPARED FOR

FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3–1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18–__

DRAWN BY: RJM	FILE: W10 CP\1924\18–1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

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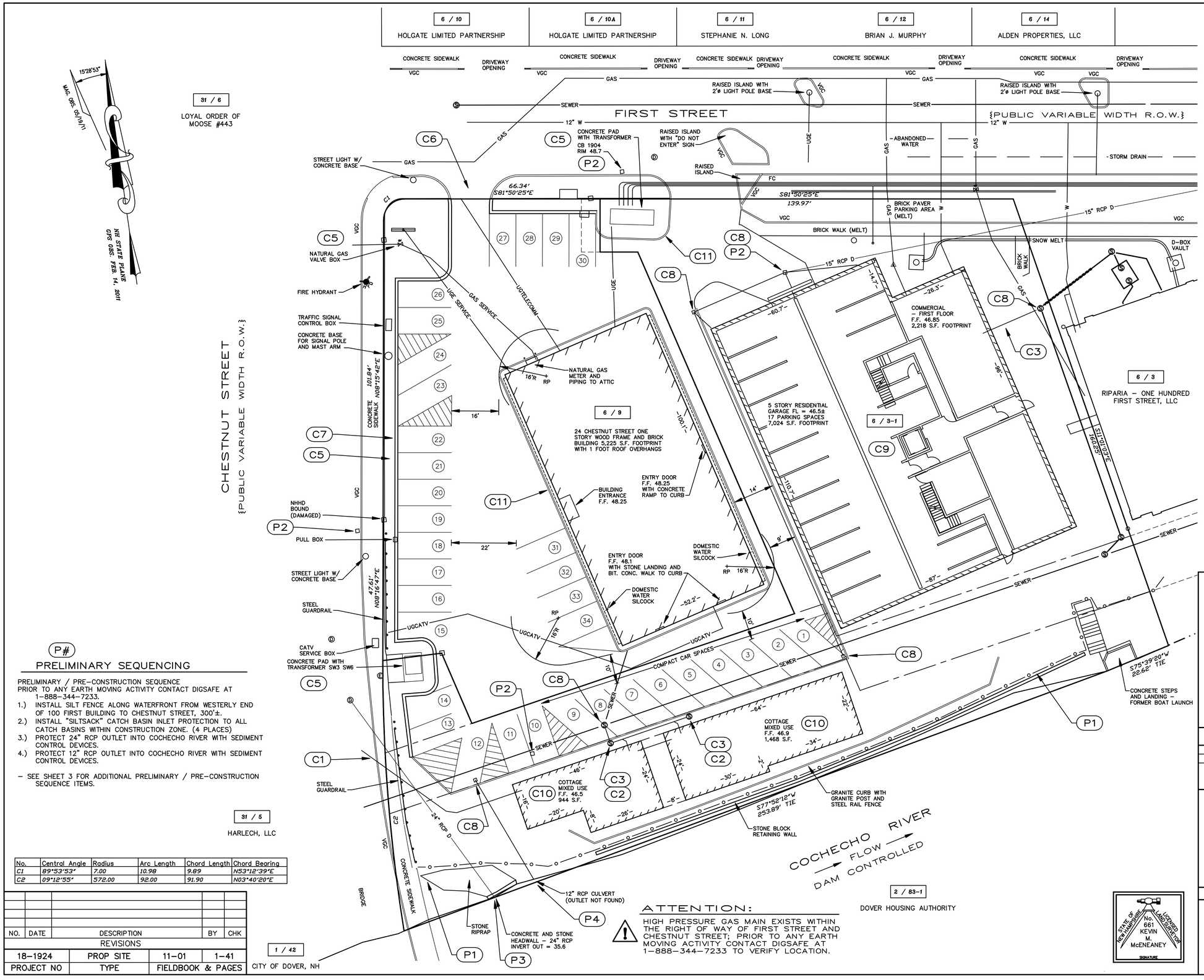

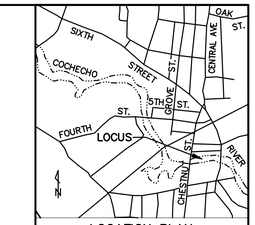

LOCATION PLAN
(NO SCALE)

(P#) PRELIMINARY SEQUENCING

PRELIMINARY / PRE–CONSTRUCTION SEQUENCE
PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233.

1.) INSTALL SILT FENCE ALONG WATERFRONT FROM WESTERLY END OF 100 FIRST BUILDING TO CHESTNUT STREET, 300'±.
2.) INSTALL "SILTSACK" CATCH BASIN INLET PROTECTION TO ALL CATCH BASINS WITHIN CONSTRUCTION ZONE. (4 PLACES)
3.) PROTECT 24" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.
4.) PROTECT 12" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.

– SEE SHEET 3 FOR ADDITIONAL PRELIMINARY / PRE–CONSTRUCTION SEQUENCE ITEMS.

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
		REVISIONS		

18–1924	PROP SITE	11–01	1–41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233 TO VERIFY LOCATION.

(C#) CONSTRUCTION SEQUENCING

CONSTRUCTION SEQUENCE:
PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233.

1.) PROVIDE FOR WATER SERVICE CONNECTION FROM MAIN WITHIN CHESTNUT STREET TO PROPOSED MIXED USE BUILDINGS,
2.) PROVIDE FOR NATURAL GAS SERVICE CONNECTION FROM MAIN WITHIN CHESTNUT STREET TO PROPOSED MIXED USE BUILDINGS,
3.) PROVIDE FOR SANITARY SEWER CONNECTIONS TO PROPOSED MIXED USE BUILDINGS AS SHOWN.
PROVIDE FOR SANITARY SEWER CONNECTIONS TO PROPOSED 5 STORY RESIDENTIAL BUILDING.
4.) PROVIDE FOR POWER, TELECOMMUNICATIONS AND CABLE TELEVISION CONNECTIONS TO EXISTING UTILITIES.
5.) PROTECT CHESTNUT STREET AND FIRST STREET UNDERGROUND SERVICES PER UTILITY RECOMMENDATIONS.
6.) CONSTRUCT OPENING FROM FIRST STREET INCLUDING CONCRETE SIDEWALK AND CURB LINE.
7.) CONSTRUCT RETAINING WALL (225'±, HEIGHT VARIES FROM 0 FEET TO _ FEET) PER DETAIL.
8.) CONSTRUCT PROPOSED CATCH BASINS, CONNECT TO EXISTING; CONSTRUCT ON–SITE PARKING AREAS; PROVIDE FOR DRAINAGE TIE–INS TO PROPOSED FOUNDATION AND ROOF DRAIN SYSTEMS;
ADJUST EXISTING DRAINAGE STRUCTURE RIMS TO MATCH PROPOSED GRADE, PROTECT WITH SEDIMENT CONTROL DEVICES. ADJUST EXISTING SEWER MANHOLE RIMS TO MATCH PROPOSED GRADE.
9.) CONSTRUCT PROPOSED 5 STORY BUILDING PER ARCHITECTURAL REQUIREMENTS.
10.) CONSTRUCT PROPOSED _ STORY MIXED USE BUILDINGS PER ARCHITECTURAL REQUIREMENTS.
11.) CONSTRUCT CURBED LANDSCAPE AT 24 CHESTNUT STREET BUILDING.

SHEET 4

RIVERS EDGE
PROPOSED SITE DEVELOPMENT PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3–1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18–___

DRAWN BY: RJM	FILE: W10 CP\1924\18–1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

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McEneaney Survey Associates
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STATE OF NEW HAMPSHIRE LICENSED LAND SURVEYOR No. 661 KEVIN M. McENEANEY SIGNATURE

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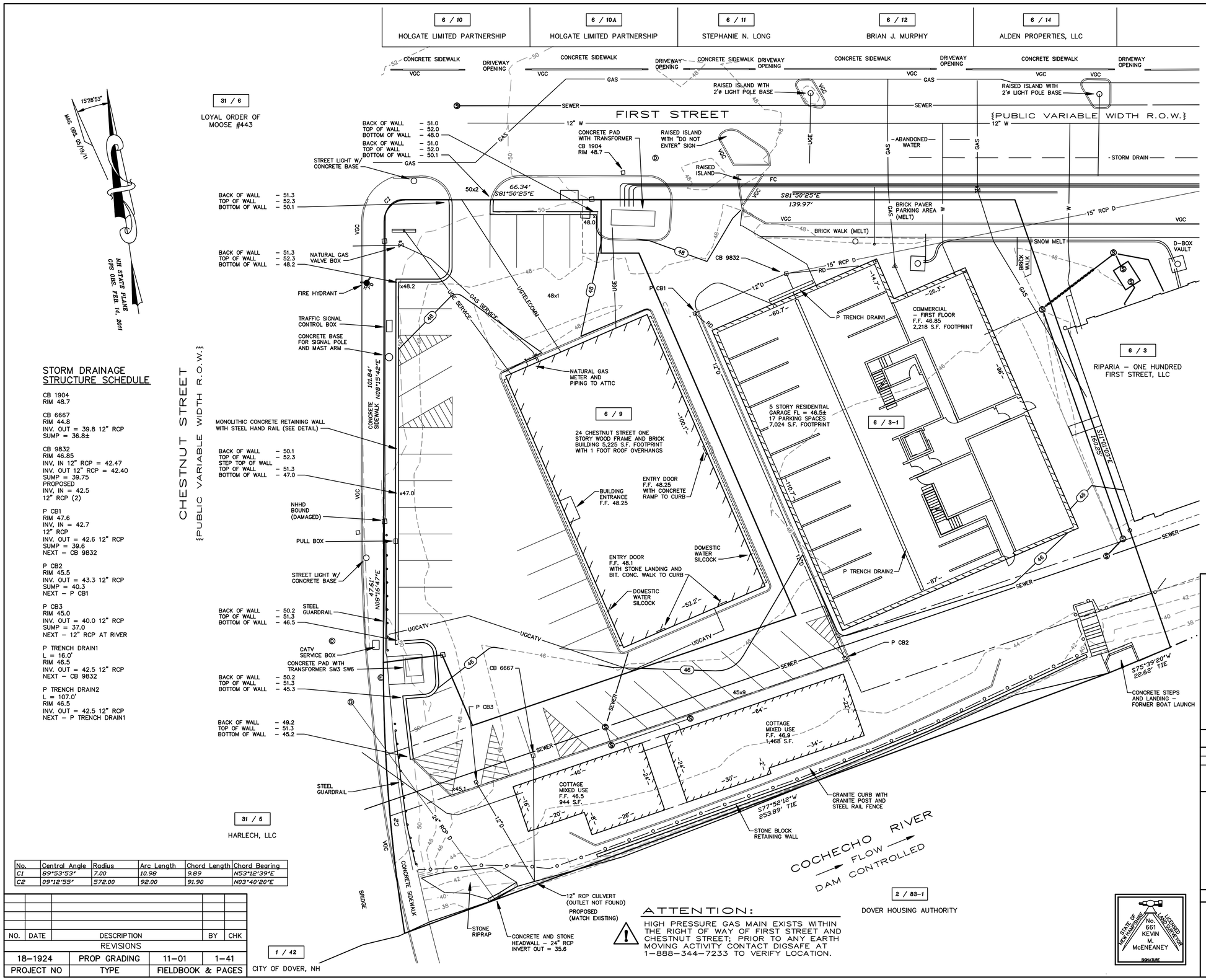


STORM DRAINAGE STRUCTURE SCHEDULE

CB 1904
RIM 48.7

CB 6667
RIM 44.8
INV. OUT = 39.8 12" RCP
SUMP = 36.8±

CB 9832
RIM 46.85
INV, IN 12" RCP = 42.47
INV. OUT 12" RCP = 42.40
SUMP = 39.75
PROPOSED
INV, IN = 42.5
12" RCP (2)

P CB1
RIM 47.6
INV, IN = 42.7
12" RCP
INV. OUT = 42.6 12" RCP
SUMP = 39.6
NEXT – CB 9832

P CB2
RIM 45.5
INV. OUT = 43.3 12" RCP
SUMP = 40.3
NEXT – P CB1

P CB3
RIM 45.0
INV. OUT = 40.0 12" RCP
SUMP = 37.0
NEXT – 12" RCP AT RIVER

P TRENCH DRAIN1
L = 16.0'
RIM 46.5
INV. OUT = 42.5 12" RCP
NEXT – CB 9832

P TRENCH DRAIN2
L = 107.0'
RIM 46.5
INV. OUT = 42.5 12" RCP
NEXT – P TRENCH DRAIN1

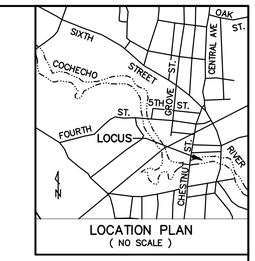
No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
		REVISIONS		

18–1924	PROP GRADING	11–01	1–41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233 TO VERIFY LOCATION.



SHEET 5

RIVERS EDGE
PROPOSED SITE GRADING & DRAINAGE PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3–1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18–___

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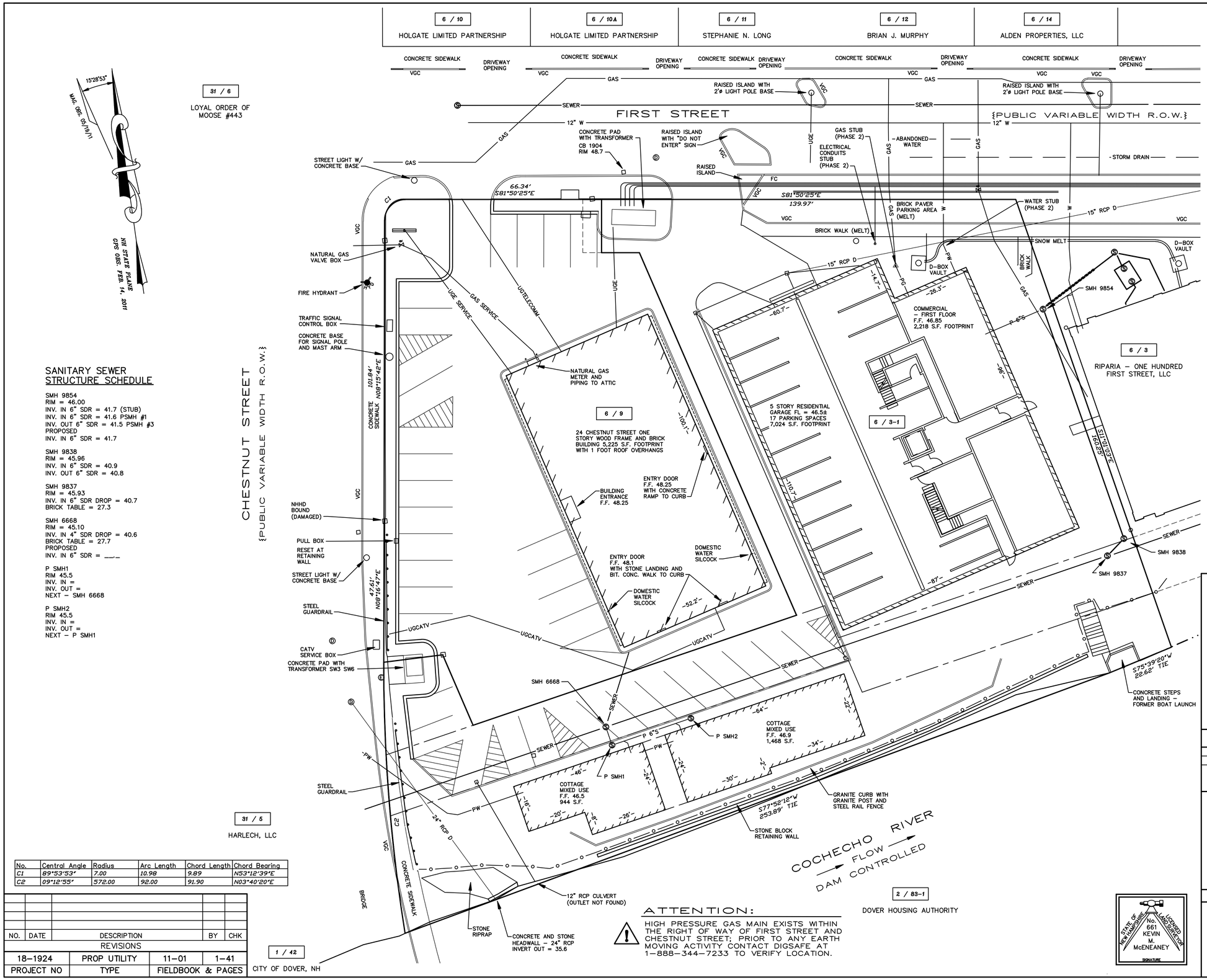
STATE OF NEW HAMPSHIRE No. 661 KEVIN M. McENEANEY LICENSED LAND SURVEYOR
SIGNATURE



SANITARY SEWER STRUCTURE SCHEDULE

SMH 9854
RIM = 46.00
INV. IN 6" SDR = 41.7 (STUB)
INV. IN 6" SDR = 41.6 PSMH #1
INV. OUT 6" SDR = 41.5 PSMH #3
PROPOSED
INV. IN 6" SDR = 41.7

SMH 9838
RIM = 45.96
INV. IN 6" SDR = 40.9
INV. OUT 6" SDR = 40.8

SMH 9837
RIM = 45.93
INV. IN 6" SDR DROP = 40.7
BRICK TABLE = 27.3

SMH 6668
RIM = 45.10
INV. IN 4" SDR DROP = 40.6
BRICK TABLE = 27.7
PROPOSED
INV. IN 6" SDR = ___

P SMH1
RIM 45.5
INV. IN =
INV. OUT =
NEXT – SMH 6668

P SMH2
RIM 45.5
INV. IN =
INV. OUT =
NEXT – P SMH1

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
		REVISIONS		

18–1924	PROP UTILITY	11–01	1–41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233 TO VERIFY LOCATION.

STATE OF NEW HAMPSHIRE No. 661 KEVIN M. McENEANEY LICENSED LAND SURVEYOR SIGNATURE

SHEET 6

RIVERS EDGE
PROPOSED SITE UTILITY PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3–1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

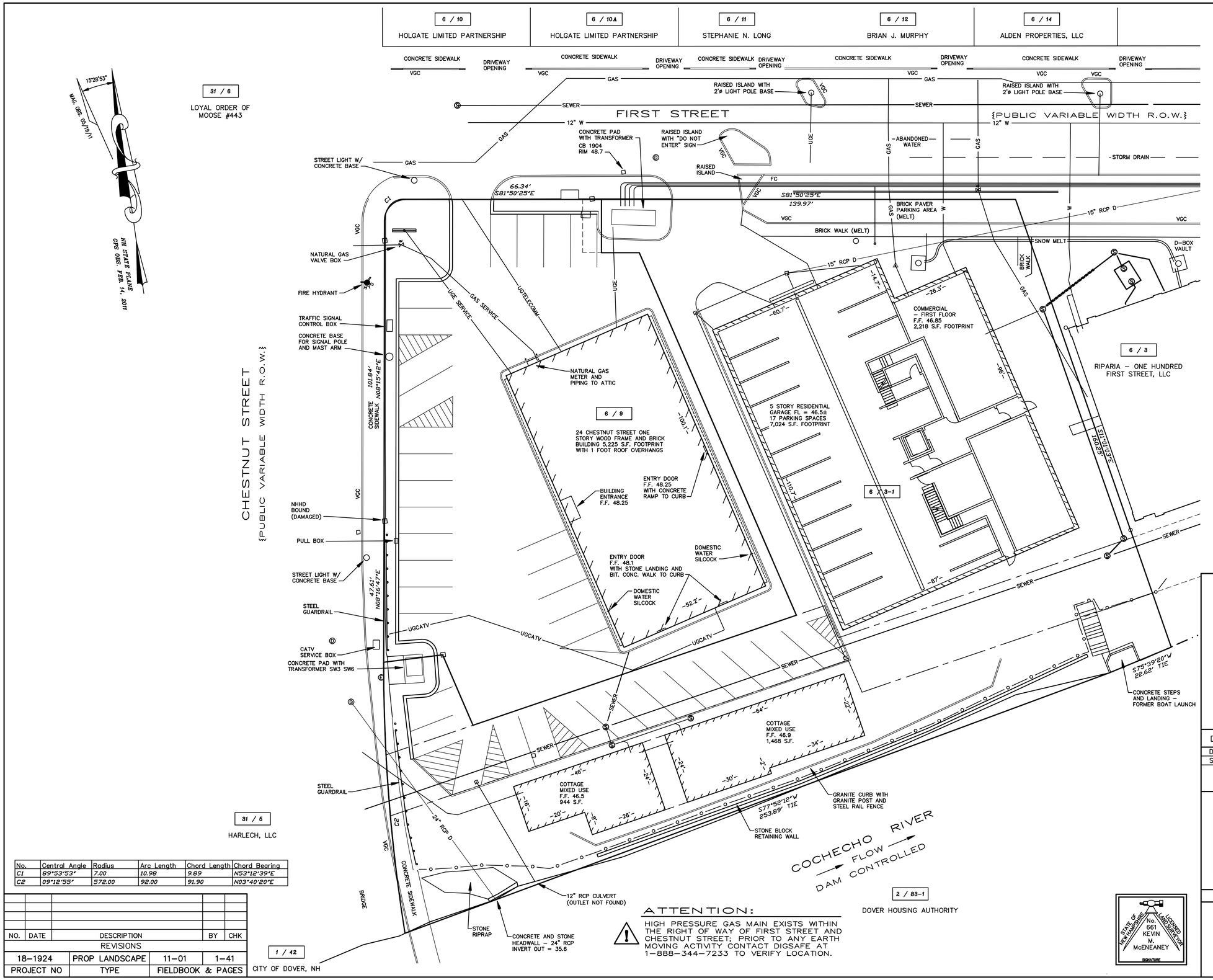
DOVER PLANNING FILE No. P 18–__

DRAWN BY: RJM	FILE: W10 CP\1924\18–1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

15 7.5 0 7.5 15 30 45 60

McEneaney Survey Associates
P.O. Box 681 – 24 Chestnut Street
Dover, NH 03820 (603) 742–0911
SURVEYING – PLANNING – CONSULTING

Civilworks New England
civil engineering
P.O. Box 1166 181 Watson Road
Dover, NH 603–749–0443



No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1–888–344–7233 TO VERIFY LOCATION.

NO.	DATE	DESCRIPTION	BY	CHK
		REVISIONS		

18–1924	PROP LANDSCAPE	11–01	1–41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

SHEET 7

RIVERS EDGE
PROPOSED SITE LANDSCAPE PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3–1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18–__

DRAWN BY: RJM	FILE: W10 CP\1924\18–1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

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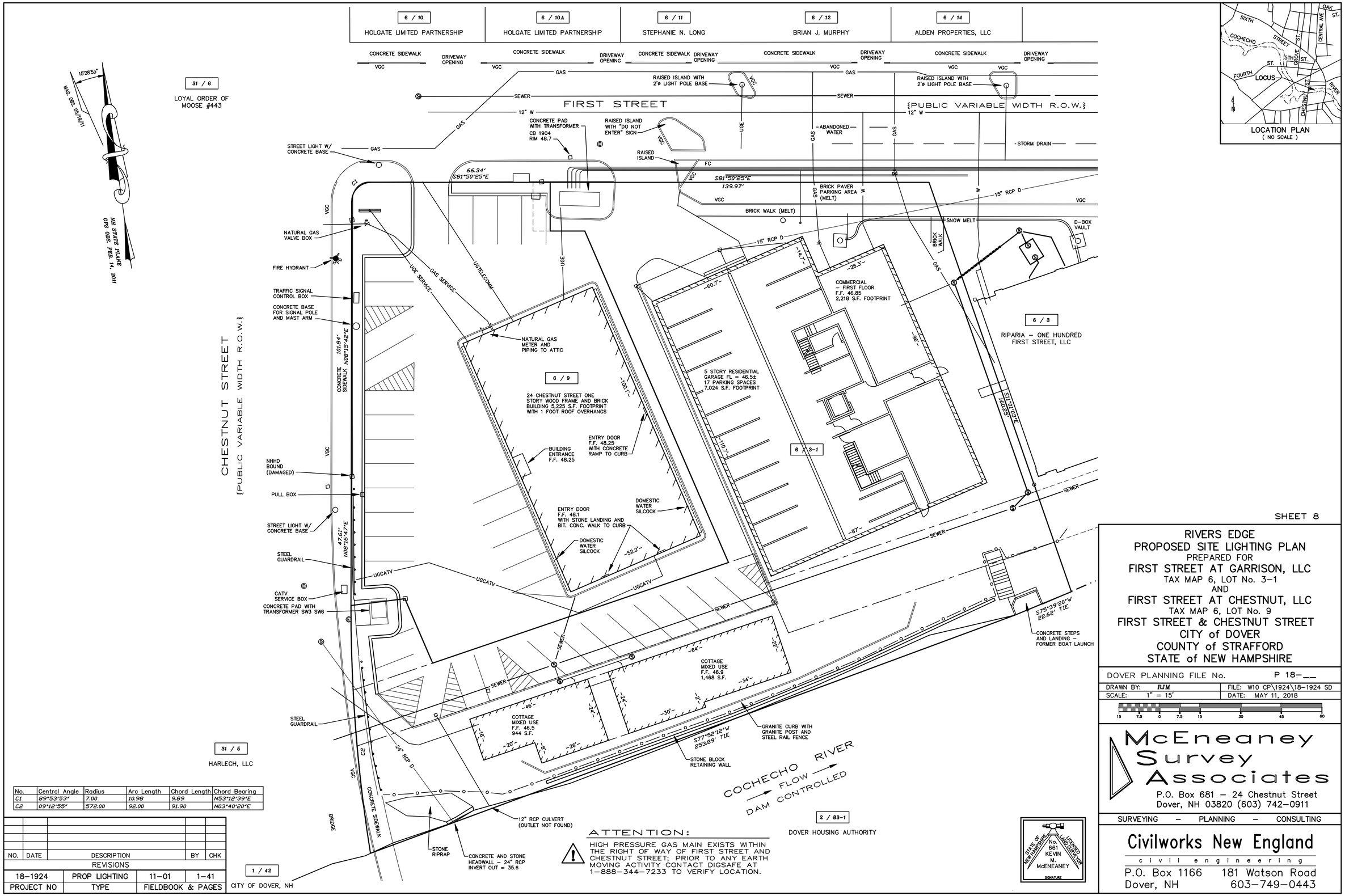
Dover, NH 603–749–0443

STATE OF NEW HAMPSHIRE No. 661 KEVIN M. McENEANEY LICENSED LAND SURVEYOR SIGNATURE



No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
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C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233 TO VERIFY LOCATION.

NO.	DATE	DESCRIPTION	BY	CHK

REVISIONS

18-1924	PROP LIGHTING	11-01	1-41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

SHEET 8

RIVERS EDGE
PROPOSED SITE LIGHTING PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-__

DRAWN BY: RJM	FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

15 7.5 0 7.5 15 30 45 60

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civil engineering
P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

NOTES:

1.) OWNERS OF RECORD:

6 / 3-1	FIRST STREET AT GARRISON, LLC 466 CENTRAL AVENUE, SUITE 12 DOVER, NEW HAMPSHIRE 03820 S.C.R.D. VOLUME 4228, PAGE 707
6 / 9	FIRST STREET AT CHESTNUT, LLC 466 CENTRAL AVENUE, SUITE 12 DOVER, NEW HAMPSHIRE 03820 S.C.R.D. VOLUME 4424, PAGE 295

2.) 6 / 3 – DENOTES TAX MAP AND PARCEL NUMBER.

3.) ZONING DISTRICT IS CBD (CENTRAL BUSINESS DISTRICT) – (SEE CURRENT ZONING REGULATIONS)

4.) THE INTENT OF THIS PLAN IS TO DEPICT THE SUBJECT PARCEL BOUNDARIES AND TO DEPICT PROPOSED BUILDINGS WITH ASSOCIATED PARKING AND SITE RENOVATIONS.

5.) TOTAL AREA OF BUILDING FOOTPRINT = 5,225 S.F. EXISTING 24 CHESTNUT STREET BUILDING
TOTAL AREA OF BUILDING FOOTPRINT = 9,242 S.F. RESIDENTIAL BUILDING
TOTAL AREA OF BUILDING FOOTPRINT = 944 S.F. WEST MIXED USE BUILDING
TOTAL AREA OF BUILDING FOOTPRINT = 1,468 S.F. EAST MIXED USE BUILDING

6.) SURVEY OF EXISTING CONDITIONS PERFORMED DURING THE MONTHS OF JANUARY THROUGH JUNE 2011, AND UPDATED DURING APRIL AND MAY 2018 BY McENEANEY SURVEY ASSOCIATES, INC.
EXISTING UTILITY LOCATION DATA OBTAINED FROM FIELD OBSERVATIONS AND BY DATA PROVIDED BY MOORE LOCATE SERVICE DATED JUNE 2011, AND UPDATED BY DIGSAFE MARKINGS THROUGH MAY 2018.

7.) THE PROJECT PARCEL IS LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD, ZONE AE (BASE FLOOD ELEVATIONS DETERMINED); AND AREAS DETERMINED TO BE INSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 330145; PANEL 0310; SUFFIX E; MAP NUMBER 33017C0310E; EFFECTIVE DATE SEPT. 30, 2015.
– WITH REGARDS TO PARCEL 6 / 3-1, REFERENCE IS MADE TO LETTER OF MAP REVISION (LOMR) FEMA CASE No. 14-01-2374A, DATED JUNE 05, 2014.

8.) BASIS OF BEARINGS IS NH STATE PLANE GRID FROM GPS OBSERVATION TAKEN ON FEBRUARY 14, 2011.
VERTICAL DATUM IS NAVD88.

9.) THERE ARE NO WETLANDS ON THE SUBJECT PARCEL.

10.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.

11.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

12.) * PARKING SPACES PROVIDED PER SITE REDEVELOPMENT PLAN:
= 34 SPACES, OPEN AIR PARKING AT 24 CHESTNUT STREET
= 17 SPACES, RESIDENTIAL GARAGE, INCLUDING 1 HANDICAP SPACE

13.) * TOTAL PARKING SPACES PROVIDED FOR THE SITE:
= 51 SPACES, INCLUDING 1 HANDICAP ACCESSIBLE

14.) PARKING SPACE SIZE = 9' WIDE x 18' LONG, UNLESS OTHERWISE NOTED,
HANDICAP ACCESSIBLE SPACE SIZE = _' WIDE x _' LONG.

15.) PROPOSED ON-SITE WALKWAYS TO BE CONCRETE.

16.) ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 4" OF HIGH QUALITY LOAM AND SHALL BE SEEDED WITH GRASS. SEE PERMANENT SEEDING NOTES. ALL TREATMENT SWALES SHALL HAVE SOD BOTTOMS.

17.) PAVEMENT / PARKING STRIPING TO BE 4" WIDE / WHITE.

18.) CONTACT INDIVIDUAL UTILITY COMPANIES TO DETERMINE CONDUIT SIZES AND SCHEDULES.

19.) AS-BUILT DRAWINGS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.

20.) THE PROPOSED STRUCTURES SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER CHAPTER 109, ARTICLE IV, SECTION 109-29 (AS REQUIRED BY I.B.C. AND NFPA 101 LIFE SAFETY CODE, LATEST EDITIONS) OF THE CODE OF THE CITY OF DOVER.

21.) ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND. ALSO, SEE NOTE 18.

22.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.

23.) BACKFLOW PREVENTORS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.

24.) EXTERIOR LIGHTING SHALL BE METAL HALLIDE TYPE LUMINAIRE AND POLE OR MOUNTED ON THE BUILDING, AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.

25.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY KEVIN M. McENEANEY WITH AN ERROR OF CLOSURE NOT GREATER THAN 1 IN 10,000 (SEE SHEET 2).

26.) ALL TEMPORARY LOAM STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.

27.) A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.

28.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY OF DOVER ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.

29.) PROPOSED WATER SERVICE PIPING SHALL BE 6" DUCTILE IRON, CL. 52, CEMENT LINED AND POLYWRAPPED PER AWWA STANDARDS. FIRE PROTECTION SERVICE/DOMESTIC SERVICE WILL BE TAPPED FROM SAID 6" PIPE WITHIN THE PROPOSED BUILDING.

30.) PROPOSED SANITARY SEWER PIPING SHALL BE 8" OR 6" P.V.C., SDR 35, AS SHOWN, INDIVIDUAL SERVICES SHALL BE 4" P.V.C., SDR 35 AND LOCATED WITHIN THE PROPOSED BUILDING.

31.) LIMIT CUTTING OF TREES AND VEGETATION TO THE MINIMUM REQUIRED ON-SITE.

32.) RESERVED.

33.) ALL SLOPED GRANITE CURB ENDS SHALL BE TIPPED DOWN (SEE DETAIL) UNLESS BUTT TO ANOTHER FINISH.

34.) SNOW STORAGE SHALL BE MANAGED THROUGH PROPER ON-SITE AND OFF-SITE DISPOSAL.

35.) REMOVAL OF ANY ROADWAY OR SIDEWALK SIGNAGE SHALL BE COORDINATED WITH THE CITY OF DOVER COMMUNITY SERVICES DEPARTMENT.

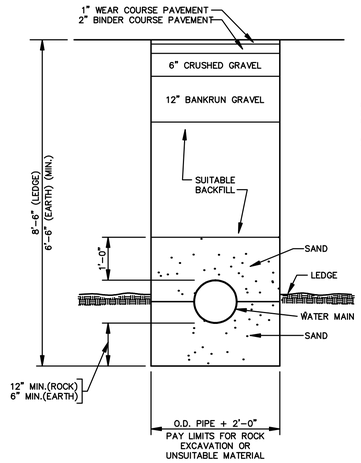
36.) SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE SILVER STREET SIDE OF THE BUILDING.

37.) THE PROJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.

38.) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.

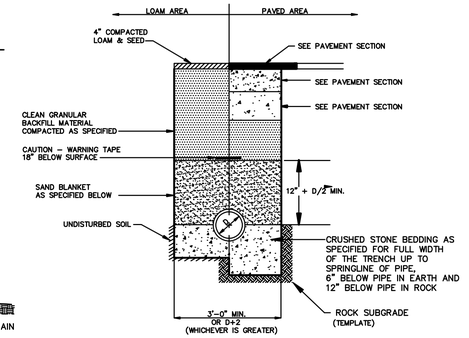
40.) THE PROPOSED USE FOR THE STRUCTURE IS A RESTAURANT ON FIRST FLOOR OF A 5 STORY BUILDING (20 PERCENT OF BUILDING). FOUR FLOORS OF TWO BEDROOM APARTMENTS TOTALING 32 UNITS (80 PERCENT OF BUILDING).

41.) PARKING REQUIREMENTS:
COMMERCIAL = = SPACES
APARTMENTS = UNITS x 2 SPACES PER UNIT = SPACES
TOTAL REQUIRED = (SEE NOTES 12 & 13).



TYPICAL WATER TRENCH

NOT TO SCALE



BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

SAND BLANKET

SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 – 100
200	0 – 15

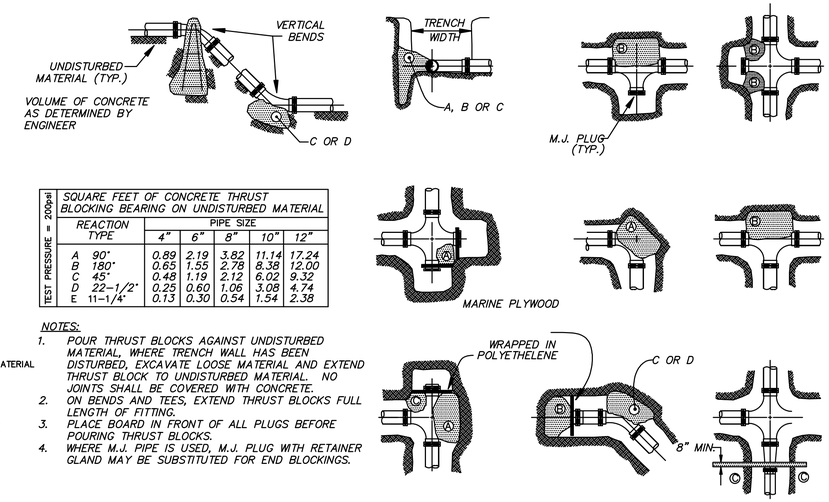
CRUSHED STONE BEDDING *

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 – 100
3/8"	20 – 55
# 4	0 – 10
# 8	0 – 5

* EQUIVALENT TO STANDARD STONE SIZE #67 – SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

UTILITY TRENCH SECTION

NOT TO SCALE



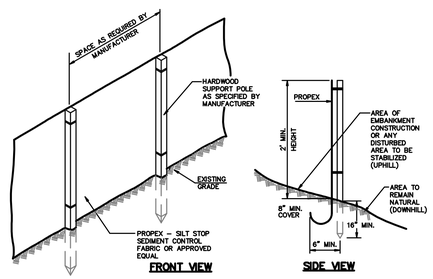
TEST PRESSURE = 200psi	SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL				
REACTION TYPE	PIPE SIZE 4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

NOTES:

1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.

THRUST BLOCKING DETAIL

NOT TO SCALE

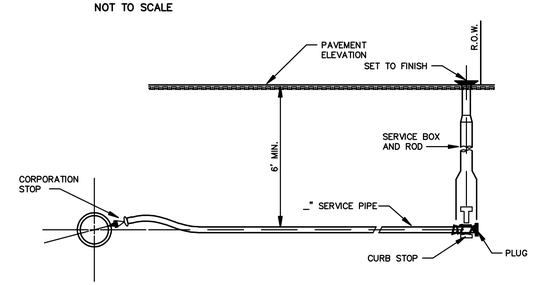


SILT FENCE DETAIL

NOT TO SCALE

WATERMAIN CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DETAILS SHOWN HEREON AND THE FOLLOWING MATERIALS SPECIFICATIONS:

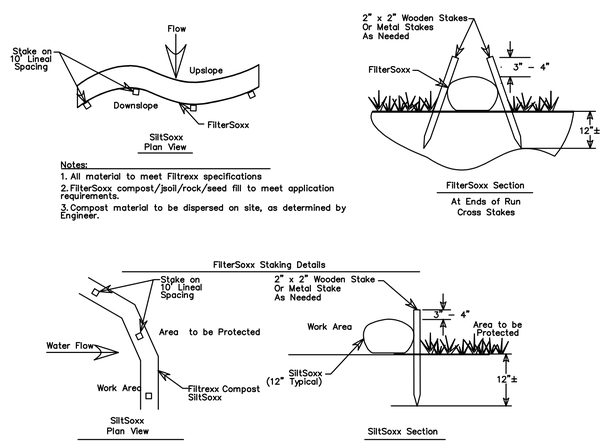
MAIN	– C.L.D.I. CL. 52 AWWA C 151-65.
FITTINGS	– M.J.D.I.P.C.L. AWWA C 153, CL. 350
HYDRANTS	– EDDY TYPE MFR.
GATE VALVES	– CLOW OR MUELLER, OPEN CC.
HYDRANT PIPING	– D.I.P. CL. 52 C.L.
CORP. STOP AND CURB STOP	– HAYES, FORD OR McDONALD MFR.
SERVICE LINE	– TYPE K SOFT ASTM B88.
CURB BOX	– SLIDING ERIE TYPE.



TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE

SHEET 9

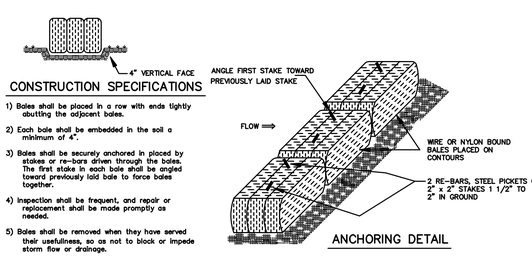


Notes:
1. All material to meet Filtrexx specifications
2. FilterSoxx compost/jsoil/rock/seed fill to meet application requirements.
3. Compost material to be dispersed on site, as determined by Engineer.

Notes:
1. All material to meet Filtrexx specifications
2. SiltSoxx compost/jsoil/rock/seed fill to meet application requirements.
3. SiltSoxx depicted is for minimum slopes. Greater slopes may require larger socks per the Engineer.
4. Compost material to be dispersed on site, as determined by Engineer.

SiltSoxx Details

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

1) Bales shall be placed in a row with ends tightly abutting the adjacent bales.
2) Each bale shall be embedded in the soil a minimum of 4".
3) Bales shall be securely anchored in placed by stakes or re-bars driven through the bales. The first stake in each bale shall be angled toward previously laid bale to force bales together.
4) Inspection shall be frequent, and repair or replacement shall be made promptly as needed.
5) Bales shall be removed when they have served their usefulness, so as not to block or impede storm flow or drainage.

STRAW OR HAY BALE BARRIERS

NOT TO SCALE

RIVERS EDGE
PROPOSED SITE DETAIL SHEET 1
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-___

DRAWN BY: RJM	FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

15 7.5 0 7.5 15 30 45 60

McEneaney Survey Associates
P.O. Box 681 – 24 Chestnut Street
Dover, NH 03820 (603) 742-0911
SURVEYING – PLANNING – CONSULTING

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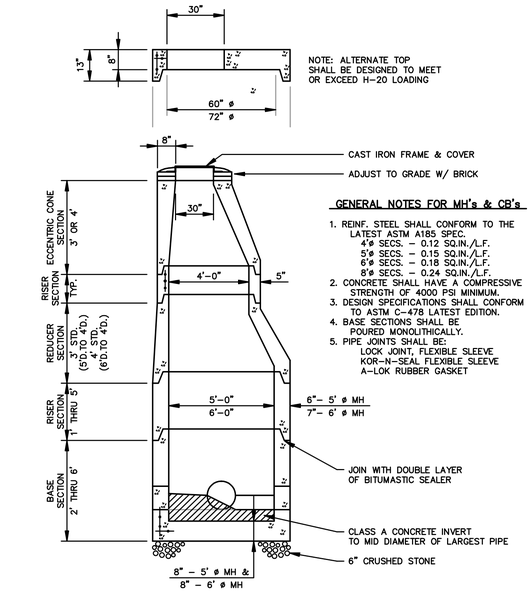
NO.	DATE	DESCRIPTION	BY	CHK

REVISIONS

18-1924	DETAIL 1	11-01	1-41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

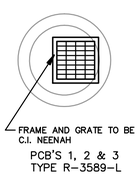


GENERAL NOTES FOR MH's & CB's

1. REINF. STEEL SHALL CONFORM TO THE LATEST ASTM A185 SPEC.
   4'ø SECS. – 0.12 SQ.IN./L.F.
   5'ø SECS. – 0.15 SQ.IN./L.F.
   6'ø SECS. – 0.18 SQ.IN./L.F.
   8'ø SECS. – 0.24 SQ.IN./L.F.
2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI MINIMUM.
3. DESIGN SPECIFICATIONS SHALL CONFORM TO ASTM C-478 LATEST EDITION.
4. BASE SECTIONS SHALL BE POURED MONOLITHICALLY.
5. PIPE JOINTS SHALL BE:
   LOCK JOINT, FLEXIBLE SLEEVE
   KOR-N-SEAL FLEXIBLE SLEEVE
   A-LOK RUBBER GASKET

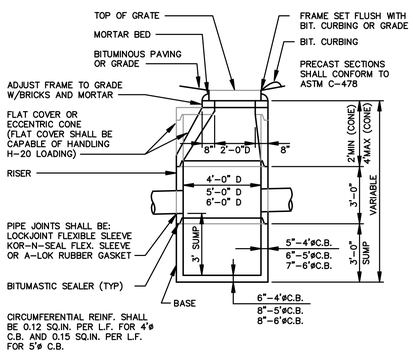
STANDARD 5 FT. & 6 FT. DIA. MANHOLES

NOT TO SCALE



GRATE DETAIL

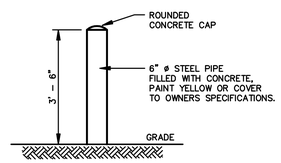
NOT TO SCALE



PRE-CAST REINFORCED CATCH BASIN

NOT TO SCALE

1. All construction shall conform with the State of New Hampshire Department of Transportation (NHDOT), "Standard Specifications for Road and Bridge Construction"; hereinafter referred to as the "Standard Specifications".
2. Storm drains shall be reinforced concrete pipe, class IV, and shall be jointed with neoprene "O" rings.
3. Catch basins and manholes shall be pre-cast reinforced concrete designed by an engineer registered in New Hampshire, and able to withstand loadings of 8 tons (H20 Loading).
4. Manholes shall have cast iron frames and covers with 30" inside diameter openings. A 3-inch (minimum) letter "D" for drain shall be plainly cast into the center of each cover.
5. Catch basins and manholes shall be adjusted to grade with courses of brick. Maximum adjustment to grade shall be 12 inches. Frames shall be set on a full bed of mortar, true to grade and concentric with the masonry. All voids between the top of the structure and the bottom flange of the frame shall be completely filled to make a watertight fit. A ring of mortar at least one inch thick and pitched to shed water away from the frame, shall be placed over and around the outside of the bottom flange. The mortar shall extend to the outer edge of the masonry all around its circumference and shall be finished smooth. No visible leakage will be permitted.
6. Invert channels of sewer manholes shall be formed smoothly to the largest pipe radius. Changes in grade shall be formed smoothly and evenly. The floor of the structure outside the channels shall be sloped towards the channels at approximately 1/2 inch per foot. The floor at the channel shall match the crown of the largest pipe.
7. rench construction will conform with Section 603.3.1 of the Standard Specifications (1974).
8. ood sheeting or a suitable trench box shall be used to support the trench as necessary. If wood sheeting is used, it shall be driven at a distance of 1 foot from the outside diameter of the pipe to a depth 6 inches below the invert of the pipe. Wood sheeting shall be cut off and left in place to an elevation not less than 1 foot above the top of the pipe, but not greater than 3 feet below the finished grade.
9. edding shall conform with Section 603.3.2 of the Standard Specifications (1974).
10. Backfill material will conform with Section 603.3.5 of the Standard Specifications (1974) and, in addition, shall exclude debris, pieces of pavement, organic matter, top soil, all wet or soft muck, peat or clay, all excavated ledge material, frozen material, all rocks over 6 inches in largest dimension, or any material which, as determined by the Engineer, will not provide sufficient support or maintain the completed construction in a stable condition. Backfill shall not be placed on frozen or previously frozen material.
11. All backfill and bedding compaction shall meet the requirements of AASHO T 99 Method C. Density shall be 95 percent. Compaction shall be 6 inch lifts for bedding and backfill to a plane 1 foot above the pipe and in 12 inch lifts thereafter by an approved mechanical compactor.
12. Should frozen material be encountered, it shall not be placed in the backfill nor shall backfill be placed upon frozen material. Previously frozen material shall be removed as required before new backfill is placed.
13. The Contractor shall be responsible for any damage to frames and grates during and from the time of removal from the existing structure to and during the time of resetting, and shall replace in kind any damaged frames or grates at no additional compensation.
14. Existing excavated reinforced concrete pipe may be reused where it is found to be undamaged and meets the requirements set forth in these specifications. Excavated pipe proposed for reuse is subject to inspection and approval by the Engineer.
15. All trenches will be covered and debris, including any rejected materials, shall be removed daily. Strict safety precautions shall be maintained at all times.
16. Location of utilities shown on the plans are approximate.
    a) the Contractor shall, 48 hours prior to construction, notify the utility companies and have all utilities in the vicinity of the construction marked in the field.
    b) after the utilities have been located and prior to construction, the Contractor with the Engineer, shall layout the proposed drainage system in the field and rectify any utility conflicts which may be found.
    c) Any conflicts with utilities found during construction by the Contractor shall be immediately brought to the attention of the Engineer and the Utility Company and properly rectified.
    d) The Contractor is responsible for the cost of repair for any utilities damaged during construction. The Contractor shall contact the Utility Company to repair any damages, however, the Contractor may make appropriate repairs with the Utility Company's permission.
17. Complete shop drawings for pipe, manholes, catch basins, frames, grates and covers shall be submitted in triplicate for approval by the Engineer prior to the start of construction. Each shop drawing shall be checked and initialized by the Contractor to indicate approval before it is submitted to the Engineer.
18. Shop drawings for flat concrete covers shall be stamped prior to submission for approval by a New Hampshire Registered Professional Engineer.
19. Brick masonry for setting frames and brick and mortar plugs shall conform to the Standard Specification Section 604.2.4.

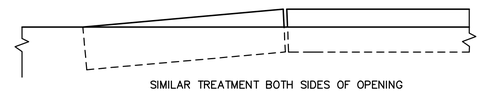


BOLLARDS SHALL BE BURIED TO A DEPTH AT LEAST EQUAL TO THE HEIGHT ABOVE GROUND. A CONCRETE FOOTING OR ENCASEMENT SHALL BE PROVIDED.

BOLLARD DETAIL

NOT TO SCALE

GRANITE CURB & MORTAR JOINTS
SLOPE LAST SECTION TO MEET EXISTING GROUND

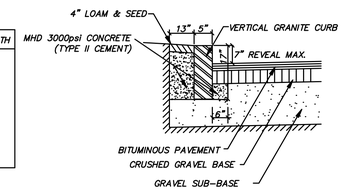


SIMILAR TREATMENT BOTH SIDES OF OPENING

TYPICAL CURB CUT

NOT TO SCALE

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'



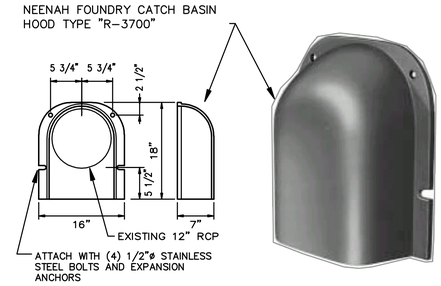
NOTES

1. SEE SITE PLAN FOR LIMITS OF CURBING.
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
3. MINIMUM LENGTH OF CURB STONES = 3'
4. MAXIMUM LENGTH OF CURB STONES = 10'
5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE CHART)
6. ALL RADII 20 FEET AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

VERTICAL GRANITE CURB

NOT TO SCALE

NEENAH FOUNDRY CATCH BASIN
HOOD TYPE "R-3700"



CATCH BASIN HOOD DETAIL

NOT TO SCALE

ALL CATCH BASINS TO HAVE HOODS MOUNTED OVER OUTLET PIPE

PERMANENT SEEDING:

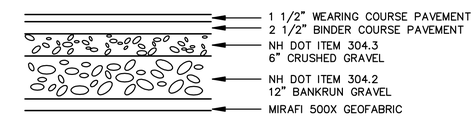
1. Bedding – stones larger than 1½", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 4" to prepare a seedbed and mix fertilizer into the soil.
2. Fertilizer – lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:

   Agricultural Limestone @ 100 lbs. per 1,000 s.f.
   10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.
3. Seed Mixture (recommended):
   Rate:

Type	LBS. per Acre	LBS per 1,000 sf
Tall Fescue	20	0.45
Creeping Red Fescue	20	0.45
Birdsfoot Trefoil	8	0.20
Total	48	1.10

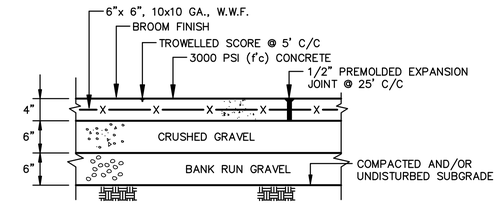
4. Sodding – sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook.

   Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water coursed, easily erodible soils (fine sand/silt) etc.
5. Provide a minimum of 4 inches (5 inches loose) of topsoil to all areas to be seeded.



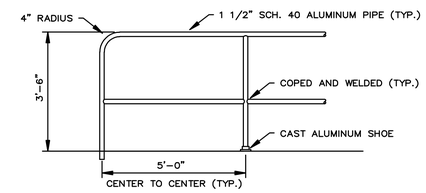
PAVEMENT SECTION

NO SCALE



TYPICAL CONCRETE SIDEWALK SECTION

NO SCALE



HAND RAIL DETAIL
WELDED TWO LINE PIPE RAIL

NOT TO SCALE
AS MANUFACTURED BY AMERICAN RAILING SYSTEMS, INC.

SHEET 10

RIVERS EDGE
PROPOSED SITE DETAIL SHEET 2
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-___

DRAWN BY: RJM	FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

15 7.5 0 7.5 15 30 45 60

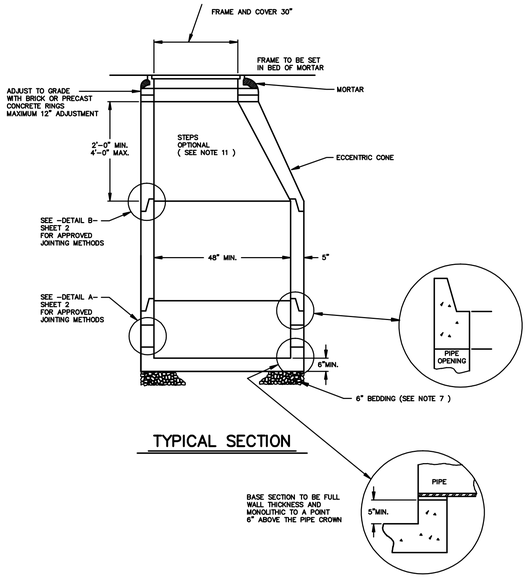
McEneaney Survey Associates
P.O. Box 681 – 24 Chestnut Street
Dover, NH 03820 (603) 742-0911
SURVEYING – PLANNING – CONSULTING

Civilworks New England
civil engineering
P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

NO.	DATE	DESCRIPTION	BY	CHK

REVISIONS

18-1924	DETAIL 1	11-01	1-41
PROJECT NO	TYPE	FIELDBOOK & PAGES	



TYPICAL SECTION

NOTES:

1.) IT IS THE INTENTION OF THE COMMISSION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT, IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.

2.) BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED.

3.) PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.

4.) LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

5.) INVERTS AND SHELVES. MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

6.) FRAMES AND COVERS. MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING A 3-INCH (MINIMUM HEIGHT) LETTER "S" FOR SEWER OR "D" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.

7.) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33

100% PASSING 1 INCH SCREEN
90-100% PASSING 3/4 INCH SCREEN
20-55% PASSING 3/8 INCH SCREEN
0-10% PASSING # 4 SIEVE
0- 5% PASSING # 8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1 1/2 INCH TO 1/2 INCH SHALL BE USED.

8.) CONCRETE: FOR DROP SUPPORT SHALL CONFORM TO THE REQUIREMENT FOR CLASS A (3000#) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT: 6.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG CEMENT
MAXIMUM SIZE OF AGGREGATE: 1 INCH

9.) FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:

RCP & CI PIPE - ALL SIZES - 48"
AC & VC PIPE - UP THROUGH 12" DIA -18"
AC & VC PIPE - LARGER THAN 12" DIA - 36"
DI PIPE - NONE REQUIRED
PVC (ASTM 3034) - UP THROUGH 15" DIA. - NONE REQUIRED
PVC (ASTM F 679) - LARGER THAN 15" DIA. - 48" - 60"
PVC (ASTM F 789) - ALL SIZES - 48" - 60"
ABS (ASTM D 2680) - ALL SIZES - SAME AS VC ABOVE

- UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CANNOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUB LENGTH MAY BE NECESSARY. OTHER PLASTIC PIPES SHALL BE REVIEWED ON A CASE BY CASE BASIS.

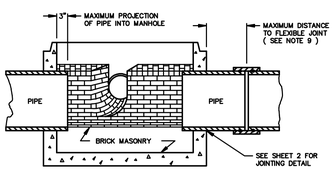
10.) SHALLOW MANHOLE. IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.

11.) MANHOLE STEPS MAY BE PERMITTED UPON REQUEST BY THE OWNER AS SECONDARY ADDITIONAL SAFETY FEATURE SUPPLEMENTARY TO THE PRIMARY PORTABLE LADDER ENTRY AND WHEN INSTALLED UNDER THE FOLLOWING CONDITIONS:

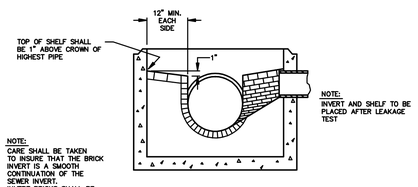
1. THE STEPS SHALL BE MANUFACTURED OF 5/8 INCH ROUND STAINLESS STEEL OR FORGED ALUMINUM ALLOY. THEY SHALL BE SHAPED SO THAT THEY CANNOT BE PULLED OUT OF THE CONCRETE WALL IN WHICH THEY ARE EMBEDDED.

2. THE STEPS SHALL BE EMBEDDED IN THE CONCRETE BY THE MANUFACTURER DURING MANUFACTURE OR IMMEDIATELY FOLLOWING REMOVAL OF THE FORMS. SECURING THE STEPS WITH MORTAR IN DRILLED OR CAST HOLES, WILL NOT BE ACCEPTABLE.

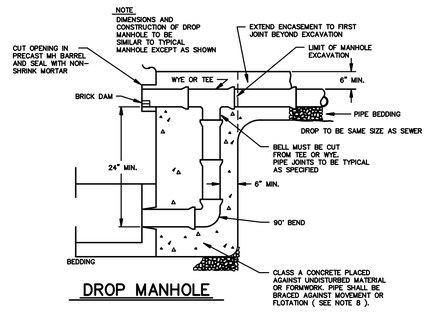
3. THE STEPS SHALL BE OF THE DROP TYPE WITH A DEPRESSED SECTION FOR HANDHOLD, APPROXIMATELY 14" X 10" IN DIMENSION.



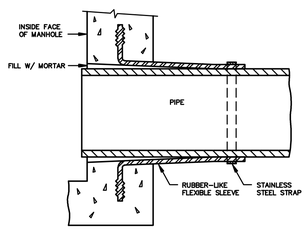
SECTION A-A



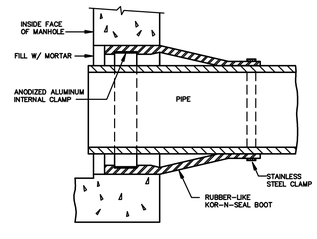
SECTION B-B



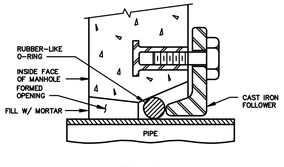
DROP MANHOLE



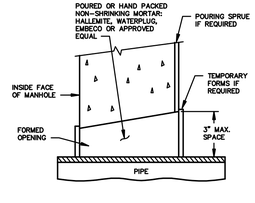
LOCK-JOINT FLEXIBLE MANHOLE SLEEVE
(OR EQUAL)



KOR - N - SEAL JOINT SLEEVE
(OR EQUAL)

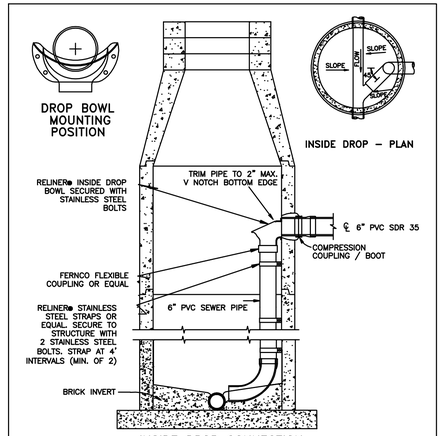


RES-SEAL
(OR EQUAL)



NON-SHRINKING MORTAR

STANDARD MANHOLE SHEET 1



INSIDE DROP CONNECTION

NOTES:

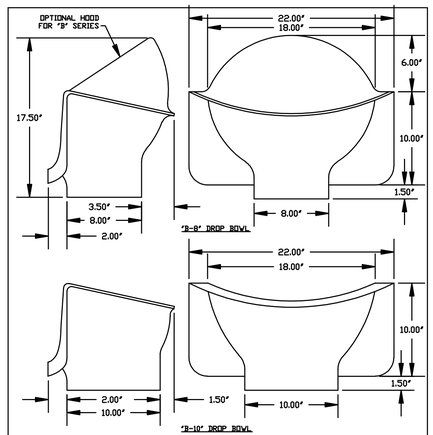
1.) ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAN, INC. 53 MT. ARCHER RD. LYME, CT 06371 (860)434-0277 FAX: (860)434-3195

2.) SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAN, INC STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.

RELINER - DURAN, INC.
53 MT. ARCHER ROAD, LYME, CT. 06371
(800) 808-8001 FAX: (860)434-3195

DESCRIPTION	SCALE
DROP CONNECTIONS	NONE

http://www.reliner.com/index.htm



(BOTH B-8 & B-10 SIZED TO FIT AROUND 12" CONCRETE PIPE INLET)

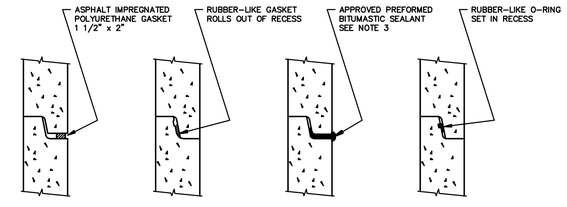
THE "B-8" BOWL WILL SERVICE UP THROUGH FULL 10" INLETS. THE "B-10" BOWL WILL SERVICE UP THROUGH FULL 12" INLET. CAN BE USED FOR 15" AND 16" INLET MODERATE FLOWS. ALL SIZES ARE FOR RETROFIT OR NEW CONSTRUCTION. FABRICATED IN MARINE GRADE FIBERGLASS AND FINISHED IN BRIGHT WHITE GEL COAT.

U.S. PAT. # 6074130
ADDITIONAL PATENTS PENDING

RELINER / DURAN, INC.
53 MT. ARCHER ROAD, LYME, CT. 06371
(800) 808-8001 FAX: (860)434-3195

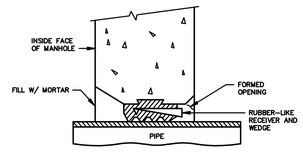
DESCRIPTION	DATE	SCALE
B-8 & B-10 DROP BOWLS	08/09/00	NONE
	DRAWING NUMBER BDB	

http://www.reliner.com/index.htm

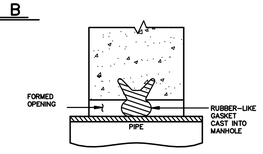


NOTE: ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

DETAIL - B



PRESS-WEDGE II
(OR EQUAL)



A - LOK
(OR EQUAL)

NOTE: ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS

DETAIL - A

NOTES:

1.) HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE COMMISSION, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATERTIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET.

2.) PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE COMMISSION AND IN GENERAL, WILL DEPEND FOR WATERTIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.

3.) FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS:
RAM-NEK
KENT SEAL NO. 2
EZ

STANDARD MANHOLE SHEET 2

NO.	DATE	DESCRIPTION	BY	CHK
		REVISIONS		

18-1924	DETAIL 1	11-01	1-41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

SHEET 11

RIVERS EDGE
SEWER STANDARD SHEET 1
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-__

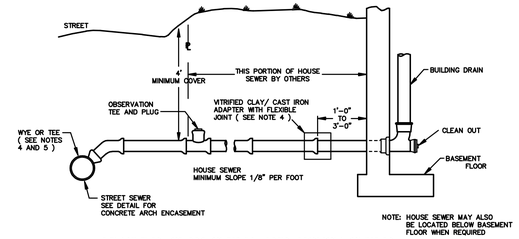
DRAWN BY: RJM	FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

15 7.5 0 7.5 15 30 45 60

McEneaney Survey Associates
P.O. Box 681 - 24 Chestnut Street
Dover, NH 03820 (603) 742-0911
SURVEYING - PLANNING - CONSULTING

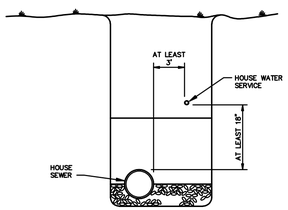
Civilworks New England
civil engineering
P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

HOUSE SEWER DETAILS



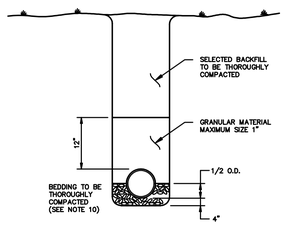
VITRIFIED CLAY SEWER AND HOUSE SEWER

(NO SCALE)



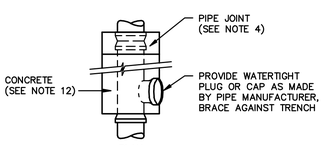
WATER AND SEWER IN SAME TRENCH

(NO SCALE) – (SEE NOTE 9)

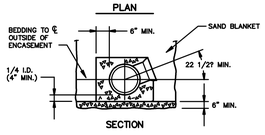


TRENCH CROSS–SECTION

(NO SCALE)



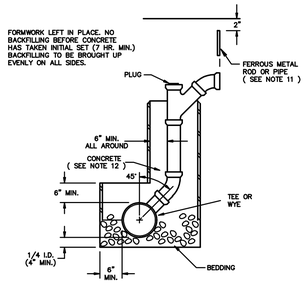
PLAN



SECTION

CONCRETE FULL ENCASEMENT

(NO SCALE)



CHIMNEY

(SEE NOTE 13)
(NO SCALE)

NOTES:

1.) MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE FOUR INCHES.

2.) PIPE AND JOINT MATERIALS:

A) VITRIFIED CLAY PIPE
   1 – PIPE AND FITTINGS SHALL BE EXTRA STRENGTH CLAY PIPE CONFORMING TO THE REQUIREMENTS OF ASTM C–700
   2 – JOINTS SHALL BE MADE WITH OIL RESISTANT GASKET IN ACCORDANCE WITH ASTM C–425 TYPE III. MANUFACTURERS INSTRUCTIONS FOR INSTALLATION SHALL BE FOLLOWED.

B) ASBESTOS–CEMENT–NON–PRESSURE SEWER PIPE
   1 – PIPE AND FITTINGS SHALL CONFORM TO ASTM TENTATIVE SPECIFICATIONS C 644 TYPE II.
   2 – JOINTS SHALL BE OF THE SLEEVE – COUPLING TYPE CONFORMING TO ASTM SPECIFICATIONS C 644 TYPE II. COMPRESSION RINGS SHALL BE OF OIL RESISTANT RUBBER TYPE OR ELASTOMERIC MATERIAL AND SHALL CONFORM TO ASTM SPECIFICATION D 1869. MANUFACTURERS INSTRUCTIONS FOR INSTALLATION SHALL BE FOLLOWED.

C) CAST – IRON PIPE FITTINGS AND JOINTS
   1 – CAST IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE
      A21 1 THICKNESS DESIGN OF CAST IRON PIPE.
      A21 4 CEMENT MORTAR LINING FOR CAST IRON PIPE AND FITTINGS
      A21 6 CAST IRON PIPE CENTRIFUGALLY CAST IN METAL MOLDS FOR WATER OR OTHER LIQUIDS.
      A21 8 CAST IRON PIPE CENTRIFUGALLY CAST IN SAND LINED MOLDS FOR WATER OR OTHER LIQUIDS.
      A21 10 CAST IRON FITTINGS, 2 INCHES THROUGH 48 INCHES FOR WATER AND OTHER LIQUIDS.
   2 – JOINTS SHALL BE OF THE MECHANICAL OR PUSH–ON TYPE JOINTS AND GASKETS SHALL CONFORM TO
      A21 11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.

D) DUCTILE – IRON PIPE, FITTINGS AND JOINTS
   1 – DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE
      A21 50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A–536 DUCTILE IRON CASTINGS.
      A21 51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND–LINED MOLDS FOR WATER OR OTHER LIQUIDS.
   2 – JOINTS SHALL BE AS SPECIFIED IN C2 ABOVE, CAST IRON PIPE JOINTS.

3.) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4.) JOINTS. SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER–TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTORS SHALL BE USED.

5.) TEES OR WYES. WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY – CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER. (DOES NOT APPLY TO INSTALLATIONS WHERE 'Ts' & 'Ys' ARE USED).

6.) PIPE INSTALLATION. THE PIPE SHALL BE HANDLED, PLACED, AND JOINTED IN ACCORDANCE WITH THE INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE–FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.

7.) TESTING. THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
A) AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND, WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
B) THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
C) DRY FLUORESCENE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWNSTREAM MANHOLE.
LEAKAGE OBSERVED IN ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON–ACCEPTANCE AND THE PIPE SHALL BE DUG–UP IF NECESSARY AND RE–LAID SO AS TO ASSURE WATER TIGHTNESS.

8.) ILLEGAL CONNECTION. NOTHING BUT SANITARY WASTE FLOW FROM HOUSE TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS OR SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER, SHALL NOT BE PERMITTED.

9.) HOUSE WATER SERVICE SHOULD NOT BE LAID IN THE SAME TRENCH AS SEWER SERVICE, BUT WHEN NECESSARY, SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE HOUSE SEWER AS SHOWN.

10.) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33–67.

100% PASSING	1 INCH SCREEN
90–100% PASSING	3/4 INCH SCREEN
20–55% PASSING	3/8 INCH SCREEN
0– 10% PASSING	#4 SIEVE
0– 5% PASSING	#8 SIEVE

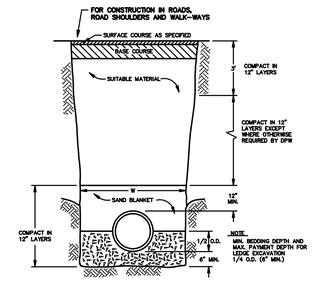
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1 1/2 INCH TO 1/2 INCH SHALL BE USED.

11.) LOCATION. THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.

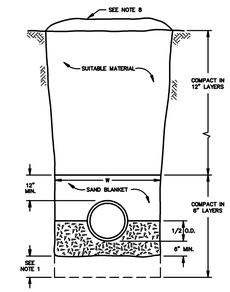
12.) CONCRETE. CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:
CEMENT – 6.0 BAGS / C.Y.
WATER – 5.75 GALS. / BAG CEMENT
AGGREGATE – 1 1/2" MAX.

13.) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4', A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION.

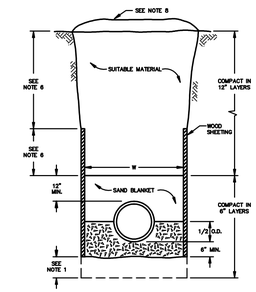
STANDARD TRENCH SECTION



LEDGE CONSTRUCTION



EARTH CONSTRUCTION



EARTH CONSTRUCTION WITH SHEETING

NOTES:

1.) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. SEE ALSO NOTE 7.

2.) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90 – 100% PASSING	3/4 INCH SCREEN
20 – 55% PASSING	3/8 INCH SCREEN
0 – 10% PASSING	#4 SIEVE
0 – 5% PASSING	#8 SIEVE

– CRUSHED STONE 1/2 INCH – 1 1/2 INCH MAY BE USED INSTEAD OF SCREENED GRAVEL WHERE ALLOWED BY THE ENGINEER.

3.) SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER SO GRADED THAT 90–100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE.

4.) SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALK–WAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.

IN CROSS–COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY, WILL BE PRESERVED.

5.) BASE COURSE. IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, (D.O.T.).

6.) WOOD SHEETING. IF REQUIRED. WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID–DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.

7.) W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.

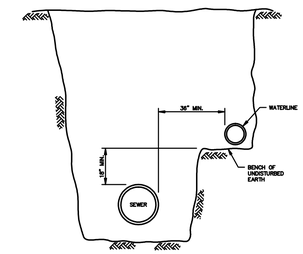
8.) FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

9.) CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000#) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:
CEMENT: 6.0 BAGS PER CUBIC YARD
WATER : 5.75 GALLONS PER BAG CEMENT
MAXIMUM SIZE OF AGGREGATE: 1 INCH

10.) NEW HAMPSHIRE WATER SUPPLY AND POLLUTION CONTROL COMMISSION (NH DES) DESIGN STANDARDS REQUIRE 10 FT. SEPARATION. HOWEVER, SHOULD CONSTRUCTION OPERATIONS REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FT. HORIZONTAL FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICABLE TO RELOCATE THE SEWER, THE FOLLOWING METHODS OF PROTECTION MUST BE EMPLOYED.

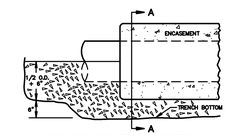
A. IF THE WATERLINE CAN BE KEPT AT LEAST 18 INCHES ABOVE AND 3 FEET TO ONE SIDE OF THE SEWER, AS SHOWN AND SUPPORTED ON A BENCH OF ORIGINAL SOIL, NO OTHER PROTECTION IS REQUIRED.

11.) IF FULL CASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

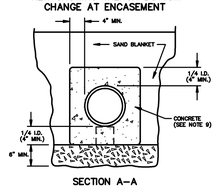


WATER AND SEWER IN SAME TRENCH

(SPECIAL CONDITIONS SEE NOTE 10)



VIEW SHOWING TRENCH BOTTOM CHANGE AT ENCASEMENT



SECTION A–A

CONCRETE FULL ENCASEMENT

(SEE NOTE 11)

SHEET 12

RIVERS EDGE
SEWER STANDARD SHEET 2
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3–1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18–__

DRAWN BY: RJM	FILE: W10 CP\1924\18–1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

15 7.5 0 7.5 15 30 45 60

McEneaney Survey Associates
P.O. Box 681 – 24 Chestnut Street
Dover, NH 03820 (603) 742–0911
SURVEYING – PLANNING – CONSULTING

Civilworks New England
civil engineering
P.O. Box 1166 181 Watson Road
Dover, NH 603–749–0443

NO.	DATE	DESCRIPTION	BY	CHK

REVISIONS

18–1924	DETAIL 1	11–01	1–41
PROJECT NO	TYPE	FIELDBOOK & PAGES	

North Elevation

SCALE: 1" 10' 0 5' 10' 20'

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JUN 14 2018
Dover, New Hampshire

1
A.21

East Elevation

SCALE: 1" = 10'

0 5' 10' 20'

DENNIS MIRES, P.A.
THE ARCHITECTS
697 Union Street, Manchester NH
603-625-4548 FAX 603-625-1067
www.TheArchitects.net | info@thearchitects.net

Rivers Edge
Design Development
First Street
Dover • New Hampshire

Elevations
scale: 1" = 10'
issued: 20180615

A.21

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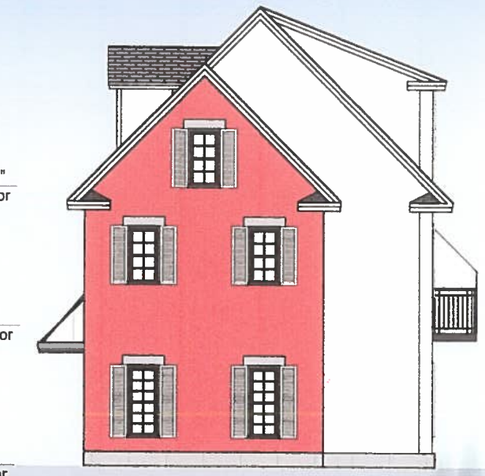
/Users/Lono/Documents/DMPATA/Local/Riparia II - 20180318/Drawings/Archicad/RiversEdgeApartments.2018.Active.pln Friday, June 15, 2018

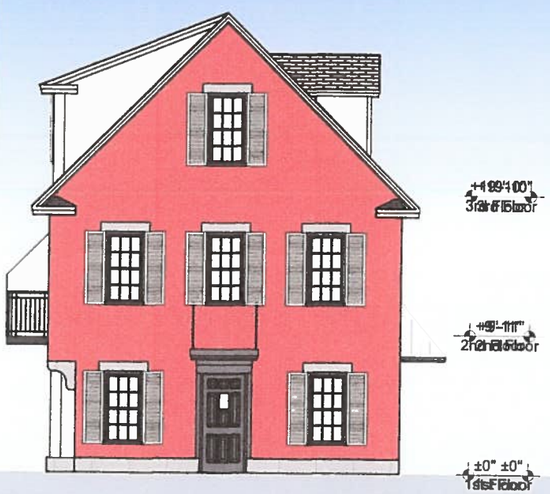
N North Elevation

1" = 10'



W West Elevation

1" = 10'



E East Elevation

1" = 10'

S South Elevation

1" = 10'

DENNIS MIRES, P.A.
THE ARCHITECTS
697 Union Street, Manchester NH
603-625-4548 FAX 603-625-1067
www.TheArchitects.net | info@thearchitects.net

Rivers Edge Townhomes
First Street Dover . NH

Elevation Study
scale: 1" = 10'
issued: 2018.06.15

A.20

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Planning Office
JUN 14 2018
Dover, New Hampshire

City of Dover, New Hampshire
CONDITIONAL USE PERMIT APPLICATION

[Revision Date: May 18, 2017]

RECEIVED
Planning Office

Office Use Only	Project #: P18-23	Date Received: JUN 20 2018
	Amount Paid:	Time Received: Dover, New Hampshire

APPLICANT AND OWNER INFORMATION

Name of Applicant: FIRST STREET AT GARRISON, LLC Telephone # 742-0911

Address of Applicant: 466 CENTRAL AVENUE, SUITE 12 DOVER NH 03820

E-Mail Address:

Name of Property Owner (if different from applicant): SAME Telephone #

Address of Property Owner: SAME

PROPERTY INFORMATION

Assessor's Map # 6 Lot(s) # 3-1

Address of Property: FIRST STREET

Zoning District(s) CBD- GENERAL Overlay District(s) NONE

Existing Use of Property: VACANT / PARKING LOT

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

☐ Conservation District ☐ RCM Use Overlay District ☐ I-1 District Uses

☐ Groundwater Protection ☐ Off-Street Parking and Loading ☐ Alternative Treatment Center

☐ Wetland Protection District ☒ Central Business District ☐ Heritage Residential District

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

RELIEF FROM MINIMUM FRONTAGE BUILD OUT:

SEE ATTACHED NARRATIVE

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: NONE

Name of Professional That Prepared Plans: McENEANEY SURVEY ASSOCIATES, INC.

Address 24 CHESTNUT STREET DOVER, NH 03820 Telephone #: 742-0911

Professional License #: KEVIN McENEANEY NH LLS 661 E-mail address: kevin@surveynh.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: _____ Date: 6/14/18

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: 6/14/18

CONDITIONAL USE PERMIT APPLICATION
NARRATIVE

FOR

RIVERS EDGE
FIRST STREET - DOVER, NH

6/14/18

Central Buisiness District (CBD) "General":
The following request is for the parcel denoted as Assessor's Map 6, Lot 3-1. This Conditional Use Permit application accompanies a Site Review application submitted for the same parcel.

We are seeking relief via Conditional Use Permit from the following item listed in Site Review Regulations, 170-12B "Applicability of Tables of Use and Dimensional Regulations by District".

Item 2. FRONTAGE BUILD OUT:
The minimum requirement for frontage build out is 70%. Due to the need to provide access ways, a side courtyard, access to the commercial space and the fact that the westerly frontage along First Street extends in front of the abutting building at 24 Chestnut Street, we are not able to meet this requirement. The primary building being proposed does provide 68% of frontage build out on First Street.

City of Dover, New Hampshire
CONDITIONAL USE PERMIT APPLICATION

[Revision Date: May 18, 2017]

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Planning Office
JUN 20 2018
Dover, New Hampshire

Office Use Only	Project #:		Date Received:	
	Amount Paid:		Time Received:	

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E-Mail Address: _____

Name of Property Owner (if different from applicant): SAME Telephone # _____

Address of Property Owner: SAME

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Existing Use of Property: VACANT / PARKING LOT

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

☐ Conservation District ☐ RCM Use Overlay District ☐ I-1 District Uses

☐ Groundwater Protection ☐ Off-Street Parking and Loading ☐ Alternative Treatment Center

☐ Wetland Protection District ☒ Central Business District ☐ Heritage Residential District

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

RELIEF FROM MINIMUM LOT COVERAGE; SEE ATTACHED NARRATIVE

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: NONE

Name of Professional That Prepared Plans: MCENEANEY SURVEY ASSOCIATES, INC.

Address 24 CHESTNUT STREET DOVER, NH 03820 Telephone #: 742-0911

Professional License #: KEVIN MCENEANEY NH LLS 661 E-mail address: Kevin@surveynh.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: _____ Date: 6/14/18

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: 6/14/18

CITY OF DOVER CONDITIONAL USE
LIST OF ABUTTERS

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant, and professional agents representing the project.

Owner(s):

TAX MAP/LOT #	PROPERTY OWNER(S)	MAILING ADDRESS
6/3-1	FIRST STREET AT GARRISON, LLC	466 CENTRAL AVENUE, STE 12 DOVER, NH 03820

Applicant (if different from owner): SAME

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS

Surveyor/Engineer/Scientist/Professional Agent:

NAME	COMPANY	MAILING ADDRESS
KEVIN MCENEANEY	MCENEANEY SURVEY ASSOCIATES	24 CHESTNUT STREET DOVER, NH 03820
PAUL CONNOLLY	CIVILWORKS NEW ENGLAND	181 WATSON ROAD DOVER, NH 03820

Conservation Easement Holder (if applicable): N/A

TAX MAP/LOT #	EASEMENT HOLDER	MAILING ADDRESS

CONDITIONAL USE PERMIT APPLICATION
NARRATIVE

FOR

RIVERS EDGE
FIRST STREET - DOVER, NH

6/14/18

Central Buisiness District (CBD) "General":
The following request is for the parcel denoted as Assessor's Map 6, Lot 3-1. This Conditional Use Permit application accompanies a Site Review application submitted for the same parcel.

We are seeking relief via Conditional Use Permit from the following item listed in Site Review Regulations, 170-12B "Applicability of Tables of Use and Dimensional Regulations by District".

Item 1. LOT COVERAGE:
The minimum lot coverage requirement is 75% and refers to building only, but due to the awkward lot shape, the existing sewer lines crossing the lot, and the need to provide on-site parking and travel ways,we are unable to comply with this requirement. The overall lot will be substantially developed with other components, such as utilities, parking, travel ways, walkways, and landscaping. The proposed buildings have a combined footprint of 31,673 s.f., resulting in a lot coverage of 37%.