

CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 2nd Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, September 6, 2018**
Meeting Time: **10:30 am**

1. 10:30 AM – 11:15 AM: Site Review for First Street at Garrison, LLC, Assessor's Map 6, Lots 3-1 & 9, zoned CBD - General, located at First Street. (Proposal is to re-use the existing building and construct one new building, the first building with 24 two bedroom units and 8 one bedroom units also containing 1,520 sq. ft. of commercial space and 17 covered parking spaces with the second building containing 1 two bedroom units and 5 one bedroom units also with 2,412 sq. ft. of commercial space and a total of 55 proposed parking spaces on site. A CUP and LLA application will also appear before the Planning Board). (P18-25)



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES - P18-37

Application Type: Site Plan
Applicant(s): Summit Land Development
Owner(s): Varney Brook Lands, LLC
Location: Pointe Place (Tax Map K, Lot 19-4)
Date: August 16, 2018

INTENT: To construct 3 buildings consisting of 8,000 s.f. of commercial space and 119 residential units. A related CUP will also appear before the Planning Board and was recommended for approval by the Conservation Commission on 8/13/2018.

UNITS PROPOSED: 119 residential units; 8,000 sq. ft. commercial area

AGENDA ITEM #: 1

ACRES: 20.93 acres

ZONING DISTRICT: Residential Commercial Mixed-Use Overlay (RCM), Executive Technology Park (ETP) underlying

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Residential and Commercial Mixed Use; 16 Townhouses

SURROUNDING LAND USE: Single family dwellings, mixed use, commercial, vacant land

SERVICES: Existing municipal water and sewer

ZBA ACTION: Building Height Variance?

PERMITS REQUIRED: CUP for wetland buffer, Alteration of Terrain

WAIVERS REQUESTED: None

ATTENDANCE:

Members: Chris Parker, Planning
Elena Piekut, Planning/Zoning
Dave White, Engineering
Jim Maxfield, Inspections/Fire
Sgt. Marn Speidel, Police
Lee Skinner, Planning Board

Others:

Chad Kageleiry, Owner
Corey Belden, Altus Engineering

Approval of 8/9/18 Meeting Minutes

Dave White moved to approve the minutes of August 9, 2018. Lee Skinner seconded. Vote U/A.

Plan Review

Planning Comments:

- Water and sewer investment fees,
- Impact fees: \$53,605 for 39 units, \$298,320 for 80 units, \$12,640 for commercial
- TDR fees will be assessed and due for plan signing
 - \$119,278 for 9 acres, donation of 3 acres on Cold Springs.
- Traffic analysis doesn't include first floor commercial
- Light at Dover Point Road to be installed by CO for building 4.
- Complete Pointe Place for acceptance
- What is the status of the trails?
- Do a T1 sketch from Middle Road
- Please provide:
 - Rest of floor plans
 - Rest of architectural renderings
 - Rest of streetscapes
- Plan set notes/revisions:
 - Update Planning file number (P18-37) throughout
 - LLS, PE, and Landscape architect sign and stamp plans
 - Add street names to locus map
 - Add abutter information to neighborhood plan
 - Include Signature and stamp of LLS, PE, and Licensed Landscape Architect
 - Add note that bench and trash receptacle location are TBD prior to Building Permit or Certificate of Occupancy to the satisfaction of the Assistant City Manager
 - On N-1:
 - Change parking from "required" to "allowed"
 - Add "provided" column to Dimensional Requirements table
 - On C-1, indicate the percentage of residential and the percentage of mixed-use/Commercial
 - On C-2:



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES - P18-37

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- Add crosswalk on southerly side of building 3
- Screen transformer
- Indicate parking underneath with circled number of spaces
- Indicate width of ingress/egress
- Provide more information for retaining wall
- Add additional bike rack (interior)?
- Indicate snow storage

O On L-1:

- Revise landscape plan to meet new regulations- not enough shrubs are provided and caliber is not big enough on trees
- Revise so landscaping does not conflict with dumpster and transformer

O On A1.1:

- Remove "Drive" from title
- Show parking space layout

O On Lighting Plan:

- Revise lighting plan to show fc on front side of building (lighting on all 4 sides).
- Bring uniformity ratio closer to 5:1

Engineering Comments:

- Applicant shall complete Land Use Development Tracking Form, most recently revised version, utilizing the online Pollution Tracking and Accounting Pilot Project (PTAPP) portal. <https://www.unh.edu/unhsc/ptapp>
- A section of the sidewalk on the opposite side of the street is still out of the ROW. Revise to address this.
- Show all the rim and invert data on the existing sewer and drainage.
- Plan set notes/revisions:
 - Convert the CB P313 to a curb inlet type structure instead of a DMH
 - Extend a line from CB P315 to the curblin
 - Crown the access road across from Sierra Dr and installing another CB
 - Provide outlet info for CB P312
 - Relocate the retaining wall to outside the sewer easement
 - Note the patio area is within the ROW

- Update plan to reflect existing conditions related to memory care property
- Not show trees over utilities
- Add trees to lawn area
- Remove the road connection at 17+50 across from this driveway entrance and install curb and sidewalk.

Planning Board Comments: None.

Police Department Comments:

- How far does monolithic concrete curb extend and how will these parking spaces be managed?
- Address traffic control for four-way intersection in parking lot rear of residential buildings. All-way stop is preferred.
- Add pedestrian warning signs W-11-2 and W-16-7p (placard) for the Pointe Place crosswalks
- Crosswalk marking type to be approved by City Engineer
- Remove stop signs on Pointe Place at Sierra Hill.

Fire/Inspections Comments:

- Provide a hydrant near the intersection of Pointe Place and the access road near the Northeast corner of building #5
- Clarify the entrances and exit locations to the buildings
- Identify the location of the main entrances to each structures and access to dwelling units
- Discuss the location of the FDC for the three structures; all should be on same side of buildings
- Add note regarding conformance with NH RSA 155:A

Economic Development Comments: None.

Next Steps: Applicant and staff to meet with Fire Chief regarding road connection at 17+50. Staff to review need for building height variance; next ZBA deadline is August 30th. D.White to follow up re: Pointe Place acceptance. Follow TRC to show final plans prior to PB in Sept.



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES - P18-39

Application Type: Site Plan Review
Applicant(s): Thomas Fargo
Owner(s): Cobble Hill Community Association
Location: Cobble Hill Drive (Tax Map 20, Lots 114-7, 114-8, 114-10, 114-11, 114-12, 114-13, 114-14)
Date: August 16, 2018

INTENT: To remove 320 linear feet of asphalt sidewalk as part of the repaving of Cobble Hill Drive and Pebble Hill Drive.

LOTS/UNITS PROPOSED: N/A

AGENDA ITEM #: 2

ACREAGE: N/A

ZONING DISTRICT: R-12

EXISTING LAND USE: Residential

SURROUNDING LAND USE: Residential

ZBA ACTION: N/A

PERMITS REQUIRED: None

WAIVERS REQUESTED: None

ATTENDANCE:

Members:

Elena Piekut, Planning/Zoning
Sgt. Marn Speidel, Police
Jim Maxfield, Inspections/Fire
Dave White, Engineering
Lee Skinner, Planning Board

Others:

Tom Fargo, Applicant
Agatha Cote, Cobble Hill Community Association
Dick Cote, Cobble Hill Community Association
Jason Hamann, Admiral Property Management
George Stanley, Road One Paving

PLAN REVIEW:

Planning Comments:

- Cobble Hill Community Association must sign and date the final plan

Police Department Comments:

None.

Fire/Inspections Comments:

- What is the existing road width? What will the proposed road width be?

Engineering Comments:

- Sidewalk should be extended to #11 (show as unit 7 on plan)
- Three no parking signs/fire lane signs need to be added

Economic Development Comments:

N/A

Planning Board Comments:

None.

Motion: Dave White moved to administratively approve the proposed changes with the conditions that the plan be revised to address the Technical Review Committee's comments:

1. Indicate the proposed width of pavement.
2. Indicate that three "no parking, fire lane" signs will be placed around the cul-de-sac.
3. Retain the sidewalk from Elmview Circle to 11 Cobble Hill Drive.

Lee Skinner seconded. Vote: U/A.

Adjournment:

A motion to adjourn TRC was made at 12:10 p.m. by Dave White and seconded by Jim Maxfield. Vote: U/A

CITY OF DOVER

Application Type: Site Plan Review

Applicant(s): First Street at Garrison, LLC

Owner(s): First Street at Chestnut, LLC

Location: First Street (Tax Map 6, Lots 3-1 and 9) Date: June 28, 2018

PLAN REVIEW:

Planning Comments:

- Only units with commercial underneath them will qualify for lesser residential-over-commercial impacts fees

- Please revise application to include:

- o Site plan review application checklist
- o Letter from Eversource regarding ability to provide service

- Please revise plan set to:

- o Change name of project **Changed to "Rivers Mark", all sheets**

- o Include full landscape plan; note that regulations were recently amended **Landscape Architect**
- o Include drainage plan **Sheet 5**
- o Include erosion and sedimentation control plan **Sheet 3, Sheet 5**
- o Include streetscape rendering **Architect**
- o Include floor plans for upper floors **Architect**
- o Include fire engine turning template **Done, SK-1423-071918-01 (Civilworks, NE)**
- o Create a sheet with all notes in one place **Sheet 9 added**
- o Lighting plan should show security lighting between new building and existing mixed use buildings **Added to Sheet 8**
- o Add planning file number P18-25 **Done, all Sheets**
- o Add aerial to neighborhood plan **Done, Sheet 1**
- o Note what is provided to meet zoning requirements of CBD **Done, Sheet 9, note 1**
- o Provide masonry wall to screen parking from Chestnut and First Street **Add aluminum fence**
- o Indicate brick sidewalk materials **Detail added to sheet 10**
- o Add screening around transformers **Utility Companies require minimum of 5 feet of clearance around transformer and other equipment.**
- o Indicate accessible parking spaces serving all buildings **Done**
- o Indicate dumpster location **Done**
- o Remove westerly entrance **Done**
- o Provide walkway to Chestnut Street **Done**
- o Provide benches, trash and recycling receptacles, and bike rack **Done, Landscape plan**
- o Label all street lights **Existing are shown and labeled on Sheet 2**
- o Use proper scale (1" = 20', 30', 40') **Add Sheet 14**
- o Remove drainage under cottage **Done**
- o Add engineer's stamp
- o Include applicable common site plan notes and indicate where provided: 11, 12, 15, 17, 18, 21, 22, 26, 28, 32, 34. **Sheet 9 added, plan revised to accommodate for all common site plan notes as written.**
- o Provide materials on the elevation, and show all 4 sides. **Architect**

- How are accessible spaces that currently serve 100 First Street being replaced?

There is one signed HC space in front of 100 First Street, One additional space will be signed there as well. This meets the requirement of two (2) accessible spaces for that building.

- Demonstrate compliance with landscape regulations **Landscape plan**

Police Department Comments: None

Fire/Inspections Comments:

- Provide elevation plan for all buildings **Architect Drawings**
- Retaining walls 4' or higher will require a building permit **Ok**
- Revise the plan to
 - o Indicate the location of the FDC for all buildings **Done**
 - o Identify building entrances and exits. Identify method of access to parking garage door. **Done, sheet 4**
 - o Sheet 3 provide construction specifications and details on the steel guardrails. **Existing guardrails to remain, will be cleaned and powder coated black**
 - o Sheet 6:
 - ☐ Clarify domestic water and sprinkler supplies to the proposed structures. **Done**
 - ☐ Clarify UGE to structures **Done**
 - ☐ Clarify gas to the two cottage buildings along the water **Done**
- Indicate accessible parking spaces w/ accessible routes **Done**
- Clarify:
 - ☐ Distance from existing one structure to proposed five story adjacent structure and parcel boundaries (sheet 4) **Done**
 - ☐ The 14' roadway between the adjacent structures **Yes**
 - ☐ Look at providing hand/guard rails at boat launch **Added rail at stairway note**
 - ☐ The location of generator **N/A**
- Reflect design compliance with applicable accessible regulations and NH RSA 155-A:5. **Sheet 9, Note #1**

Engineering Comments:

- Revise the plan to:
 - o Relocate the new driveway entrance further from the Chestnut Street intersection. It also removes one of the few remaining mature trees on First Street. The development should continue to utilize the existing driveway entrance. **Removed**
 - o Adjust the drive aisle which is too narrow at the back of the parking along the river. **Done**
 - o Indicate a combined sewer service so that there is only one drop inside that SMH. **Done**
 - o Indicate an easement for the existing city drainage. **Additional Easement Plan has been prepared by MSA**
 - o Add more distance between the new building and sewer easement, which may need to be excavated to a significant depth. **-**

Economic Development Comments:

- The project should include more commercial space **Done, Cottages are all commercial on First Floor**

Planning Board Comments:

- The project needs to include more commercial space **Done, Cottages are all commercial on First Floor**
- Was demolishing or adding on to 24 Chestnut Street considered by the applicant? **No**
- Include information about cross easements for access and parking. **Separate Easement Plan prepared**
- First phase landscaping needs to be completed. **Ok**
- The spacing between structures is too tight. **No**
- What are plans for signage? **None yet, to be per Dover regulations**
- Make sure architectural renderings are accurate. **Done**

Rivers Mark

6- Docs\18-1924 Rivers Edge Rev 1 list of changes.doc

Plan set revisions:

Sheet 1

- Add planning file number 18-25
- Add Aerial photo from Google Earth
- Add revised through August 15, 2018 to title
- Notes Sheet No. 9 added, renumber 9-12 to 10-13
- Sheet 14 added
- Rename project to "Rivers Mark"

Sheet 2

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Rename project to "Rivers Mark"

Sheet 3

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Revise P1 from silt fence to Silt Soxx
- Revise D1 from removal of Oak Tree to Remove Concrete Sidewalk for replacement with Brick
- Revise D12 from removal of curb and sidewalk to remove and dispose CB #6667 and pipe to river
- Add D17 remove 4" sewer service from 24 Chestnut Street and replace per design plans
- Rename project to "Rivers Mark"

Sheet 4

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Add note on plan at former boat launch to provide hand rail
- Revise P1 from silt fence to Silt Soxx
- Revise P2 from 4 places to 3 places
- Revise C3 to add remove and reconstruct Sewer Service from 24 Chestnut Street
- Revise C6 from construct curb opening to Construct Brick Paver Sidewalk per detail
- Revise C7 to include retaining wall height of 6.1 feet
- Revise C10 to include number of stories (3 ½) for mixed use buildings
- Revise plan to show additions of utilities onto site plan
- Revise plan showing elimination of two SMH's at mixed use buildings and providing for Sewer

Service Lines to same and service from 24 Chestnut

- Revise plan to eliminate entrance from Chestnut Street
- Rename project to "Rivers Mark"
- Revise plan for parking changes
- Add 10 x 10 Dumpster pad with screening
- Add pervious paver callouts
- dd pervious walk
- Add Conc steps and railing
- Add stripe islands
- Add HC Space in Residential building
- Label curb types

Sheet 5

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Add note on plan at former boat launch to provide hand rail
- Add Prelim Seq list from Sheet 4
- Add mitigation and treatment table and notes
- Remove CB 6667 from chart
- Remove CB 6667 and piping to river on plan
- Add roof drains to residential building (2 places, north side)
- Add P1, P2, P3, P4 call symbols to plan
- Revise plan to show additions of utilities onto site plan
- Revise plan showing elimination of two SMH's at mixed use buildings and providing for Sewer Service Lines to same and service from 24 Chestnut
- Rename project to "Rivers Mark"
- Revise northerly wall heights
- Add door entry locations at residential building
- Revise Grading to accommodate steps to Chestnut Street
- Revise plan for parking changes
- Add Dumpster
- Add pervious paver callouts
- Add pervious walk
- Add Conc steps and railing
- Add stripe islands
- Add HC Space in Residential building
- Label curb types

Sheet 6

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Add note on plan at former boat launch to provide hand rail
- Remove CB symbol at CB 6667
- Revise plan to show additions of utilities with labels onto site plan – UGE, GAS, WATER including split for fire and domestic services
- Revise plan showing elimination of two SMH's at mixed use buildings and providing for Sewer Service Lines to same and service from 24 Chestnut
- Revise Sanitary Sewer Chart to accommodate for elimination of propsed SMH's PSMH1 and PSMH2
- Rename project to "Rivers Mark"
- Revise plan for parking changes
- Add Dumpster
- Add pervious paver callouts
- Add pervious walk
- Add Conc steps and railing
- Add stripe islands
- Add HC Space in Residential building
- Label curb types

Sheet 7

Landscape Architect

Sheet 8

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Add note on plan at former boat launch to provide hand rail
- Remove LLS Stamp per surveyors request
- * Site detail revisions per prior sheets
- Add two additional building mounted lights (label “W”) between residential building and 100 First street and added light values
- Revise Lighting Schedule to include two additional lights “W”
- Rename project to “Rivers Mark”

Sheet 9 * Added for General Notes using City Common Notes as base information

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Rename project to “Rivers Mark”

Sheet 10 * renumbered from previous sheet 9

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Rename project to “Rivers Mark”

Sheet 11 * renumbered from previous sheet 10

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Add FF Elev 46.5 to Parcel 6/3
- Remove notes
- Add typical brick sidewalk detail
- Add Porous Pavement Detail
- Added Permeable Concrete Paver Detail
- Rename project to “Rivers Mark”
- Add typical retaining wall section
- Add Aberdeen Fence detail

Aluminum fence detail/information

Sheet 12 * renumbered from previous sheet 11

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Rename project to “Rivers Mark”

Sheet 13 * renumbered from previous sheet 12

- Add planning file number 18-25
- Add Rev 1 – 8/15/18 to block
- Rename project to “Rivers Mark”

Sheet 14

- Added to show site at a proper scale (20 scale)
- Rename project to “Rivers Mark”



Rivers Mark
Design Development
First Street
Dover • New Hampshire

DENNIS MIREs, P.A.
THE ARCHITECTS
697 Union Street, Manchester NH

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NOT FOR REGULATORY
APPROVAL, PERMITTING
OR CONSTRUCTION

ISSUED: 201808013

Elevations	
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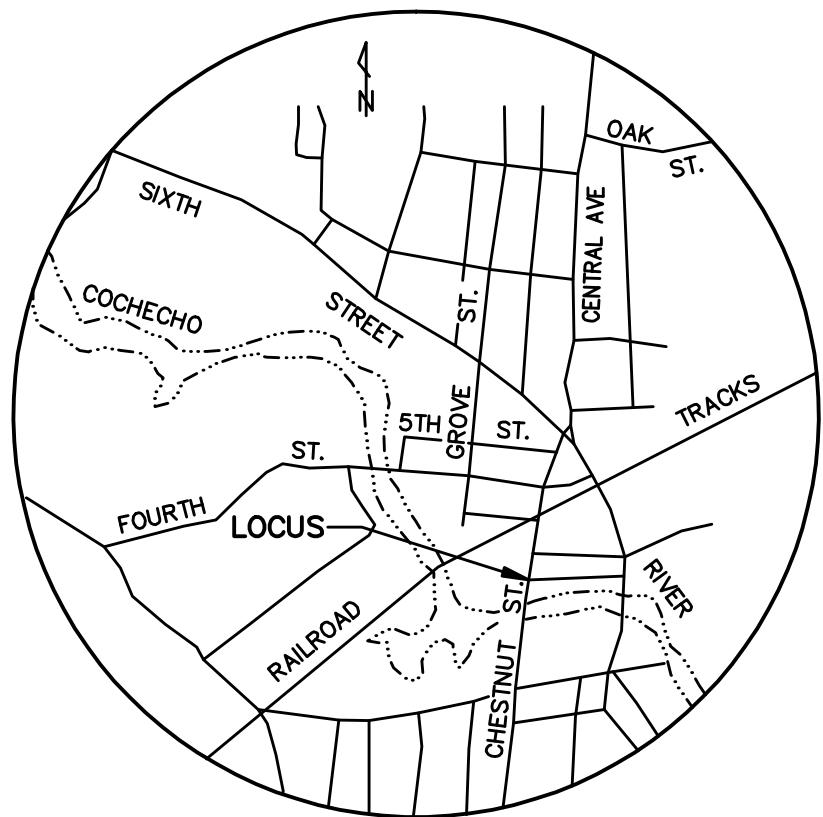


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RIVERS MARK
A
MULTI-USE FACILITY
PREPARED FOR:
FIRST STREET AT GARRISON, LLC
AND
FIRST STREET AT CHESTNUT, LLC
DOVER TAX MAP 6, LOT Nos. 3-1 & 9
DOVER, NEW HAMPSHIRE
MAY 11, 2018

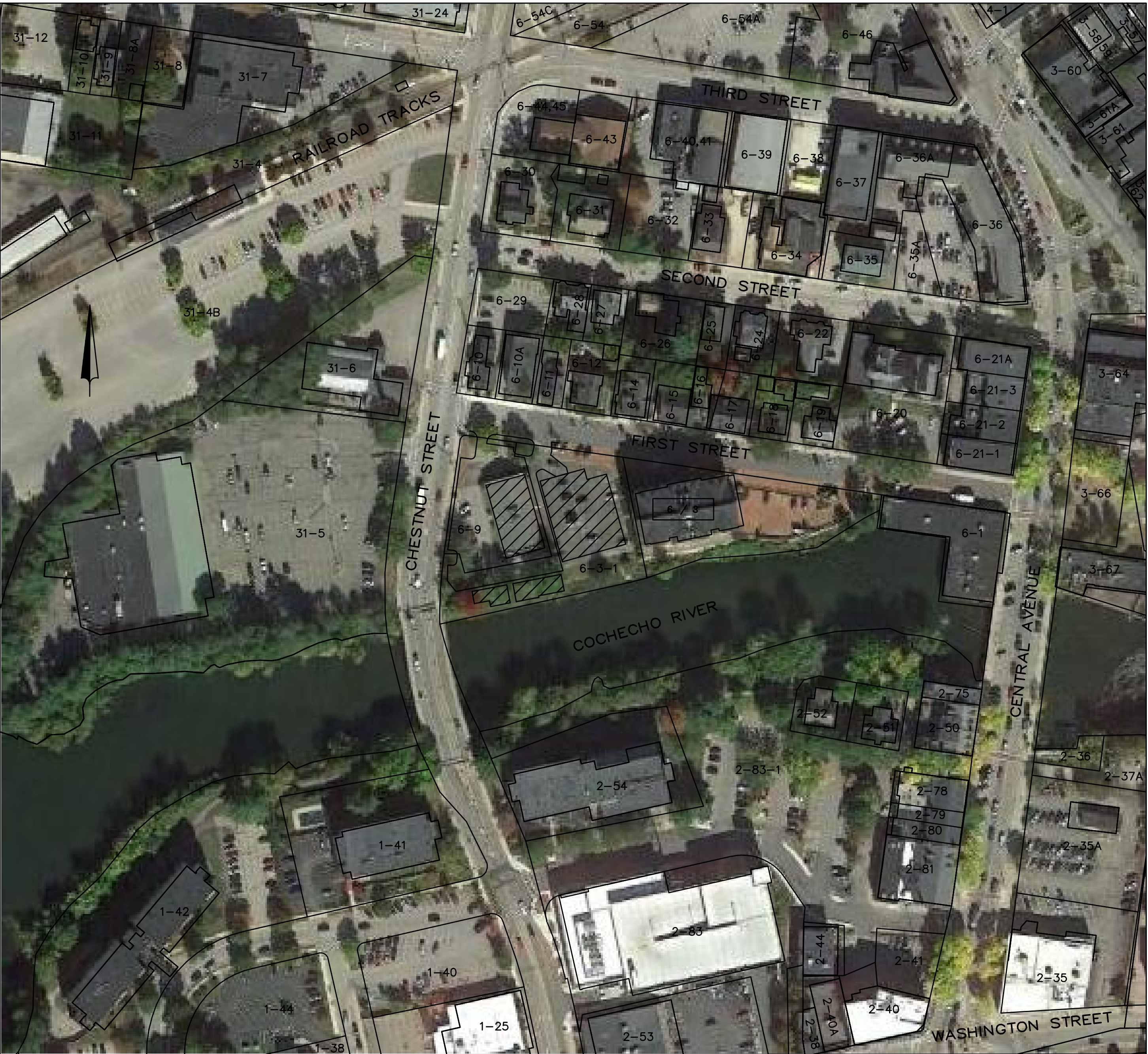


LOCATION PLAN
NO SCALE

REVISED THROUGH AUGUST 15, 2018
DOVER PLANNING FILE No. P 18-25

LIST OF ABUTTERS

MAP / LOT	NAME	ADDRESS	DEED REFERENCE
6 / 3-1	FIRST STREET AT GARRISON, LLC	466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820	4228 / 707
6 / 9	FIRST STREET AT CHESTNUT, LLC	466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820	4424 / 295
6 / 3	RIPARIA – ONE HUNDRED FIRST STREET, LLC	466 CENTRAL AVENUE, SUITE 12 DOVER, NH 03820	4228 / 704
6 / 10	HOLGATE LIMITED PARTNERSHIP	130 CENTRAL AVENUE DOVER, NH 03820	1689 / 5 (31)
6 / 10A	HOLGATE LIMITED PARTNERSHIP	130 CENTRAL AVENUE DOVER, NH 03820	1689 / 5 (31)
6 / 11	STEPHANIE N. LONG	35 FIRST STREET DOVER, NH 03820	3683 / 177
6 / 12	BRIAN J. MURPHY	496 WALLIS ROAD RYE, NH 03870	3541 / 547
6 / 14	ALDEN PROPERTIES, LLC	750 LAFAYETTE ROAD, SUITE 201 PORTSMOUTH, NH 03801	4303 / 657
31 / 5	HARLECH, LLC	273 CORPORATE DRIVE, SUITE 150 PORTSMOUTH, NH 03801	2036 / 90
31 / 6	LOYAL ORDER OF MOOSE #443	45 CHESTNUT STREET DOVER, NH 03820	757 / 327
1 / 42	DOVER HOUSING AUTHORITY	62 WHITTIER STREET DOVER, NH 03820	
2 / 83-1	CITY OF DOVER, NH	288 CENTRAL AVENUE DOVER, NH 03820	1028 / 36



TAX MAP SKETCH & NEIGHBORHOOD PLAN
1" = 100'±

SURVEYOR:
McENEANEY SURVEY ASSOCIATES, INC.
P.O. Box 681
DOVER, NEW HAMPSHIRE 03821
(603) 742-0911

ENGINEER:
CIVILWORKS NEW ENGLAND
P.O. Box 1166
DOVER, NEW HAMPSHIRE 03821
(603) 749-0443

OWNER: 6 / 3-1
FIRST STREET AT GARRISON, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOL. 4228, PAGE 707

OWNER SIGNATURES

OWNER: 6 / 9
FIRST STREET AT CHESTNUT, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOL. 4424, PAGE 295

OWNER SIGNATURES

SHEET INDEX

SHEET 1	COVER SHEET W/ NEIGHBORHOOD PLAN
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	DEMOLITION PLAN
SHEET 4	PROPOSED SITE DEVELOPMENT PLAN
SHEET 5	PROPOSED SITE GRADING PLAN
SHEET 6	PROPOSED SITE UTILITY PLAN
SHEET 7	PROPOSED SITE LANDSCAPE PLAN
SHEET 8	PROPOSED SITE LIGHTING PLAN
SHEET 9	GENERAL NOTES SHEET
SHEET 10	STANDARD DETAIL SHEET 1
SHEET 11	STANDARD DETAIL SHEET 2
SHEET 12	SEWER STANDARD SHEET 1
SHEET 13	SEWER STANDARD SHEET 2
SHEET 14	20 SCALE SITE PLAN

REFERENCE PLANS:

- DISPOSITION PLAN OF LAND – THE CITY OF DOVER –PARCEL M/1/1, PARCEL P/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: APRIL 29, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 19-43.
- DISPOSITION PLAN OF LAND – PARCEL C/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JULY 19, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 18-53.
- MINOR SUBDIVISION OF LAND PREPARED FOR THE CITY OF DOVER, NH, TAX MAP 6, LOT No. 3, FIRST STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 6, 2014; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107-62.
- EASEMENT AND LICENSE PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3, FIRST STREET & CHESTNUT STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 2, 2014, REVISED THROUGH 5/1/14; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107-63.
- LOT LINE ADJUSTMENT PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3-1, AND FIRST STREET AT CHESTNUT, LLC, TAX MAP 6, LOT No. 9, FIRST STREET & 24 CHESTNUT STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 15'; DATED: MAY 11, 2018; BY THIS OFFICE. TO BE RECORDED.

1.) OWNERS OF RECORD:

6 / 3-1 FIRST STREET AT GARRISON, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOLUME 4228, PAGE 707

31 / 6

LOYAL ORDER OF
MOOSE #443

6 / 9
 FIRST STREET AT CHESTNUT, LLC
 466 CENTRAL AVENUE, SUITE 12
 DOVER, NEW HAMPSHIRE 03820
 S.C.R.D. VOLUME 4424, PAGE 295

2.) 6 / 3-1 - DENOTES TAX MAP AND PARCEL NUMBER.

3.) PARCEL AREAS:

6 / 3-1	= 31,673 S.F.± / 0.73 Ac.±
6 / 9	= 17,719 S.F.± / 0.41 Ac.±

COMBINED "PROJECT" AREA = 49,392 S.F.± / 1.14 Ac.±

4.) THE INTENT OF THIS PLAN IS TO DEPICT THE PARCELS BOUNDARIES AND EXISTING SITE CONDITIONS AS OF MAY 10, 2018.

5.) ZONING DISTRICT:

CBD GENERAL SUB-DISTRICT (CBD

DIMENSIONAL REQUIREMENTS:	
MINIMUM LOT SIZE	= N/A
MINIMUM LOT COVERAGE	= 75 PERCENT
FRONTAGE BUILD-OUT	= 70 PERCENT MINIMUM
FRONT BUILD TO LINE	= AVERAGE WITHIN 250 FEET OF PROJECT
SIDE SETBACK MIN. / MAX.	= 0 FEET / 24 FEET
REAR SETBACK	= 10 FEET MINIMUM
MAXIMUM BUILDING HEIGHT MIN./MAX.	= 2 STORY / 5 STORY

6.) THE "PROJECT" PARCEL IS LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD, ZONE AE (BASE FLOOD ELEVATIONS DETERMINED); AND AREAS DETERMINED TO BE INSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 330145; PANEL 0310; SUFFIX IE; MAP NUMBER 33017C03010E; EFFECTIVE DATE SEPT. 30, 2015.
- WITH REGARDS TO PARCEL 6 / 3-1, REFERENCE IS MADE TO LETTER OF MAP REVISION (LOMR) FEMA CASE No. 14-01-2374A, DATED JUNE 05, 2014.

7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED FEBRUARY 14, 2011.
VERTICAL DATUM IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED FEBRUARY 14, 2011.

8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATES, INC. DURING FEBRUARY 2011 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.

9.) THE "PROJECT" PARCEL IS SUBJECT TO THE STATE OF NEW HAMPSHIRE SHORELINE WATER QUALITY PROTECTION ACT (SWQPA). THOSE AREAS WITHIN 250 FEET OF THE COACHECHO RIVER REFERENCE LINE.

10.) THERE ARE CURRENTLY 30 STRIPED PARKING SPACES LOCATED ON PARCEL 6 /3-1, INCLUDING 2 ACCESSIBLE SPACES. PARCEL 6 / 9 IS NOT CURRENTLY STRIPED.

11.) THERE ARE NO WETLANDS ON THE SUBJECT PARCEL

12.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.

13.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

14.) PARCEL 6 / 3-1 (PORTION OF DISPOSITION PARCEL P/1/1 AND PARCEL M/1/1) IS SUBJECT TO:

- THE RIGHTS GRANTED TO THE DOVER HOUSING AUTHORITY, ITS SUCCESSOR'S AND ASSIGNS AS DESCRIBED IN S.C.R.D. VOL. 1028, PAGE 30 AND S.C.R.D. VOL. 1028, PAGE 36; REFERENCE PLAN No. 1.
- THE COVENANT THAT THE REDEVELOPER SHALL NOT RESTRICT THE USE OR OCCUPANCY OF THE PROPERTY UPON THE BASIS OF RACE, COLOR, RELIGION, SEX, OR NATIONAL ORIGIN.
- FLOWAGE RELEASE AS RESERVED TO PACIFIC MILLS AS DESCRIBED IN S.C.R.D. VOL. 467, PAGE 267.
- THE VIBRATION AND SHAKING OF THE PARCEL TO PARTIES EXEMPT FROM AD VALOREM PROPERTY TAXATION WITHOUT THE EXPRESS CONSENT OF THE CITY OF DOVER.
- TWO (2) SEWER EASEMENTS GRATED TO THE CITY OF DOVER, NH AS DESCRIBED IN S.C.R.D. VOL. 4228, PAGE 707. REFERENCE PLAN No. 4.

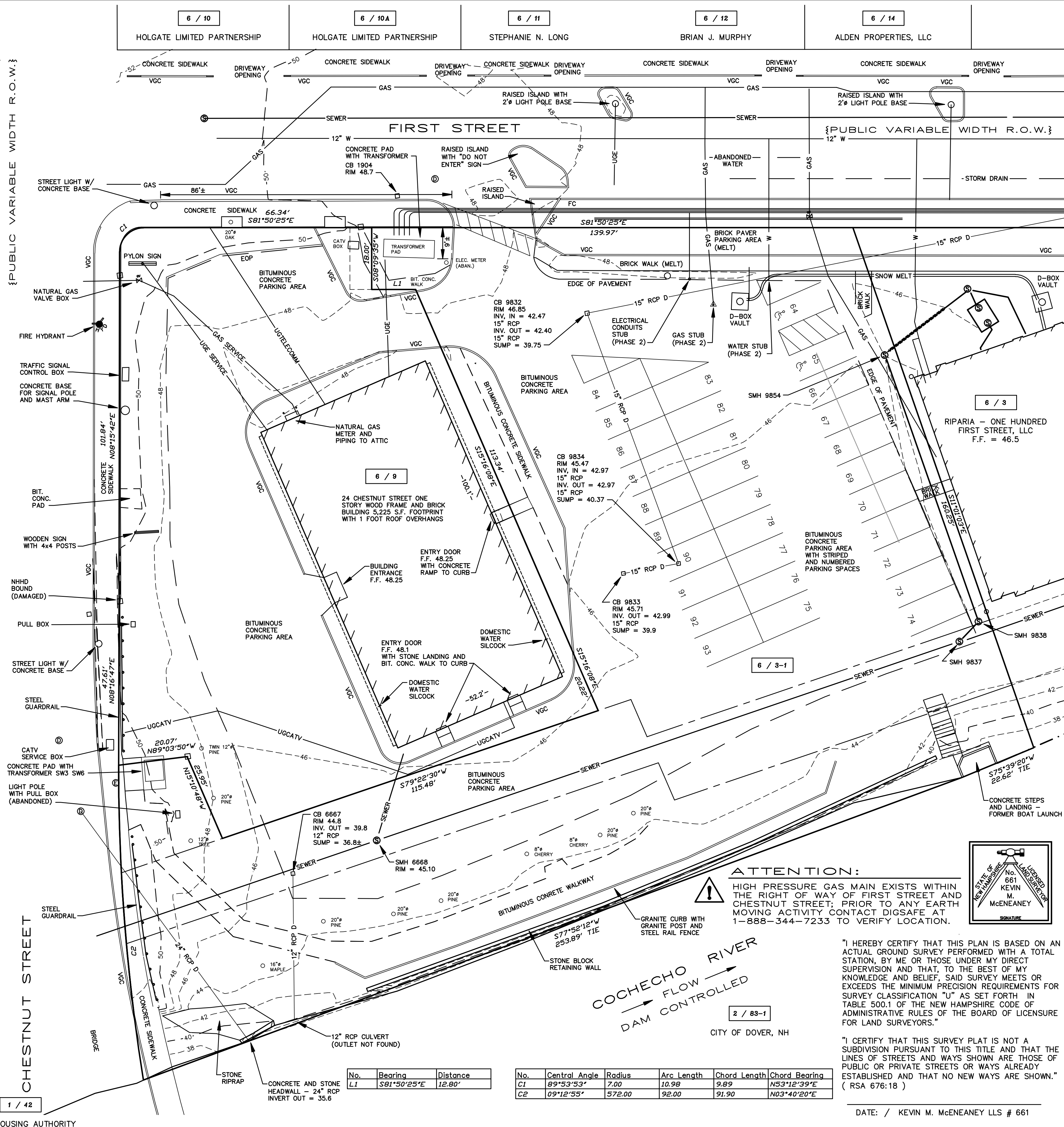
15.) PARCEL 6 / 9 (DISPOSITION PARCEL C/1/1) IS SUBJECT TO:

- THE RIGHTS GRANTED TO THE DOVER HOUSING AUTHORITY, ITS SUCCESSOR'S AND ASSIGNS AS DESCRIBED IN S.C.R.D. VOL. 1014, PAGE 434 OVER THE 4,083 S.F. UTILITY EASEMENT AND 114 S.F. WALKWAY EASEMENT AS SHOWN ON REFERENCE PLAN NO. 2.
- THE COVENANT THAT THE REDEVELOPER SHALL NOT RESTRICT THE USE OR OCCUPANCY OF THE PROPERTY UPON THE BASIS OF RACE, COLOR, RELIGION, SEX, OR NATIONAL ORIGIN.
- FLOWAGE RELEASE AS RESERVED TO PACIFIC MILLS AS DESCRIBED IN S.C.R.D. VOL. 467, PAGE 267.
- EXISTING SEWER RIGHTS TO THE CITY OF DOVER, NH AS DESCRIBED IN S.C.R.D. VOL. 99, PAGE 561.
- EASEMENT FOR STATIONS AND LINES FOR TRAFFIC SIGNALIZATION TO THE CITY OF DOVER, NH AS DESCRIBED IN S.C.R.D. VOL. 1030, PAGE 695.

31 / 5
HARLECH, LLC

1	8/15/18	REVISE PER TRC COMMENTS			RJM KMM
NO.	DATE	DESCRIPTION REVISIONS			BY CHK
18-1924		EXIST COND		11-01	1-41
PROJECT NO	TYPE		FIELDBOOK &	PAGES	

DOVER HOUSING AUTHORITY



1.) DISPOSITION PLAN OF LAND - THE CITY OF DOVER - PARCEL M/1/1, PARCEL P/1/1 - DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: APRIL 29, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 19-43.

2.) DISPOSITION PLAN OF LAND - PARCEL C/1/1 - DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JULY 19, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 18-53.

3.) MINOR SUBDIVISION OF LAND PREPARED FOR THE CITY OF DOVER, NH, TAX MAP 6, LOT No. 3, FIRST STREET, CITY of DOVER, COUNTY of STRAFFORD, STATE of NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 6, 2014; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107-62.

4.) EASEMENT AND LICENSE PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3, FIRST STREET & CHESTNUT STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE of NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 2, 2014, REVISED THROUGH 5/1/14; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107-63.

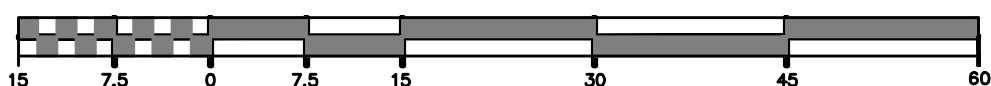
5.) LOT LINE ADJUSTMENT PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT NO. 3-1, AND FIRST STREET AT CHESTNUT, LLC, TAX MAP 6, LOT NO. 9, FIRST STREET & 24 CHESTNUT STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 15'; DATED: MAY 11, 2018; BY THIS OFFICE. TO BE RECORDED.

SHEET 2

**RIVERS MARK
EXISTING CONDITIONS PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE**

DOVER PLANNING FILE No. P 18-25

DRAWN BY: <i>RJM</i>	FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018



McEneaney
Survey
Associates

P.O. Box 681 – 24 Chestnut Street
Dover, NH 03820 (603) 742-0911

SURVEYING – PLANNING – CONSULTING

Civilworks New England

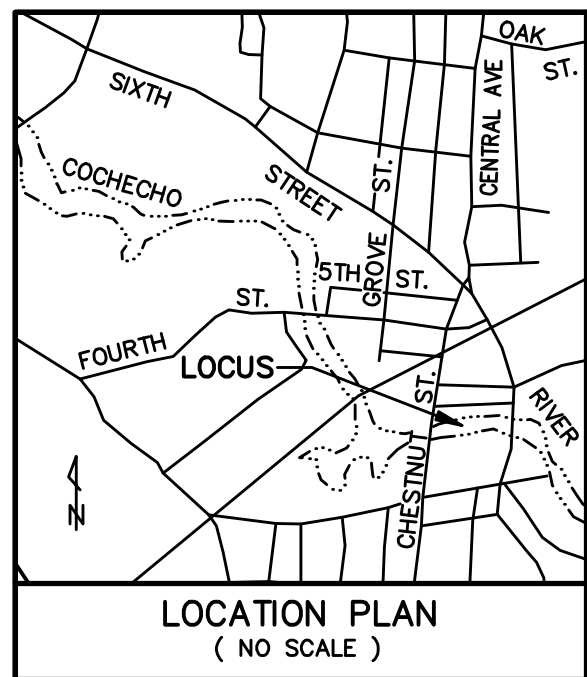
c i v i l e n g i n e e r i n g

P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

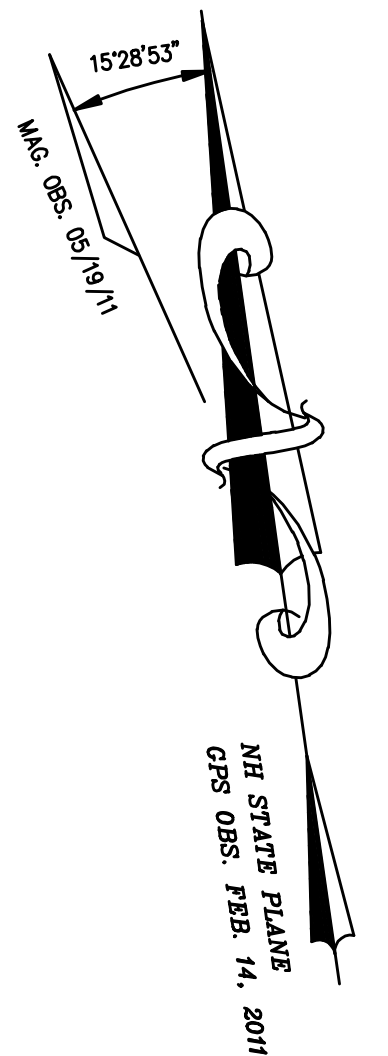
"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."
(RSA 676:18)

DATE: / KEVIN M. McENEANEY LLS # 661



31 / 6
LOYAL ORDER OF
MOOSE #443



CHESTNUT STREET
{PUBLIC VARIABLE WIDTH R.O.W.}

P# PRELIMINARY SEQUENCING

- PRELIMINARY / PRE-CONSTRUCTION SEQUENCE
PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT
1-888-344-7233.
- 1.) INSTALL "SILT SOX" ALONG WATERFRONT FROM WESTERLY END OF 100 FIRST BUILDING TO CHESTNUT STREET, 300'±.
 - 2.) INSTALL "SILTSACK" CATCH BASIN INLET PROTECTION TO ALL CATCH BASINS WITHIN CONSTRUCTION ZONE. (3 PLACES)
 - 3.) PROTECT 24" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.
 - 4.) PROTECT 12" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.

— SEE SHEET 3 FOR ADDITIONAL PRELIMINARY / PRE-CONSTRUCTION SEQUENCE ITEMS.

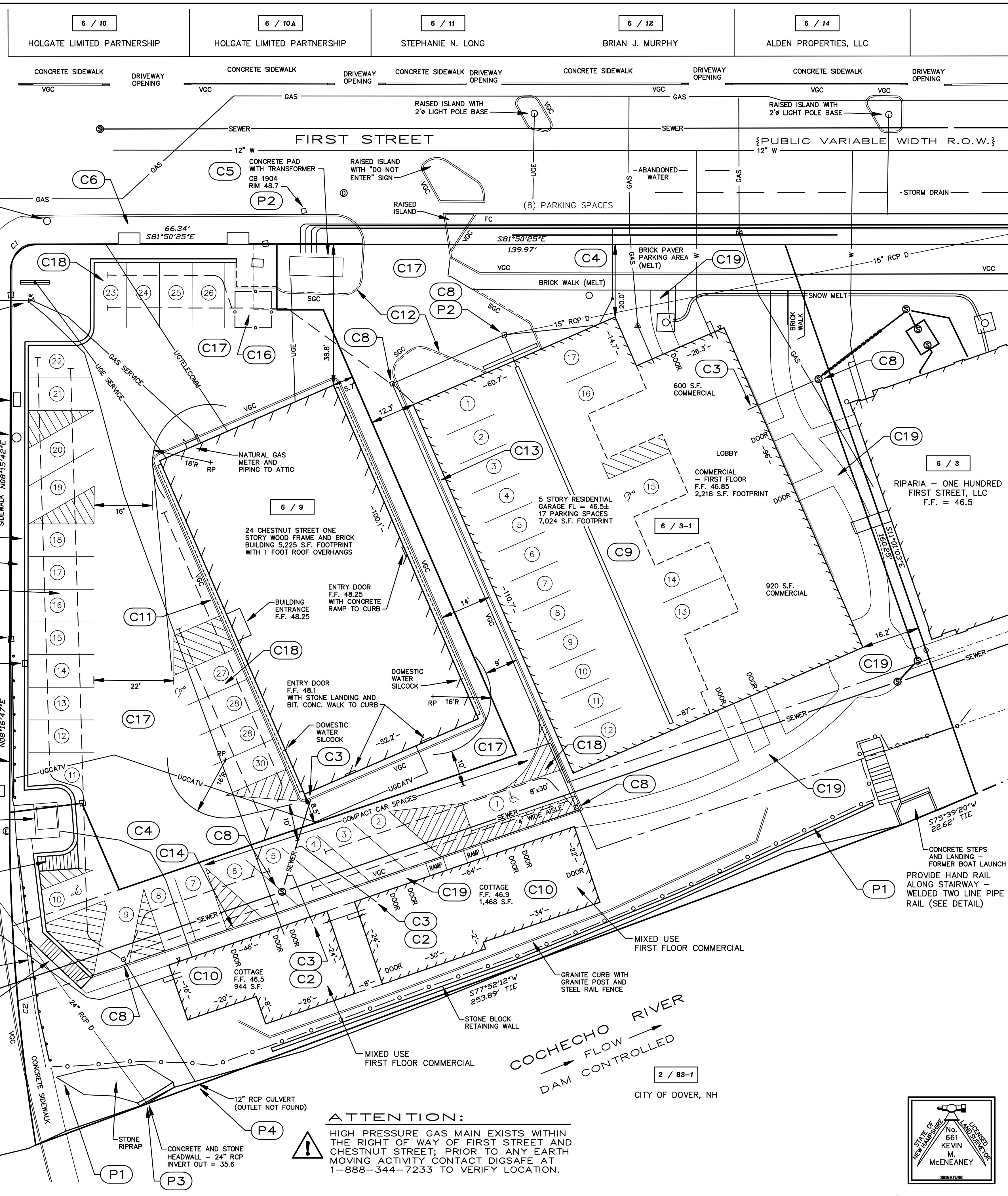
31 / 5
HARLECH, LLC

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	92°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
1	8/15/18	REVISE PER TRC COMMENTS	RJM	KMM
REVISIONS				
18-1924	PROP SITE	11-01	1-41	
PROJECT NO	TYPE	FIELDBOOK & PAGES		

DOVER HOUSING AUTHORITY

1 / 42



C# CONSTRUCTION SEQUENCING

- CONSTRUCTION SEQUENCE:
PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT
1-888-344-7233.
- 1.) PROVIDE FOR WATER SERVICE CONNECTION FROM MAIN WITHIN CHESTNUT STREET TO PROPOSED MIXED USE BUILDINGS.
 - 2.) PROVIDE FOR NATURAL GAS SERVICE CONNECTION FROM MAIN WITHIN CHESTNUT STREET TO PROPOSED MIXED USE BUILDINGS.
 - 3.) RECONSTRUCT SANITARY SEWER FROM 24 CHESTNUT STREET AS SHOWN.
PROVIDE FOR SANITARY SEWER CONNECTIONS TO PROPOSED MIXED USE BUILDINGS AS SHOWN.
PROVIDE FOR SANITARY SEWER CONNECTIONS TO PROPOSED 5 STORY RESIDENTIAL BUILDING.
 - 4.) PROVIDE FOR POWER, TELECOMMUNICATIONS AND CABLE TELEVISION CONNECTIONS TO EXISTING UTILITIES.
 - 5.) PROTECT CHESTNUT STREET AND FIRST STREET UNDERGROUND SERVICES PER UTILITY RECOMMENDATIONS.
 - 6.) CONSTRUCT BRICK PAVEMENT SIDEWALK FROM SITE ENTRANCE WESTERLY TO ACCESSIBLE TRANSITION (SEE DETAIL).
 - 7.) CONSTRUCT RETAINING WALL (240'±, HEIGHT VARIES FROM 0 FEET TO 6.1 FEET) PER DETAIL. PROVIDE 4' ABERDEEN STYLE FENCING ALONG TOP. CONSTRUCT CONCRETE STEPS AND PROVIDE WELDING RAILINGS IN TWO (2) LOCATIONS SHOWN.
 - 8.) CONSTRUCT PROPOSED CATCH BASINS, CONNECT TO EXISTING; CONSTRUCT ON-SITE PARKING AREAS; PROVIDE FOR DRAINAGE TIE-INS TO PROPOSED FOUNDATION AND ROOF DRAIN SYSTEMS; PROVIDE UNDERDRAINS AS SHOWN UNDER PARKING SPACES
ADJUST EXISTING DRAINAGE STRUCTURE RIMS TO MATCH PROPOSED GRADE, PROTECT WITH SEDIMENT CONTROL DEVICES.
ADJUST EXISTING SEWER MANHOLE RIMS TO MATCH PROPOSED GRADE.
 - 9.) CONSTRUCT PROPOSED 5 STORY BUILDING PER ARCHITECTURAL REQUIREMENTS.
 - 10.) CONSTRUCT PROPOSED 3 1/2 STORY MIXED USE BUILDINGS PER ARCHITECTURAL REQUIREMENTS.
 - 11.) CONSTRUCT VERTICAL GRANITE CURB AND LANDSCAPE AT 24 CHESTNUT STREET, PROVIDE ACCESSIBLE TIP DOWNS AT BUILDING ENTRANCES.
 - 12.) CONSTRUCT SLOPED GRANITE CURB AT FIRST STREET ENTRANCE AND AT GARAGE ENTRANCE.
 - 13.) CONSTRUCT VERTICAL GRANITE CURB ALONG EASTERLY SIDE OF 14' WIDE DRIVE AT RESIDENTIAL BUILDING.
 - 14.) CONSTRUCT VERTICAL GRANITE CURB ALONG COTTAGES, PROVIDE ACCESSIBLE TIP DOWNS AT LOCATION SHOWN.
 - 15.) STEEL GUARDRAIL — CLEAN AND PROVIDE TWO (2) COATS OF BLACK POWDER COAT.
 - 16.) CONSTRUCT 10'x10' CONCRETE PAD WITH CHAINLINK FENCE SCREENING FOR DUMSTER.
 - 17.) CONSTRUCT BITUMINOUS CONCRETE DRIVE/THROUGHWAYS.
 - 18.) CONSTRUCT PERVIOUS PAVEMENT UNDER ALL PROPOSED PARKING AREAS. STRIPE PARKING AS SHOWN.
 - 19.) CONSTRUCT PERVIOUS PAVEMENT WALKWAYS ALONG COTTAGES, INCLUDE ACCESSIBLE RAMPS; ALONG RIVER TO FORMER BOAT LAUNCH; AND BETWEEN RESIDENTIAL AND EXISTING 100 FIRST STREET BUILDINGS AS SHOWN.

SHEET 4

RIVERS MARK
PROPOSED SITE DEVELOPMENT PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY OF DOVER
COUNTY OF STRAFFORD
STATE OF NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25
DRAWN BY: RJM FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15' DATE: MAY 11, 2018

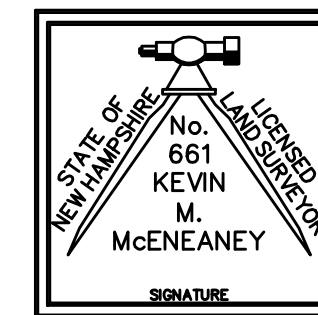


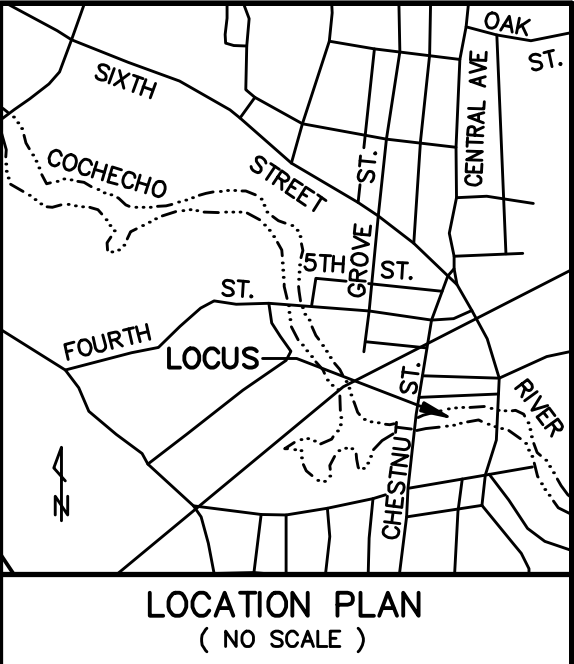
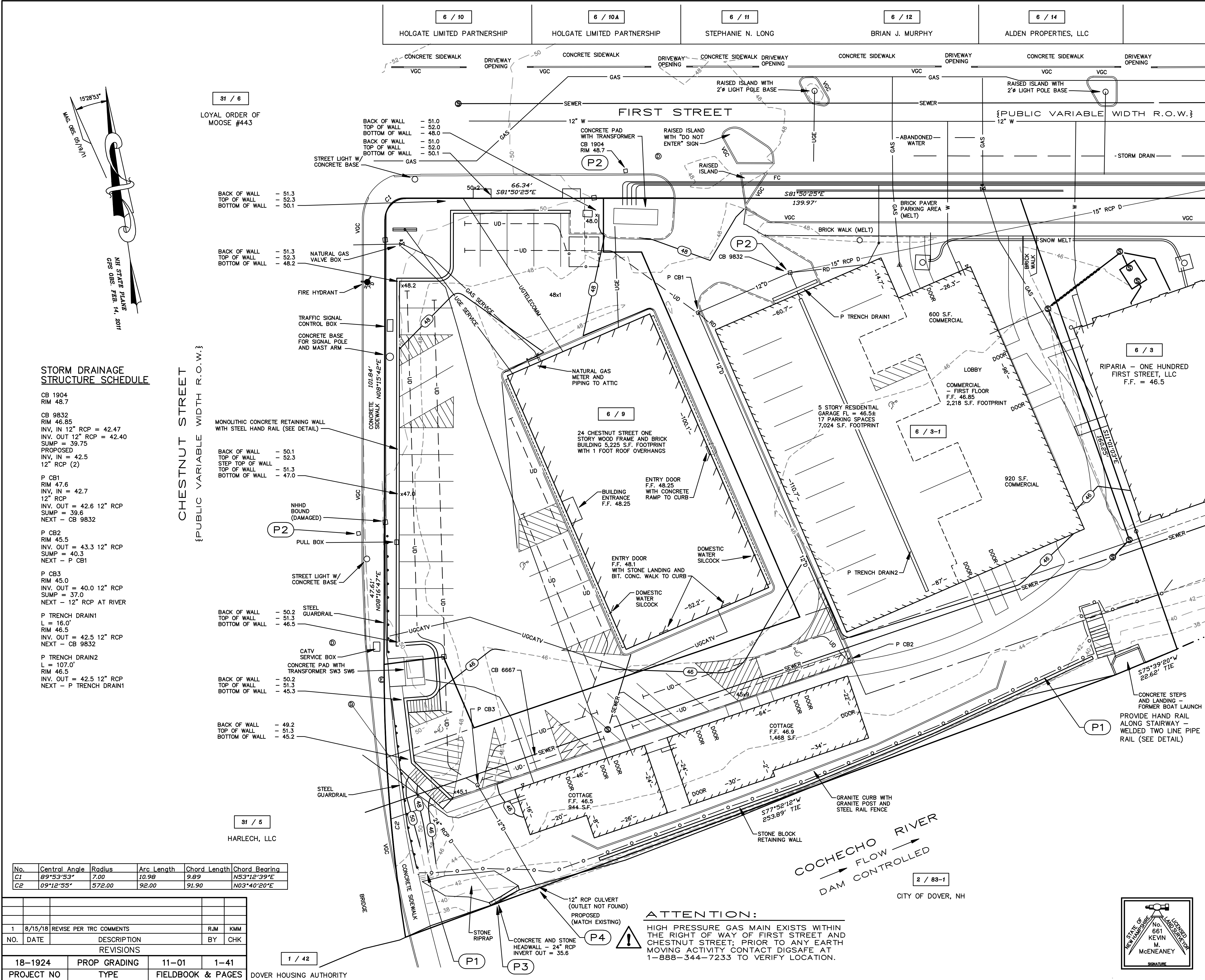
McEneaney
Survey
Associates
P.O. Box 681 - 24 Chestnut Street
Dover, NH 03820 (603) 742-0911

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Civilworks New England
civil engineering

P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443





NAME	
PROJECT AREA:	EXISTING 1.14 Ac. 49,392 S.F. PROPOSED 1.14 Ac. 49,392 S.F.
CONTIGUOUS LAND DISTURBANCE:	N/A 40,215 S.F. (0.92 Ac.)
IMPERVIOUS AREA:	33,730 S.F. (68.3% SITE COVER) 36,712 S.F. (+2,982 S.F.)
□ PER 149-14.A.(3)(c)(ii)a.	
1. MITIGATION AND TREATMENT OF 30% OF EXISTING IMPERVIOUS AREA (0.30 x 33,730 S.F.) = 10,120 S.F. AND	
2. MITIGATION AND TREATMENT OF 50% OF ADDITIONAL IMPERVIOUS AREA (0.50 x 2,982 S.F.) = 1,491 S.F.	
-----> THROUGH THE APPLICATION OF THE "LID" LOW INTENSITY DEVELOPMENT	
PER PLAN:	
1. SITE PLAN PROPOSES 1,500 S.F. OF PERVIOUS PAVERS (> 1,491 S.F.), AND	
2. SITE PLAN PROPOSES 6,400 S.F. OF PERVIOUS BITUMINOUS PAVEMENT, WHICH WILL TREAT OVER 10,120 S.F. OF PARKING AREA.	
P#	
PRELIMINARY SEQUENCING	
PRELIMINARY / PRE-CONSTRUCTION SEQUENCE PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233.	
1.) INSTALL "SILT SOXX" ALONG WATERFRONT FROM WESTERLY END OF 100 FIRST BUILDING TO CHESTNUT STREET, 300'±.	
2.) INSTALL "SILTBACK" CATCH BASIN INLET PROTECTION TO ALL CATCH BASINS WITHIN CONSTRUCTION ZONE. (3 PLACES)	
3.) PROTECT 24" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.	
4.) PROTECT 12" RCP OUTLET INTO COCHECHO RIVER WITH SEDIMENT CONTROL DEVICES.	
- SEE SHEET 3 FOR ADDITIONAL PRELIMINARY / PRE-CONSTRUCTION SEQUENCE ITEMS.	
SHEET 5	

RIVERS MARK
PROPOSED SITE GRADING & DRAINAGE PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY OF DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25

DRAWN BY: RJM FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15' DATE: MAY 11, 2018

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Dover, NH 03820 (603) 742-0911

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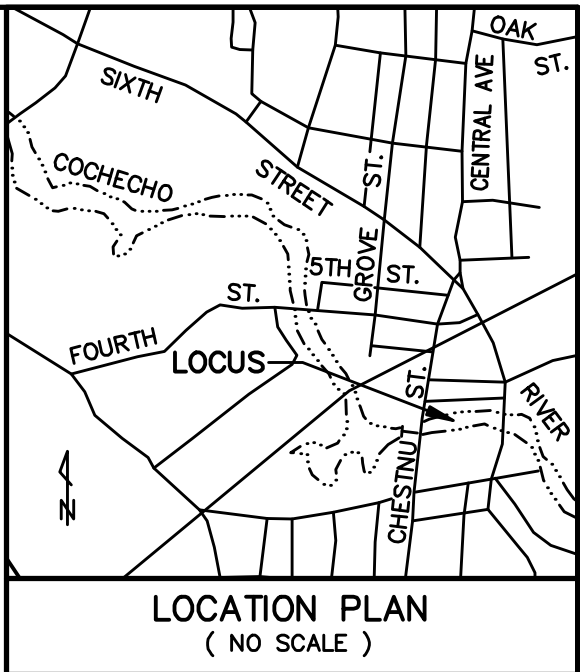
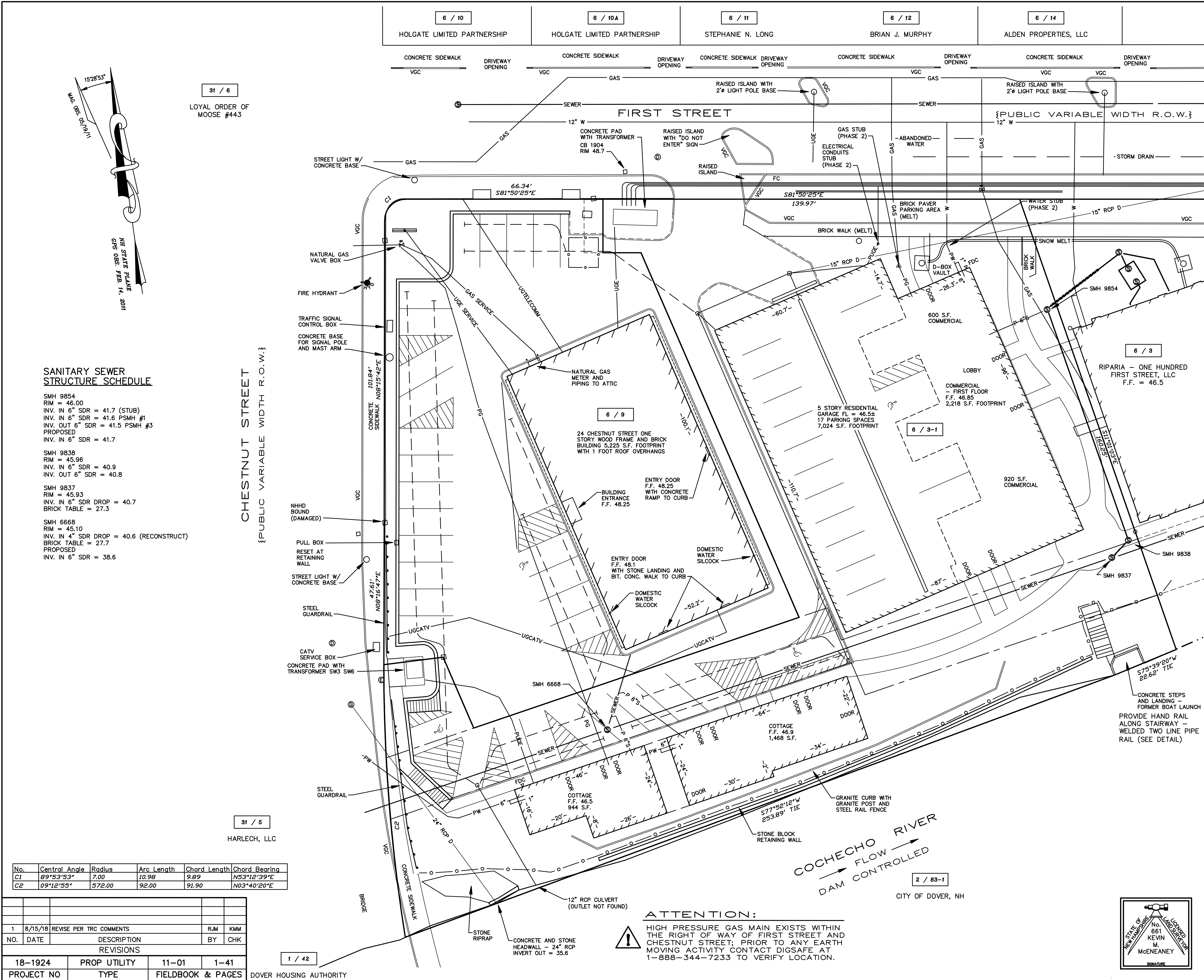
Civilworks New England
civil engineering
P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

STORM DRAINAGE STRUCTURE SCHEDULE	
CB 1904 RIM 48.7	
CB 9832 RIM 46.85 INV. IN 12" RCP = 42.47 INV. OUT 12" RCP = 42.40 SUMP = 39.75 PROPOSED INV. IN = 42.5 12" RCP (2)	
P CB1 RIM 47.6 INV. IN = 42.7 12" RCP INV. OUT = 42.6 12" RCP SUMP = 39.6 NEXT - CB 9832	
P CB2 RIM 45.5 INV. OUT = 43.3 12" RCP SUMP = 40.3 NEXT - P CB1	
P CB3 RIM 45.0 INV. OUT = 40.0 12" RCP SUMP = 37.0 NEXT - 12" RCP AT RIVER	
P TRENCH DRAIN1 L = 16.0' RIM 46.5 INV. OUT = 42.5 12" RCP NEXT - CB 9832	
P TRENCH DRAIN2 L = 107.0' RIM 46.5 INV. OUT = 42.5 12" RCP NEXT - P TRENCH DRAIN1	

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	92°53'52"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

1	8/15/18	REVISE PER TRC COMMENTS		RJM	KMM
NO.	DATE	DESCRIPTION	BY	CHK	
REVISIONS					
18-1924	PROP GRADING	11-01	1-41		
PROJECT NO	TYPE	FIELDBOOK & PAGES			

ATTENTION:
HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233 TO VERIFY LOCATION.

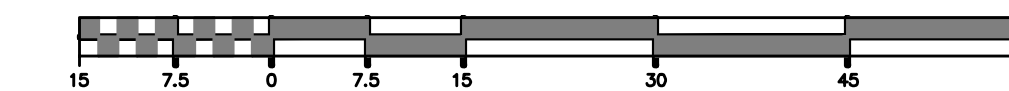


SHEET 6

RIVERS MARK
PROPOSED SITE UTILITY PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25

DRAWN BY: RJM FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15' DATE: MAY 11, 2018



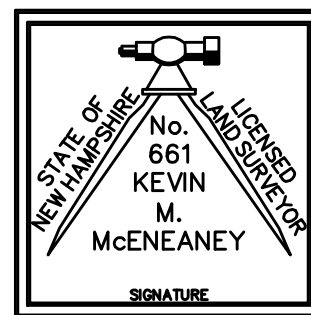
McEneaney
Survey
Associates

P.O. Box 681 - 24 Chestnut Street
Dover, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

Civilworks New England

c i v i l e n g i n e e r i n g
P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443



ATTENTION:
HIGH PRESSURE GAS MAIN EXISTS WITHIN
THE RIGHT OF WAY OF FIRST STREET AND
CHESTNUT STREET; PRIOR TO ANY EARTH
MOVING ACTIVITY CONTACT DIGSAFE AT
1-888-344-7233 TO VERIFY LOCATION.

1528'53"
W. 2.5° 01' 18" N
NH STATE PLANS
CPS OBS. FEB. 14, 2011

31 / 6
LOYAL ORDER OF
MOOSE #443

CHESTNUT STREET
{PUBLIC VARIABLE WIDTH R.O.W.}

31 / 6
HARLECH, LLC

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
18-1924	PROP LANDSCAPE	11-01	1-41	
PROJECT NO	TYPE	FIELDBOOK & PAGES		

1 / 42
CITY OF DOVER, NH

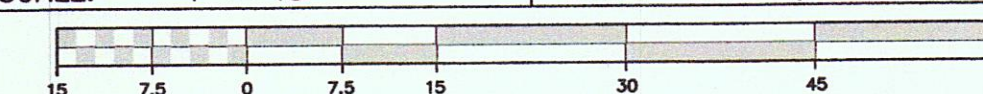


SHEET 7

RIVERS MARK
PROPOSED SITE LANDSCAPE PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY OF DOVER
COUNTY OF STRAFFORD
STATE OF NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-___

DRAWN BY: RJM FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15' DATE: MAY 11, 2018

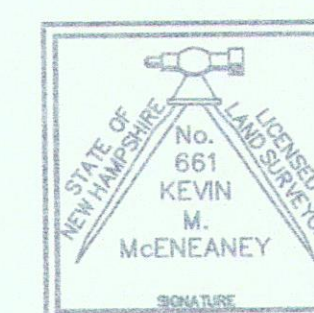


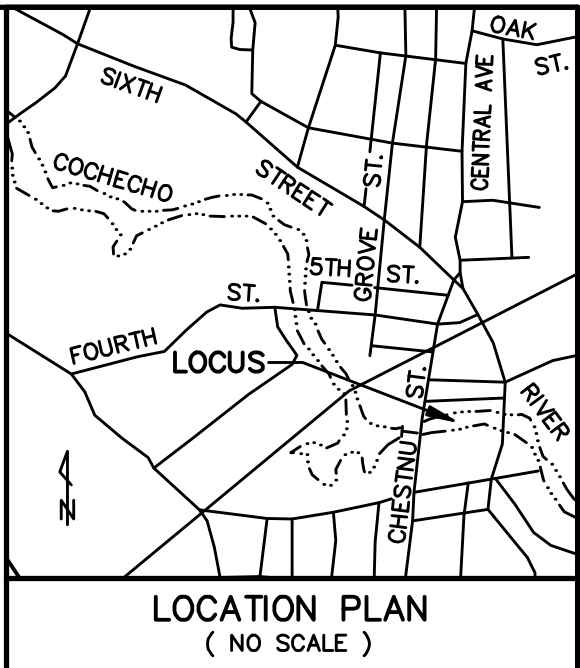
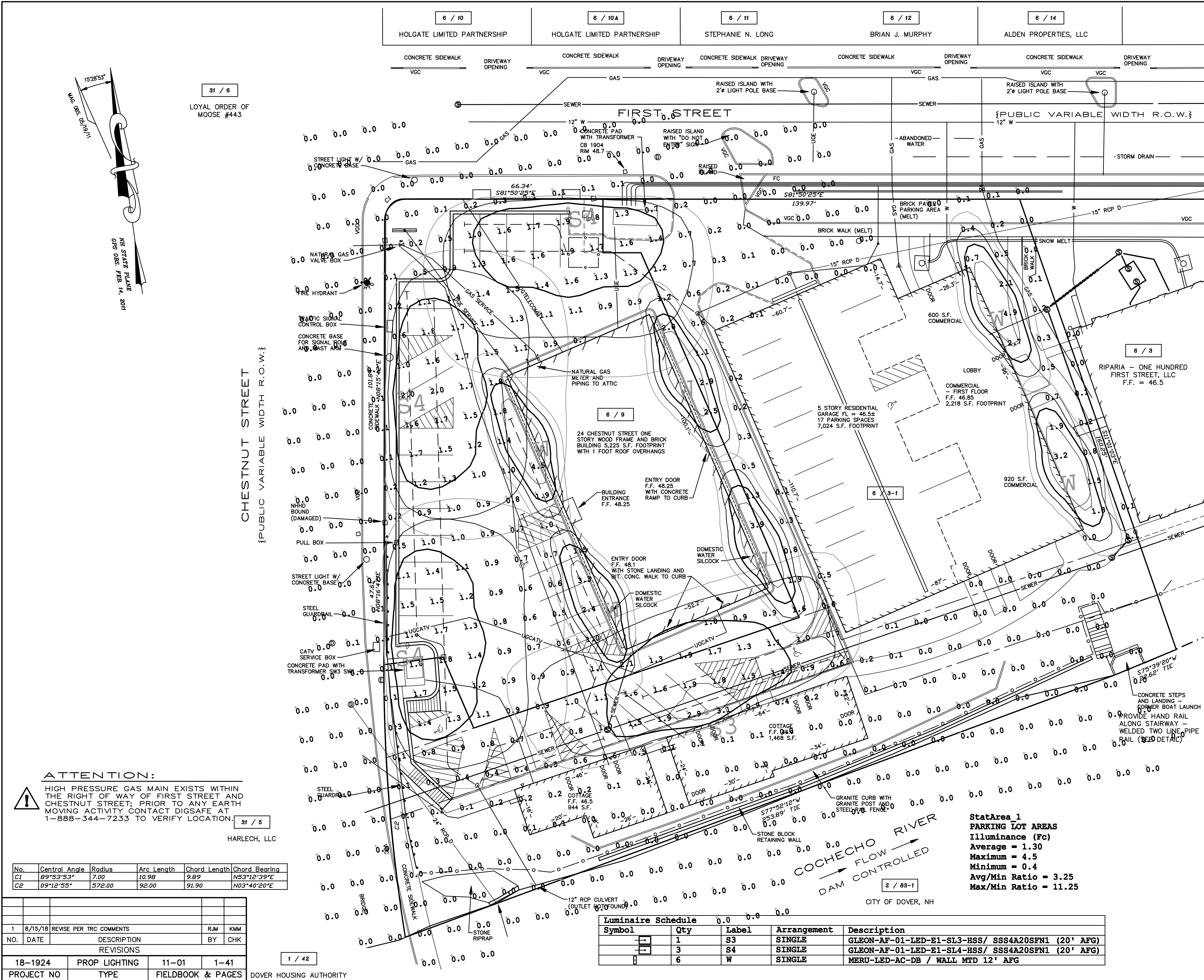
McEneaney Survey Associates
P.O. Box 681 - 24 Chestnut Street
Dover, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

Civilworks New England
civil engineering

P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443





SHEET 8

RIVERS MARK
PROPOSED SITE LIGHTING PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25

DRAWN BY: RJM FILE: W10 CP\1924\18-1924 SD
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McEneaney
Survey
Associates

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c i v i l e n g i n e e r i n g

P.O. Box 1166 181 Watson Road
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StatArea 1
PARKING LOT AREAS
Illuminance (Fc)
Average = 1.30
Maximum = 4.5
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 11.25

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	1	S3	SINGLE	GLEON-AF-01-LED-E1-SL3-HSS/ SSS4A20SFN1 (20' AFG)
	3	S4	SINGLE	GLEON-AF-01-LED-E1-SL4-HSS/ SSS4A20SFN1 (20' AFG)
	6	W	SINGLE	MERU-LED-AC-DB / WALL MTD 12' AFG

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF FIRST STREET AND CHESTNUT STREET; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233 TO VERIFY LOCATION.

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	89°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
1	8/15/18	REVISE PER TRC COMMENTS	RJM	KMM
REVISIONS				
18-1924	PROP LIGHTING	11-01	1-41	
PROJECT NO	TYPE	FIELDBOOK & PAGES	DOVER HOUSING AUTHORITY	

1 / 42

GENERAL NOTES

1. THE INTENT OF THIS PLAN IS TO DEPICT A MIXED USE PROJECT, CONTAINING COMMERCIAL AND RESIDENTIAL SPACES WITHIN TWO BUILDINGS. THE 5 STORY BUILDING WILL CONSIST OF 1520 S.F. OF COMMERCIAL SPACE AND 17 COVERED PARKING SPACES ON THE FIRST FLOOR LEVEL AND 32 GARDEN STYLE RESIDENTIAL UNITS (24 – 2 BEDROOM UNITS & 8 – 1 BEDROOM UNITS) ON THE SECOND THROUGH FOURTH FLOORS. THE 2 1/2 STORY BUILDING WILL CONSIST OF 2412 S.F. OF COMMERCIAL SPACE ON THE FIRST FLOOR LEVEL WITH 6 RESIDENTIAL UNITS (1 – 2 BEDROOM UNIT & 5 – 1 BEDROOM UNITS) ABOVE.
2. CURRENT OWNERS:
MAP 6, LOT 3-1
FIRST STREET AT GARRISON, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOLUME 4228, PAGE 707
- MAP 6, LOT 9
FIRST STREET AT CHESTNUT, LLC
466 CENTRAL AVENUE, SUITE 12
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOLUME 4424, PAGE 295
3. THE PROJECT PARCELS ARE SHOWN AS LOT NO. 3-1 & 9, MAP 6 OF THE CITY OF DOVER TAX ASSESSOR'S MAPS.
4. THE PROJECT PARCELS CONTAINS 49,392 S.F.± / 1.14 Ac.± OF LAND.
5. TITLE REFERENCE FOR THE PROJECT PARCELS IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, BOOK NO. 4228, PAGE NO 707; AND BOOK NO. 4424, PAGE NO. 295.
6. PROJECT PLAN REFERENCES:
A.) DISPOSITION PLAN OF LAND – THE CITY OF DOVER –PARCEL M/1/1, PARCEL P/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: APRIL 29, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 19-43.
- B.) DISPOSITION PLAN OF LAND – PARCEL C/1/1 – DOWNTOWN DOVER No. 1 URBAN RENEWAL PROJECT, DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JULY 19, 1977; BY: METCALF & EDDY, INC. RECORDED S.C.R.D. PLAN 18-53.
- C.) MINOR SUBDIVISION OF LAND PREPARED FOR THE CITY OF DOVER, NH, TAX MAP 6, LOT No. 3, FIRST STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 6, 2014; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107-62.
- D.) EASEMENT AND LICENSE PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3, FIRST STREET & CHESTNUT STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: JANUARY 2, 2014, REVISED THROUGH 5/1/14; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 107-63.
- E.) LOT LINE ADJUSTMENT PLAN PREPARED FOR FIRST STREET AT GARRISON, LLC, TAX MAP 6, LOT No. 3-1, AND FIRST STREET AT CHESTNUT, LLC, TAX MAP 6, LOT No. 9, FIRST STREET & 24 CHESTNUT STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 15'; DATED: MAY 11, 2018; BY THIS OFFICE. TO BE RECORDED.
7. ALL APPLICABLE RIGHT-OF-WAY, CONSERVATION, SLOPE, CONSTRUCTION, UTILITY, ACCESS, OR OTHER EASEMENTS SHALL BE REFERENCED IN A NOTE AND SHOWN ON THE PLAN.
8. ZONING DIMENSIONAL AND DENSITY REQUIREMENTS ARE AS FOLLOWS:
ZONING DISTRICT: CBD (CENTRAL BUSINESS DISTRICT) GENERAL SUBDISTRICT
MINIMUM LOT SIZE: NA
MINIMUM LOT COVERAGE: 75 PERCENT
FRONTAGE BUILDOUT: 70 PERCENT MINIMUM
FRONT PRIMARY BUILD TO LINE: AVERAGE WITHIN 250 FEET OF CENTER OF LOT; ±5 FEET
100 FIRST STREET = 0 FEET
24 CHESTNUT = 38.8 FEET
AVERAGE = 19.4 FEET
FRONT SECONDARY BUILD TO LINE: AVERAGE WITHIN 250 FEET OF CENTER OF LOT; ±5 FEET
SIDE SETBACK: 0 FEET MINIMUM – 24 FEET MAXIMUM
REAR SETBACK: 10 FEET MINIMUM
OUT BUILDING: NOT PERMITTED
PRIVATE FRONTAGES: NOT PERMITTED
HEIGHT OF BUILDING: 2 STORY MINIMUM, 5 STORY MAXIMUM
THIS PROPERTY FALLS WITHIN THE FOLLOWING ZONING OVERLAY DISTRICTS: (NONE)
9. PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY McENEANEY SURVEY ASSOCIATES, INC. WITH AN ERROR OF CLOSURE NOT GREATER THAN 1 IN 10,000 (SEE SHEET 2).
10. THE PROJECT PARCEL IS LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1 PERCENT ANNUAL CHANCE FLOOD, ZONE AE (BASE FLOOD ELEVATIONS DETERMINED); AND AREAS DETERMINED TO BE INSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 330145; PANEL 0310; SUFFIX E; MAP NUMBER 33017C0310E; EFFECTIVE DATE SEPT. 30, 2015.
– WITH REGARDS TO PARCEL 6 / 3-1, REFERENCE IS MADE TO LETTER OF MAP REVISION (LOMR) FEMA CASE No. 14-01-2374A, DATED JUNE 05, 2014.
11. THERE ARE NO WETLANDS ON THE SUBJECT PARCEL.
12. THE MAXIMUM PARKING SPACE CALCULATION IS 1.6 SPACES PER RESIDENTIAL UNIT x 38 UNITS = 61 AND:
* PARKING SPACES PROVIDED PER SITE REDEVELOPMENT PLAN:
= 38 SPACES, OPEN AIR PARKING AT 24 CHESTNUT STREET, AND ALONG FIRST STREET, INCLUDING 2 HANDICAP SPACES.

= 17 SPACES, RESIDENTIAL GARAGE, INCLUDING 1 HANDICAP SPACE.

* TOTAL PARKING SPACES PROVIDED FOR THE SITE:
= 55 SPACES, INCLUDING 3 HANDICAP ACCESSIBLE RESERVED.

* PARKING SPACE SIZE = 9' WIDE x 18' LONG, UNLESS OTHERWISE NOTED,
HANDICAP ACCESSIBLE SPACE SIZE = 8' WIDE x 20' LONG, MINIMUM.

* PAVEMENT / PARKING STRIPING TO BE 4" WIDE / WHITE
13. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET. "AS-BUILT" LOCATIONS FOR ALL UNDERGROUND PRIVATE UTILITIES, INCLUDING, BUT NOT LIMITED TO ELECTRIC (EVERSOURCE), TELEPHONE (FAIRPOINT), AND CATV (COMCAST), SHALL BE RECORDED BY SURVEY PRIOR TO TRENCH BACKFILL. NOTATION ON THE "AS-BUILTS" SHALL INCLUDE QUANTITY AND SIZE OF ALL CONDUITS, AS WELL AS LOCATION AND SIZE OF ALL SURFACE APPURTENANCES SUCH AS TRANSFORMER PADS AND PEDESTALS. TIES FOR CONDUIT LOCATIONS TO ACCEPTABLE MONUMENTS SHALL ALSO BE PROVIDED, AS NECESSARY.
14. EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
15. TOPOGRAPHIC SURVEY PERFORMED BY McENEANEY SURVEY ASSOCIATES, INC. DURING APRIL 2018. SURVEY OF EXISTING CONDITIONS PERFORMED DURING THE MONTHS OF JANUARY THROUGH JUNE 2011, AND UPDATED DURING APRIL AND MAY 2018 BY McENEANEY SURVEY ASSOCIATES, INC. EXISTING UTILITY LOCATION DATA OBTAINED FROM FIELD OBSERVATIONS AND BY DATA PROVIDED BY MOORE LOCATE SERVICE DATED JUNE 2011, AND UPDATED BY DIGSAFE MARKINGS THROUGH MAY 2018

16. BASIS OF BEARINGS IS NH STATE PLANE GRID FROM GPS OBSERVATION TAKEN ON FEBRUARY 14, 2011. VERTICAL DATUM IS NAVD88.
17. A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE I, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER. (IF A BUSINESS ESTABLISHMENT OR MULTI-FAMILY DWELLING CONTAINED IN A NEW, ALTERED OR REPAIRED STRUCTURE)
18. COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM WITH DOVER CITY CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
19. THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED.
20. THE SUBJECT PARCELS ARE SERVED BY MUNICIPAL WATER AND SEWER.
21. ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION. SEE PERMANENT SEEDING CHART SHEET 11.
22. THE OWNER OF RECORD SHALL RECORD AT THE REGISTRY OF DEEDS DOCUMENTATION SUFFICIENT TO PROVIDE NOTICE TO ALL PERSONS THAT MAY ACQUIRE ANY PROPERTY SUBJECT TO THE REQUIREMENTS AND RESPONSIBILITIES DESCRIBED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE NOTICE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR RECORDING CONTAINED IN RSA 477 AND 478. THE NOTICE NEED NOT SET FORTH THE REQUIREMENTS AT LENGTH, SO LONG AS IT IS SUFFICIENT TO PROVIDE NOTICE TO PROSPECTIVE PURCHASERS TO THE REQUIREMENTS FOR MAINTENANCE AND REPORTING.
23. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN THE 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
24. ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
25. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE AND APPROVED CONSTRUCTION SIGN SHALL BE IN PLACE PRIOR TO ANY EARTH DISTURBING ACTIVITY.
26. SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM, SATURDAY AND SUNDAY 9 AM-4 PM. HOURS OF CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR ASSISTANT CITY MANAGER.
27. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
28. ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION*AND WITH THE CITY OF DOVER COMMUNITY SERVICES REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
29. APPROVED BACKFLOW PREVENTORS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
30. THE PROPOSED STRUCTURES SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER CHAPTER 109, ARTICLE IV, SECTION 109-30 (AS REQUIRED BY I.B.C. AND NFPA 101 LIFE SAFETY CODE, LATEST EDITIONS) OF THE CODE OF THE CITY OF DOVER.
31. SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED.
32. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13.
33. BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
34. THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL BE ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS.
35. THE PROPOSED USE FOR THE SITE (STRUCTURES) ARE MIXED COMMERCIAL AND RESIDENTIAL.
36. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY: NONE.)
37. VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT – NONE

CONDITIONAL USE PERMITS GRANTED BY THE PLANNING BOARD FOR THE PROPOSED USE OR STRUCTURE, (PENDING)
– LOT COVERAGE – CASE NUMBER _____ AND DATE OF DECISION ____/____/____; CONDITIONS:
– FRONTAGE BUILDOUT – CASE NUMBER _____ AND DATE OF DECISION ____/____/____; CONDITIONS:
– STREET WALLS – CASE NUMBER _____ AND DATE OF DECISION ____/____/____; CONDITIONS:

38. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
39. THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.
40. THE PLANS AND SPECIFICATIONS ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSION, ERRORS OR DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY THE "DESIGN ENGINEER" THEREBY DEFINING AND FULFILLING THE INTENT OF THE PLANS.
41. CONSTRUCTION WILL CONFORM TO THE FOLLOWING UTILITIES STANDARDS AND SPECIFICATIONS:
A) SANITARY SEWAGE DISPOSAL – N.H. DEPARTMENT OF ENVIRONMENTAL SERVICES
B) ELECTRICAL DISTRIBUTION – EVERSOURCE
C) TELEPHONE – FAIRPOINT
D) CABLE T.V. – COMCAST
E) WATER – N.H. DEPARTMENT OF ENVIRONMENTAL SERVICES
ALL PROPOSED ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, EASEMENTS ARE TO BE PROVIDED WHERE APPLICABLE.
CONTACT INDIVIDUAL UTILITY COMPANIES TO DETERMINE CONDUIT SIZES AND SCHEDULES
42. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
43. ALL DRAINAGE PIPES SHOWN SHALL BE RCP CLASS IV OR HDPE, UNLESS OTHERWISE NOTED.
44. PROPOSED SANITARY SEWER PIPING SHALL BE 8" OR 6" P.V.C., SDR 35, AS SHOWN, INDIVIDUAL SERVICES SHALL BE 4" P.V.C., SDR 35 AND LOCATED WITHIN THE PROPOSED BUILDING.
45. PROPOSED WATER SERVICE PIPING SHALL BE 6" DUCTILE IRON, CL. 52, CEMENT LINED AND POLYWRAPPED PER AWWA STANDARDS. FIRE PROTECTION SERVICE/DOMESTIC SERVICE WILL BE TAPPED FROM SAID 6" PIPE WITHIN THE PROPOSED BUILDING.
46. UNDERDRAINS SHALL BE PROVIDED WHERE SHOWN ON PLAN AND/OR AS DIRECTED BY THE ENGINEER AS FIELD CONDITIONS WARRANT.
47. SHOP DRAWINGS OF ALL PIPE, DRAINAGE STRUCTURES, AND THE LIKE SHALL BE SUBMITTED TO THE CITY ENGINEER FOR HIS REVIEW AND APPROVAL PRIOR TO ANY INSTALLATION OF SAME.
48. REMOVAL OF ANY ROADWAY OR SIDEWALK SIGNAGE SHALL BE COORDINATED WITH THE CITY OF DOVER COMMUNITY SERVICES DEPARTMENT.
49. TOTAL AREA OF BUILDING FOOTPRINT = 5,225 S.F. EXISTING 24 CHESTNUT STREET BUILDING
TOTAL AREA OF BUILDING FOOTPRINT = 9,242 S.F. 5 STORY MIXED USE BUILDING
TOTAL AREA OF BUILDING FOOTPRINT = 2,604 S.F. 2 1/2 STORY MIXED USE COTTAGES
50. THERE SHALL BE NO ROADWAY CONSTRUCTION ON WET OR FROZEN SUBGRADE.
51. LIMIT CUTTING OF TREES AND VEGETATION TO THE MINIMUM REQUIRED ON-SITE.

52. ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 4" OF HIGH QUALITY LOAM AND SHALL BE SEEDED WITH GRASS. SEE PERMANENT SEEDING NOTES.
53. ALL BACKFILL IN TRENCHES AND FILL FOR ROADBEDS SHALL BE THOROUGHLY COMPACTED TO 95% OF OPTIMUM DENSITY.
54. THE CONTRACTOR SHALL MAINTAIN ADDITIONAL EROSION / SEDIMENT CONTROL MEASURES AS REQUIRED TO ASSURE THAT SOIL EROSION IS MINIMIZED AND THAT NO EROSION OCCURS OUTSIDE THE LIMITS OF THE PROPERTY.
55. ALL TEMPORARY EROSION CONTROL DEVICES PLACED SHALL BE MONITORED AND MAINTAINED THROUGHOUT CONSTRUCTION UNTIL ALL DISTURBED AREAS ASSOCIATED WITH THE PROPOSED IMPROVEMENTS HAVE BEEN STABILIZED. REMOVAL OF THESE DEVICES SHALL BE OPTIONAL AND AS DIRECTED BY THE ENGINEER IN THAT SOME LOCATIONS MAY BE LEFT TO AFFORD PROTECTION FOR INDIVIDUAL LOT DEVELOPMENT. FINAL REMOVAL, HOWEVER, OF ANY OF THESE DEVICES SHALL BE SUBJECT TO APPROVAL BY THE SUBDIVISION INSPECTOR.
ALL TEMPORARY LOAM STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES
56. SEDIMENT CONTROL DEVICES SHALL BE PROVIDED IN ALL LOCATIONS DOWN-SLOPE OF ANY WORK, WHETHER SHOWN ON PLANS OR NOT.
57. ADDITIONAL TEMPORARY CONTROL DEVICES MAY BE REQUIRED PURSUANT TO THE ON-SITE DIRECTION OF THE PLANNING BOARD (OR ITS AUTHORIZED AGENT) OR INSPECTOR.
58. ALL FINISHED SLOPES SHALL BE TREATED AS FOLLOWS:

3:1 SLOPES OR FLATTER
WILDFLOWER MIX (SUN) OR BIRDSFOOT TREFOLI AND RYE MIX (SHADE), HAY MULCH AS REQUIRED. PROVIDE 10% RYE MIX WITH WILDFLOWER MIX FOR TEMPORARY STABILIZATION.

2:1 SLOPES TO 3:1 SLOPES
SLOPE MIX OF 50% CREEPING RED FESCUE, 30% KENTUCKY TALL FESCUE, 10% ANNUAL RYE GRASS, 5% REDTOP, 5% LADINO CLOVER, HYDROSEED AND HAY MULCH.

SLOPES GREATER THAN 2:1
EROSION CONTROL BLANKET ALONG WITH SLOPE MIX SPECIFIED ABOVE. EROSION CONTROL BLANKET SHALL BE CURLAX BLANKETS AS MANUFACTURED BY AMXCO (OR EQUAL) AND STAPLED IN PLACE.

DRAINAGE SWALES
SEE DETAIL SHEET 10

HAY MULCH AND TACKING
TO BE FIELD SPECIFIED BY ENGINEER DEPENDING ON WEATHER CONDITIONS AND TIME OF SEEDING.

TOPSOIL
ALL DISTURBED AREAS TO HAVE 4" MINIMUM TOPSOIL AND SHALL BE SEEDED.

MAINTENANCE
ALL DISTURBED AND TREATED AREAS TO BE MAINTAINED UNTIL MATURE GROWTH IS ESTABLISHED.

59. ALL SLOPED GRANITE CURB ENDS SHALL BE TIPPED DOWN (SEE DETAIL) UNLESS BUTT TO ANOTHER FINISH.
60. SNOW STORAGE SHALL BE MANAGED THROUGH PROPER ON-SITE AND OFF-SITE DISPOSAL.
61. TRASH STORAGE WILL BE BY ON-SITE DUMPSTERS.
62. PROPOSED ON-SITE WALKWAYS TO BE BRICK AND / OR PERVIOUS PAVER (SEE DETAILS).

SHEET 9

RIVERS MARK
GENERAL NOTES
PREPARED FOR

FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25

DRAWN BY: *RJM* FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15' DATE: MAY 11, 2018



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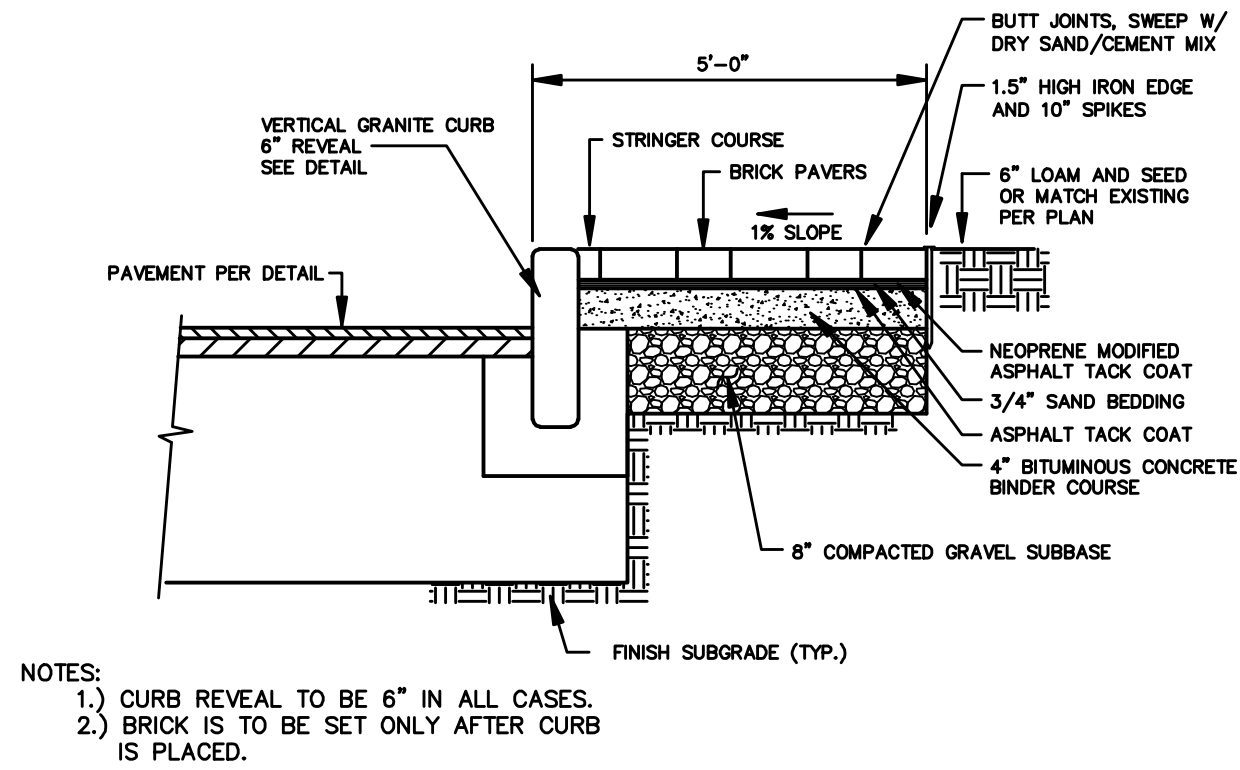
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Dover, NH 03820 (603) 742-0911

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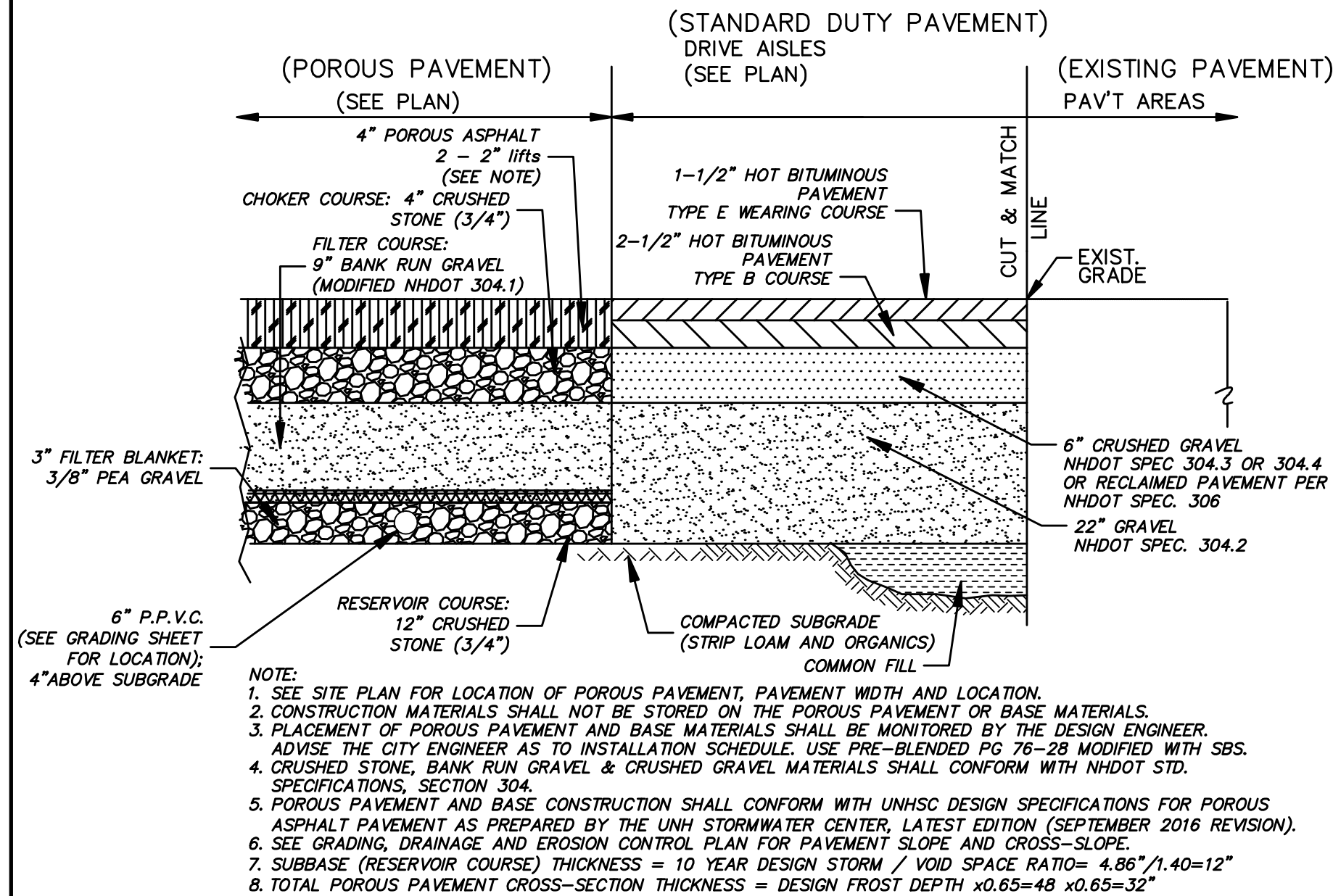
c i v i l e n g i n e e r i n g

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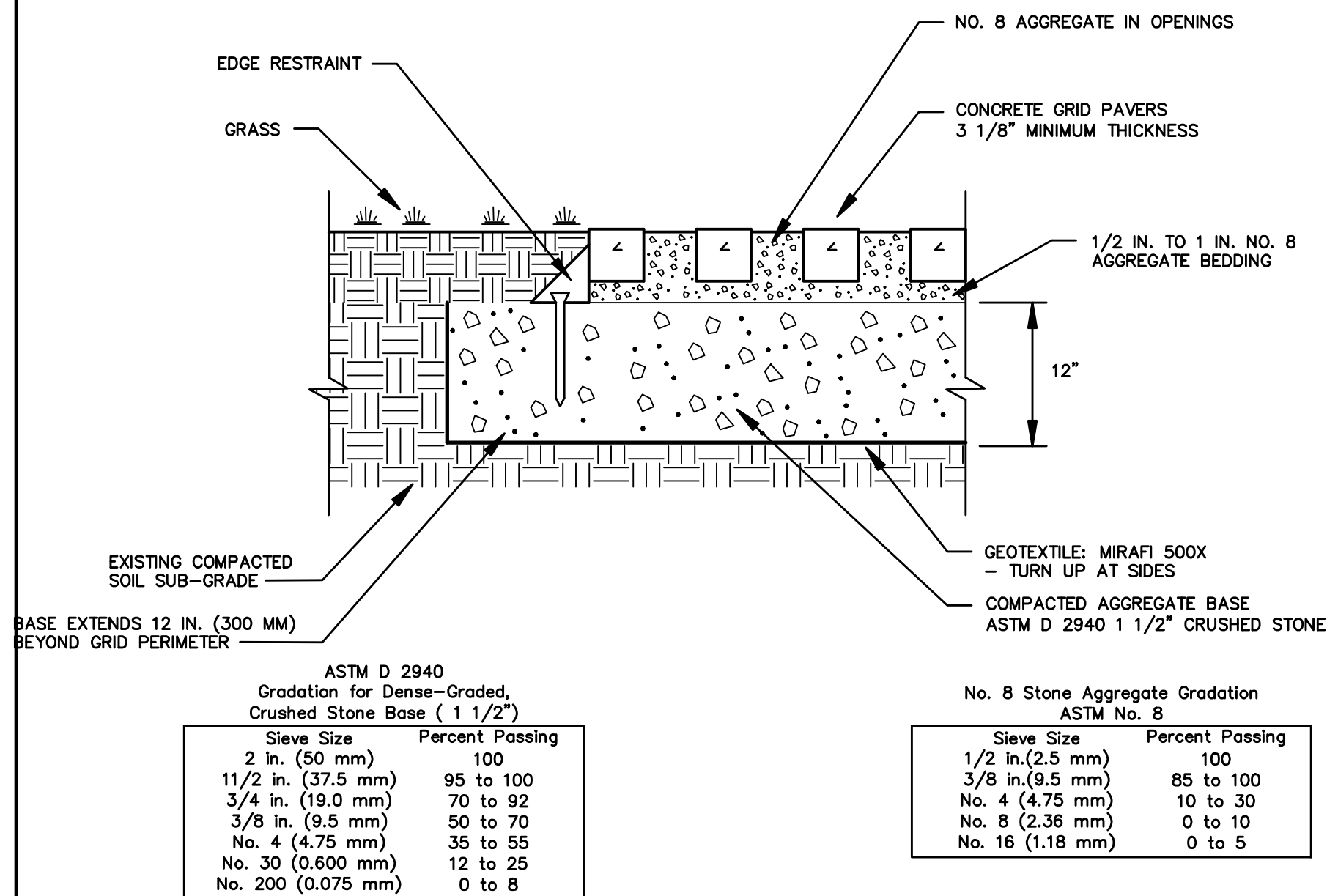
TYPICAL BRICK SIDEWALK SECTION

NOT TO SCALE



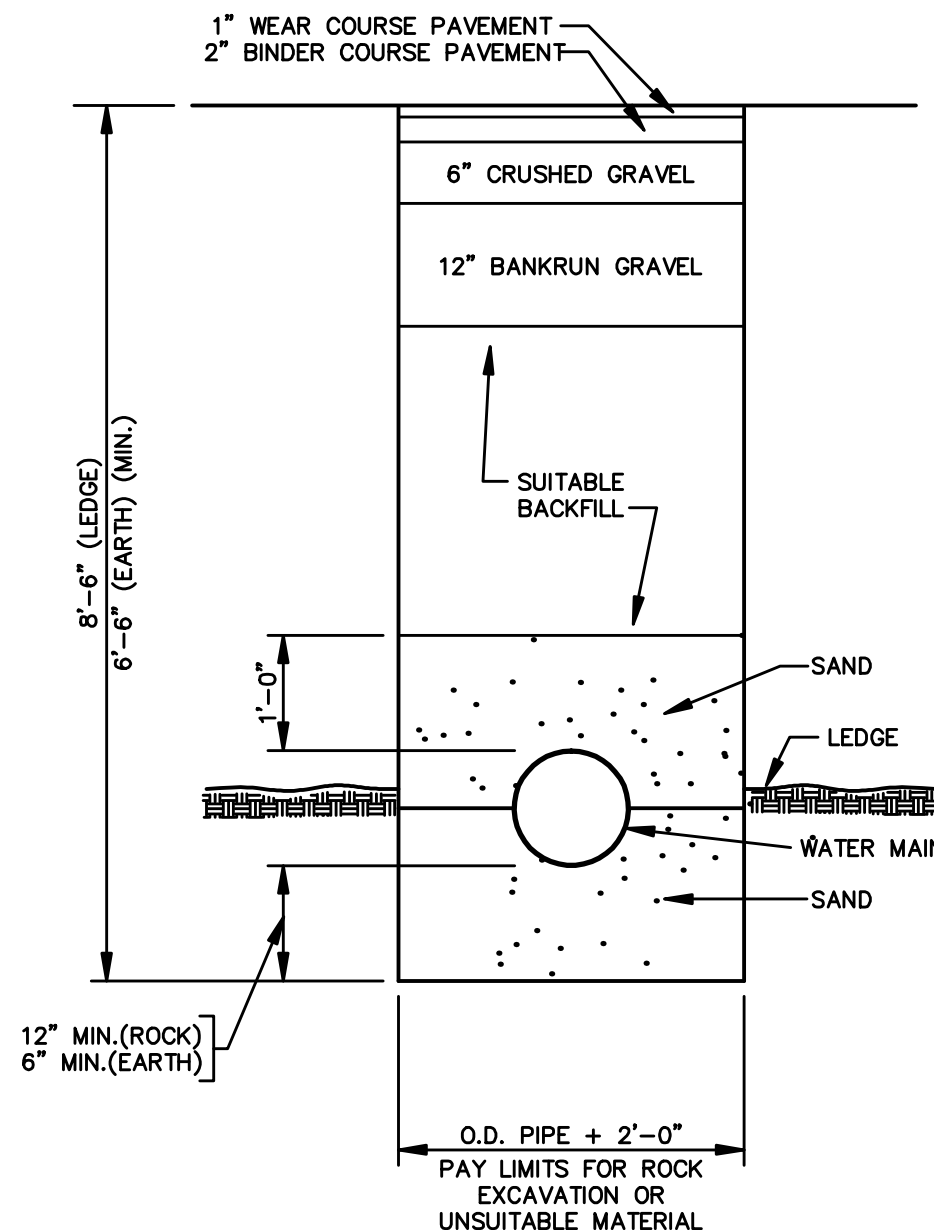
STANDARD DUTY & POROUS PAVEMENT SECTION

NOT TO SCALE



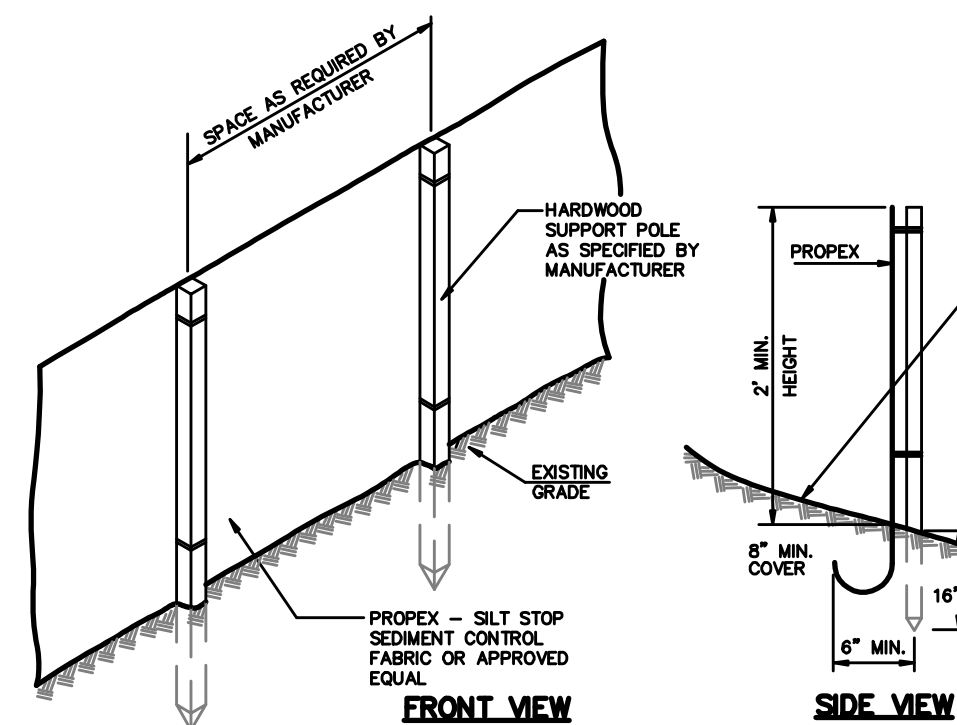
PERMEABLE CONCRETE GRID PAVERS WITH FULL EXFILTRATION TO SOIL SUBGRADE

NO SCALE



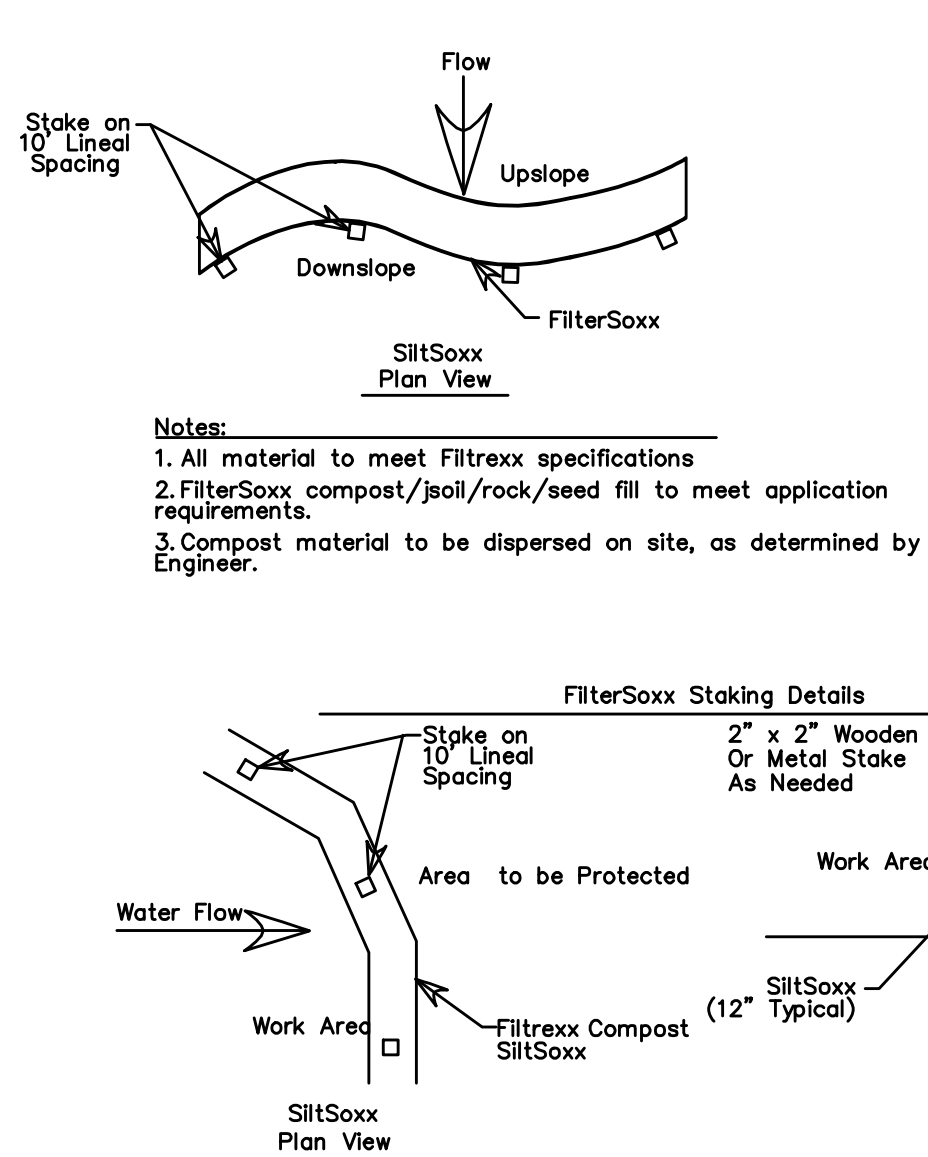
TYPICAL WATER TRENCH

NOT TO SCALE



SILT FENCE DETAIL

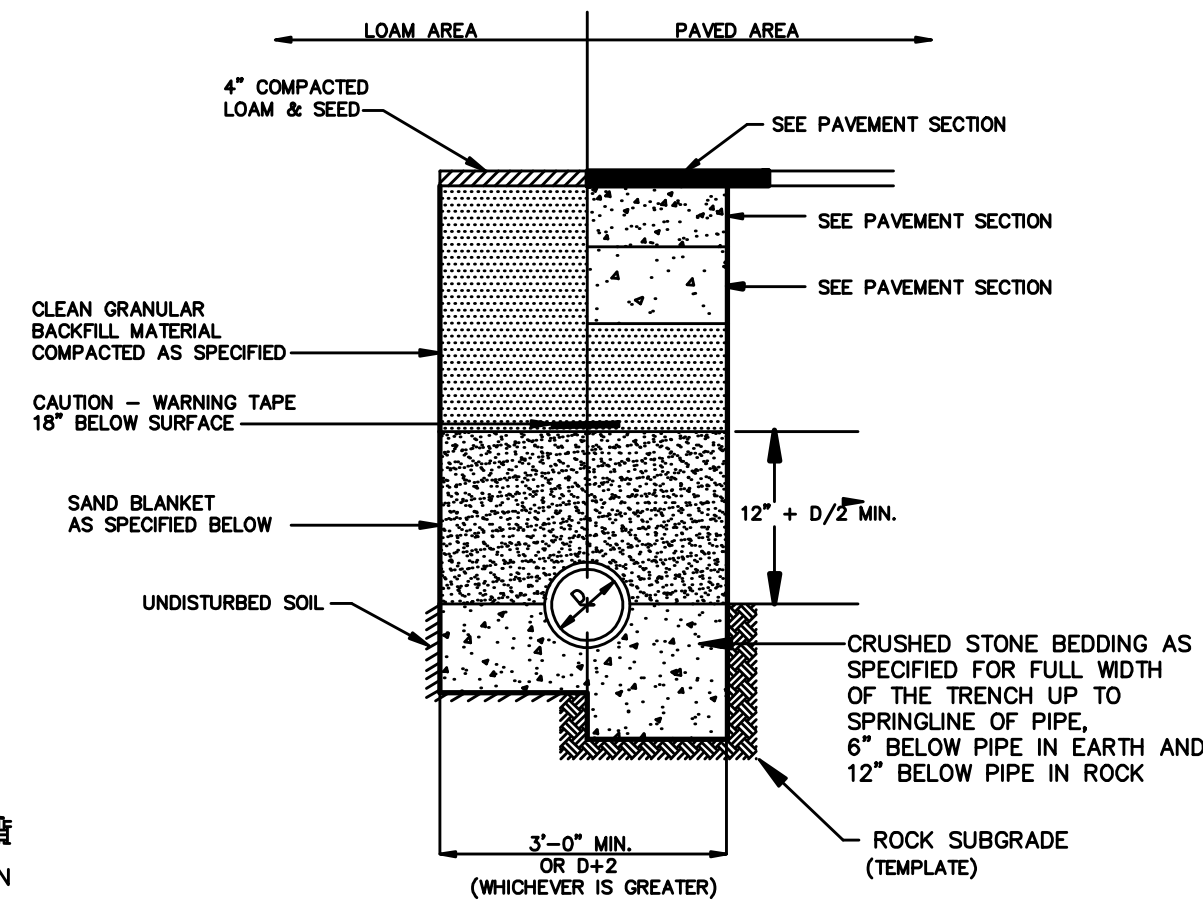
NOT TO SCALE



- Notes:
1. All material to meet Filtrix specifications
2. SiltSoxx compost/soil/rock/seed fill to meet application requirements.
3. SiltSoxx depicted is for minimum slopes. Greater slopes may require larger socks per the Engineer.
4. Compost material to be dispersed on site, as determined by Engineer.

SiltSoxx Details

NOT TO SCALE



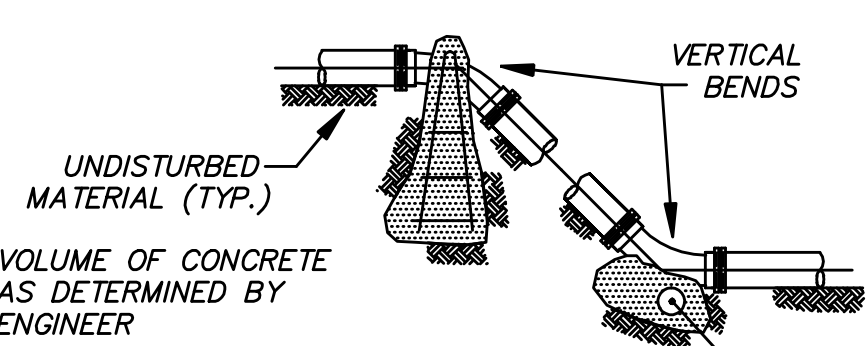
BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

SAND BLANKET		CRUSHED STONE BEDDING *	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

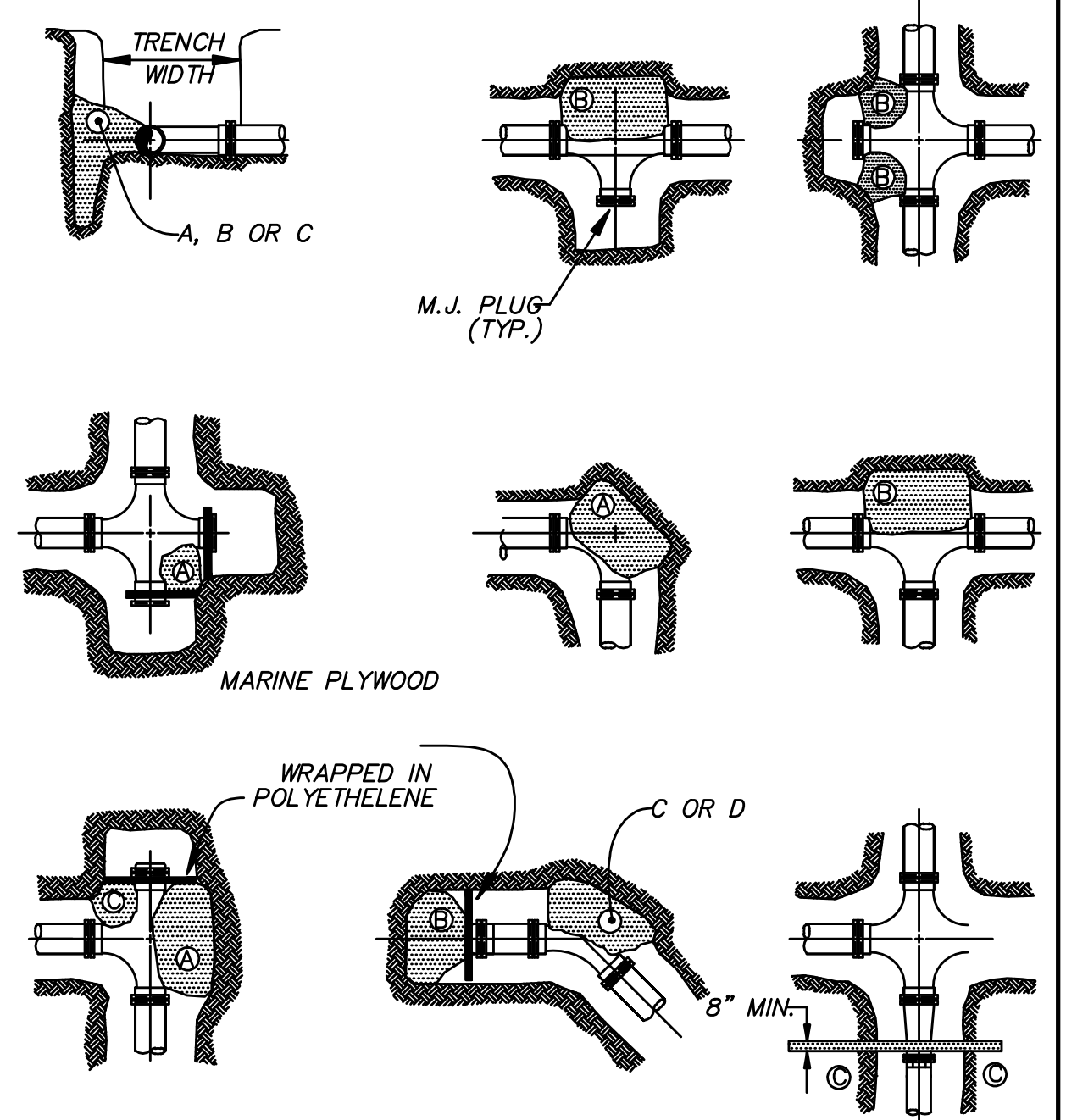
UTILITY TRENCH SECTION

NOT TO SCALE



SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL		PIPE SIZE			
REACTION TYPE		4"	6"	8"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

- NOTES:
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
2. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
3. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.

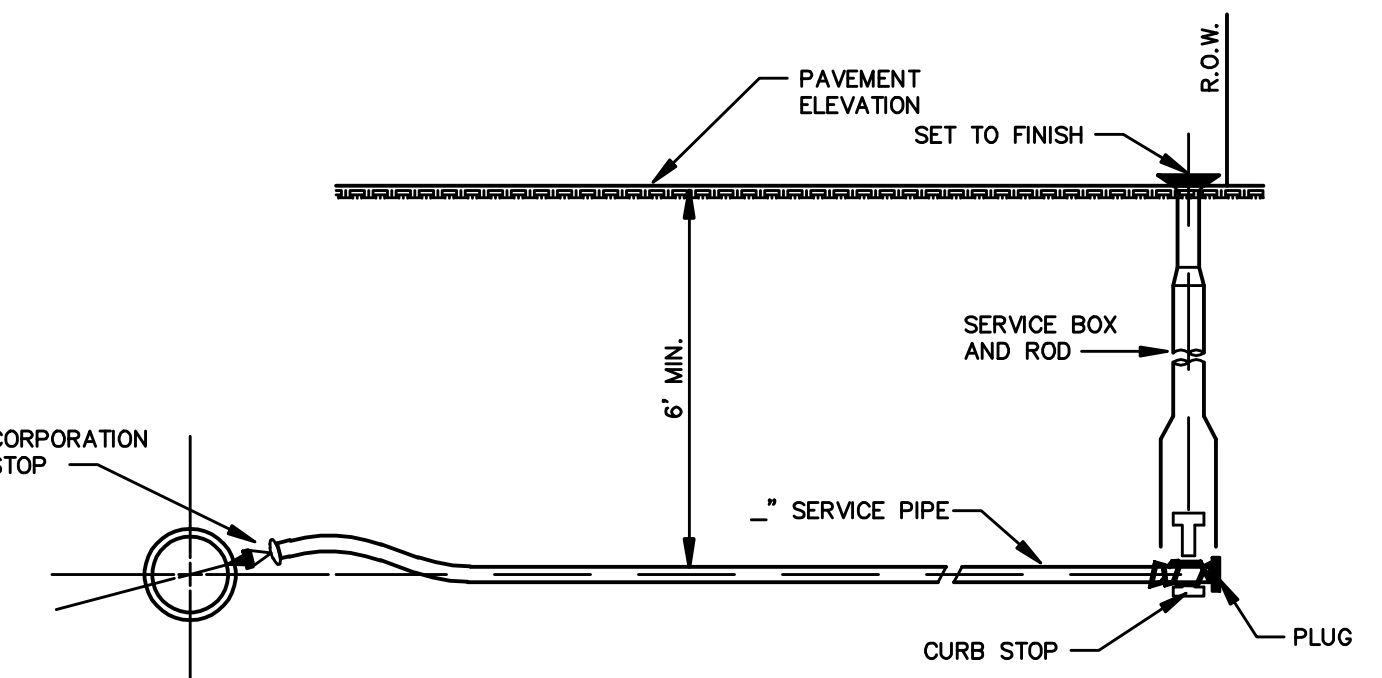


THRUST BLOCKING DETAIL

NOT TO SCALE

WATERMAIN CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DETAILS SHOWN HEREON AND THE FOLLOWING MATERIALS SPECIFICATIONS:

MAIN	- C.L.D.I. CL. 52 AWWA C 151-65.
FITTINGS	- M.J.D.I.P.C.L. AWWA C 153, CL. 350
HYDRANTS	- EDDY TYPE MFR.
GATE VALVES	- CLOW OR MUELLER, OPEN CC.
HYDRANT PIPING	- D.I.P. CL. 52 C.L.
CORP. STOP AND CURB STOP	- HAYES, FORD OR McDONALD MFR.
SERVICE LINE	- TYPE K SOFT ASTM B88.
CURB BOX	- SLIDING ERIE TYPE.



TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE

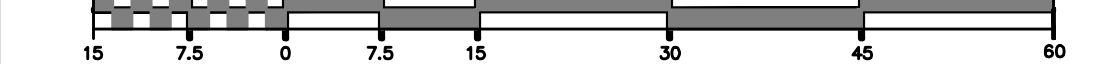
SHEET 10

RIVERS MARK
PROPOSED SITE DETAIL SHEET 1
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY OF DOVER
COUNTY OF STRAFFORD
STATE OF NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25

DRAWN BY: RJM FILE: W10 CP\1924\18-1924 SD

SCALE: 1" = 15' DATE: MAY 11, 2018



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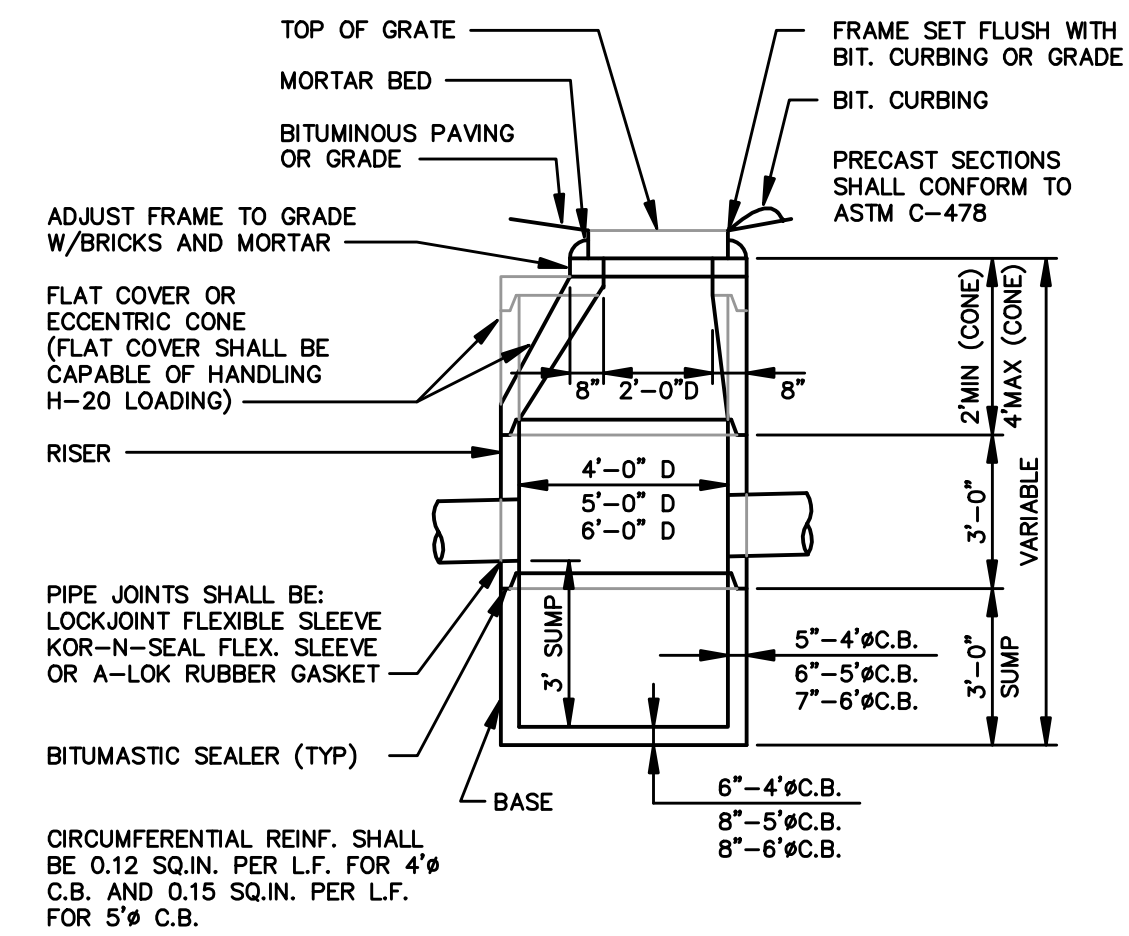
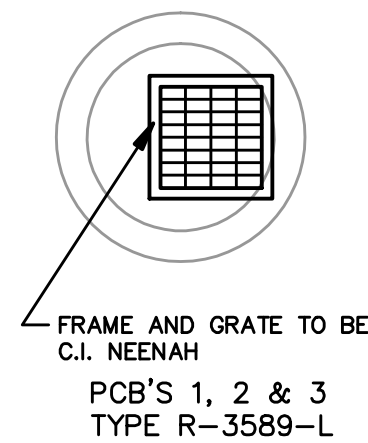
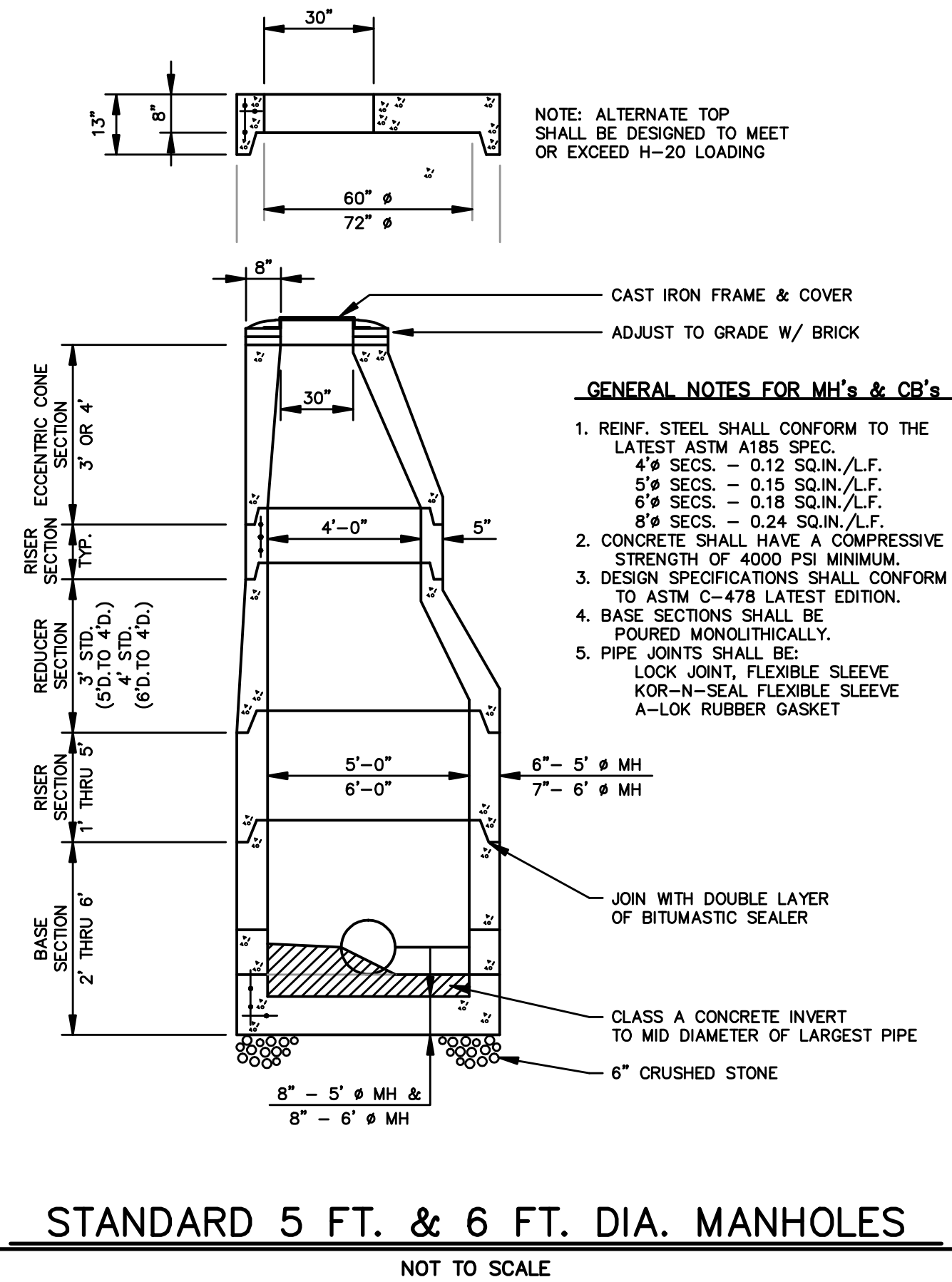
SURVEYING - PLANNING - CONSULTING

Civilworks New England

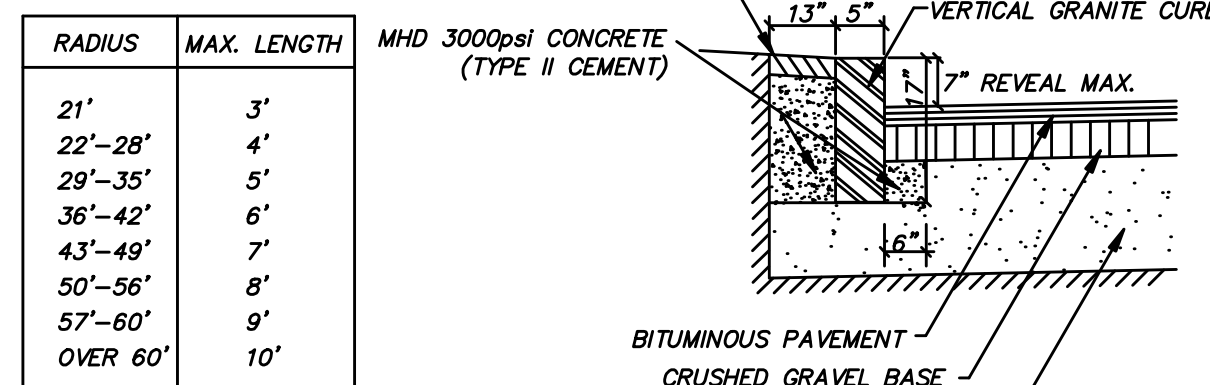
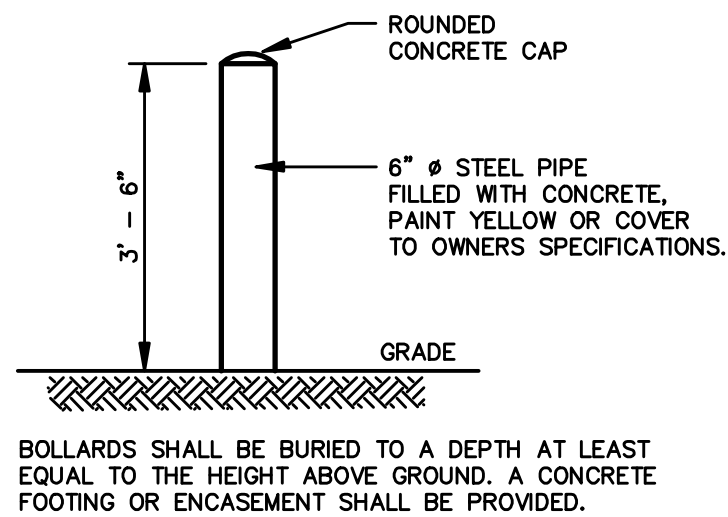
c i v i l e n g i n e e r i n g

P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

1	8/15/18	REVISE PER TRC COMMENTS	RJM	KMM
NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
18-1924	DETAIL 1	11-01	1-41	
PROJECT NO	TYPE	FIELDBOOK & PAGES		



- All construction shall conform with the State of New Hampshire Department of Transportation (NHDOT), "Standard Specifications for Road and Bridge Construction"; hereinafter referred to as the "Standard Specifications".
- Storm drains shall be reinforced concrete pipe, class IV, and shall be jointed with neoprene "D" rings.
- Catch basins and manholes shall be pre-cast reinforced concrete designed by an engineer registered in New Hampshire, and able to withstand loadings of 8 tons (H20 Loading).
- Manholes shall have cast iron frames and covers with 30" inside diameter openings. A 3-inch (minimum) letter "D" for drain shall be plainly cast into the center of each cover.
- Catch basins and manholes shall be adjusted to grade with courses of brick. Maximum adjustment to grade shall be 12 inches. Frames shall be set on a full bed of mortar, true to grade and concentric with the masonry. All voids between the top of the structure and the bottom flange of the frame shall be completely filled to make a watertight fit. A ring of mortar at least one inch thick and pitched to shed water away from the frame, shall be placed over and around the outside of the bottom flange. The mortar shall extend to the outer edge of the masonry all around its circumference and shall be finished smooth. No visible leakage will be permitted.
- Invert channels of sewer manholes shall be formed smoothly to the largest pipe radius. Changes in grade shall be formed smoothly and evenly. The floor of the structure outside the channels shall be sloped towards the channels at approximately 1/2 inch per foot. The floor at the channel shall match the crown of the largest pipe.
- rench construction will conform with Section 603.3.1 of the Standard Specifications (1974).
- ood sheeting or a suitable trench box shall be used to support the trench as necessary. If wood sheeting is used, it shall be driven at a distance of 1 foot from the outside diameter of the pipe to a depth 6 inches below the invert of the pipe. Wood sheeting shall be cut off and left in place to an elevation not less than 1 foot above the top of the pipe, but not greater than 3 feet below the finished grade.
- edding shall conform with Section 603.3.2 of the Standard Specifications (1974).
- Backfill material will conform with Section 603.3.5 of the Standard Specifications (1974) and, in addition, shall exclude debris, pieces of pavement, organic matter, top soil, all wet or soft muck, peat or clay, all excavated ledge material, frozen material, all rocks over 6 inches in largest dimension, or any material which, as determined by the Engineer, will not provide sufficient support or maintenance. Backfill shall not be placed on frozen or previously frozen material.
- All backfill and bedding compaction shall meet the requirements of AASHTO T 99 Method C. Density shall be 95 percent. Compaction shall be 6 inch lifts for bedding and backfill to a plane 1 foot above the pipe and in 12 inch lifts thereafter by an approved mechanical compactor.
- Should frozen material be encountered, it shall not be placed in the backfill nor shall backfill be placed upon frozen material. Previously frozen material shall be removed as required before new backfill is placed.
- The Contractor shall be responsible for any damage to frames and grates during and from the time of removal from the existing structure to and during the time of resetting, and shall replace in kind any damaged frames or grates at no additional compensation.
- Existing excavated reinforced concrete pipe may be reused where it is found to be undamaged and meets the requirements set forth in these specifications. Excavated pipe proposed for reuse is subject to inspection and approval by the Engineer.
- All trenches will be covered and debris, including any rejected materials, shall be removed daily. Strict safety precautions shall be maintained at all times.
- Location of utilities shown on the plans are approximate.
 - the Contractor shall, 48 hours prior to construction, notify the utility companies and have all utilities in the vicinity of the construction marked in the field.
 - after the utilities have been located and prior to construction, the Contractor with the Engineer, shall layout the proposed drainage system in the field and rectify any utility conflicts which may be found.
 - Any conflicts with utilities found during construction by the Contractor shall be immediately brought to the attention of the Engineer and the Utility Company and properly rectified.
 - The Contractor is responsible for the cost of repair for any utilities damaged during construction. The Contractor shall contact the Utility Company to repair any damages, however, the Contractor may make appropriate repairs with the Utility Company's permission.
- Complete shop drawings for pipe, manholes, catch basins, frames, grates and covers shall be submitted in triplicate for approval by the Engineer prior to the start of construction. Each shop drawing shall be checked and initialized by the Contractor to indicate approval before it is submitted to the Engineer.
- Shop drawings for flat concrete covers shall be stamped prior to submission for approval by a New Hampshire Registered Professional Engineer.
- Brick masonry for setting frames and brick and mortar plugs shall conform to the Standard Specification Section 604.2.4.

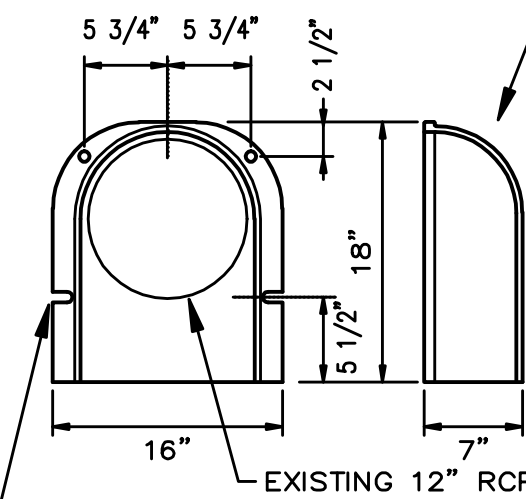


- NOTES**
- SEE SITE PLAN FOR LIMITS OF CURBING.
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 - MINIMUM LENGTH OF CURB STONES = 3'
 - MAXIMUM LENGTH OF CURB STONES = 10'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE CHART)
 - ALL RADI 20 FEET AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

VERTICAL GRANITE CURB

NOT TO SCALE

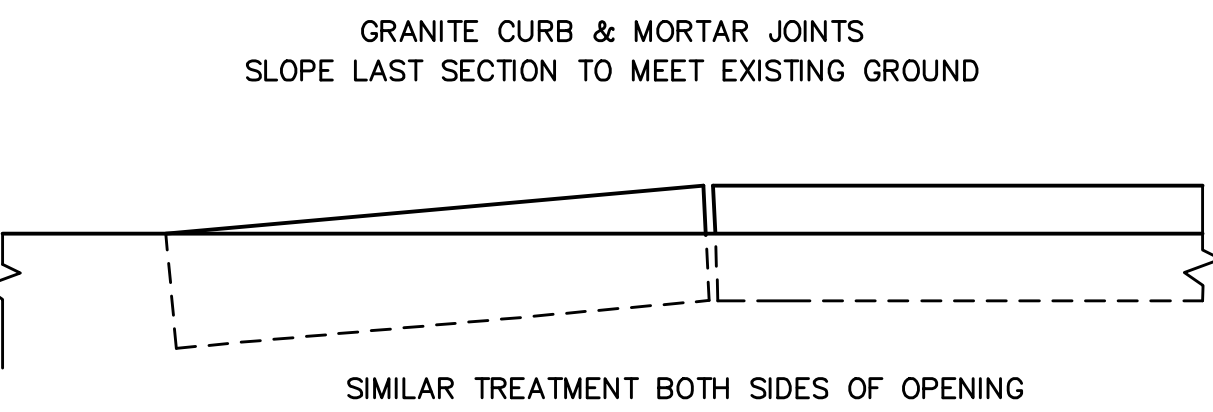
NEENAH FOUNDRY CATCH BASIN
HOOD TYPE "R-3700"



CATCH BASIN HOOD DETAIL

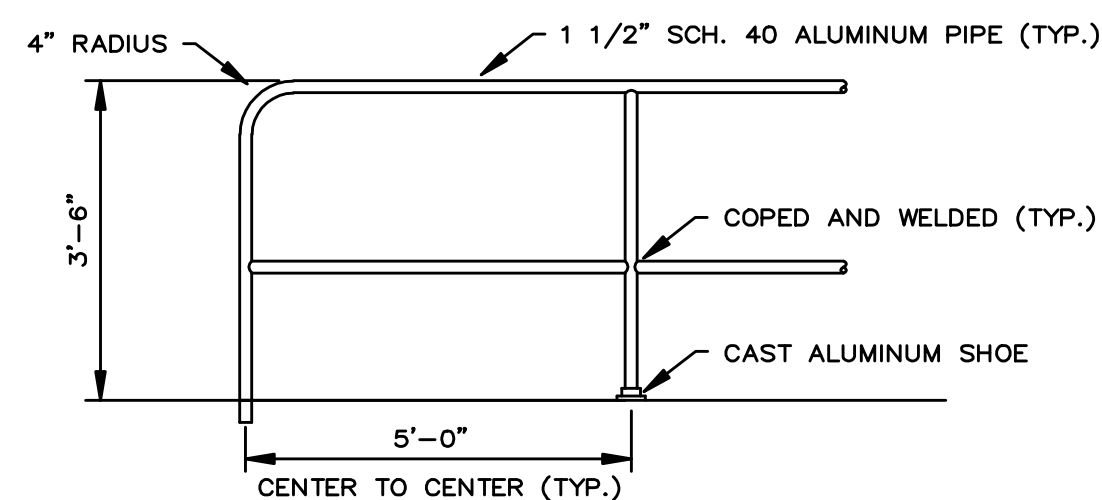
NOT TO SCALE

ALL CATCH BASINS TO HAVE HOODS MOUNTED OVER OUTLET PIPE



TYPICAL CURB CUT

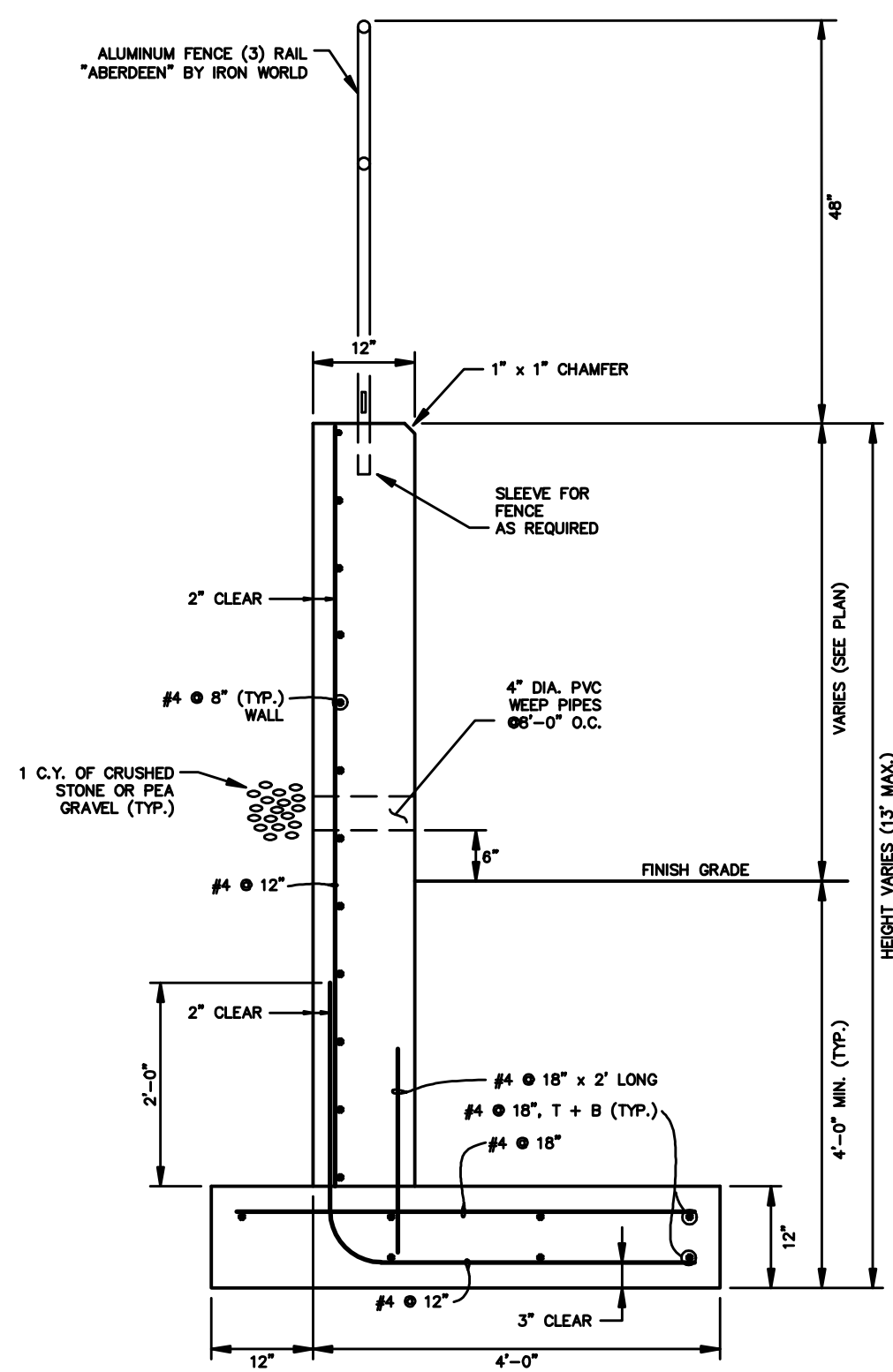
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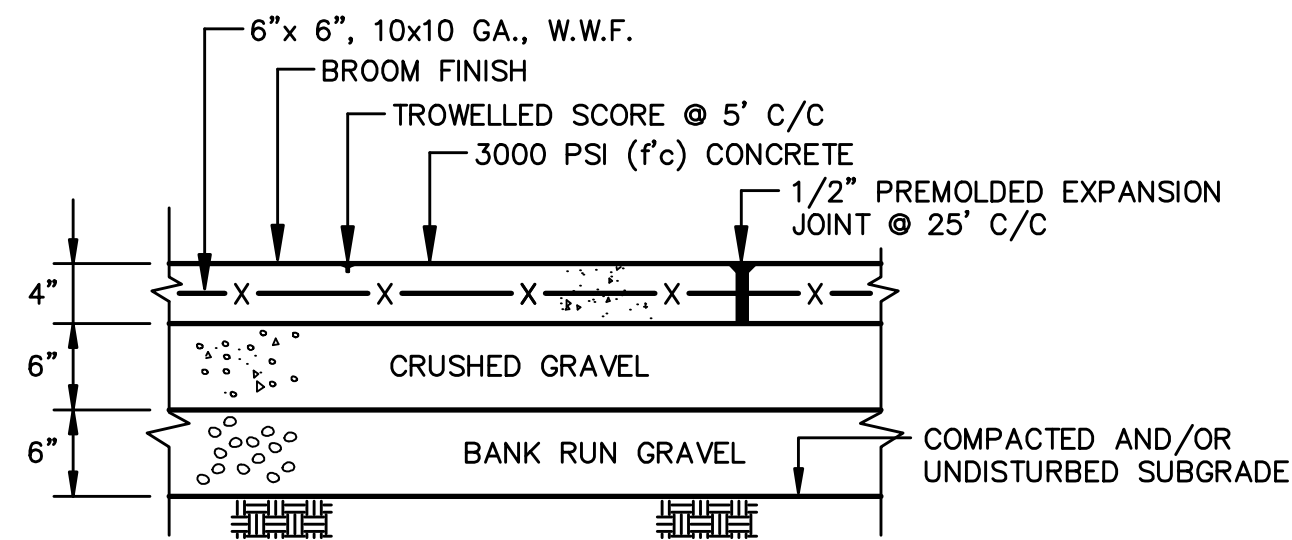
HAND RAIL DETAIL WELDED TWO LINE PIPE RAIL

NOT TO SCALE

AS MANUFACTURED BY AMERICAN RAILING SYSTEMS, INC.



- NOTES:**
- CONCRETE TO BE 4000 P.S.I. ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS
 - ANY HIGH EARLY STRENGTH ADDITIVES MUST NOT BE CORROSIVE TO REINFORCING STEEL. CONCRETE MIX AND ANY ADDITIVES PROPOSED BY CONTRACTOR TO BE APPROVED BY THE ENGINEER
 - WINTER CONCRETING PROCEDURES TO COMPLY WITH ACI 318-83 RECOMMENDATIONS AND DOVER BUILDING CODE
 - REINFORCING STEEL TO BE GRADE 60 NEW BILLET STEEL DEFORMED BARS
 - WALL MUST NOT BE BACKFILLED BEHIND UNTIL FILL IN FRONT (I.E. DUMPSTER SIDE) COMPLETED AND DRAINS INSTALLED
 - COVER TO BE 2", EXCEPT 3" TO STEEL IN UNDERSIDE OF FOOTING
 - CONTRACTOR TO BE RESPONSIBLE FOR TEMPORARY SHORING OF EXCAVATION FOR RETAINING WALL
 - FILL BEHIND WALL MUST BE FREE DRAINING, CLEAN GRAVEL BORROW (NO CLAY)
 - BURIED BACK FACE OF WALL TO BE PAINTED WITH BITUMINOUS DAMPROOFING TO WITHIN 6" OF FINISHED GRADE (I.E. UNDERSIDE OF LOAM)
 - DESIGN ASSUMES MAXIMUM SOIL BEARING PRESSURE OF 1.5 TONS / S.F.
 - ANY UNSUITABLE MATERIAL UNDER FOOTINGS TO BE REMOVED AND REPLACED WITH COMPACTED GRAVEL BORROW AS REQUIRED BY THE ENGINEER.
 - SEE SITE PLAN FOR BOUNDARY AND WALL LOCATION AND GENERAL SITE GRADING
 - PROVIDE KEYWAYS IN FOOTINGS - 2" DEEP BY 4" WIDE



PERMANENT SEEDING:

- Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 4" to prepare a seedbed and mix fertilizer into the soil.
- Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
Agricultural Limestone @ 100 lbs. per 1,000 s.f.
10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.
- Seed Mixture (recommended):
Rate:

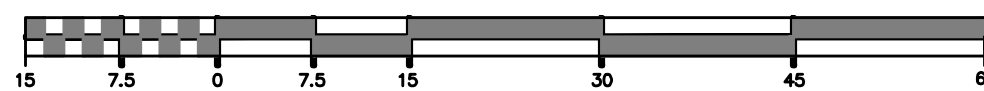
Type	LBS. per Acre	LBS per 1,000 s.f.
Tall Fescue	20	0.45
Creeping Red Fescue	20	0.45
Birdfoot Trefoil	8	0.20
Total	48	1.10
- Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding on area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook.
Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water coursed, easily erodible soils (fine sand/silt) etc.
- Provide a minimum of 4 inches (5 inches loose) of topsoil to all areas to be seeded.

SHEET 11

RIVERS MARK
PROPOSED SITE DETAIL SHEET 2
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY OF DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25

DRAWN BY: **RJM** FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15' DATE: MAY 11, 2018



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Associates

P.O. Box 681 - 24 Chestnut Street
Dover, NH 03820 (603) 742-0911

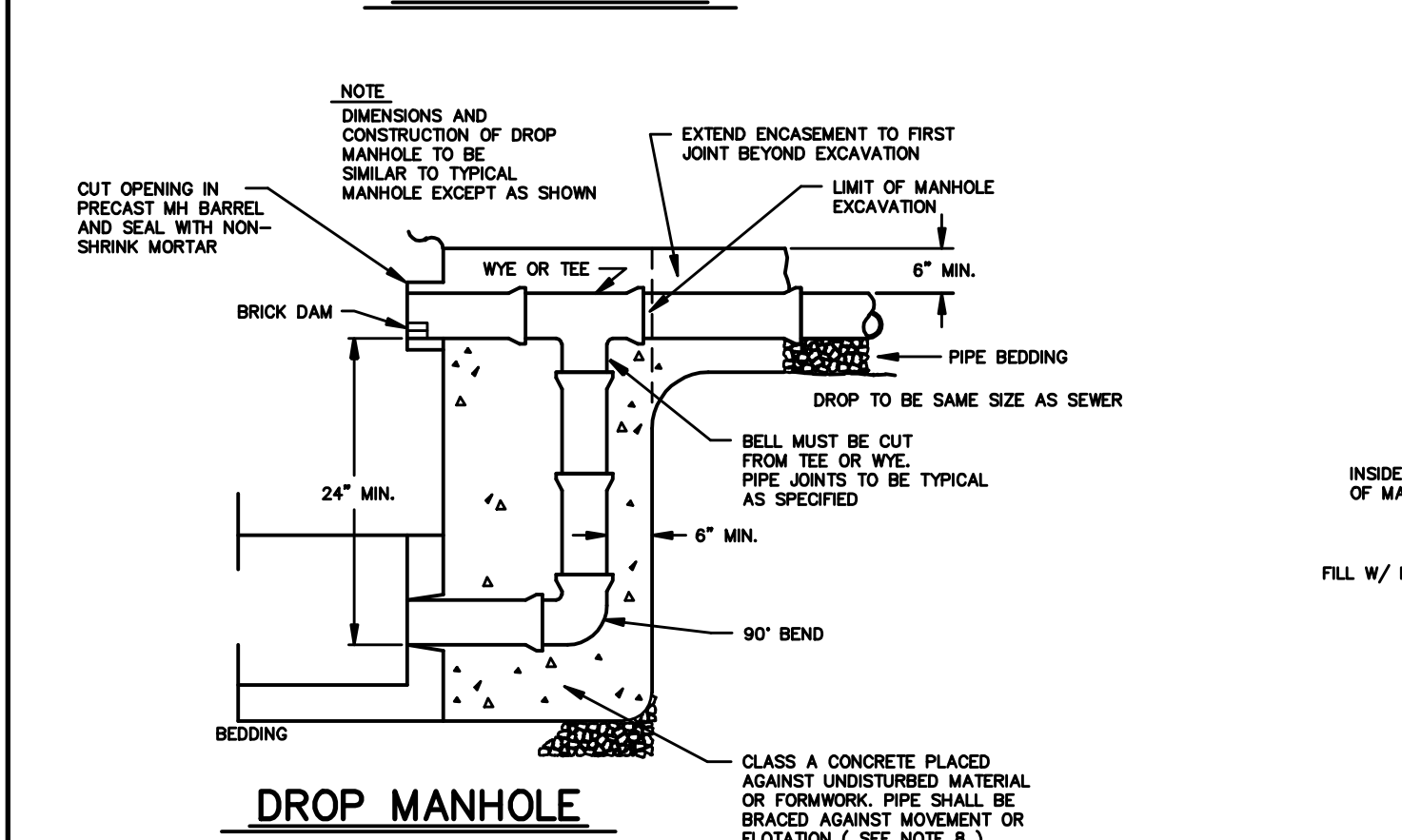
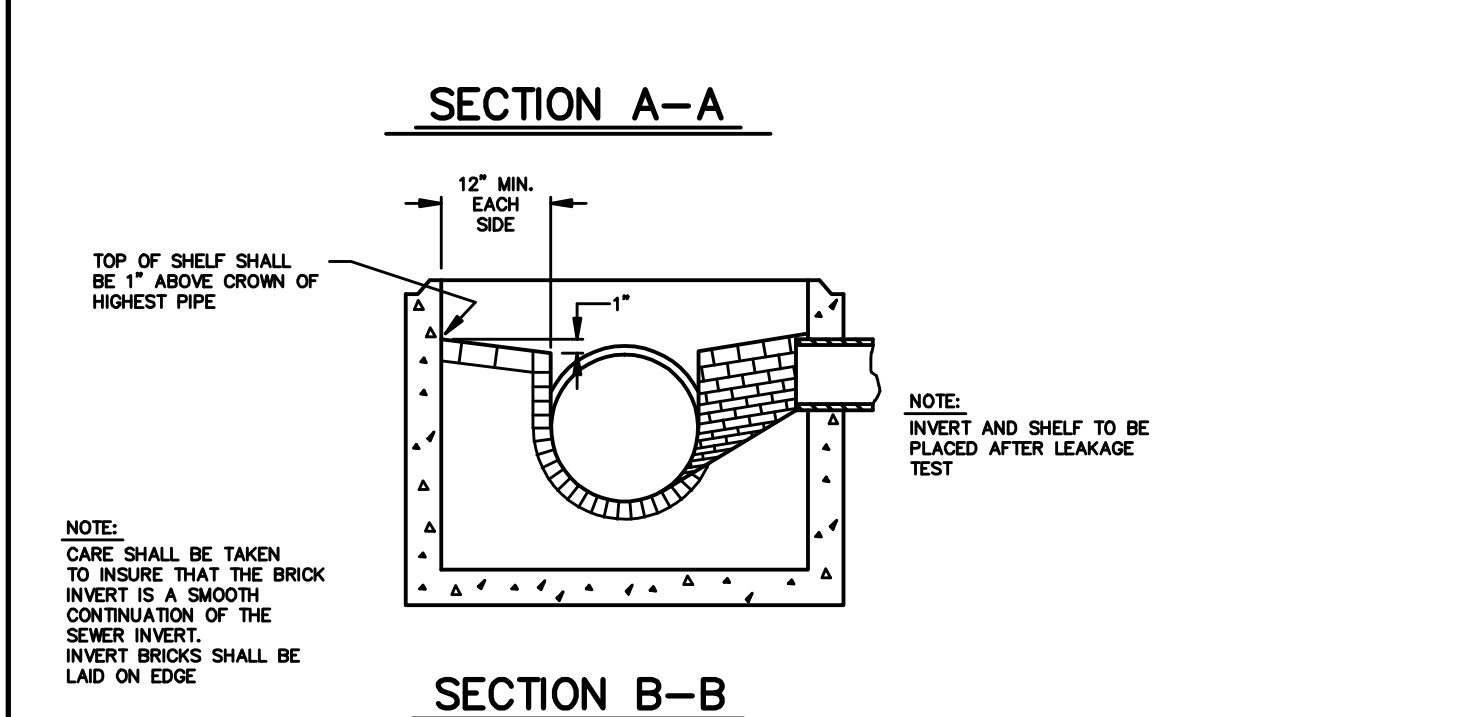
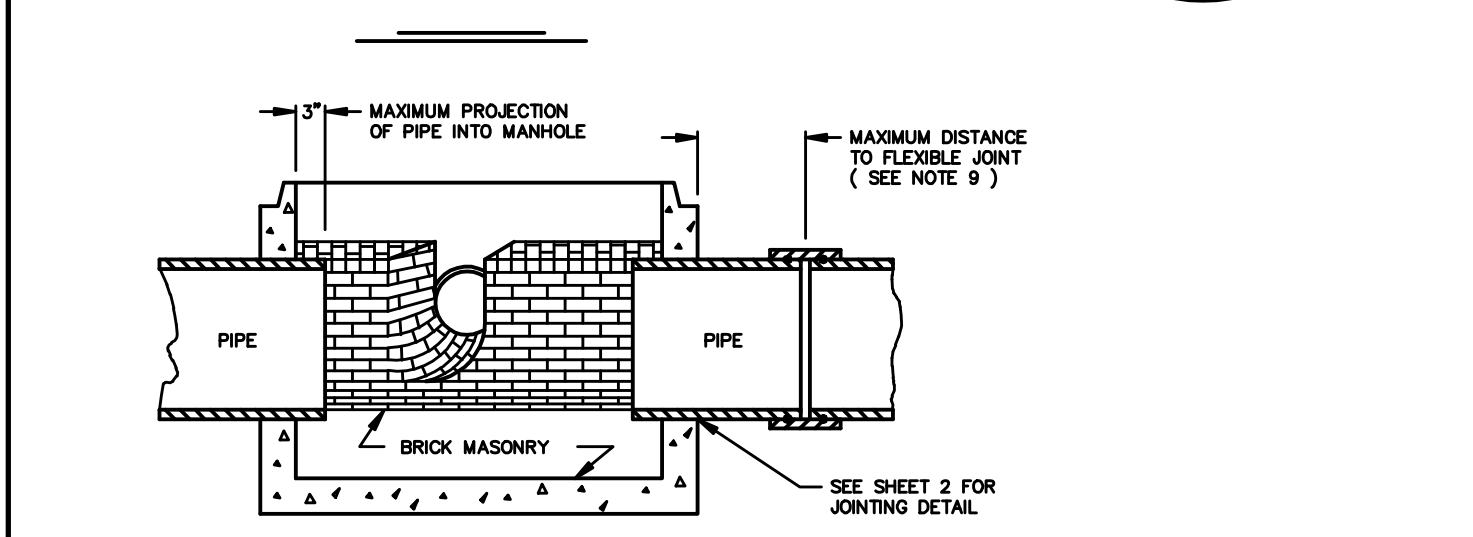
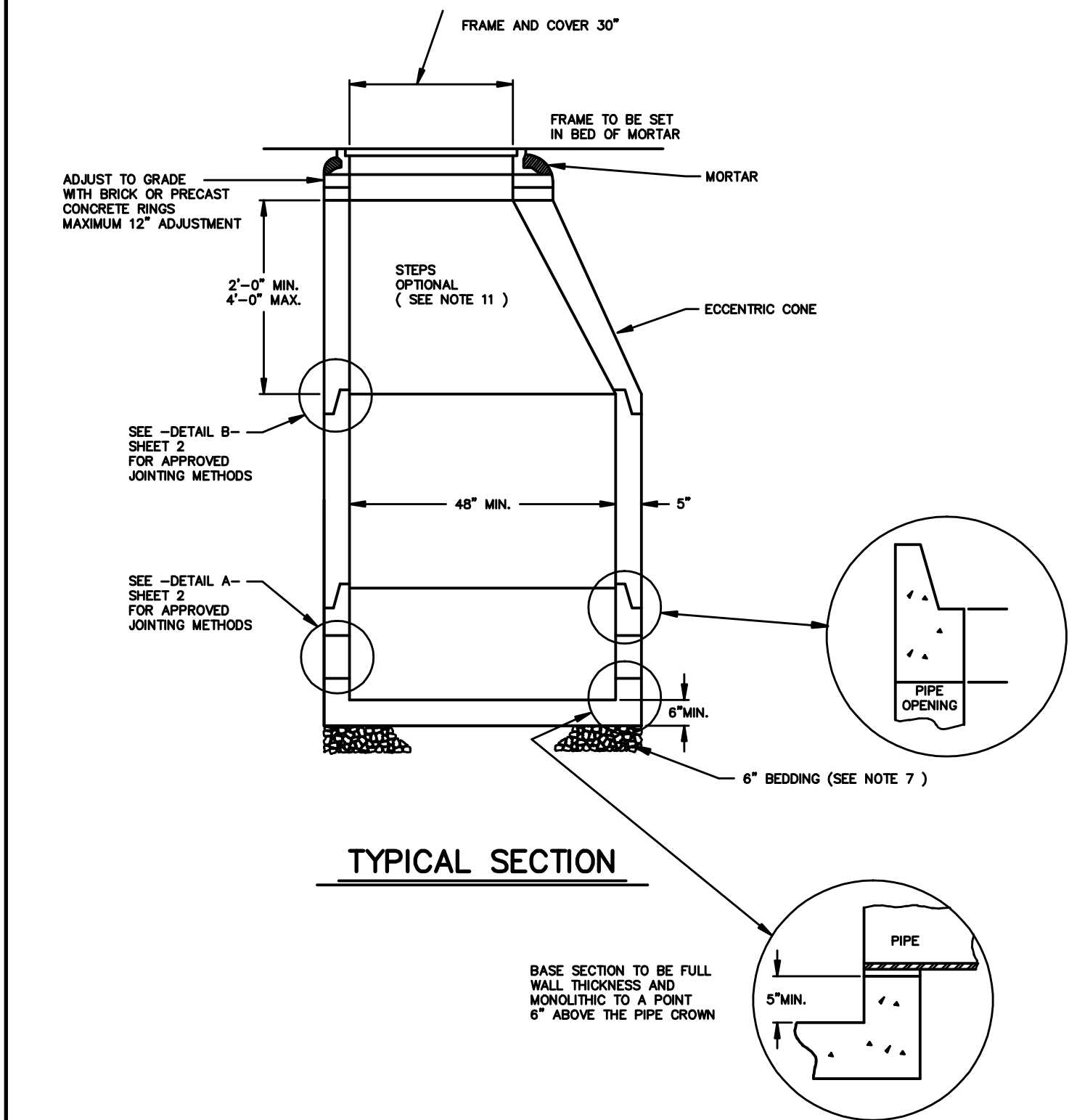
SURVEYING - PLANNING - CONSULTING

Civilworks New England

c i v i l e n g i n e e r i n g

P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

1	8/15/18	REVISE PER TRC COMMENTS	RJM	KMM	
NO.	DATE	DESCRIPTION	BY	CHK	
REVISIONS					
18-1924	DETAIL 1	11-01	1-41		
PROJECT NO	TYPE	FIELDBOOK	& PAGES		



1	8/15/18	REVISE PER TRC COMMENTS	RJM	KMM
NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
18-1924	DETAIL 1	11-01	1-41	
PROJECT NO	TYPE	FIELDBOOK & PAGES		

- NOTES:
- 1.) IT IS THE INTENTION OF THE COMMISSION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT, IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 - 2.) BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED.
 - 3.) PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
 - 4.) LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - 5.) INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 - 6.) FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING A 3-INCH (MINIMUM HEIGHT) LETTER "S" FOR SEWER OR "D" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - 7.) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33

100% PASSING 1 INCH SCREEN
 90-100% PASSING 3/4 INCH SCREEN
 20-55% PASSING 3/8 INCH SCREEN
 0-10% PASSING # 4 SIEVE
 0- 5% PASSING # 8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1 1/2 INCH TO 1 1/2 INCH SHALL BE USED.

- 8.) CONCRETE: FOR DROP SUPPORT SHALL CONFORM TO THE REQUIREMENT FOR CLASS A (3000A) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT: 6.0 BAGS PER CUBIC YARD
 WATER: 5.75 GALLONS PER BAG CEMENT
 MAXIMUM SIZE OF AGGREGATE: 1 INCH

CEMENT: 6.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG CEMENT
MAXIMUM SIZE OF AGGREGATE: 1 INCH

- 9.) FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:

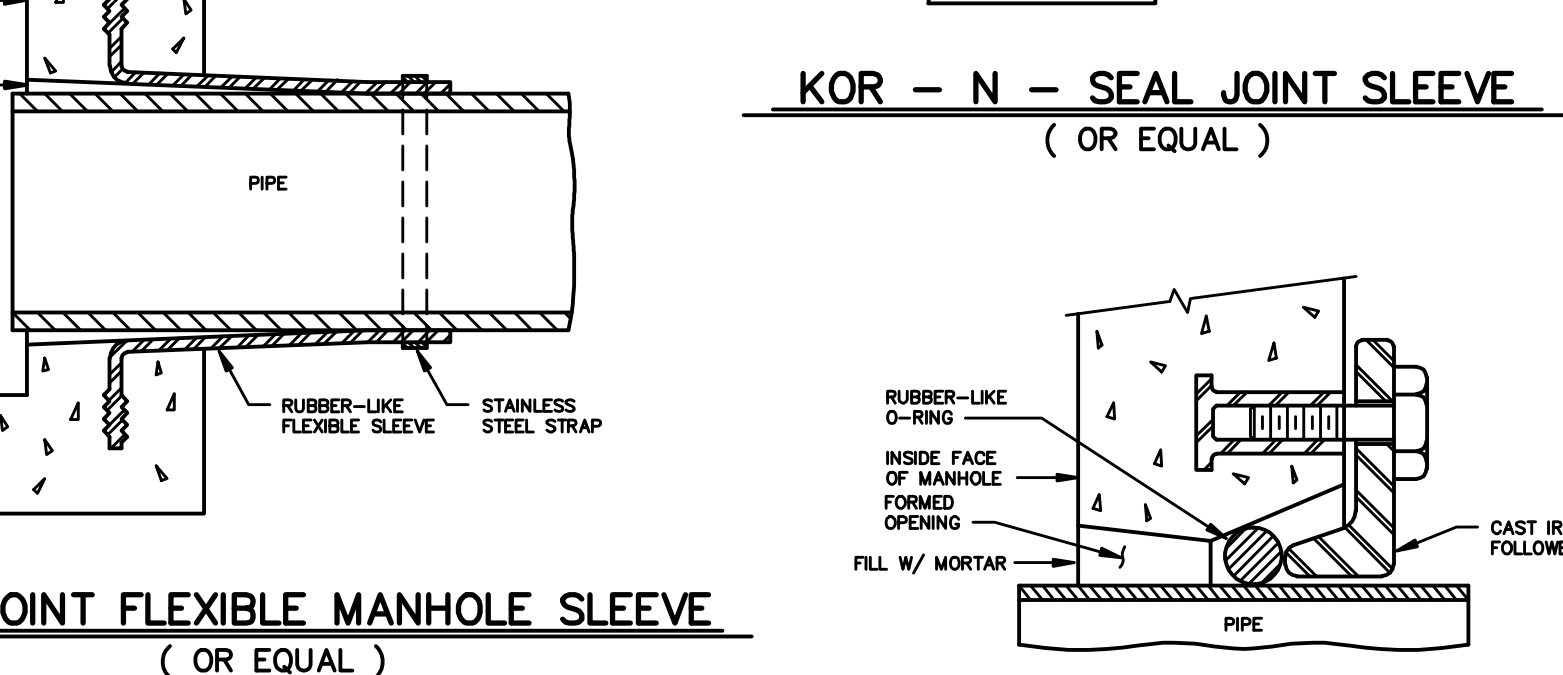
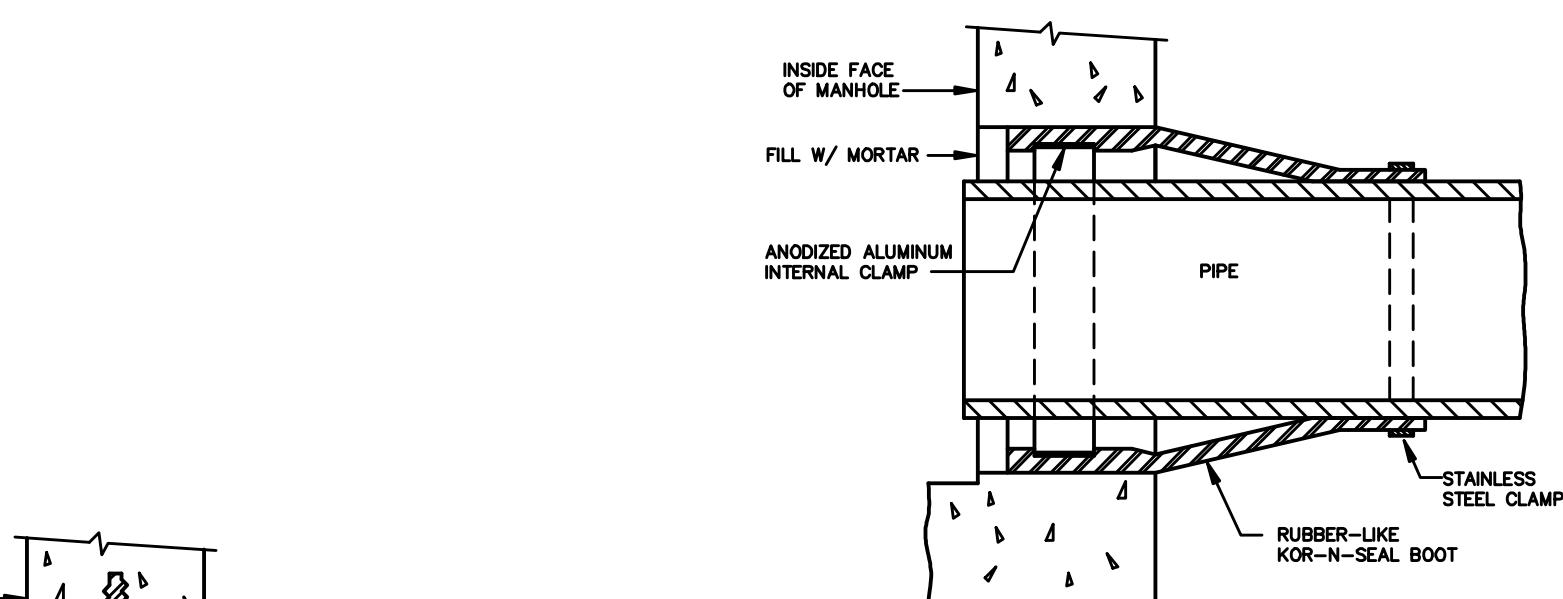
RCP & CI PIPE - ALL SIZES - 48"
AC & VC PIPE - UP THROUGH 12" DIA - 18"
AC & VC PIPE - LARGER THAN 12" DIA - 36"
DI PIPE - NONE REQUIRED
PVC (ASTM 3034) - UP THROUGH 15" DIA. - NONE REQUIRED
PVC (ASTM F 679) - LARGER THAN 15" DIA. - 48" - 60"
PVC (ASTM F 789) - ALL SIZES - 48" - 60"
ABS (ASTM D 2680) - ALL SIZES - SAME AS VC ABOVE

- UNDER SEVERE CONDITIONS WHEN DIFFERENTIAL SETTING CANNOT BE CONTROLLED WITHIN NORMAL LIMITS, VARIATIONS IN THE STUB LENGTH MAY BE NECESSARY. OTHER PLASTIC PIPES SHALL BE REVIEWED ON A CASE BY CASE BASIS.

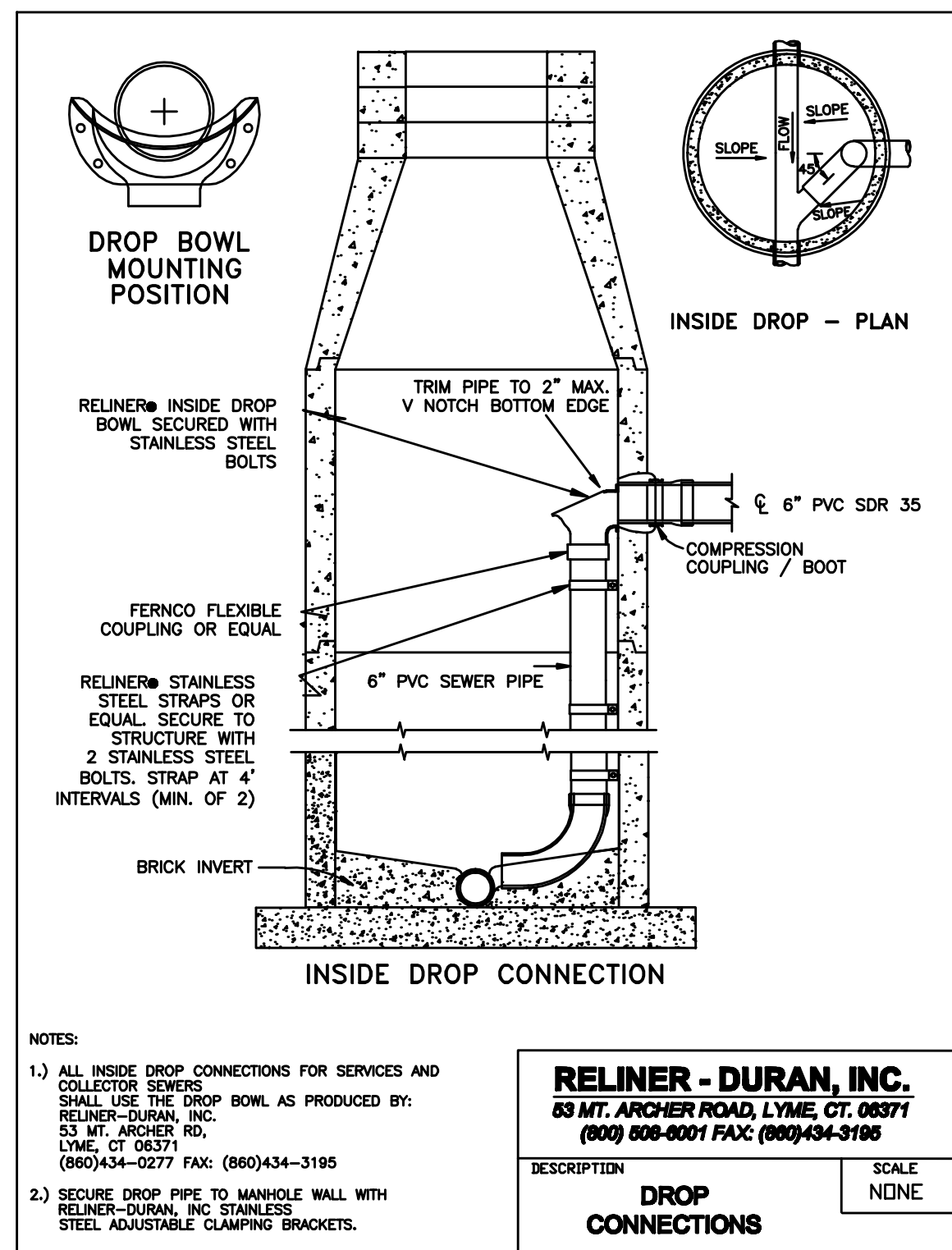
- 10.) SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.

- 11.) MANHOLE STEPS: MAY BE PERMITTED UPON REQUEST BY THE OWNER AS SECONDARY ADDITIONAL SAFETY FEATURE SUPPLEMENTARY TO THE PRIMARY PORTABLE LADDER ENTRY AND WHEN INSTALLED UNDER THE FOLLOWING CONDITIONS:

1. THE STEPS SHALL BE MANUFACTURED OF 5/8 INCH ROUND STAINLESS STEEL OR FORGED ALUMINUM ALLOY. THEY SHALL BE SHAPED SO THAT THEY CANNOT BE PULLED OUT OF THE CONCRETE WALL IN WHICH THEY ARE EMBEDDED.
2. THE STEPS SHALL BE EMBEDDED IN THE CONCRETE BY THE MANUFACTURER DURING MANUFACTURE OR IMMEDIATELY FOLLOWING REMOVAL OF THE FORMS. SECURING THE STEPS WITH MORTAR IN DRILLED OR CAST HOLES, WILL NOT BE ACCEPTABLE.
3. THE STEPS SHALL BE OF THE DROP TYPE WITH A DEPRESSED SECTION FOR HANDHOLD, APPROXIMATELY 14" X 10" IN DIMENSION.



STANDARD MANHOLE SHEET 1



NOTES:

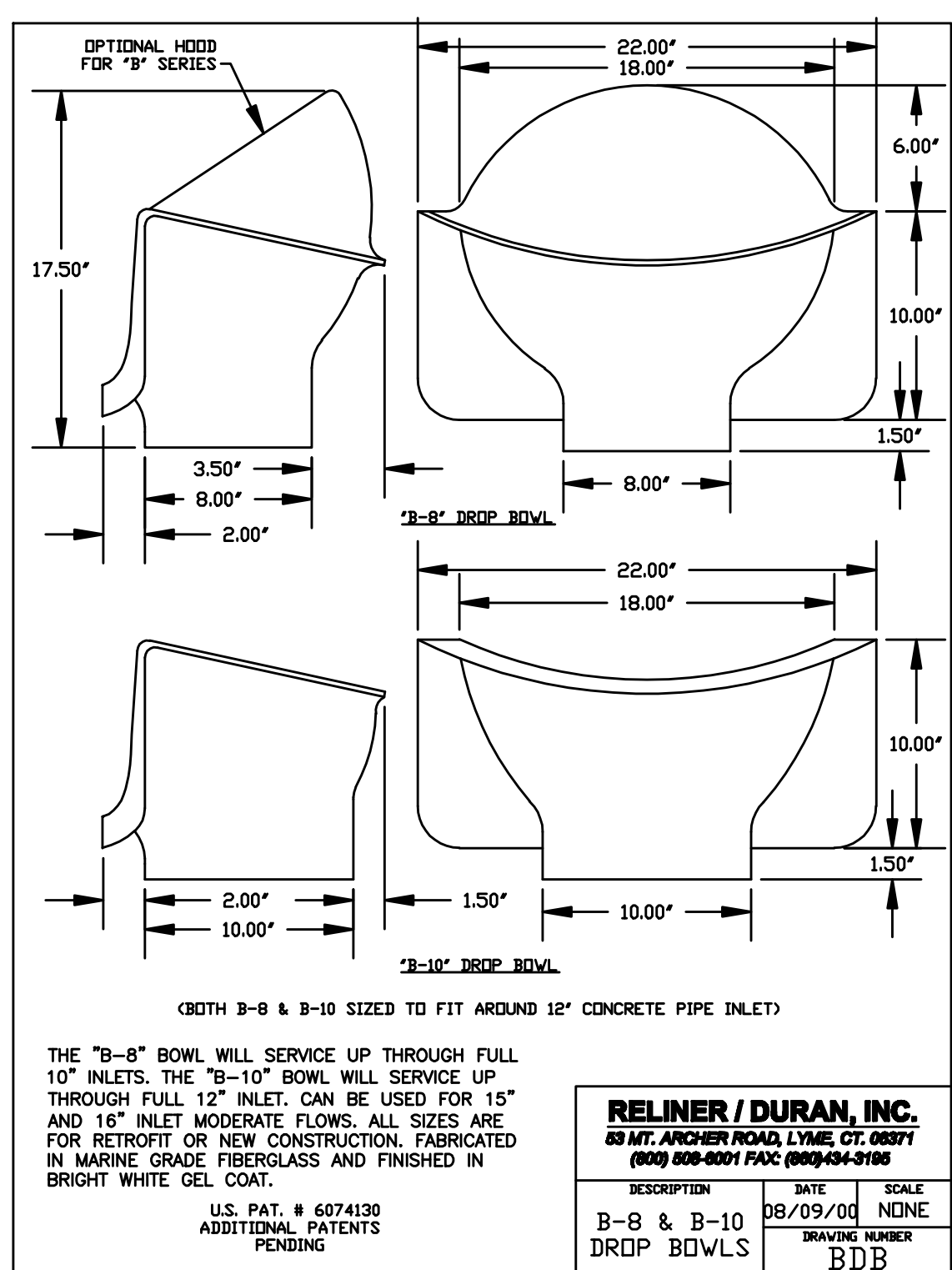
- 1.) ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAN, INC. 53 MT. ARCHER RD., LYME, CT 06371 (860) 434-0277 FAX: (860) 434-3195
- 2.) SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAN, INC. STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.

RELINER - DURAN, INC.
53 MT. ARCHER ROAD, LYME, CT. 06371
(860) 434-0277 FAX: (860) 434-3195

DROP CONNECTIONS

DESCRIPTION	SCALE
RELINER - DURAN, INC.	NONE

<http://www.reliner.com/index.htm>



THE "B-8" BOWL WILL SERVICE UP THROUGH FULL 10" INLETS. THE "B-10" BOWL WILL SERVICE UP THROUGH FULL 12" INLET. CAN BE USED FOR 15" AND 16" INLET MODERATE FLOWS. ALL SIZES ARE FOR RETROFIT OR NEW CONSTRUCTION. FABRICATED IN MARINE GRADE FIBERGLASS AND FINISHED IN BRIGHT WHITE GEL COAT.

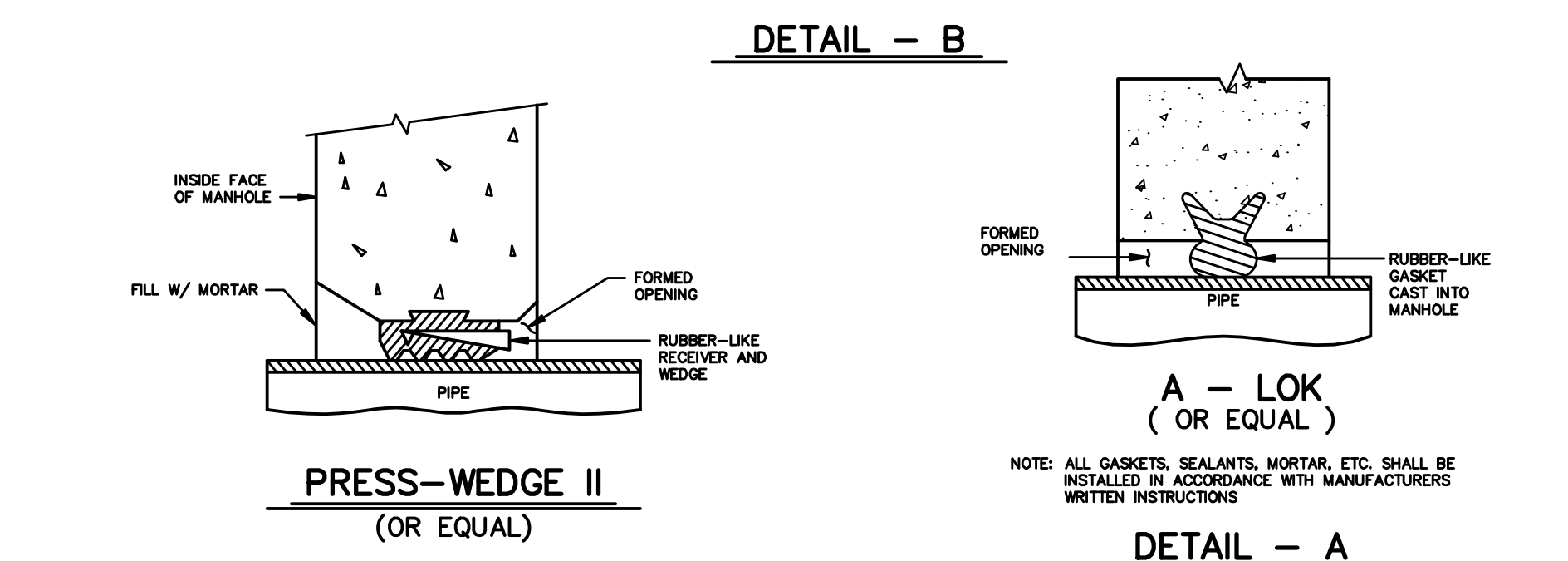
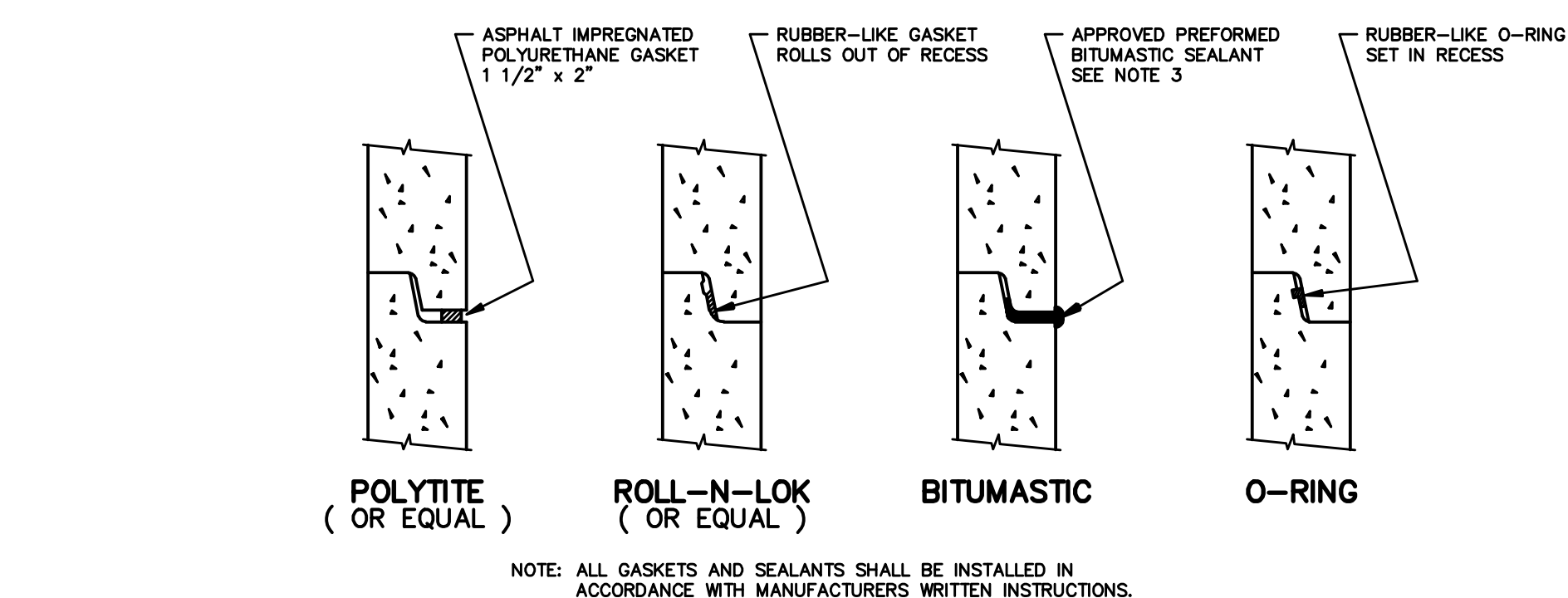
U.S. PAT. # 6074130
ADDITIONAL PATENTS PENDING

RELINER / DURAN, INC.
53 MT. ARCHER ROAD, LYME, CT. 06371
(860) 434-0277 FAX: (860) 434-3195

DESCRIPTION	DATE	SCALE
B-8 & B-10 DROP BOWLS	08/09/04	NINE

BRAND NAME: BDB

<http://www.reliner.com/index.htm>



- NOTES:
- 1.) HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE COMMISSION, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATERTIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET.
 - 2.) PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE COMMISSION AND IN GENERAL, WILL DEPEND FOR WATERTIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
 - 3.) FOR BITUMASTIC TYPE JOINTS, THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS:

RAM-NEK
 KENT SEAL NO. 2
 EZ

STANDARD MANHOLE SHEET 2

RIVERS MARK
SEWER STANDARD SHEET 1
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY OF DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-25

DRAWN BY: RJM	FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018

McEneaney Survey Associates
P.O. Box 681 - 24 Chestnut Street
Dover, NH 03820 (603) 742-0911

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P.O. Box 1166 181 Watson Road
Dover, NH 603-749-0443

Diagram illustrating the connection of a Vitrified Clay Sewer to a House Sewer.

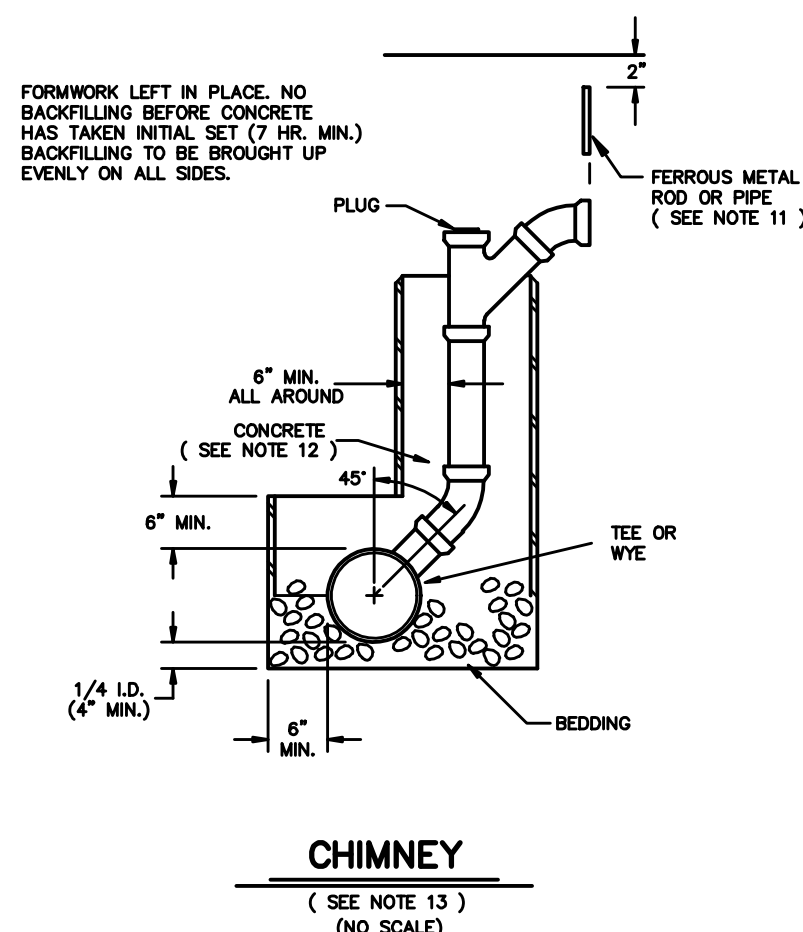
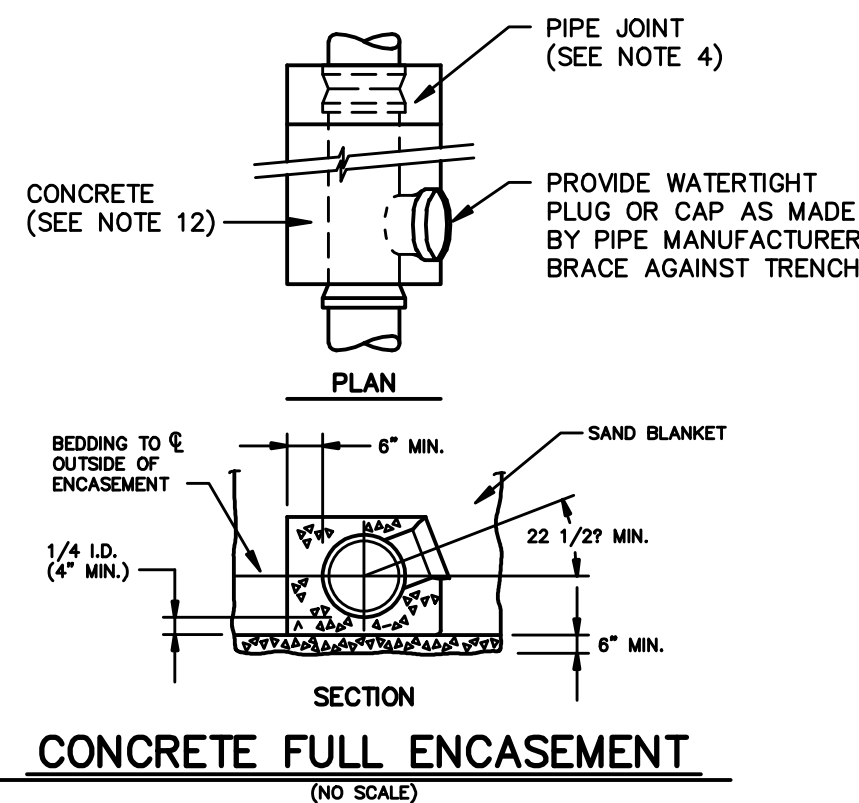
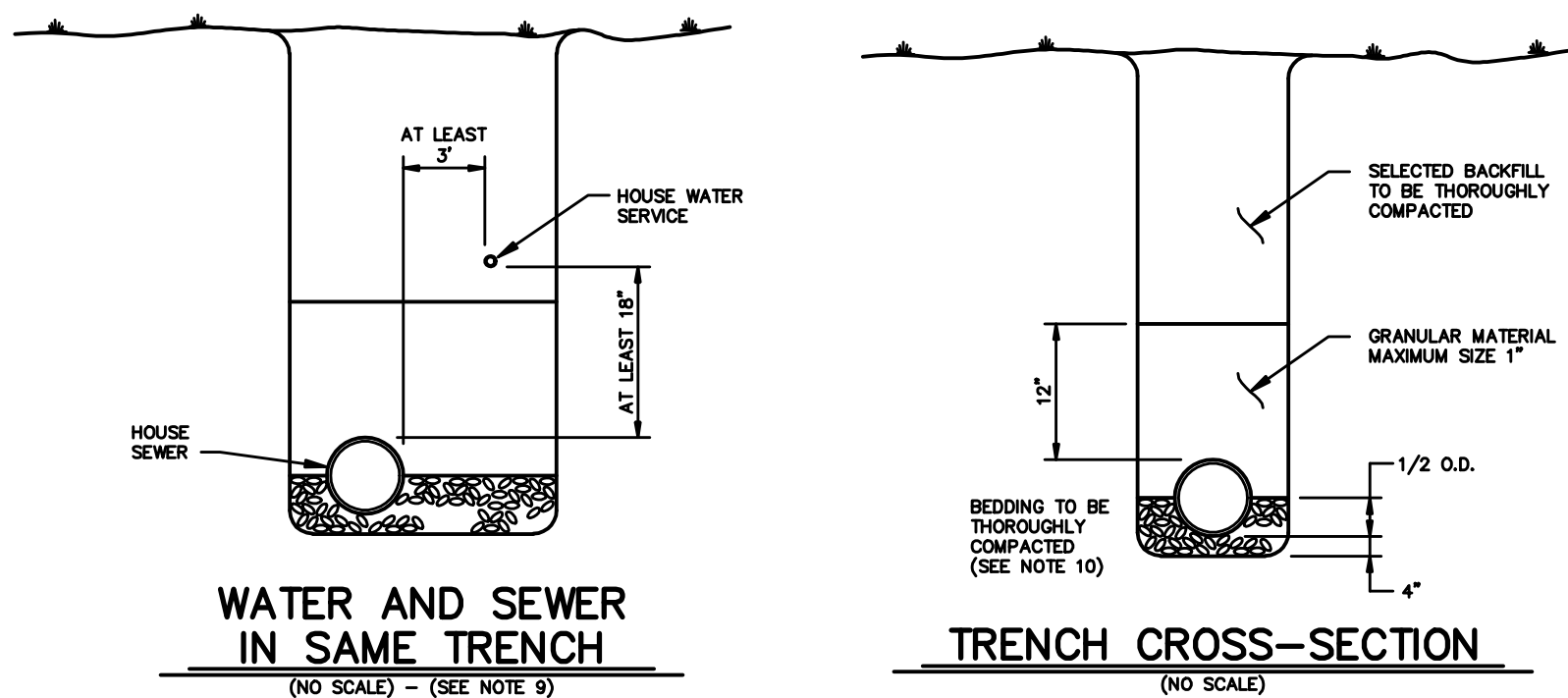
Labels and Dimensions:

- STREET
- MINIMUM COVER 4'
- THIS PORTION OF HOUSE SEWER BY OTHERS
- OBSERVATION TEE AND PLUG
- VITRIFIED CLAY/ CAST IRON ADAPTER WITH FLEXIBLE JOINT (SEE NOTE 4)
- 1'-0" TO 3'-0"
- BUILDING DRAIN
- CLEAN OUT
- HOUSE SEWER MINIMUM SLOPE 1/8" PER FOOT
- BASEMENT FLOOR
- WYE OR TEE (SEE NOTES 4 AND 5)
- STREET SEWER SEE DETAIL FOR CONCRETE ARCH ENCASMENT

NOTE: HOUSE SEWER MAY ALSO BE LOCATED BELOW BASEMENT FLOOR WHEN REQUIRED

VITRIFIED CLAY SEWER AND HOUSE SEWER

(NO SCALE)



MINIMUM SIZE PIPE. FOR HOUSE SERVICE SHALL BE FOUR INCHES.

A) PIPE AND JOINT MATERIALS:

1) PIPE AND FITTINGS: SHALL BE EXTRA STRENGTH CLAY PIPE

2) JOINTS SHALL BE MADE WITH OIL RESISTANT GASKET IN ACCORDANCE WITH ASTM C-421. MANUFACTURERS INSTRUCTIONS FOR INSTALLATION SHALL BE FOLLOWED.

B) ASBESTOS-CEMENT-NON-PRESSURE SEWER PIPE

1) PIPE AND FITTINGS SHALL CONFORM TO ASTM TENTATIVE SPECIFICATIONS C 64 TYPE II

2) JOINTS SHALL BE OF THE SLEEVE - COUPLING TYPE CONFORMING TO ASTM SPECIFICATIONS C 644 TYPE II. COMPRESSION RINGS SHALL BE OF OIL RESISTANT RUBBER TYPE OR ELASTOMERIC MATERIAL AND SHALL CONFORM TO ASTM SPECIFICATION D 1868. MANUFACTURERS INSTRUCTIONS FOR INSTALLATION SHALL BE FOLLOWED.

C) CAST - IRON PIPE, FITTINGS AND JOINTS

1) CAST IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE

A21 1 THICKNESS DESIGN OF CAST IRON PIPE

A21 4 CEMENT MORTAR LINING FOR CAST IRON PIPE AND FITTINGS

A21 6 CAST IRON PIPE CENTRIFUGALLY CAST IN METAL MOLDS FOR WATER OR OTHER LIQUIDS

A21 8 CAST IRON PIPE CENTRIFUGALLY CAST IN SAND LINED MOLDS FOR WATER OR OTHER LIQUIDS

A21 10 CAST IRON FITTINGS, 4 INCHES THROUGH 48 INCHES FOR WATER AND OTHER LIQUIDS

2) JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE JOINTS AND GASKETS SHALL CONFORM TO

A21 11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS

D) DUCTILE - IRON PIPE, FITTINGS AND JOINTS

1) DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE

A21 50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS

A21 51 DUCTILE IRON PIPE SPECIFIED CAST IN METAL MOLDS OR SAND LINED MOLDS FOR WATER OR OTHER LIQUIDS

2) JOINTS SHALL BE AS CENTRIFUGALLY IN C2 ABOVE, CAST IRON PIPE JOINTS.

3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4) JOINTS, SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE OFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTORS SHALL BE USED.

5) TEES OR WYES, WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY - CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING IN THE EXISTING SEWER, FOR STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AN ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 1/2" DIA. (DOES NOT APPLY TO INSTALLATIONS WHERE 'Ts' & 'Ys' ARE USED).

6) PIPE INSTALLATION, THE PIPE SHALL BE HANDLED, PLACED, AND JOINED IN ACCORDANCE WITH THE INSTALLATION GUIDE OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 1/4" LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR A DEPTH OF 12" AROUND THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND. AFTER THE WIRE ROPE GRADUATED DEVICES, THE PIPE SHALL BE LAID AT CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DRY THE TRENCH.

7) TESTING, THE COMPLETED HOUSE SEWER SHALL BE SUBJECT TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):

A) AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND, WHEN READY FOR TESTING, A 1" AN IRON ROD BLADE BE PERCUSS ROOF LEADERS, FOOTING DRAINS OR SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAW WATER, DRAINAGE OR GROUND WATER, SHALL NOT BE PERMITTED.

B) THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.

C) DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWNSTREAM MANHOLE.

LEAKAGE OBSERVED AT ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE. THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS ASSURE WATER TIGHTNESS.

8) ILLEGAL CONNECTION, NOTHING BUT SANITARY WASTE FLOW FROM HOUSE TOILETS, SINKS, LAUNDRY, KITCHEN, AND PERCUSS ROOF LEADERS, FOOTING DRAINS OR SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAW WATER, DRAINAGE OR GROUND WATER, SHALL NOT BE PERMITTED.

9) HOUSE WATER SERVICE, SHOULD NOT BE LAID IN THE SAME TRENCH AS SEWER SERVICE, BUT WHEN NECESSARY, SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE HOUSE SEWER AS SHOWN.

10) BEDDING, SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

100% PASSING 1" INCH SCREEN

90-100% PASSING 3/4" INCH SCREEN

20-55% PASSING 3/8" INCH SCREEN

0-10% PASSING #10 SIEVE

0-5% PASSING #6 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1 1/2 INCH TO 1/2 INCH SHALL BE USED.

11) LOCATION, THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.

12) CONCRETE, CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT - 6.0 BAGS / C.Y.

WATER - 5.75 GALS. / BAG CEMENT

AGGREGATE - 1 1/2" MAX.

13) CHIMNEYS, IF VERTICAL DROP INTO SEWER IS GREATER THAN 4', A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION.

- 1.) **ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE.**
REFILL WITH BEDDING MATERIAL. SEE ALSO NOTE 7.
- 2.) **BEDDING:** SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER. MEETING ASTM C33 STONE SIZE NO. 67.

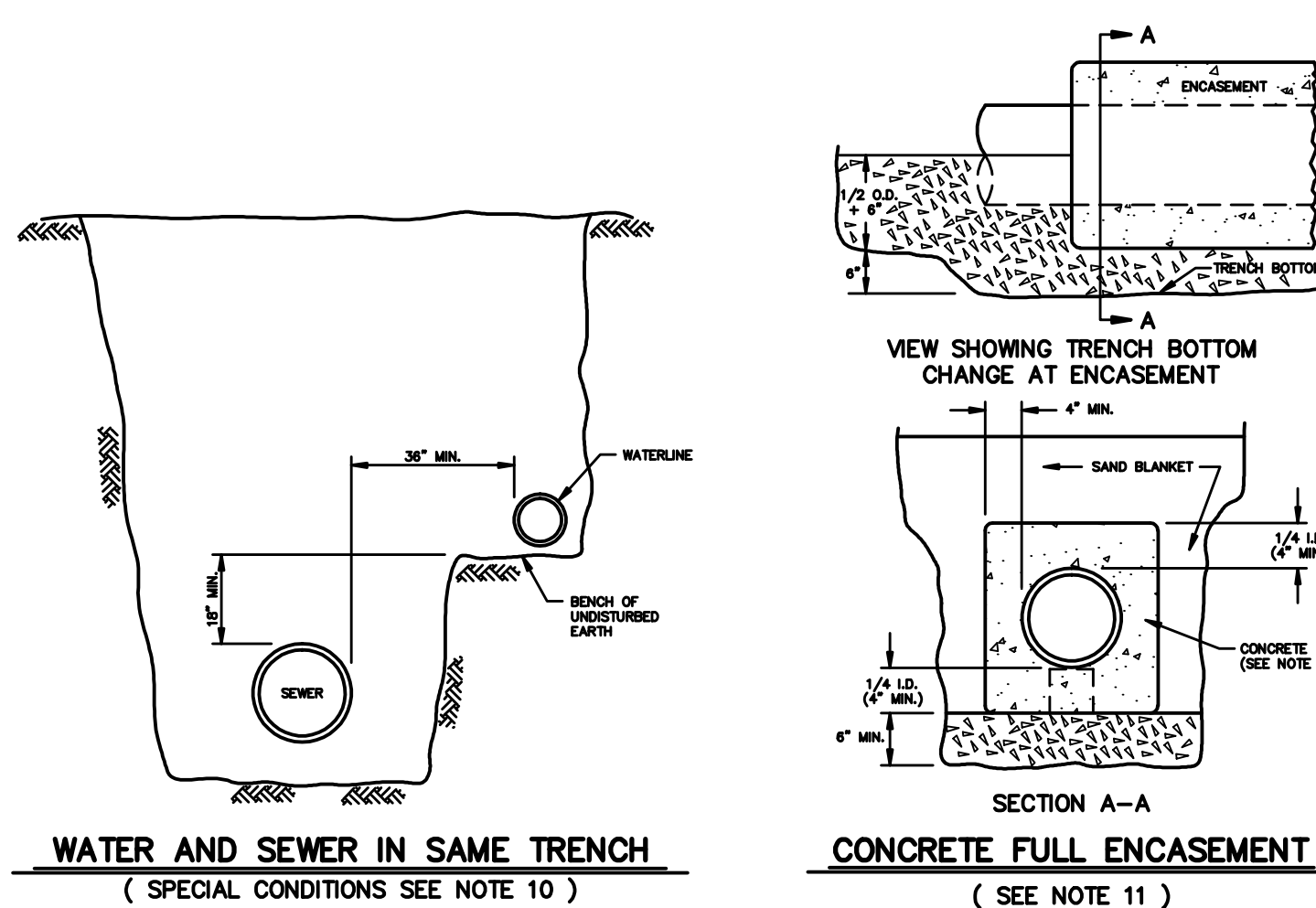
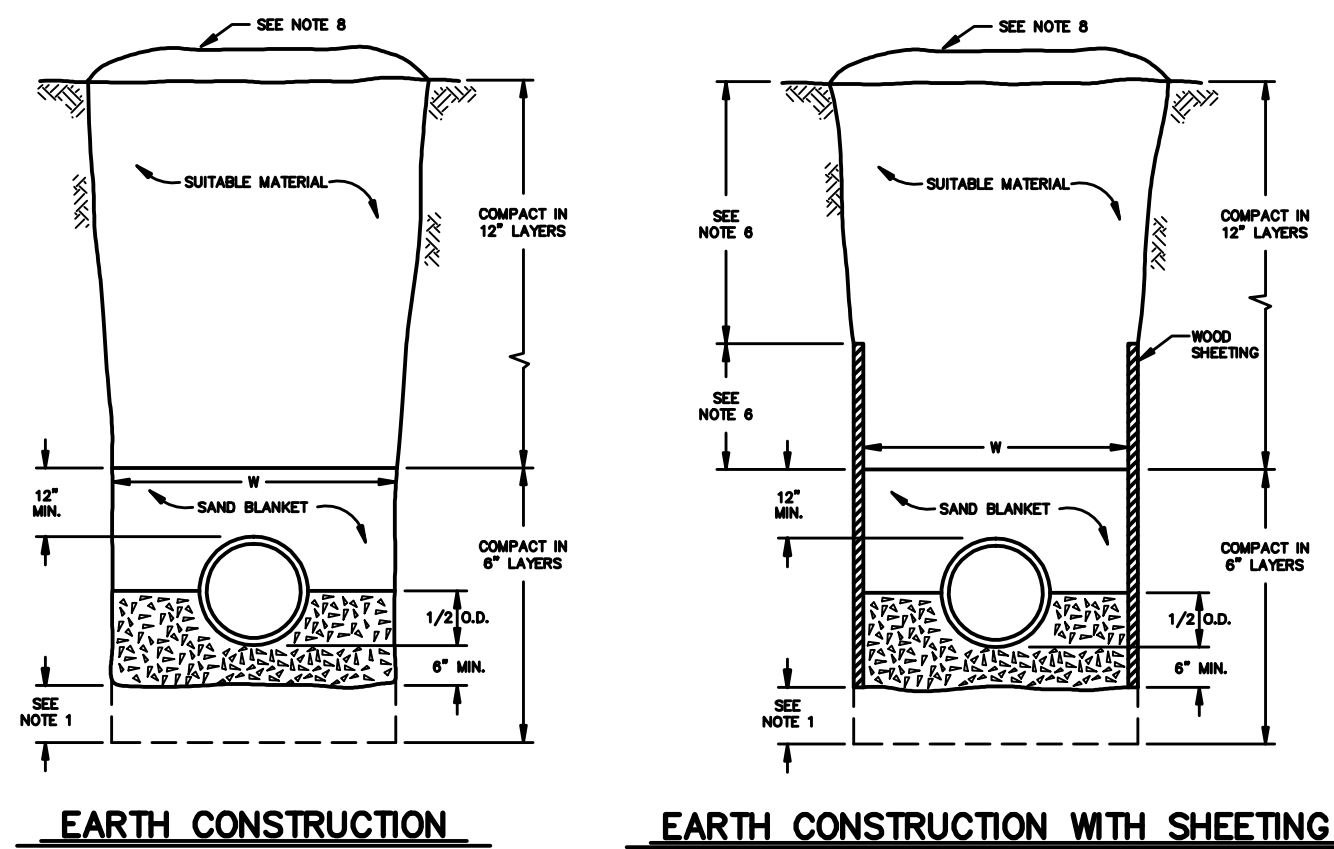
100% PASSING	1/4 INCH SCREEN
90 - 100% PASSING	3/4 INCH SCREEN
20 - 55% PASSING	3/8 INCH SCREEN
0 - 10% PASSING	#4 SIEVE
0 - 5% PASSING	#8 SIEVE

- CRUSHED STONE 1/2 INCH - 1 1/2 INCH MAY BE USED INSTEAD OF SCREENED GRAVEL WHERE ALLOWED BY THE ENGINEER.
- 3.) **SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE.
- 4.) **SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALK-WAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LODGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.

IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY, WILL BE PRESERVED.
- 5.) **BASE COURSE,** IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, (D.O.T.).
- 6.) **WOOD SHEETING,** IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE, WHERE SHEETING IS REQUIRED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- 7.) **W =** MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE, FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- 8.) **FOR CROSS COUNTRY CONSTRUCTION,** BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 9.) **CONCRETE** FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000#) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT: 6.0 BAGS PER CUBIC YARD
WATER : 5.75 GALLONS PER BAG CEMENT
MAXIMUM SIZE OF AGGREGATE: 1 INCH
- 10.) NEW HAMPSHIRE WATER SUPPLY AND POLLUTION CONTROL COMMISSION (NH DES) DESIGN STANDARDS REQUIRE 10 FT. SEPARATION, HOWEVER, SHOULD CONSTRUCTION OPERATIONS REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FT. HORIZONTAL FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICABLE TO RELOCATE THE SEWER, THE FOLLOWING METHODS OF PROTECTION MUST BE EMPLOYED.

A. IF THE WATERLINE CAN BE KEPT AT LEAST 18 INCHES ABOVE AND 3 FEET TO ONE SIDE OF THE SEWER, AS SHOWN AND SUPPORTED ON A BENCH OF ORIGINAL SOIL, NO OTHER PROTECTION IS REQUIRED.
- 11.) IF FULL CASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

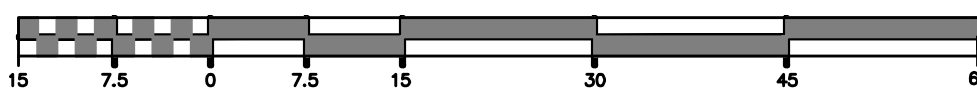


SHEET 13

**RIVERS MARK
SEWER STANDARD SHEET 2
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE**

DOVER PLANNING FILE No. P 18-25

DRAWN BY: RJM	FILE: W10 CP\1924\18-1924 SD
SCALE: 1" = 15'	DATE: MAY 11, 2018



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Associates

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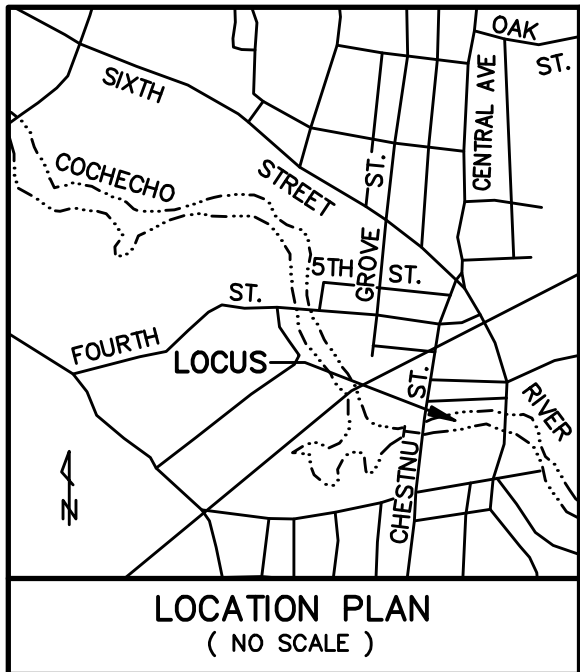
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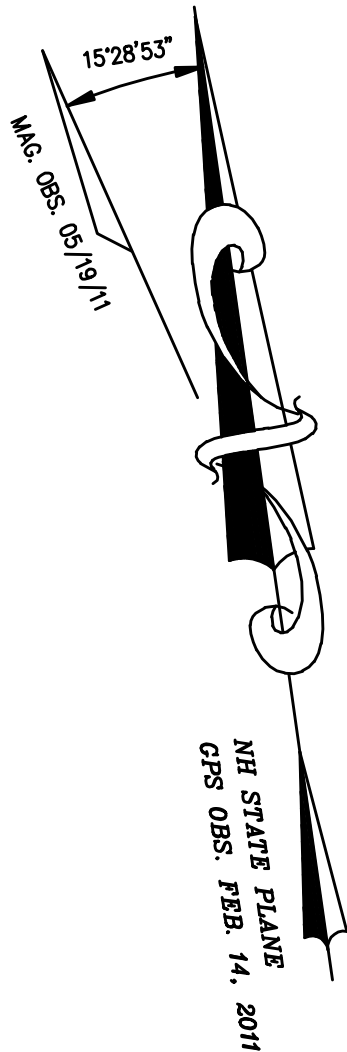
c i v i l e n g i n e e r i n g

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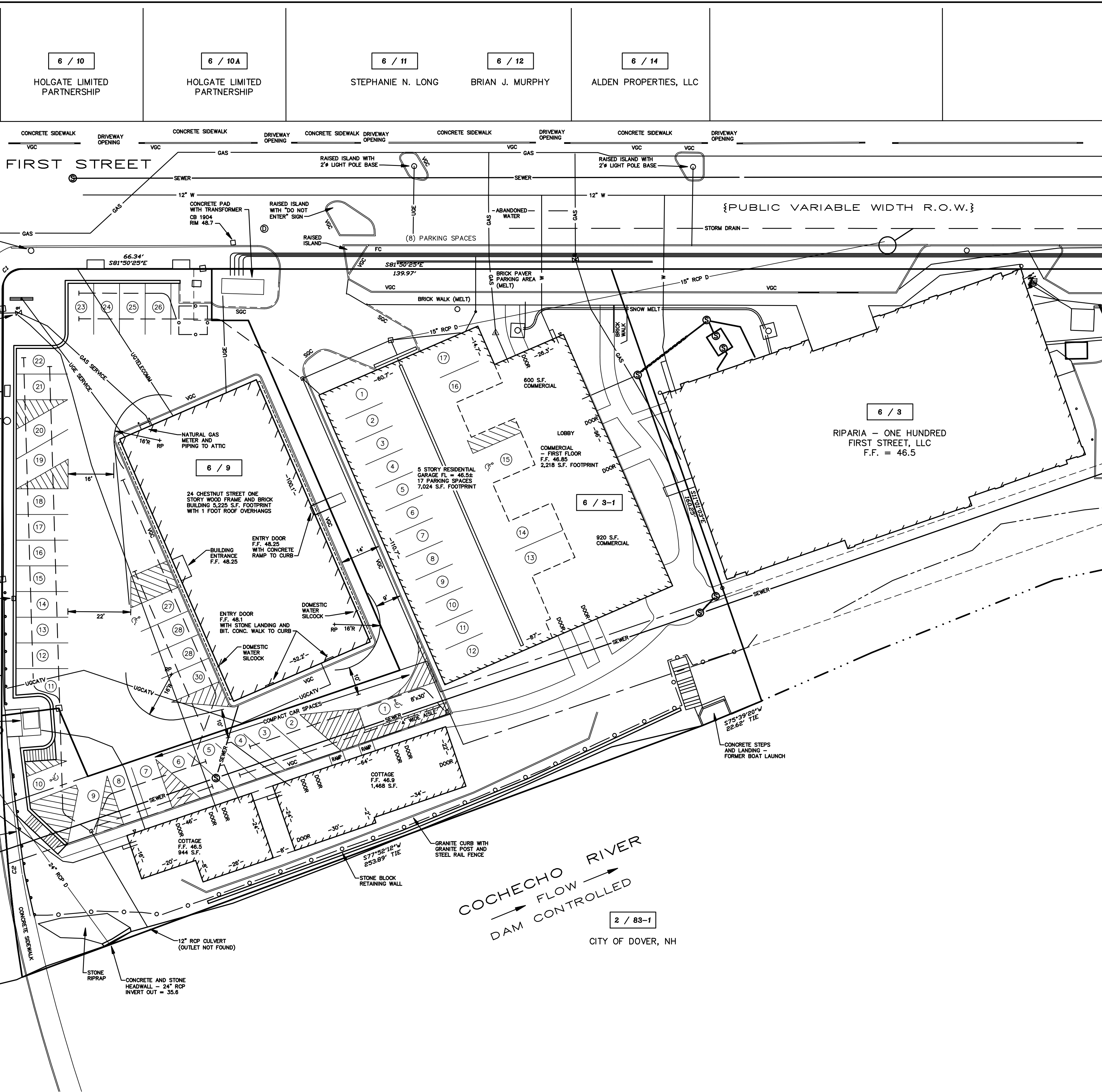
1	8/15/18	REVISE PER TRC COMMENTS		RJM	KMM
NO.	DATE	DESCRIPTION		BY	CHK
REVISIONS					
18-1924		DETAIL 1	11-01	1-41	
PROJECT NO		TYPE	FIELDBOOK & PAGES		



31 / 6
LOYAL ORDER OF
MOOSE #443



CHESTNUT STREET
{PUBLIC VARIABLE WIDTH R.O.W.}



C#

CONSTRUCTION SEQUENCING

- CONSTRUCTION SEQUENCE:
PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233.
- 1.) PROVIDE FOR WATER SERVICE CONNECTION FROM MAIN WITHIN CHESTNUT STREET TO PROPOSED MIXED USE BUILDINGS.
 - 2.) PROVIDE FOR NATURAL GAS SERVICE CONNECTION FROM MAIN WITHIN CHESTNUT STREET TO PROPOSED MIXED USE BUILDINGS.
 - 3.) RECONSTRUCT SANITARY SEWER FROM 24 CHESTNUT STREET AS SHOWN.
PROVIDE FOR SANITARY SEWER CONNECTIONS TO PROPOSED MIXED USE BUILDINGS AS SHOWN.
PROVIDE FOR SANITARY SEWER CONNECTIONS TO PROPOSED 5 STORY RESIDENTIAL BUILDING.
 - 4.) PROVIDE FOR POWER, TELECOMMUNICATIONS AND CABLE TELEVISION CONNECTIONS TO EXISTING UTILITIES.
 - 5.) PROTECT CHESTNUT STREET AND FIRST STREET UNDERGROUND SERVICES PER UTILITY RECOMMENDATIONS.
 - 6.) CONSTRUCT BRICK PAVEMENT SIDEWALK FROM SITE ENTRANCE WESTERLY TO ACCESSIBLE TRANSITION (SEE DETAIL).
 - 7.) CONSTRUCT RETAINING WALL (240'±, HEIGHT VARIES FROM 0 FEET TO 6.1 FEET) PER DETAIL. PROVIDE 4' ABERDEEN STYLE FENCING ALONG TOP. CONSTRUCT CONCRETE STEPS AND PROVIDE WELDING RAILINGS IN TWO (2) LOCATIONS SHOWN.
 - 8.) CONSTRUCT PROPOSED CATCH BASINS, CONNECT TO EXISTING; CONSTRUCT ON-SITE PARKING AREAS; PROVIDE FOR DRAINAGE TIE-INS TO PROPOSED FOUNDATION AND ROOF DRAIN SYSTEMS; PROVIDE UNDERDRAINS AS SHOWN UNDER PARKING SPACES
ADJUST EXISTING DRAINAGE STRUCTURE RIMS TO MATCH PROPOSED GRADE, PROTECT WITH SEDIMENT CONTROL DEVICES.
ADJUST EXISTING SEWER MANHOLE RIMS TO MATCH PROPOSED GRADE.
 - 9.) CONSTRUCT PROPOSED 5 STORY BUILDING PER ARCHITECTURAL REQUIREMENTS.
 - 10.) CONSTRUCT PROPOSED 3 1/2 STORY MIXED USE BUILDINGS PER ARCHITECTURAL REQUIREMENTS.
 - 11.) CONSTRUCT VERTICAL GRANITE CURB AND LANDSCAPE AT 24 CHESTNUT STREET, PROVIDE ACCESSIBLE TIP DOWNS AT BUILDING ENTRANCES.
 - 12.) CONSTRUCT SLOPED GRANITE CURB AT FIRST STREET ENTRANCE AND AT GARAGE ENTRANCE.
 - 13.) CONSTRUCT VERTICAL GRANITE CURB ALONG EASTERLY SIDE OF 14' WIDE DRIVE AT RESIDENTIAL BUILDING.
 - 14.) CONSTRUCT VERTICAL GRANITE CURB ALONG COTTAGES, PROVIDE ACCESSIBLE TIP DOWNS AT LOCATION SHOWN.
 - 15.) STEEL GUARDRAIL - CLEAN AND PROVIDE TWO (2) COATS OF BLACK POWDER COAT.
 - 16.) CONSTRUCT 10'x10' CONCRETE PAD WITH CHAINLINK FENCE SCREENING FOR DUMSTER.
 - 17.) CONSTRUCT BITUMINOUS CONCRETE DRIVE/THROUGH WAYS.
 - 18.) CONSTRUCT PERVIOUS PAVEMENT UNDER ALL PROPOSED PARKING AREAS. STRIPE PARKING AS SHOWN.
 - 19.) CONSTRUCT PERVIOUS PAVEMENT WALKWAYS ALONG COTTAGES, INCLUDE ACCESSIBLE RAMPS; ALONG RIVER TO FORMER BOAT LAUNCH; AND BETWEEN RESIDENTIAL AND EXISTING 100 FIRST STREET BUILDINGS AS SHOWN.

SHEET 14

RIVERS MARK
20 SCALE SITE PLAN
PREPARED FOR
FIRST STREET AT GARRISON, LLC
TAX MAP 6, LOT No. 3-1
AND
FIRST STREET AT CHESTNUT, LLC
TAX MAP 6, LOT No. 9
FIRST STREET & CHESTNUT STREET
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

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No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	92°53'53"	7.00	10.98	9.89	N53°12'39"E
C2	09°12'55"	572.00	92.00	91.90	N03°40'20"E

NO.	DATE	DESCRIPTION	BY	CHK
1	8/15/18	REVISE PER TRC COMMENTS	RJM	KMM
REVISIONS				
18-1924	PROP SITE	11-01	1-41	
PROJECT NO	TYPE	FIELDBOOK & PAGES		

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DOVER HOUSING AUTHORITY

