



CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 1st Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, January 24, 2019**
Meeting Time: **10:30 am**

1. **10:30 AM – 11:15 AM:** Site Review for Little Bay Marina & Development, LLC Assessor's Map 8, Lots 9, 10, 11, & 12, zoned LBW, located at 421, 423, 425, and 427 Dover Point Road. (Proposal is to develop a condominium containing 23 units plus marina/marina office with 1 ADU and 27 parking spaces. This project has TDR approval from the Planning Board. A related CUP application for wetland buffer impact will also appear before the Planning Board). (P19-04)



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P18-64

Application Type: Site Plan Review
Applicant(s): Lilac Garden LLC
Owner(s): Lilac Garden LLC
Location: Lilac Lane (Tax Map H, Lot 35-D)
Date: December 13, 2018

INTENT: To construct a trash compactor site at Lilac Garden. The construction consisted of additional impervious area and 4,495 s.f. of disturbance within the 50' wetland buffer.

UNITS PROPOSED: N/A

AGENDA ITEM #: 2

ACREAGE: 50.52 acres

ZONING DISTRICT: RM-SU

EXISTING LAND USE: Multi-Family Residential

PROPOSED LAND USE: Same as existing

SURROUNDING LAND USE: Residential, Commercial/Industrial, vacant

ZBA ACTION:

Z10-04: Variance granted on 5/20/10 to construct three buildings to house 93 storage units

H77-7: Variance granted on 6/2/1977 to construct a barn

PERMITS REQUIRED: CUP for Wetland Protection District

WAIVERS REQUESTED: None requested but one needed for driveway width

ATTENDANCE:

Members:

Donna Benton, Planning
Dave White, Engineering
Dan Barufaldi, Economic Development
Elena Piekut, Zoning
Sgt. Speidel, Police
Lee Skinner, Planning Board
Jim Maxfield, Inspection Services

Others:

Hannah Giovannucci, TF Moran
Chris Rice, TF Moran
Steve Fee, Applicant
Chris Parker, Planning

Approval of 11/29/2018 Meeting Minutes (3 sets)

D.White moved to approve the minutes of November 29, 2018. E.Piekut seconded. Vote: U/A

PLAN REVIEW:

Planning:

- 8' fence is the max height
- Add taller screening around the compactor
- Supply detail/elevation of compactor
- Revise plan set to:
 - Add note to indicate the current use plan is not effected by the addition of the trash compactor area as it's outside of the Current Use areas
 - Reduce brightness of area to meet regulations
 - Add Planning File # P18-64
 - Add owner's signatures
 - Add PE signature and stamps
 - Add wetland buffer placards along southwesterly buffer line
 - Add sign about recycling center

Engineering Comments:

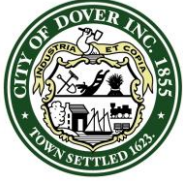
- Confirm compactor design (open vs. closed)
- Consider pedestrian access
- Move second light post closer to compactor

Police Department Comments:

- Confirm safety/security aspects

Fire/Inspections Comments:

- Provide dimensions of trash compactor and confirm height of fence will completely screen the compactor.
- Provide elevation drawings (including front and side vies) of the proposed installation.
- Is there a location for recyclables to be placed.
- Clarify the accessible route to the compactor with heights and reach ranges.
- Provide accessible parking space in accordance with applicable accessibility regulations.
- Site plans shall indicate confirmation of design has been reviewed for and complies with all applicable accessibility regulations. (i.e. '09, IBC Chapter 11 w/ NH Amendments and ANSI) in accordance with NH



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P18-64

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Location: Lilac Lane (Tax Map H, Lot 35-D)
Date: December 13, 2018

RSA 155-A: 5.

- In accordance with the State adopted building code fences greater than 6' require a building permit. Place a note on the plan: Building permit required to be obtained from Inspection Services prior to fence installation.
- The electrical and mechanical components shall be protected from physical damage (left side of compactor).

Economic Development:

- Would like to see elevation of compactor
- Concerned about access to unit

Planning Board Comments:

- Recycling option should be on site

Next Steps: Submit for Conservation Commission review and then Planning Board review for the CUP and waiver.

Adjournment: A motion to adjourn TRC was made at 11:38 am by D.White and seconded by J. Maxfield. Vote: U/A

CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443 FAX: 603.749.7348

January 4, 2019

Mr. Christopher Parker
Assistant City Manager/Director of Planning
City of Dover
288 Central Ave
Dover, NH 03820

Subject: Little Bay Marina
421 Dover Point Road
Dover, NH 03820
Our Reference No. 1788

Re: Site Review Application &
Conditional use Permit

Dear Mr. Parker:

On Behalf of our clients, Little Bay Marina & Development, LLC, we are pleased to submit (8) Copies of the Application(s), (8) sets of the application material, (2) sets of the supporting drainage analysis, (8) full size plan sets, (1) reduced sets, and one electronic copy of the attached materials for TRC review:

- 1) Site Review Application
- 2) Conditional Use Permit Application
- 3) Deeds
- 4) Project Narrative
- 5) Tax Maps
- 6) USGS Map
- 7) NHB Review
- 8) Site Photographs
- 9) Utility Letters
- 10) Stormwater Inspection and Maintenance Plan
- 11) Drainage Report & Plans (Select Sets)
- 12) Design Plans

We look forward to discussing this application with the Technical Review Committee. If you have any questions that we might be able to answer, please do not hesitate to contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read "J Haight", with a horizontal line extending to the right.

Stephen J Haight, PE

CIVILWORKS NEW ENGLAND

SJH



City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: April 02, 2018]

Office Use Only	Project #:	_____	Date Received:	_____
	Amount Paid:	_____	Time Received:	_____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Little Bay Marina and Development, LLC Telephone # (603) 224-2251

Address of Applicant: 111 Loudon Road, Concord, NH 03301

E-Mail Address: aaversa@nedermatology.com

Name of Property Owner (if different from applicant): _____ Telephone # _____

Address of Property Owner: _____

PROPERTY INFORMATION

Address of Property: 421 Dover Point Road

Assessor's Map # 8 Lot(s) # 9, 10, 11, & 12

Conservation District _____
Zoning District(s) LBW-Little Bay Waterfront Overlay District(s) Wetlands Protection District _____

Size of Parcel: 152,438 sq. ft. 3.49 ac. Property Deed: Book 2770 Page: 977
4101 409
4415 221
4475 288

Existing Use of Property: Residential / Commercial / Marina

SITE PLAN INFORMATION

Describe Proposed Use: 23 residential units and marina/marina office w/(1) apartment

Area of Parcel to be Developed: 152,438 sq. ft.

If Multi-family Residential, Specify Number of Units & Buildings Proposed: 23 units, 6 buildings
(Mixed Use Bldg 1 Unit)

Number of Parking Spaces: Existing 60 boat trailers Proposed 27

Highway Access (check where applicable): X City Street _____ State Highway _____

Number of Employees Total: 2 In Maximum Shift: 2

Disposition of Parcel:	Building Setbacks:
5-4120 st, 1-1400 st	
Building Footprint <u>1-3090 st</u> sq. ft.	Front Yard <u>28</u> ft.
Total Building Area <u>25,090</u> sq. ft.	Rear Yard <u>104</u> ft.
Paved Area <u>50,890</u> sq. ft.	Side Yard: Right <u>17.1</u> ft. Left <u>12.9</u> ft.

City Water? ☒ Yes ☐ No How far is city water from the property? along frontageCity Sewer? ☒ Yes ☐ No How far is city sewer from the property? along frontage**BUILDING INFORMATION**Type of Building to be Built: Wood-frameHeight of Building: 34' - 47' Finished Floor Elevation: VariesNumber of Seats (where applicable) 0Estimated value of construction: \$600,000 Refuse removal: Public/Private (circle one) Private**WAIVER REQUESTS**

Site Review Regulations section(s) to be waived: _____

Justification for waiver request(s) (*attach additional sheets as needed*): _____

SURVEYOR INFORMATIONName of Surveyor and Company (Licensed in N.H.) McEneaney Survey Associates, Inc.Address P.O. Box 681, Dover, NH Telephone #: (603) 742.0911Professional License #: 661 E-mail address: msa@surveynh.com**ENGINEER INFORMATION**Name of Engineer and Company (Licensed in N.H.) Civilworks New EnglandAddress P.O. Box 1166, Dover, NH Telephone #: (603) 749.0443Professional License #: 7978 E-mail address: shaight@civilworksne.com**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. Furthermore, I/we submit that the existing conditions sheet of the plan represents the lot in question, and that no alteration of the site shall take place during Planning Board review up to and including the pre-construction meeting. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: Anthony J. Jones Date: 11/5/16Signature of Applicant (*if different from owner*): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Anthony J. Allen Date: 11/5/18**AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY**

I, and my successors, hereby the City of Dover or its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Anthony J. Allen Date: 11/5/18

Signature of Applicant (if different from owner): _____ Date: _____

CERTIFICATION OF FEES

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board.

Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner: Anthony J. Allen Date: 11/5/18

Signature of Applicant (if different from owner): _____ Date: _____

PLANNING BOARD ESTIMATED FEE SCHEDULE

This is only provided to give you an estimate of the application fees. *After you submit an application, staff will invoice you a total.* All fees must be paid two weeks before the Planning Board meeting. **If the Fee has not been paid, the item will not be placed upon the agenda.**

A. TOTAL FEE paid by cash or check made payable to "City of Dover"

1. Application fee for the following:

- SUBDIVISION \$150.00 x # _____ new lots created = \$ _____
- LOT LINE ADJUSTMENT \$200.00 (if more than two lots involved, add \$100.00 per lot) = \$ _____
- SITE REVIEW – TRANSFER OF DEVELOPMENT RIGHTS Application fee \$150.00 = \$ _____
- SITE REVIEW - RESIDENTIAL \$100.00 x # _____ per dwelling unit = \$ _____
- SITE REVIEW – NON-RESIDENTIAL (not to exceed \$10,000)
 New construction \$.15 sq. ft. x # _____ sq. ft. = \$ _____
 Additions (new floor space) \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- IMPERVIOUS PAVED AREA (for new development) OR IMPERVIOUS PARKING LOT ADDITIONS (not to exceed \$10,000) \$.07 sq. ft. x # _____ = \$ _____
- MOTEL/HOTEL \$35.00 x # _____ per lodging unit = \$ _____
- CHANGE OF USE (not to exceed \$5,000)
 Existing floor space \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
- CONDITIONAL USE PERMIT \$150.00 x # _____ per application = \$ _____
- GRAVEL PIT/ EXCAVATIONS - Application fee \$50.00 & Permit fee \$75.00 = \$ _____
- EXTENSIONS OF/AMENDMENTS TO/WAIVERS FOR AN APPROVED PLAN (\$150.00 minimum) \$50.00 x # _____ per hour of review = \$ _____
- REQUEST FOR REZONING \$150.00 = \$ _____
- DRIVEWAY WAIVER – \$100.00 application fee = \$ _____
 Letter of rejection from Engineering Department, diagram & letter from owner \$ _____

B. Abutter Notification/Mailing Labels - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will need to provide to this office the engineer, architect, land surveyor or soil scientist whose professional seal appears on the plan with names and addresses for notices. You will be notified with the amount due, once this has been completed.

1. Applicant & Owner, engineer, architect, land surveyor or soil scientist
 Certified letters fee # _____ of x \$8.00 = \$ _____
2. Certified letters fee: # of abutters _____ X \$8.00 = \$ _____
3. First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X \$1.00 = \$ _____
4. Creating/Printing Abutter Labels in triplicate per sheet _____ x \$10.00 = \$ _____

C. Foster's newspaper public notice fee \$ 80.00

(Revised October 2, 2018)

TOTAL FEE \$ _____

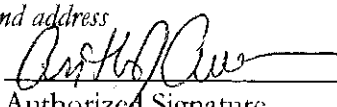
CITY OF DOVER PLANNING DEPARTMENT

(Revision Date: May 15, 2017)

APPLICANT: _____ FILE NUMBER: _____

List of Common Site Plan Notes

The following list of commonly required notes is intended to be used as a guide to applicants and should not be construed as a comprehensive note requirement list for all projects. A preapplication conference with the Planning Department is suggested to help determine the actual notes that may be required.

1. The intent of this site plan is _____.
2. Current Owner: *Name and address*

Authorized Signature
3. The project parcel(s) is (are) shown as Lot No. _____, Map _____ of the City of Dover Tax Assessor's Maps.
4. The project parcel(s) contains _____ acres or _____ square feet area of land.
5. Title reference for the project parcel(s) is the Strafford County Registry of Deeds, Book No. _____, Page No. _____.
6. Project Plan References: *(List all reference plans and their SCRD #)*
7. All applicable right-of-way, conservation, slope, construction, utility, access, or other easements shall be referenced in a note and shown on the plan and shown on the plan.
8. Zoning dimensional and density requirements are as follows:
 - a. zoning district _____ subdistrict _____
 - b. minimum lot size: _____ acres (sq. ft.)
 - c. minimum lot frontage: _____ ft.
 - d. minimum yard setbacks/build-to-lines:

Front _____ ft.

Side _____ ft.

Rear _____ ft.

Abut-a-street _____ ft.

Maximum/minimum lot coverage _____ %

Minimum/maximum hldg. height _____ ft./stories

This property falls within the following zoning overlay districts: *(List districts)*

9. Property line information has been obtained from a survey performed by *(surveyor)* on *(date)* with an error not greater than 1 in 10,000 *(or has been obtained from _____ Plan, prepared by (surveyor))*.

Existing and proposed topographic information at two foot intervals		
Existing and proposed buildings and structure locations		
Minimum building setbacks or build to lines on all lots		
Location and size of existing and proposed electric, telephone, gas cable and other underground utilities		
Existing and proposed water lines and fire hydrants, including materials and capacity needed		
Location and materials of sanitary sewage facilities within project site and projected additional peak hour sewer load		
Existing and proposed stormwater lines and facilities		
Lighting plan depicting all existing and proposed exterior light fixtures and a lighting level analysis for parking lots		
Location of Flood Hazard Zone		
Location of all bodies of water and watercourses		
Location of wetlands and buffers		
Neighborhood plan with aerial underlay showing how project relates to abutting uses within the plan set		
Existing natural features and/or significant vegetation on property		
Depict existing contours up to 100 ft. beyond project limits		
Landscape plan depicting existing and proposed landscaping, prepared by a licensed Professional Landscape Architect		
Location of parking layout delineating spaces and arrangement; note addressing maximum required spaces		
Location, material and size of existing and proposed pavement area		
Location of proposed fire lanes		
Specify finished floor elevations of buildings		
Location of solid waste disposal facilities (dumpster, pad and screening, etc.), including required screening		
Depict all service, storage, loading bays and utility areas		
All applicable Dover Common Site Plan notes		
12. Additional Information if appropriate		
Stormwater Management Plan depicting the existing & proposed storm drainage system and engineered drainage analysis		
Stormwater Management System Operation and Maintenance Plan		
Erosion and Sedimentation Control Plan		
Landscape Operation and Maintenance Plan		
Proposed restrictive covenants or homeowners association documents		
Dates and permit numbers of all required state and federal permits		
If wetland buffer, indicate placards locations, as applicable		
Depict test boring locations, groundwater elevations and soil profiles and/or soils types call-outs		
Location of proposed drive-in facilities		
Provide additional exhibits/technical data determined appropriate by the Planning Board or its staff as required		

REVIEWED BY: _____ DATE _____ TRC DATE _____



City of Dover, New Hampshire CONDITIONAL USE PERMIT APPLICATION

[Revision Date: May 18, 2017]

Office Use Only	Project #: _____	Date Received: _____
	Amount Paid: _____	Time Received: _____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Little Bay Marina and Development, LLC Telephone # (603) 224-2251

Address of Applicant: 111 Loudon Road, Concord, NH 03301

E-Mail Address: aaversa@nedermatology.com

Name of Property Owner (if different from applicant): _____ Telephone # _____

Address of Property Owner: _____

PROPERTY INFORMATION

Assessor's Map # 8 Lot(s) # 9, 10, 11, 12

Address of Property: 421, 423, 425, 427 Dover Point Road

Zoning District(s) LBW Overlay District(s) Conservation District
Wetlands Protection District

Existing Use of Property: residential/commercial/marina

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

- | | | |
|---|---|--|
| ☒ Conservation District | ☐ RCM Use Overlay District | ☐ I-1 District Uses |
| ☐ Groundwater Protection | ☐ Off-Street Parking and Loading | ☐ Alternative Treatment Center |
| ☒ Wetland Protection District | ☐ Central Business District | ☐ Heritage Residential District |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

The project applicant proposes to install a driveway, utilities, sidewalk, a commercial building, and conduct site grading within a small wetland island (2,304 SF) and the associated 50' wetland buffer.

Total permanent impact area within the non-tidal wetlands on-site of 2,304 SF and the total 50' Dover wetland buffer impact will be 15,579 SF. A total of 58,203 SF of temporary and permanent impact of previously developed 100' tidal buffer will be disturbed within the property.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: Alteration of Terrain, Standard Dredge and Fill Permit, Shoreland

Name of Professional That Prepared Plans: Stephen J. Haight

Address PO Box 1166, Dover, NH 03821 Telephone #: 603-749-0443

Professional License #: 7978 E-mail address: shaight@civilworksne.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: Anthony J. Averis Date: 11/5/18

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Anthony J. Averis Date: 11/5/18

PROJECT NARRATIVE
for
Little Bay Marina
423 Dover Point Road, Dover, NH
Tax Map 08, Lots 09, 10, 11 & 12

PROJECT OVERVIEW

The project applicant is proposing to combine four existing lots, remove the existing buildings and driveways, and create a new residential neighborhood with a commercial marina using the existing slips and moorings. The proposed site will include a new mixed use marina office building including (1) residential 2-bedroom unit, (23) additional 3-bedroom residential units within (6) new buildings, a new driveway layout, a new drop-off access at the waterfront, and replacing any remaining gravel areas with green space. The project will impact 2,304 square feet of non-tidal wetlands.

As a portion of the work proposed is within the 100' tidal buffer but does not fill greater than 0.5 acre-feet. The project will require filing for additional State Permits, including an Alteration of Terrain (AOT) permit and Wetland Permit including Shoreland permitting requirements.

The project consists of the following general improvements:

- Remove existing buildings, driveways, and existing site improvements
- Construction of (6) new multi-unit buildings and (1) Commercial mixed-use building
- Construction of stormwater treatment structures, grading, and other drainage requirements
- Site utility construction
- Construct new parking lots, 24' wide driveway, and access ways
- Stabilize remaining areas with loam and seed

PROJECT LOCATION AND SITE CHARACTERISTICS

The project site is located within the Little Bay Waterfront district. The project area consists of (4) parcels of land shown on Tax Map 08 as Lots 09, 10, 11 and 12. Lot 09 contains +/- 2.04 acres and is currently developed as a commercial marina with onsite storage, patron parking, and access to the existing slips and mooring field. Lots 10, 11 and 12 contain a total of +/- 1.45 acres and are currently developed as residential housing lots. The project proposes to combine the existing (4) lots with a lot line adjustment application attached. All the lots are accessed from Dover Point Road and are located along Little Bay.

DRIVEWAY AND PARKING LOT

The proposed driveway will be 24' with curbing and sidewalk. The proposed entrance located along Dover Point Road will be 24' wide and will service all the proposed buildings. There will be +/- 26,726 S.F. of porous pavement in the parking areas. Lighting for the proposed parking lot and driveway will be per the lighting plan.

For the proposed development, the City of Dover Parking maximums allow for the following:

- LBW Residential (24 Units)*(1.4.+0.5) = 45.6 Spaces Maximum
- LBW Office (1400 SF)/(275 SF) = 5.1 Spaces Maximum
- Boat Slips (42 Slips/0.8) = 34 Spaces
 - o Total for Site = **84.7 Spaces Maximum (Surface)**
- Proposed Garage (23)*(2) = 46 Private Garage Spaces
- Proposed Surface Spaces = 27 Public Surface Spaces
- Total proposed = 73 Spaces (2 Accessible Space)

WETLAND IMPACT TYPE

The project work requires a standard Dredge and Fill Wetlands Permit Application. Approximately 2,304 SF of non-tidal wetland will be impacted. The total area of the 100' tidal buffer is 58,203 S.F. and the 50' buffer area to be impacted will be 15,579 S.F. The project does not impact bogs, marshes, sand dunes, tidal wetlands, cedar swamps, undisturbed tidal buffer zone, or involve any work within 50 feet of a salt marsh. The project is not located within 100 feet of prime wetlands.

DRAINAGE

The proposed development of the site includes the demolition of all the existing structures as well as the construction of 6 multi-unit residential buildings as well as a mixed use commercial building with the marina offices on the first floor and an apartment above. The development also includes the construction of an access road, parking for the residential and commercial use of the site, utility upgrades, and drainage improvements including the stormwater quality treatment structures of rain gardens, porous pavement, and a treatment swale.

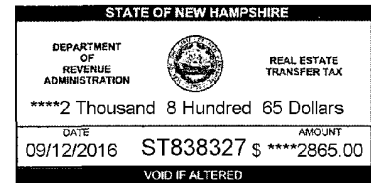
The post development watershed is modeled utilizing the same point of analysis, Little Bay, incorporated in the pre development conditions to allow direct comparison of the peak runoff between the pre and post developed conditions. The post development condition has been divided into sixteen sub-catchments to accurately model the proposed development with the inclusion of rain gardens, porous pavement areas, a detention

pond, and a treatment swale as well as the closed drainage system. The stormwater conveyance systems include an existing swale to the north of the site and a closed drainage system which includes under drains and drain manholes to the south, both of which discharge to Little Bay .

The analysis indicates that the proposed development of the site will have negligible impact on the watershed.

UTILITIES

The proposed project expects to connect to City of Dover water and sewer as well as Unitil natural gas, and Eversource electric. Natural Gas lines are located within the Dover Point Road right-of-way which is the anticipated location for this connection. The existing site is already serviced by Natural Gas and Electricity. City of Dover water and sewer lines are located within the Dover Point Road right-of-way. The project anticipates connecting to City of Dover water via the Portland Road water main. Internal water services will be 6" mains with 2" connections to the buildings. Buildings will be sprinkled and connections made per the City's Community Services Utility Division and Fire Department requirements and standards. The project plans to connect to the gravity sewer lines in Dover Point Road. Electricity for the site is proposed to be provided by the existing electric lines located along Dover Point Road.



FORECLOSURE DEED

U.S. Bank National Association as trustee for CMALT REMIC 2007-A6 PRAA - REMIC Pass-Through Certificates, Series 2007-A6 having a mailing address c/o CitiMortgage, Inc., 1000 Technology Drive, O'Fallon, MO 63368, the current holder of a Mortgage from Thomas M. Ratay to Mortgage Electronic Registration Systems, Inc. as nominee for Merrimack Mortgage Company, Inc. dated April 25, 2007, recorded in the Strafford County Registry of Deeds at Book 3521, Page 0945, by the power conferred by said Mortgage and every other power, for One Hundred Ninety One Thousand and 00/100 Dollars (\$191,000.00) paid, grants to:

Little Bay Marina & Development, LLC, a New Hampshire limited liability company, having a mailing address of 111 Loudon Road, Concord, NH 03301, the premises conveyed by said Mortgage.

Doc #:31702

425 Dover Point Road, Dover, NH 03820

Said premises are conveyed subject to all municipal real estate taxes and assessments.

Executed this 7th day of September, 2016.

**U.S. Bank National Association as trustee for CMALT
REMIC 2007-A6 PRAA - REMIC Pass-Through
Certificates, Series 2007-A6, by and through its attorney-
in-fact CitiMortgage, Inc.**

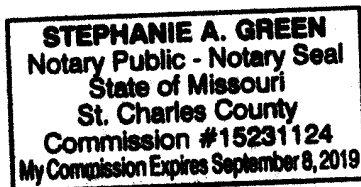
By: *Sue Jorden*, duly authorized
Sue Jorden
Its: Vice President-Documnet Control

STATE OF Missouri
County of St. Charles

On this 7 day of September, 2016, before me, the undersigned notary public, personally appeared Sue Jorden, personally known to me, who, being by me duly sworn or affirmed, did say that he/she is the Vice President-Documnet Control (position) of CitiMortgage, Inc., duly authorized to execute the preceding or attached document for said Corporation, as attorney in fact for U.S. Bank National Association as trustee for CMALT REMIC 2007-A6 PRAA - REMIC Pass-Through Certificates, Series 2007-A6, and he/she acknowledged said instrument to be the voluntary fee act and deed of said CitiMortgage, Inc., attorney in fact for U.S. Bank National Association as trustee for CMALT REMIC 2007-A6 PRAA - REMIC Pass-Through Certificates, Series 2007-A6, for its stated purpose.

Stephanie A. Green
Notary Public
My commission expires: 9-8-19
(Seal)

Doc #:31702



**AFFIDAVIT OF SALE
REQUIRED BY N.H. RSA 479:26**

I, Steven G. Manchini, Esquire as attorney of Cunningham, Machanic, Cetlin, Johnson, Harney & Tenney, LLP counsel for US Bank National Association as Trustee for CMALT REMIC Series 2007-A6-REMIC Pass-Through Certificates Series 2007-A6, the grantor in the foregoing deed, on my oath say that the principal and interest secured by the mortgage referred to in the foregoing deed were not paid or tendered or performed when due or prior to the **July 18, 2016** foreclosure sale, and that a Notice of Foreclosure Sale was published in the *New Hampshire Union Leader*, a newspaper of statewide circulation and/or of general circulation within the town in which the premises are situated, published in Manchester, in the State of New Hampshire, on June 10, 2016, June 17, 2016 and June 25, 2016. A copy of said Notice of Foreclosure Sale is attached as Exhibit A.

And I further on oath say that on June 1, 2016, copies of said Notice were sent via certified mail to the current owners of the premises and to the mortgagors of said mortgage to the property address and at their last known address (es) to wit:

Thomas M. Ratay
425 Dover Point Road
Dover, NH 03820

Spouse of Thomas M. Ratay
425 Dover Point Road
Dover, NH 03820

and on said date to all persons having a lien on the premises of record in the Registry of Deeds of the County in which the subject premises are situated, at least fifty (50) days before the date of sale specified in said Notice, and if applicable, with additional Notice to IRS pursuant to Section 7425(c), to wit:

City of Dover
Water & Sewer Department
288 Central Avenue
Dover, NH 03820

City of Dover
Office of the Tax Collector
288 Central Avenue
Dover, NH 03820

Beneficial New Hampshire, Inc.
75 Congress Street
Portsmouth, NH 03081

Beneficial New Hampshire, Inc.
c/o C T Corporation Systems
9 Capitol Street
Concord, NH 03301

Beneficial New Hampshire, Inc.
1421 W. Shure Dr., Ste 100
Arlington Heights, IL 60004

Atlantic Credit & Finance, Inc.
3353 Orange Avenue
Roanoke, VA 24012

Atlantic Credit & Finance, Inc.
c/o Lexis Document Services, Inc.
10 Ferry Street, Suite 313
Concord, NH 03301

Atlantic Credit & Finance, Inc.
c/o Adam J. Olshan, Esq.
Law Offices of Howard Lee Schiff, PC
PO Box 8177
Brattleboro, VT 05301-8177

Atlantic Credit & Finance, Inc.
c/o Law Offices of Howard Lee Schiff,
PC
510 Tolland Street
PO Box 280245
East Hartford, CT 06128-0245

I further say on oath that pursuant to said Notice, at that time and place therein appointed, the mortgaged premises was sold at public auction to Anthony Aversa for One Hundred Ninety One Thousand and 00/100 Dollars (\$191,000.00), bid by Anthony Aversa, being the highest bid made at said auction, and being an amount equal to or in excess of an upset price established by said mortgage holder. See Assignment of Memorandum of Terms of Sale from Anthony Aversa to **Little Bay Marina & Development, LLC** recorded herewith. (Exhibit B)

I further say on oath that to the best of my knowledge no service of petition to enjoin the sale was filed in the **Strafford** County Superior Court.

I further on oath say that to the best of my knowledge and belief, the mortgagors were not in the military or other service of the United States at the time of the foreclosure or within twelve (12) months prior to the foreclosure or were members of the military service when the mortgage was executed, pursuant to the provisions of the Servicemembers Civil Relief Act.

Witness my hand this 15th day of August, 2016.

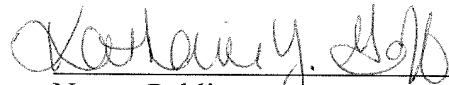


Steven G. Manchini, Esquire as attorney of
Cunningham, Machanic, Cetlin, Johnson,
Harney & Tenney, LLP counsel for US Bank
National Association as Trustee for CMALT
REMIC Series 2007-A6-REMIC Pass-
Through Certificates Series 2007-A6,

COMMONWEALTH OF MASSACHUSETTS

County of Middlesex

On this 15th day of August, 2016 before me, the undersigned notary public,
personally appeared Steven G. Manchini as attorney for **US Bank National Association as
Trustee for CMALT REMIC Series 2007-A6-REMIC Pass-Through Certificates Series
2007-A6**, known to me to be the person whose name is signed on the preceding or attached
document, and acknowledged to me that he signed it voluntarily for its stated purpose.



Notary Public Katherine Y. Goff
My commission expires: 11/12/2021
(Seal)

Doc #:31702

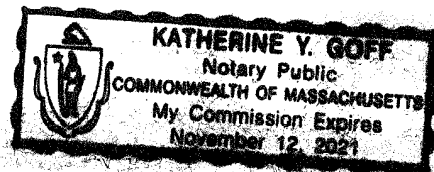


EXHIBIT A**Legal Notice****NOTICE OF MORTGAGEE'S SALE**

For breach of the conditions set forth in a certain Mortgage dated April 25, 2007, given by **Thomas M. Ratay** to Mortgage Electronic Registration Systems, Inc. as nominee for Merrimack Mortgage Company, Inc., recorded with the Strafford County Registry of Deeds at Book 3521, Page 0945, the undersigned being the present holder of said mortgage, the original of which Mortgage is located at US Bank National Association as Trustee for CMALT REMIC Series 2007-A6-REMIC Pass-Through Certificates Series 2007-A6, 60 Livingston Avenue, St. Paul, MN 55107 and may be examined there during normal business hours, by virtue of Power of Sale contained in said Mortgage, US Bank National Association as Trustee for CMALT REMIC Series 2007-A6-REMIC Pass-Through Certificates Series 2007-A6, for the purpose of foreclosing said Mortgage, default having been made in the conditions thereof, will sell on the mortgaged premises which are situated at:

425 Dover Point Road, Dover, Strafford County, New Hampshire
all of said holder's right, title and interest in and to the real estate described in said mortgage, at PUBLIC AUCTION on Monday, July 18, 2016, at 12:00 p.m. local time. For mortgagor's(s) title see Deeds recorded with the Strafford County Registry of Deeds in Book 3510, Page 0904, in Book 3510, Page 898, and in Book 2049, Page 0658.

Terms of Sale: Ten Thousand Dollars (\$10,000.00) cash, bank draft or other form acceptable to the said holder, to be paid at the time of the sale, and the balance of the purchase price to be paid within thirty (30) days of the date of sale at the firm of Cunningham, Machanic, Cetlin, Johnson, Harney & Tenney, LLP, Attorneys for said holder, 220 North Main Street, Suite 301, Natick, Massachusetts.

The above-described premises shall be so sold subject to all easements, restrictions, municipal or other public taxes, assessments, liens or claims in the nature of liens, outstanding tax titles, building, zoning and other land use laws and all permits and approvals issued pursuant thereto, and existing encumbrances of record created prior to said Mortgage, if there be any. Said premises are to be sold subject to the right of redemption of the United States of America, if any there be. The successful bidder shall be required to sign a Memorandum of Terms of Sale. Other terms, if any, to be announced at the time and place of sale. The description of the premises contained in said mortgage shall control in the event of error in publication.

The mortgagee may amend or alter the terms of sale by oral or written notice before or at the auction sale. The Mortgagee may reject and accept bids at its discretion. The auction sale may be canceled or continued to another date or time on notice by the Mortgagee.

Notices Pursuant to New Hampshire RSA 479:25: You are hereby notified that you have the right to petition the superior court for the county in which the mortgaged premises are situated, with service upon the mortgagee, and upon such bond as the court may require, to enjoin the scheduled foreclosure sale.

The address of the mortgagee for service of process is: 60 Livingston Avenue, St. Paul, MN 55107. The name and address of the mortgagee's agent for service of process is: Cunningham, Machanic, Cetlin, Johnson, Harney & Tenney, LLP, 220 North Main Street, Suite 301, Natick, MA 01760.

The contact information for the New Hampshire Banking Department is: New Hampshire Banking Department
53 Regional Drive, Suite 200
Concord NH 03301

For information on getting help with housing and foreclosure issues, please call the foreclosure information hotline at 1-800-437-5991. The hotline is a service of the New Hampshire banking department. There is no charge for this call.

Dated at Natick, Massachusetts this 1st day of June, 2016.

US Bank National Association as
Trustee for CMALT REMIC Series
2007-A6-REMIC Pass-Through
Certificates Series 2007-A6

Present Holder of Said Mortgage,

By it Attorneys,
CUNNINGHAM, MACHANIC, CETLIN,
JOHNSON, HARNEY & TENNEY, LLP

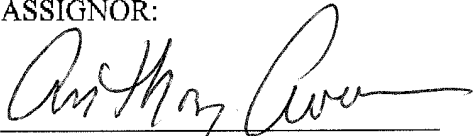
By: Steven G. Manchini
CUNNINGHAM, MACHANIC, CETLIN,
JOHNSON, HARNEY & TENNEY, LLP
220 North Main Street, Suite 301
Natick, MA 01760
(508) 651-7524

(UL - June 10, 17, 25)

EXHIBIT B**ASSIGNMENT OF
MEMORANDUM OF TERMS OF SALE**

Anthony Aversa, with a mailing address of 111 Loudon Road, Concord, New Hampshire 03301, the Buyer under a certain Memorandum of Terms of Sale dated July 18, 2016, by and between the Buyer and US Bank National Association as Trustee for CMALT REMIC Series 2007-A6-REMIC Pass-Through Certificates Series 2007-A6 ("Seller"), with respect to a certain parcel of real property commonly known as 425 Dover Point Road, Dover, New Hampshire, with a Purchase Price of \$191,000.00 (the "Purchase Agreement"), for consideration paid, hereby assigns all of his right, title, interest as the Buyer under the Memorandum of Terms of Sale to Little Bay Marina & Development, LLC, a New Hampshire limited liability company with a mailing address of 111 Loudon Road, Concord, New Hampshire 03301.

ASSIGNOR:

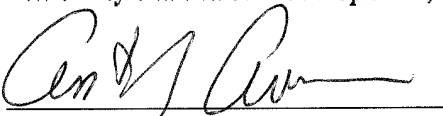
Dated: August 5, 2016
Anthony Aversa

ASSIGNEE:

Little Bay Marina & Development, LLC

Dated: August 5, 2016

By:


Anthony Aversa, Manager
Duly Authorized

2003 JUN 10 PM 1:40

STRAFFORD COUNTY
REGISTRY OF DEEDS

018904

BK2770PG0977

Return to:
Schop & Pleskow, LLP
Attorneys at Law
403 Main Street, Suite 605
Buffalo, New York 14203

QUIT-CLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that RICHARD J. C. BENN, a married man with an address of 421 Dover Point Road, Dover, New Hampshire 03820, for consideration paid grants to RICHARD J.C. BENN AND VICTORIA BENN, husband and wife, as joint tenants with rights of survivorship, with an address of 421 Dover Point Road, Dover, New Hampshire 03820, WITH QUIT-CLAIM COVENANTS, the following:

A CERTAIN PARCEL OF LAND, with the buildings thereon,

SEE LEGAL DESCRIPTION ATTACHED HERETO

Meaning and intending to describe and convey the same premises conveyed to by deed dated June 10, 1997 and recorded in the Strafford County Registry of Deeds on July 2, 1997 in Book 1936 at page 563.

I, RICHARD J.C.BENN, a married man, do hereby release all rights of homestead and other interests therein.

I, VICTORIA BENN, a married woman, wife of RICHARD J.C. BENN, do hereby release all rights of homestead and other interests therein.

Pursuant to New Hampshire RSA 78-B:2 (ix), the conveyance of the above described property is a non-contractual transfer and is exempt from the New Hampshire tax on transfer of real property.

DATED this 23 Day of May, 2003

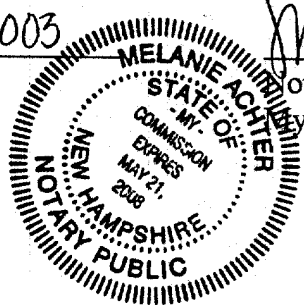
Victoria Benn
VICTORIA BENN

Richard J. Benn
RICHARD J.C. BENN

STATE OF NEW HAMPSHIRE
COUNTY OF Hillsborough

Then personally appeared the above-named, VICTORIA BENN AND RICHARD J.C.BENN, known to me to be the person(s) signing the within instrument and acknowledged that they executed the same for the purposes therein contained.

DATED May 23, 2003



Melanie Achter
Notary Public/Justice of the Peace

My Commission Expires: May 21, 2008

BK2770PG0978

QUIT-CLAIM DEED LEGAL DESCRIPTION

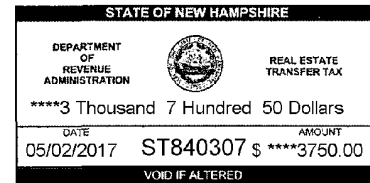
A CERTAIN TRACT OF LAND, together with any and all buildings thereon, known as 421 Dover Point Road, in Dover, County of Strafford and State of New Hampshire, at the southeasterly corner of land now or formerly of Alletta M. Abbott, bounded and described as follows:

BEGINNING at the southeasterly corner of land now or formerly of Arthur Hartford,; thence running southwesterly along land now or formerly of Frank Ham, two hundred fifty-five (255) feet, more or less, to a hub; thence northwesterly along land now or formerly of Charles Hussey and land now or formerly of Alletta M. Abbott, eighty-five (85) feet, more or less, to a hub; thence northeasterly along other land now or formerly of said Alletta M. Abbott, two hundred fifty-five (255) feet, more or less, to a hub in the ground; thence southeasterly along said Hartford land to the bound begun at.

SUBJECT ALSO to sewer easement to the City of Dover dated February 2, 1976 and recorded in the Strafford County Registry of Deeds at Book 1011, page 244.

TOGETHER WITH a right of way as stated in Deed recorded with said Registry at Book 1501, page 771.

BK 2770 PG 0979



Return to:
Baroff & Craven, PA
740 Chestnut Street
Manchester, NH 03104

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS that I **Renee F. Johnson**, un-remarried widow, of 35 Wiltshire Drive, Worcester, Worcester County and Commonwealth of Massachusetts, 01609, grant(s) to **Little Bay Marina & Development, LLC**, a New Hampshire Limited Liability Company, with an address of 111 Loudon Road, Concord, Merrimack County, New Hampshire 03301 the following described premises with **QUITCLAIM COVENANTS**:

Two certain tracts or parcels of land with the buildings thereon, situated in Dover, County of Strafford, State of New Hampshire, and bounded and described as follows:

Tract I

A certain tract or parcel of land with the buildings thereon, situated on the Bellamy River in the Dover Point section of Dover, County of Strafford, State of New Hampshire, and bounded and described as follows:

Beginning at a cement post set in the ground at land now or formerly of Armand Ouellette, which cement post is sixty-five (65) feet, more or less, northerly from the Bellamy River; thence running Easterly by said Ouellette land a distance of fifty (50) feet, more or less, to a cement post in the ground at land now or formerly of Frank W. Ham; thence running southerly by said land now or formerly of Ham, a distance of one hundred twenty (120) feet, more or less, to the Bellamy River; thence turning and running in a westerly direction by said Bellamy River to land formerly of Alletta M. Abbott; thence turning and running in a northerly direction by said land formerly of Alletta M. Abbott a distance of sixty-five (65) feet, more or less.

Tract II

Also one other certain tract or parcel of land situate in Dover, County of Strafford, State of New Hampshire, situated northerly of the above-described tract or parcel of land and bounded and described as follows, to wit:

Beginning at the northeasterly corner of the above-described tract or parcel of land and by land formerly of Alletta M. Abbott a distance of eighty-five (85) feet, more or less, to a point; thence turning and running in a northerly direction a distance of twenty (20) feet to a point at other land now or formerly of Armand Ouellette; thence turning and running in an easterly direction by said Ouellette land on a line parallel to the first mentioned bound a distance of eighty-five (85) feet, more or less, to a point; thence turning and running in a southerly direction a distance of twenty (20) feet to the point of beginning.

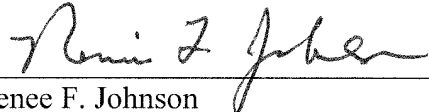
The above parcels of land are conveyed together with a right-of-way from the Dover Point Road through land formerly of Alletta M. Abbott, the location of said right-of-way to be determined at all times by said Abbott, her heirs and assigns. There is conveyed herewith a right to lay and maintain water pipes over other land of said Ouellette northerly of the parcels herein conveyed.

The grantor derives her title as the sole devisee of the Estate of Barry Thomas Johnson NH 7th Circuit – Probate Division – Dover Docket #319-2014-ET-00444. See also the Estate of Venice Mae Smith NH 7th Circuit – Probate Division – Dover Docket #319-2013-ET-00589.

Meaning and intending to describe and convey the same premises conveyed to Venice Mae Smith by Warranty Deed of Rachel B. Orcutt dated Decemebr 2, 1993 recorded with the Strafford County Registry of Deeds at Book 1718, Page 307.

This is not homestead property of the Grantor.

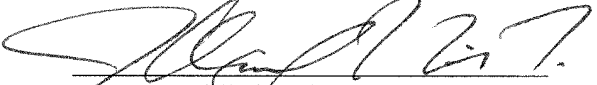
Executed this 1st day of May 2017.

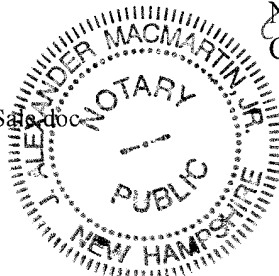

Renee F. Johnson

State of New Hampshire
County of Hillsborough

Then personally appeared before me on this 1st day of May 2017, the said Renee F. Johnson and acknowledged the foregoing to be her voluntary act and deed.

GAUTHIER &
MACMARTIN, PLLC
ATTORNEYS AT LAW
123 ELM ST.
MILFORD, NH 03055
603-673-7220

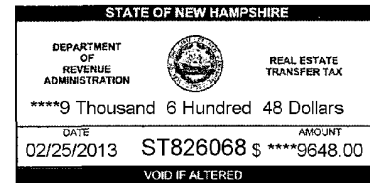

Notary Public/Justice of the Peace
Commission expiration: 2/25/2020



Z Drive:Cara:Deeds:Johnson, Barry S&B.doc

RE: 2013-793

Page 2 of 2



Return to:
Craven, Sullivan & Splendore, PLLC
740 Chestnut Street
Manchester, NH 03104

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS that Salt Water Aquatics, LLC, a dissolved New Hampshire limited liability company and Anthony J. Aversa, the sole Member thereof, both with a mailing address of 469 Brown Ridge Road, Ossipee, County of Carroll and State of New Hampshire 03864, for consideration paid grants to Little Bay Marina & Development, LLC, a New Hampshire limited liability company with a mailing address of 469 Brown Ridge Road, Ossipee, County of Carroll and State of New Hampshire 03864, with QUITCLAIM COVENANTS, the premises described below:

DOVER, NEW HAMPSHIRE

Two such tracts of land with buildings thereon, situate on the Southwesterly side of Dover Point Road in Dover, County of Strafford, State of New Hampshire and more particularly known as Lots #1 and 2 on "Plan of Land in Dover, New Hampshire prepared for Richard F. and Joan-Marie Benn, Scale 1" = 20', April 2, 1981, revised April 30, 1981, Robert G. Kobath of Wolfeboro, New Hampshire" and bounded and described as follows:

Lot 2

A certain tract of land with buildings thereon situate on the Southwesterly side of Dover Point Road in Dover, County of Strafford, State of New Hampshire and more particularly known as Lot 2 on "Plan of Land in Dover, New Hampshire, prepared for Richard F. and Joan-Marie Benn, Scale 1" = 20', April 2, 1981 revised April 30, 1981, Robert G. Kobath Surveyor, Wolfeboro, New Hampshire" and bounded and described as follows:

Beginning at a point on Dover Point Road, so-called, said point also being at a junction of the Northeasterly corner of land now or formerly of Mary Ratay, thence turning and running South 59° 10' 34" West one hundred sixty-four (164') feet along land of said Ratay to a point at land of said Ratay; thence turning and running South 40° 11' 26" East one hundred and fifty (150') feet along land of said Ratay to a point at land now or formerly of Armand Ouellette, thence turning and running South 61° 36' 04" West two hundred (200') feet along land of said Ouellette to a point at the Southeasterly corner of Lot 1 on the above-described plan; thence turning and running North 28° 23' 56" West one hundred ninety-four and 44/100 (194.44') feet by said Lot 1 to a point at the Northwesterly (sic Southwesterly) corner of this land and the Northeasterly corner of Lot #1 and land now or formerly of Alan David (sic Davis), thence turning and running North 60° 55' 34" East three hundred twenty six and 61/100 (326.61') feet

by land of said Davis to a headwall set on the Southwesterly sideline of Dover Point Road so-called; thence turning and running South $36^{\circ} 50' 34''$ East along said Dover Point Road so-called, a distance of forty-five (45') feet to the point of beginning.

Said Lot 2 contains forty-two thousand nine hundred sixteen (42,916 sq. ft. +/-) square feet more or less. Subject to a right of way formerly in favor of Armand Ouellette, now or formerly of Benjamin and Rachell Orcutt, and of Richard F. and Joan-Marie Benn (Lot 1), their heirs and assigns, said right of way leading from Southwesterly sideline of Dover Point Road to lands of Ouellette, Orcutt and Benn (Lot 1) over existing drive.

Subject also to the limited access provisions relating to turnpikes as taken by Commissioners' Return dated January 3, 1955 and recorded in the Strafford County Records, Book 639, Page 328 and to pole rights granted to Public Service Company of New Hampshire. Subject to a sewage easement to the city of Dover, recorded in the Strafford County Registry of Deeds at Book 1006, Page 450-452.

Lot 1

A certain tract of land situate on the Southwesterly side of Dover Point Road in Dover, County of Strafford, State of New Hampshire, and more particularly known as Lot 1 on "Plan of Land in Dover, New Hampshire, prepared for Richard F. and Joan-Marie Benn Scale 1" = 20', April 2, 1981, revised April 30, 1981, Robert G. Kobath, Surveyor, Wolfeboro, New Hampshire" and bounded and described as follows:

Beginning at a point on the southeasterly corner of Lot 1 and the Southwesterly corner of Lot 2 as shown and said plan; thence running South $61^{\circ} 36' 04''$ West fifty-five (55') feet along land now or formerly of Armand Ouellette to a point; thence turning and running South $40^{\circ} 11' 26''$ East thirty-five (35') feet along said Ouellette land to a point at land now or formerly of Benjamin and Rachell Orcutt; thence turning and running South $61^{\circ} 36' 04''$ West one hundred thirty-six (136') feet along said Orcutt land to rip rap at the Bellamy River also known as Little Bay; thence proceeding by said rip rap along said Bellamy River to a retaining wall; thence proceeding by said retaining wall and said Bellamy River two hundred and five (205') feet to a point; thence turning and running in a westerly direction by a causeway one hundred forty-three (143') feet to a sunken-filled barge; thence along the Southwesterly sideline of said sunken-filled barge in Little Bay one hundred forty-two (142') feet; thence turning and running across the front of Westerly side of said barge in Little Bay twenty-five (25') feet; thence turning and running along the Northerly side of said barge in Little Bay one hundred forty-two (142') feet; thence turning and running North $60^{\circ} 55' 34''$ East along land now or formerly of Allen Davis three-hundred one (301') feet to a point at the Northeasterly corner of Lot 1 and the Northwesterly corner of Lot 2; thence turning and South $28^{\circ} 23' 56''$ East one hundred ninety-four and $44/100$ (194.44') feet by said Lot 2 to the point of beginning.

Said Lot 1 contains thirty-eight thousand and five hundred eighty-seven (38,587 sq ft +/-) (sic) square feet more or less.

Subject to a right of way formerly in favor of Armand Ouellette, now or formerly of Benjamin and Rachell Orcutt, and of Richard F. and Joan-Marie Benn (Lot 1), their heirs and assigns. Said right of way leading from Southwesterly sideline of Dover Point Road to lands of Ouellette, Orcutt and Benn (Lot 1) over existing drive.

Subject to city sewer easement.

MEANING AND INTENDING to describe and convey those premises conveyed to Salt Water Aquatics, LLC by Jay M. Smith by deed dated June 30, 1999 and recorded in the Strafford County Registry of Deeds at Book 2145, Page 0127.

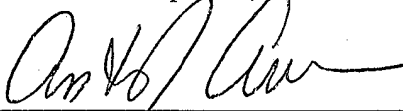
This is not homestead property.

This Quitclaim Deed was prepared without the benefit of a title search and therefore title as transferred is subject to any and all encumbrances and conditions of record, including but not limited to that certain Mortgage, Security Agreement and Financing Statement recorded in the Strafford County Registry of Deeds at Book 3833, Page 0425, as modified by that certain Modification and Substitution of Mortgage recorded in said Registry at Book 3922, Page 0441.

Witness my hand this 21st day of February, 2013.

Salt Water Aquatics, LLC

By:



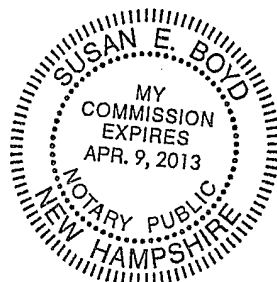
Anthony J. Aversa, Member

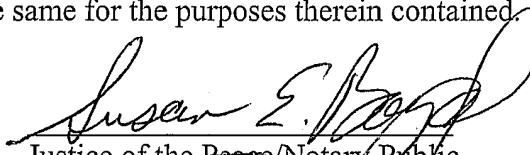


Anthony J. Aversa, Individually

State of New Hampshire
County of Hillsborough

On this 21st day of February, 2013, before me, the undersigned officer, personally appeared Anthony J. Aversa, individually and as the duly authorized sole Member of Salt Water Aquatics, LLC, known to be (or satisfactorily proven to be) the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.




Justice of the Peace/Notary Public
New Hampshire
My Commission Expires: _____

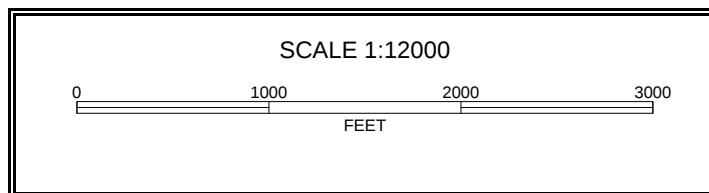
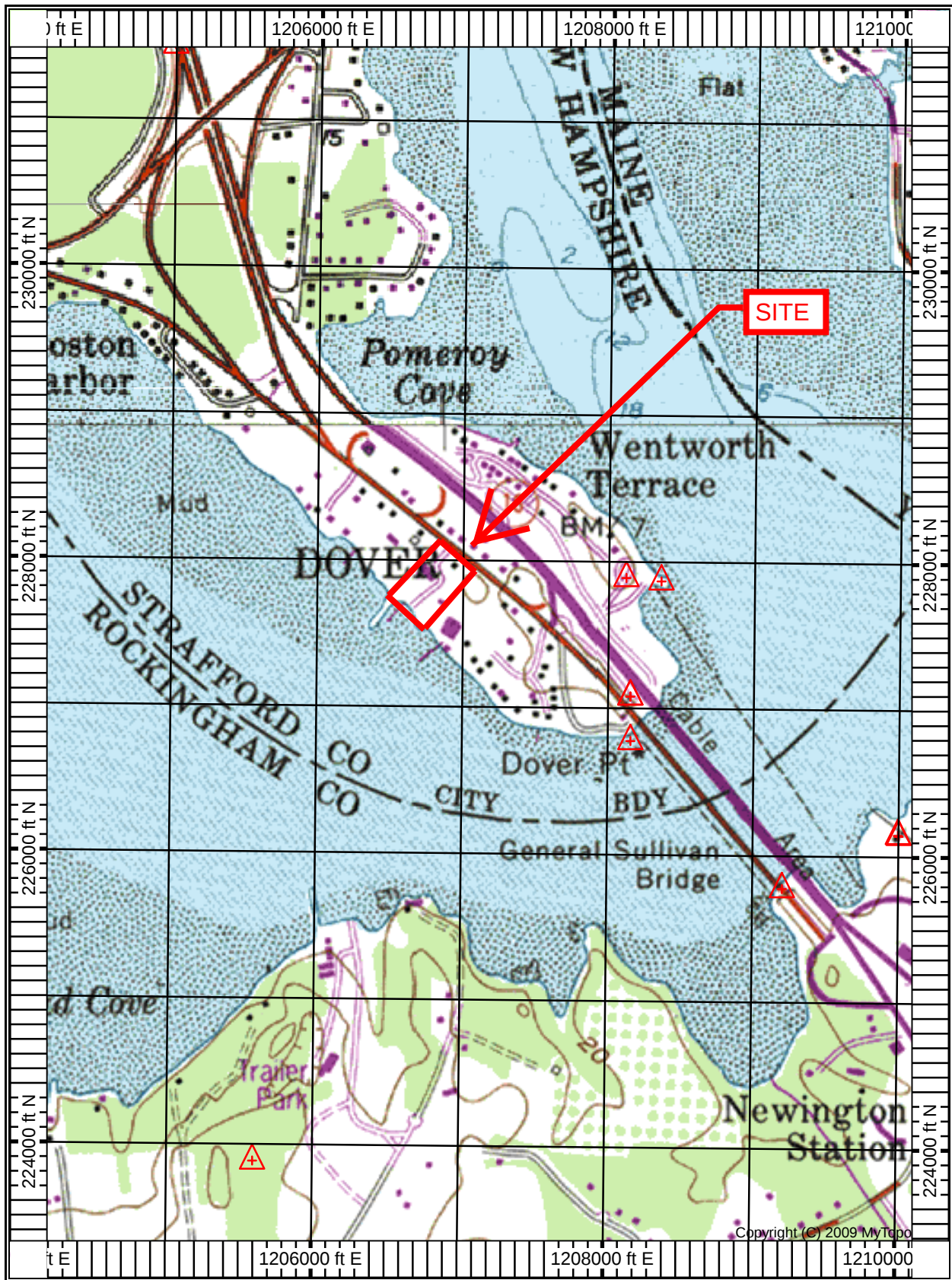
**Property Information**

Property ID 08011-000000
Location 421 DOVER POINT RD
Owner BENN RICHARD J C &

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Dover, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 03/29/2018
Properties updated 07/18/2018





NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Paige Dickie, Civilworks New England
181 Watson Road
P.O. Box 1166
Dover, NH 03821

From: NH Natural Heritage Bureau

Date: 4/16/2018 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau of request submitted 3/30/2018

NHB File ID: NHB18-1025

Applicant: N/A

Location: Dover
Tax Maps: Tax Map 8 Lots 09, 10, 11, 12

Project Description: The proposed project will be a redevelopment to the Little Bay Marina. The proposed site will combine four lots, tear down existing buildings, and construct a new office building, add a parking area, add storage bays, and create a widened driveway for trucks to be able to move in and out of the site.

The NH Natural Heritage database has been checked by staff of the NH Natural Heritage Bureau and/or the NH Nongame and Endangered Species Program for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government.

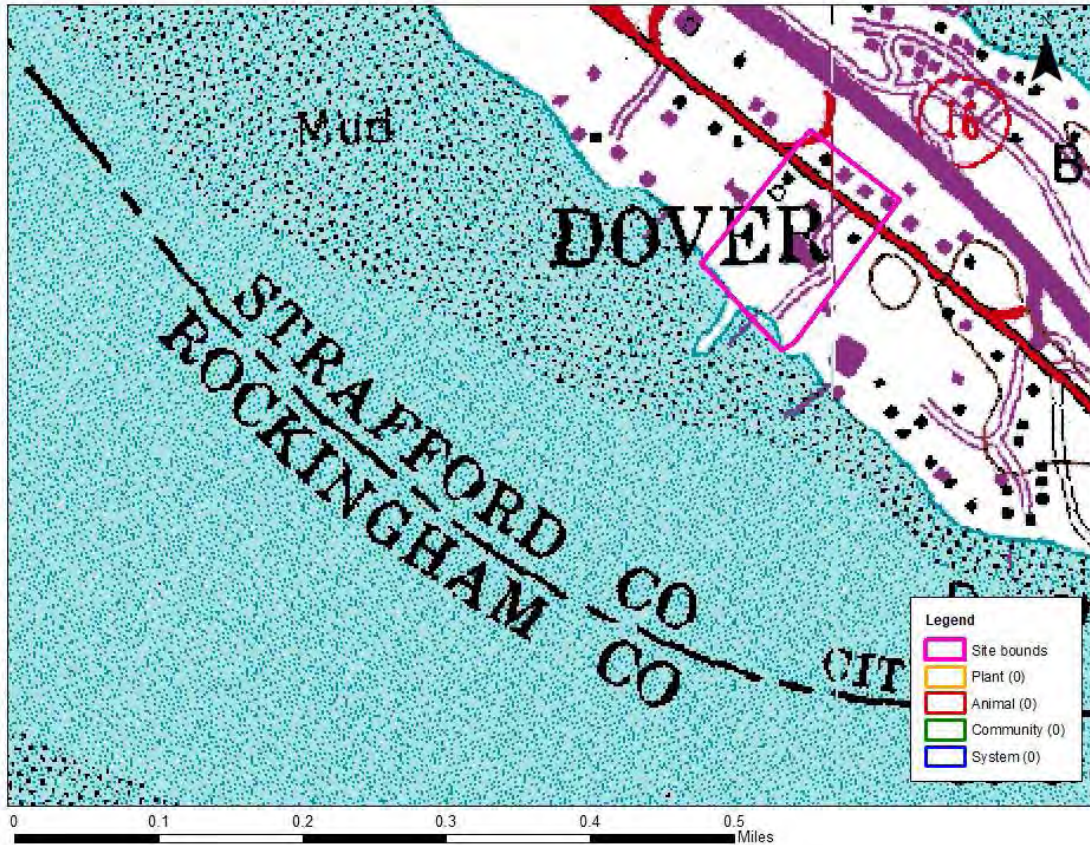
It was determined that, although there was a NHB record (e.g., rare wildlife, plant, and/or natural community) present in the vicinity, we do not expect that it will be impacted by the proposed project. This determination was made based on the project information submitted via the NHB Datacheck Tool on 3/30/2018, and cannot be used for any other project.



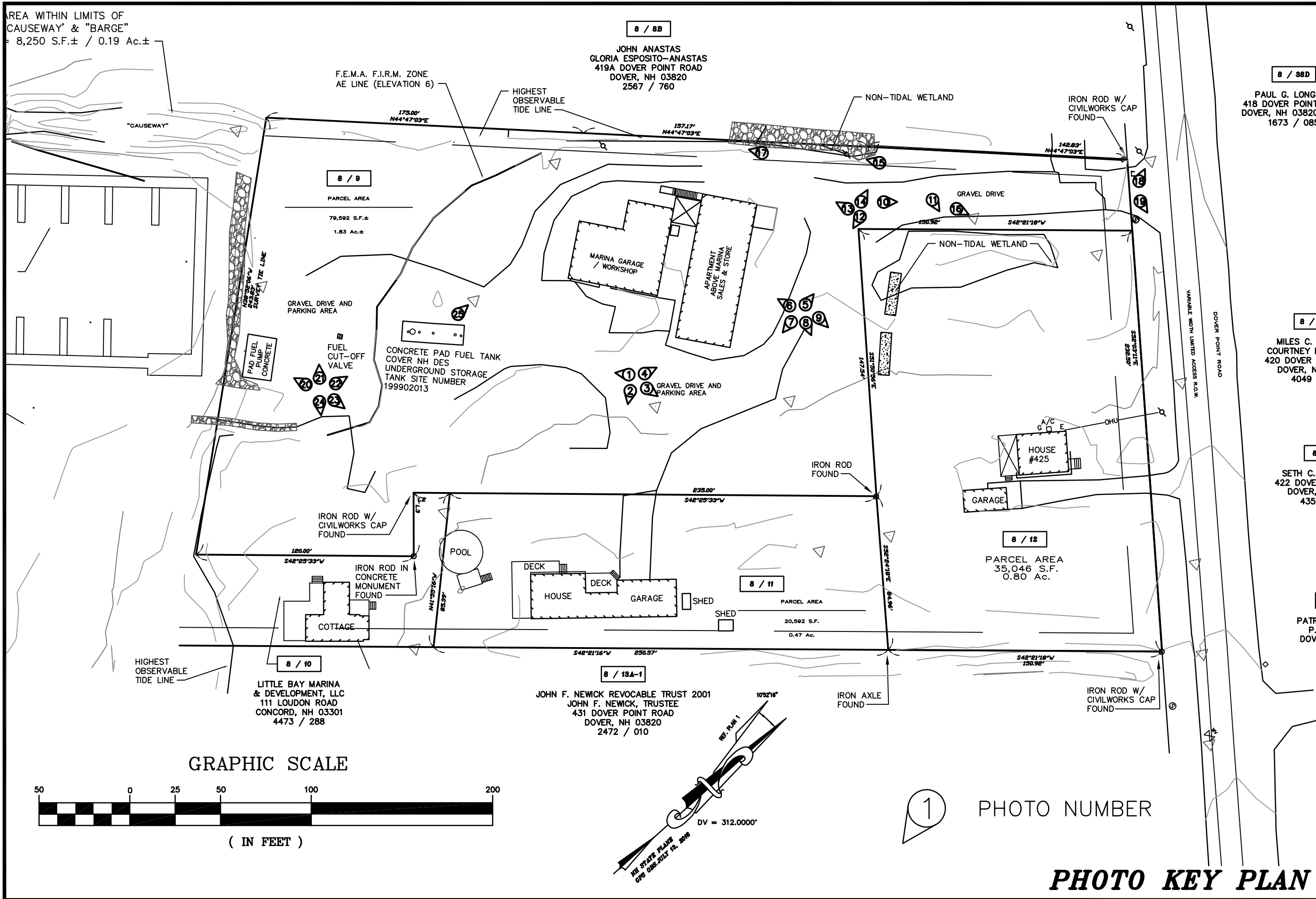
NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACheck RESULTS LETTER

MAP OF PROJECT BOUNDARIES FOR: **NHB18-1025**

NHB18-1025



AREA WITHIN LIMITS OF
CAUSEWAY' & "BARGE"
= 8,250 S.F.± / 0.19 Ac.±



8 / 38D
PAUL G. LONG,
418 DOVER POINT
DOVER, NH 03820
1673 / 085

8 /
MILES C. B.
COURTNEY E.
420 DOVER P.
DOVER, NH
4049

8
SETH C.
422 DOVER
DOVER,
4359

PATR
P.C
DOVE

**LITTLE BAY MARINA
& DEVELOPMENT LLC
111 LOUDON ROAD
CONCORD, NH 03301**

DESIGNED BY: PDD
DRAWN BY: PDD
APPROVED BY: SJH

DATE: 4-2-18
SCALE: AS SHOWN
FILE NO: 1788

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

K1

REVISIONS			
No.	Appd	Date	

1 PHOTO NUMBER

PHOTO KEY PLAN



Photo 4



Photo 2



Photo 3



Photo 1



Photo 5



Photo 7



Photo 8



Photo 6



Photo 12



Photo 10



Photo 11



Photo 9



Photo 13



Photo 15



Photo 16



Photo 14



Photo 20



Photo 18



Photo 19



Photo 17



Photo 24



Photo 22



Photo 23



Photo 21



Photo 25

CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443 FAX: 603.749.7348

Subject: Little Bay Marina Condominiums
423 Dover Point Road
Dover, NH 03820
Our Reference No. 1788

Re: List of Project Professionals

Applicant: LITTLE BAY MARINA & DEVELOPMENT, LLC
111 LOUDON ROAD
CONCORD, NH 03301

Owner(s): LITTLE BAY MARINA & DEVELOPMENT, LLC
111 LOUDON ROAD
CONCORD, NH 03301

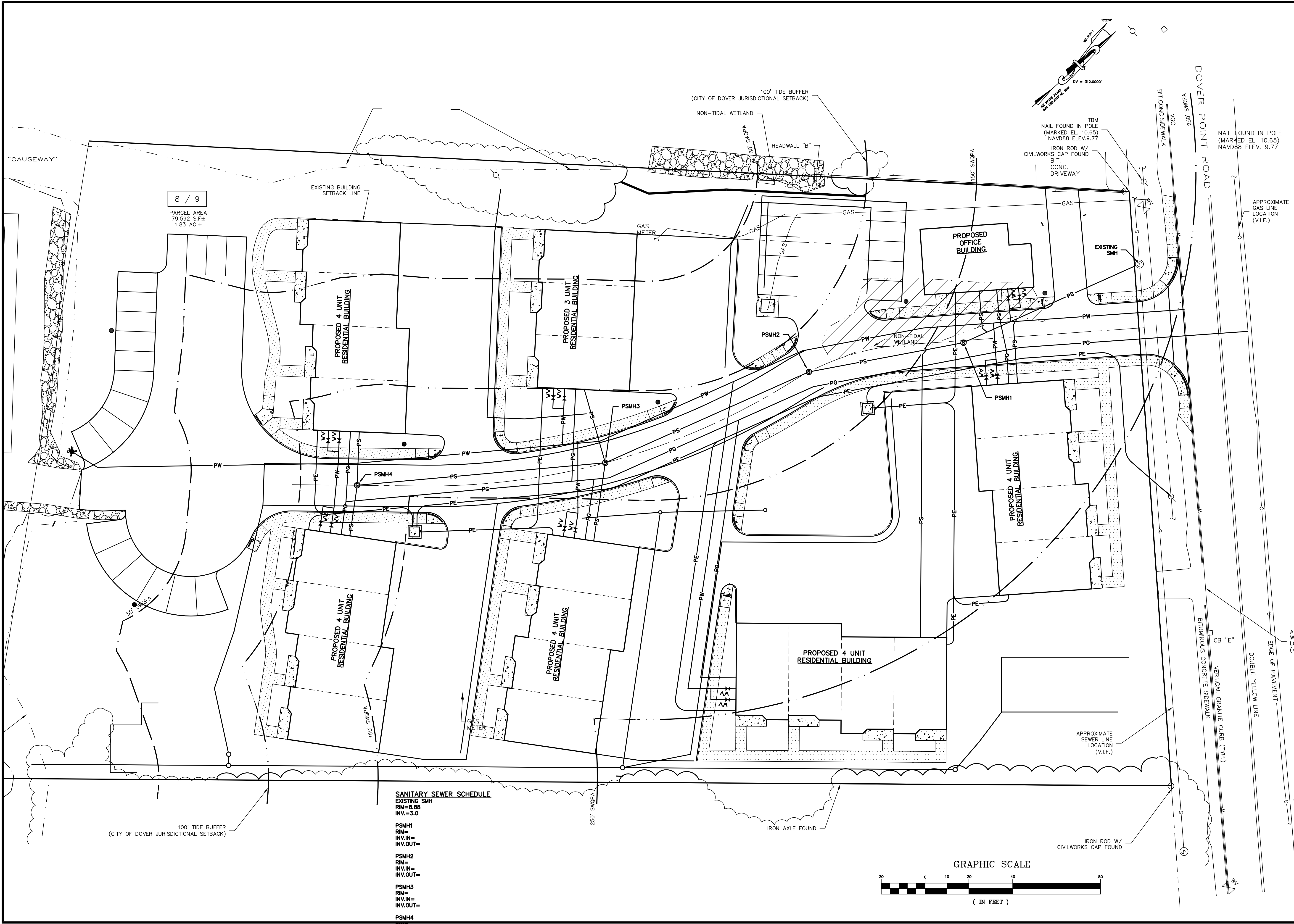
Site Civil Engineer: CIVILWORKS NE
181 WATSON ROAD
PO BOX 1166
DOVER, NH 03820

Surveyor: MCENEANEY SURVEY ASSOCIATES, INC.
P.O. BOX 681
24 CHESTNUT STREET
DOVER, NH 03820

Wetland Scientist: GOVE ENVIRONMENTAL SERVICES
8 CONTINENTAL DR.
BUILDING 2, UNIT H
EXETER, NH 03833

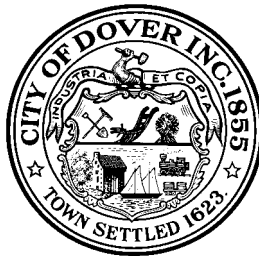
Landscape Architect: WOODBURN & COMPANY
LANDSCAPING ARCHITECTURE, LLC
130 KENT PLACE
NEWMARKET, NH 03857

Architect: MICHAEL J. KEANE ARCHITECTS, PLLC
101 KENT PLACE
NEWMARKET, NH 03857



PRELIMINARY UTILITY PLAN (EVERSOURCE)		NOT FOR CONSTRUCTION FOR PERMIT USE ONLY										
7	LITTLE BAY MARINA DOVER POINT ROAD DOVER, NH	LITTLE BAY MARINA & DEVELOPMENT, LLC 111 LOUDON ROAD CONCORD, NH 03301	DATE: 12-17-18									
			SCALE: 1"=20'									
			DRAWN BY: SRD									
			DESIGN BY: SRD									
			APPROVED BY:SRD									
			PROJECT NO:1788									
			FILE: SITE.DWG									
			NO.	REVISION	APP'D	DATE						
			PLANNING FILE NO.: P18-_____									
			CIVILWORKS NEW ENGLAND 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443									

DAVE WHITE, P.E.
City Engineer
d.white@dover.nh.gov



288 Central Avenue
Dover, New Hampshire 03820-4169
(603) 516-6450
www.dover.nh.gov

City of Dover, New Hampshire
COMMUNITY SERVICES DEPARTMENT

July 17, 2018

CIVILWORKS NEW ENGLAND
P.O. Box 1166, 181 Watson Road
Dover, NH 03820

RE: Tax Map 8 Lot 9, 10, 11, & 12
423 Dover Point Road
Dover, NH 03820

To Whom It May Concern:

This letter is written confirmation that the City of Dover will serve the above referenced development with water and sanitary sewer services. Water and sanitary sewer work shall conform to the City's Water and Sewer Ordinances, as well as the requirements of Dover's Community Services Utilities Division. There is also adequate supply and capacity in the water and sewer system. If you have any questions, please feel free to call me at 516-6450.

Sincerely,

Dave White

Dave White, PE
City Engineer

CIVILWORKS NEW ENGLAND

P.O. BOX 1166, 181 WATSON ROAD

DOVER, NH

TEL: (603) 750-4266, FAX: (603) 749-7348

July 11, 2018

David White, PE
City Engineer
271 Mast Road
Dover, NH 03820

Re: **Water Availability**
Little Bay Marina
Tax Map 8 Lot 9, 10, 11, & 12
423 Dover Point Road
Dover, NH 03820

Dear Mr. White,

On behalf of the applicant, Little Bay Marina and Development, LLC, we are requesting confirmation that the Dover Community Services has capacity in their system to accommodate a multi-unit Residential/Commercial project to be located at 423 Dover Point Road, Dover, NH.

The project will generally consist of (5) new buildings (residential/commercial), including (15) 3-bedroom units, (1) 2- bedroom unit, and 1400 sf general office space which is expected to generate a domestic water usage of approximately 2470 gpd*.

* Water volume is based on NHDES Env-Wq 1008.03 Table 1008-1 Design Flow figures: for Dwellings, Apartments and Unspecified Office Space.

Please let me know if you need any additional information.

Sincerely,
CIVILWORKS NEW ENGLAND



Matthew M. Randall, PE

c.c. File

CIVILWORKS NEW ENGLAND

P.O. BOX 1166, 181 WATSON ROAD

DOVER, NH

TEL: (603) 750-4266, FAX: (603) 749-7348

July 16, 2018

David White, PE
City Engineer
271 Mast Road
Dover, NH 03820-4169

Re: **Sewer Allocation Request**
Little Bay Marina
Tax Map 8 Lot 9, 10, 11, & 12
423 Dover Point Road
Dover, NH 03820

Dear Mr. White,

On behalf of the applicant, Little Bay Marina and Development, LLC, we are requesting confirmation that the Dover Community Services has capacity in their system to accommodate a multi-unit Residential/Commercial project to be located at 423 Dover Point Road, Dover, NH.

The project will generally consist of (5) new buildings (residential/commercial), including (15) 3-bedroom units, (1) 2-bedroom unit, and 1400 sf of general office space which is expected to generate a sewer volume of approximately 2470 gpd*.

* Sewer volume is based on NHDES Env-Wq 1008.03 Table 1008-1 Design Flow figures: for Dwellings, Apartments, and Unspecified Office Space.

Please let me know if you need any additional information.

Sincerely,
CIVILWORKS NEW ENGLAND



Matthew M. Randall

c.c. File

CIVILWORKS NEW ENGLAND

P.O. BOX 1166, 181 WATSON ROAD

DOVER, NH

TEL: (603) 750-4266, FAX: (603)749-7348

July 11, 2018

Janet Oliver
Unitil – Northern Utilities
325 West Road
Portsmouth, NH 03802-0508

Re: **Natural Gas Request**
Little Bay Marina
Tax Map 8 Lot 9, 10, 11, & 12
423 Dover Point Road
Dover, NH 03820

Dear Ms. Oliver,

On behalf of the project proponent, Little Bay Marina & Development, LLC, we are requesting natural gas service for a proposed total of (5) residential/commercial buildings including (15) 3-bedroom apartments, (1) 2-bedroom apartment, and 1400 sf of office space.

The proposed development is new construction.

We have attached the Unitil Request for Service. Please let me know if you need any additional information.

Sincerely,
CIVILWORKS NEW ENGLAND



Matthew M. Randall

c.c. File

Stormwater Management System Inspection & Maintenance Plan

For

**LITTLE BAY MARINA
MAP 08, LOT 09, 10, 11, 12**

**423 Dover Point Road
Dover, New Hampshire
Strafford County**

July 2018

Prepared For:

LITTLE BAY MARINA & DEVELOPMENT, LLC
111 Loudon Road
Concord, NH 03301

Prepared By:

CIVILWORKS NE
P.O. Box 1166
181 Watson Road
Dover, New Hampshire 03820

Introduction

Civilworks NE, has prepared the following Stormwater Management System Inspection & Maintenance Plan for Little Bay Marina, Dover, NH. The intent of this plan is to provide a list of procedures that document the inspection and maintenance requirements of the Stormwater Management System for this site.

The following inspection and maintenance program is necessary in order to keep the Stormwater Management System functioning properly. These measures will also help to minimize potential environmental impacts to the areas surrounding the developed site. By following the enclosed procedures, the property owners, and maintenance personnel will be able to maintain the functional design of the Stormwater Management System and maximize its ability to remove sediment and other contaminants from site generated stormwater runoff while at the same time ensuring the recharge of groundwater resources through continued infiltration.

Owner

**Little Bay Marina & Development, LLC
111 Loudon Road
Concord, NH 03301**

In the event of a change in ownership, this Inspection and Maintenance Plan shall be transferred to the new party; transfer shall be documented to NH DES in writing.

Contact / Responsible Party

**Little Bay Marina & Development, LLC
111 Loudon Road
Concord, NH 03301
(603) 224-2251**

The contact information for the Contact / Responsible Party shall be kept current; transfer shall be documented to NHDES in writing.

Management Company

**Little Bay Marina & Development, LLC
111 Loudon Road
Concord, NH 03301**

The contact information for the Management Party shall be kept current.

Inspection Schedule / Record Retention

Inspection frequency should, at a minimum, be in accordance with New Hampshire Stormwater Manual, Volume 2, latest edition, as updated by NHDES. See the Inspection and Maintenance Plan for frequency requirements. A copy of the completed Stormwater Management System's Inspection & Maintenance Log and Deicing Salt Quantity Use Log shall be maintained, kept on-site, and be made available to local, state, or federal regulators as applicable by law.

Stormwater Management System Components

The Stormwater Management System associated with the project is designed to mitigate both the quantity and quality of site-generated stormwater runoff and to recharge the underlying groundwater resources. As a result, its design includes the following elements:

- Culverts
- Detention Ponds/Raingardens
- Energy Dissipation Structures (Rip Rap)
- Swales
- Catch Basins
- Pavement and Porous Pavement
- Outlet Structures
- Litter / Trash Removal

Structure callouts in () correlate to the design plans, a copy of which shall be maintained with this Inspection and Maintenance Plan.

Inspection and Maintenance Plan

By implementing the following procedures, the owners will be able to maintain the functional design of the Stormwater Management System and maximize the system's ability to remove sediment and other contaminants from site generated stormwater runoff and to effectively recharge the underlying groundwater resources.

CULVERTS:

- Inspect once per year.
- Inspect for clogging and sediment accumulation.
- Remove all debris immediately and sediment accumulations ≥ 2 inches.

DETENTION PONDS/RAINGARDENS:

- Inspection, by a **qualified professional**, of detention ponds at least twice annually, and following any rainfall event exceeding 2.5 inches in a 24 hour period, with maintenance or rehabilitation conducted as warranted by such inspection.
- Embankments and spillways should be inspected by a **qualified professional** for settlement, erosion, seepage, animal burrows, woody vegetation, and other conditions that could degrade the embankment and reduce its stability for impounding water. Immediate corrective action should be implemented if any such conditions are found.
- Inlet and outlet pipes, inlet and outlet structures, energy dissipation structures or practices, and other structural appurtenances should be inspected by a **qualified professional**, and corrective action implemented (e.g., maintenance, repairs, or replacement) as indicated by such inspection.
- The bottoms, interior and exterior side slopes, and crest of earthen detention basins should be mowed, and the vegetation maintained in healthy condition, as appropriate to the function of the facility and type of vegetation.
- Vegetated embankments that serve as "berms" or "dams" that impound water should be mowed at least once annually to prevent the establishment of woody vegetation.
- Trash and debris should be removed from the pond and any inlet or outlet structures whenever observed.
- Accumulated sediment should be removed when it significantly affects pond capacity.

ENERGY DISSIPATION STRUCTURES (RIP RAP): As Applicable

- Inspect the outlet protection annually for damage and deterioration. Repair damages immediately.
- If stones become displaced from the riprap areas they should be replaced immediately and chinked in to assure stability. Add additional riprap as needed. Vegetation growing through the riprap should be eliminated at least yearly.

SWALES (RIP RAP LINED):

- Inspect once per year.

- Inspect for erosion, sediment accumulation, vegetation loss, and presence of invasive species.
- Remove debris and accumulated sediment, based on inspection.
- Repair eroded areas and provide additional rip rap/vegetation as needed; remove invasive species and dead vegetation.

OUTLET STRUCTURE(S):

- Inspect once per year.
- Inspect for clogging and sediment accumulation.
- Remove all debris immediately and sediment accumulations ≥ 2 inches.

CATCH BASIN(S):

- Inspect once per year.
- Inspect for floatables, sediment accumulation, and hydrocarbons (oils and grease).
- Remove all floatables immediately and sediment accumulations ≥ 2 feet.
- Hydrocarbons shall be removed immediately by skimming, absorbent materials, or other methods and should be disposed of in accordance with applicable State and Federal regulations.

PAVEMENT/POROUS PAVEMENT:

- Minimize sanding.
- Minimize application of salt for ice control.
- Monitor periodically to ensure that the pavement surface drains effectively after storms.
- Clean periodically (1-2 times per year) using a sweeper or vacuum sweeper. Vacuum sweeping is the preferred method.

LITTER / TRASH REMOVAL:

- Routinely patrol site for litter pick up.

Inspection & Maintenance Table

System Component / BMP	Minimum Inspection Frequency	Minimum Inspection Requirements	Maintenance / Cleanout Threshold
Culverts	Annually	Check for sediment accumulation and clogging	≥ 2 in. sediment depth
Detention Ponds/ Raingardens • Outlet Structure • Inlet/Outlet Piping • Embankments • Pond Sediment • Trash/Debris • Vegetation (Veg.)	Bi-Annually “ “ “ “ Periodically “ “ “ “	See Catch Basin (CB) Requirements (Req.) See Outlet Structure (OS) Req. Check for erosion, settlement, seepage, etc. Check for sediment accumulation in pond Check for trash (in pond and structures) • Maintain 95% veg. (pond & slopes) • Maintain healthy stand of veg.	See CB Req. See OS Req. Repair immediately ≥ 2 in. sediment Remove all trash/debris Restore veg. in-kind Mow when ≥ 6 in
Energy Dissipation (ED) Structures (RipRap)	Annually	Check for displaced stones Check for woody vegetation	Replace immediately Remove annually
Swales (Rip Rap Lined)	Annually	• Check for sediment accumulation • Check for erosion	≥ 1 in. sediment Repair immediately
Outlet Structure(s)	Annually	• Inspect once per year. • Inspect for clogging and sediment accumulation. • Remove all debris immediately and sediment accumulations ≥ 2 inches.	≥ 2 in. sediment Remove immediately
Catch Basins	Annually	• Check for sediment accumulation • Check for floatable contaminants	≥ 2 ft. sediment depth Remove all floatables
Catch Basin Stormwater Filter	Annually	• Check general condition of the unit/vault • Check for accumulation of sediment, static water or a special condition warranting maintenance	>4” sediment on the vault floor, >1/4” Sediment on top of the cartridge, or >4” of Static water
Pavement • Sanding • Salt Applications • Sweep/Vacuum • Trash/Debris	Limit use As Req. 1 - 2 x’s Year Periodically	Minimize use to prevent tracking issues RECORD APPLICATION RATES Sweep or vacuum to prevent tracking issues Check for trash/debris	Sweep to prevent issues Minimize as Req. Sweep/Vac as needed Remove when noticed
Litter / Trash Removal	Periodically	Check for litter and trash	Remove when noticed

Inspection & Maintenance Checklist/Log

The following pages contain a blank copy of the Stormwater Management System's Inspection & Maintenance Log and a Deicing Salt Quantity Use Log. These forms are provided to assist the owners with the inspection and maintenance of the aforementioned Stormwater Management System.

Stormwater Management System's Inspection & Maintenance Log

Date of Inspection/Maintenance: _____ Inspector: _____

[illegible]

Deicing Salt Quantity Use Log

[illegible]

Standard Traffic Impact Assessment & Analysis

Little Bay Marina & Development, LLC

**Dover Point Road
Dover, New Hampshire**

prepared for:

**Little Bay Marina & Development, LLC
111 Loudon Road
Concord, NH 03301
Contact Person: Anthony Aversa
Tel. No. (603) 224-2251**

prepared by:

**Civilworks New England
P.O. Box 1166
Dover, NH 03821**

**December, 2018
Reference No. 1788**

Description of Site and Surrounding Land Uses

The project site, a portion of which is currently known as Little Bay Marina, is located on the southerly side of Dover Point Road and is shown on Tax Map 8 as Lots 9, 10, 11 & 12. The total project parcel area is 3.49 acres and the project is located in the Little Bay Waterfront (LBW). The site is currently occupied by the Little Bay Marina, which is currently operational, along with three (3) single-family residences. The marina use includes 55 dock slips and 32 moorings. This component of the site will remain unchanged.

Surrounding land uses include residential to the west, a restaurant (Newick's) to the east and residences on the opposite side of Dover Point Road, to the north. Little Bay, a tidal waterway, lies to the south. The Spaulding Turnpike parallels Dover Point and is located approximately 350 feet to the north of the site.

Description of Roadways

The project site fronts on, and is accessed via, an existing drive cut on Dover Point Road. This is a two-way street with 12-ft. lanes and variable width paved shoulders. This road formerly served as a primary north/south route, connecting to Portsmouth/Newington via the old General Sullivan Bridge, but has served as a local roadway with access to Hilton Park and limited commercial development since the 1980's.

Sight Distance Analysis

The available sight distance at the existing/proposed access driveway, looking both east and west, is in excess of 400 ft. for exiting vehicles.

Given the posted speed limit of 30 miles per hour and the straight and level geometry of the roadway segment, it is reasonable to assume a typical travel speed of 40 miles per hour. Per AASHTO-Geometric Design of Highways and Streets, required stopping sight distance, rounded for design, is 275 ft. to 325 ft.

Stopping sight distance is the distance a vehicle travels from the time the driver sights an object (or vehicle) necessitating a stop (perception), plus the distance a vehicle travels during the physical reaction required to apply the brakes (reaction), plus the distance required to stop the vehicle from the instant the brakes are applied. As stated above, available sight distance exceeds 400 ft.

Trip Generation

The following is pertinent relative to calculation of trip generation estimates associated with the subject project:

- Data Source – ITE Trip Generation, 7th Edition
- Proposed Project
 - 23 Residential Condominium Townhouses
 - Marina with 55 dock slips and 32 moorings
- Use Descriptions (per ITE Land Use Codes)
 - L.U.C. 230 – Residential Condominium Townhouses
 - Ownership units
 - Peak hour of trip generation typically coincides with peak hours of adjacent streets
 - L.U.C. 420 – Marina
 - Typically includes associated services

Based on the above data and the project scope, the following trip generation during the A.M. and P.M. Peak Hours and distribution of trips has been calculated:

Townhouse Condominiums (L.U.C. 230)				
			Distribution	
Parameter	Avg. Rate ⁽¹⁾	Total Trip Ends	Entering	Exiting
A.M. Peak Hour	.44	10.1	1.7	8.4
P.M. Peak Hour	.52	12.0	8.0	4.0

Marina (L.U.C. 420)				
			Distribution	
Parameter	Avg. Rate ⁽²⁾	Total Trip Ends	Entering	Exiting
A.M. Peak Hour	0.08	7.0	2.3	4.7
P.M. Peak Hour	0.19	16.5	9.9	6.6

Total Project Estimated Peak Hour Trip Generation				
			Distribution	
Parameter	Avg. Rate	Total Trip Ends	Entering	Exiting
A.M. Peak Hour	-----	13.6	4.0	13.1
P.M. Peak Hour	-----	24.3	17.9	10.6

⁽¹⁾ Per dwelling unit

⁽²⁾ Per berth

Trip Distribution

Given the site's location relative to the Spaulding Turnpike and Portsmouth/Dover employment and retail centers, it is assumed 50% of the trips will depart the site to the east (right-turn) to access the Turnpike northbound and 50% will depart to the west (left-turn) to access Route 4 and the Spaulding southbound. It is also assumed that 100% of the arriving trips will be from the west.

Based on the preceding assumptions, the following trip distribution is anticipated:

	Entering Trip Ends	Exiting Trip Ends	
Parameter	via Dover Point eastbound	via Dover Point eastbound	via Dover Point westbound
A.M. Peak Hour	4.0	6.55	6.55
P.M. Peak Hour	17.9	5.3	5.3

It should be noted that time of day (A.M. vs. P.M.) does not impact trip distribution due to the overriding effect of access limitations to the Spaulding Turnpike as it relates to origin and destination desires. Further, the analysis results above indicate the largest peak hour vehicle movements occur during the P.M. peak hour with 17.9 vehicles entering the site and 10.6 vehicles exiting. It should be noted that the major portion of the trips operated by the site already exist in the presence of the marina and that these trips are seasonal, April to October.

Public Transit

There is no public transit available to the site.

Appendix 'A'
Trip Generation Rate Data
(Source: ITE Trip Generation, 7th Ed.)

Land Use: 230, Residential Townhouse Condo
Land Use: 420, Marina

Land Use: 230

Residential Condominium/Townhouse

Description

Residential condominiums/townhouses are defined as ownership units that have at least one other owned unit within the same building structure. **Both condominiums and townhouses are included in this land use.** The studies in this land use did not identify whether the condominiums/townhouses were low-rise or high-rise. Low-rise residential condominium/townhouse (Land Use 231), high-rise residential condominium/townhouse (Land Use 232) and luxury condominium/townhouse (Land Use 233) are related land uses.

Additional Data

The number of vehicles and the number of residents had a high correlation with average weekday vehicle trip ends. The use of these variables was limited, however, because the number of vehicles and residents was often difficult to obtain or predict. The number of dwelling units was generally used as the independent variable of choice because it is usually readily available, easy to project and had a high correlation with average weekday vehicle trip ends.

The peak hour of the generator typically coincided with the peak hour of the adjacent street traffic.

The sites were surveyed from the mid-1970s to the 2000s throughout the United States and Canada.

Source Numbers

4, 92, 94, 95, 97, 100, 105, 106, 114, 168, 186, 204, 237, 253, 293, 319, 320, 321, 390, 412, 418, 561, 562, 583

Residential Condominium/Townhouse (230)

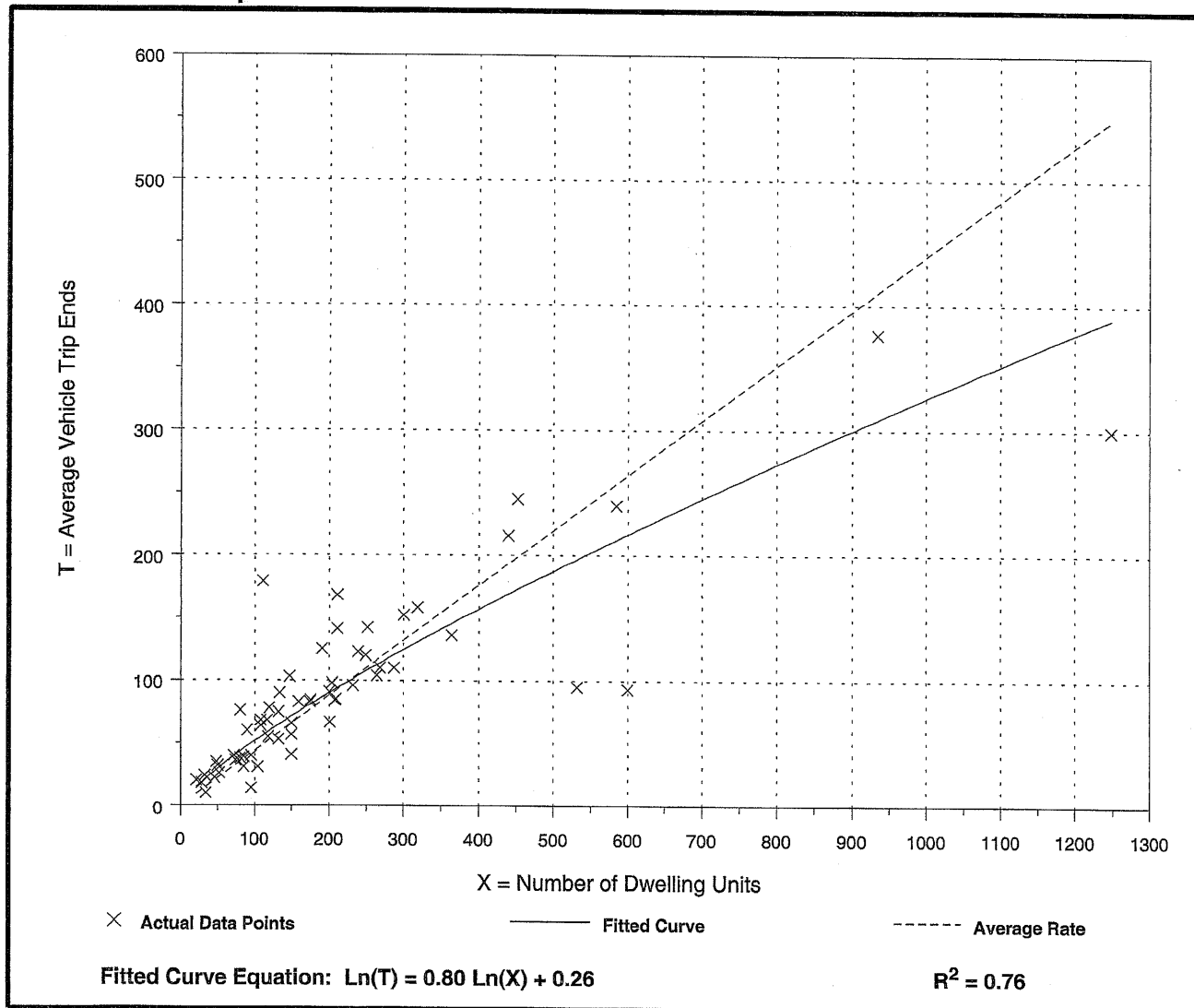
Average Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Number of Studies: 59
 Avg. Number of Dwelling Units: 213
 Directional Distribution: 17% entering, 83% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.44	0.15 - 1.61	0.69

Data Plot and Equation



Residential Condominium/Townhouse (230)

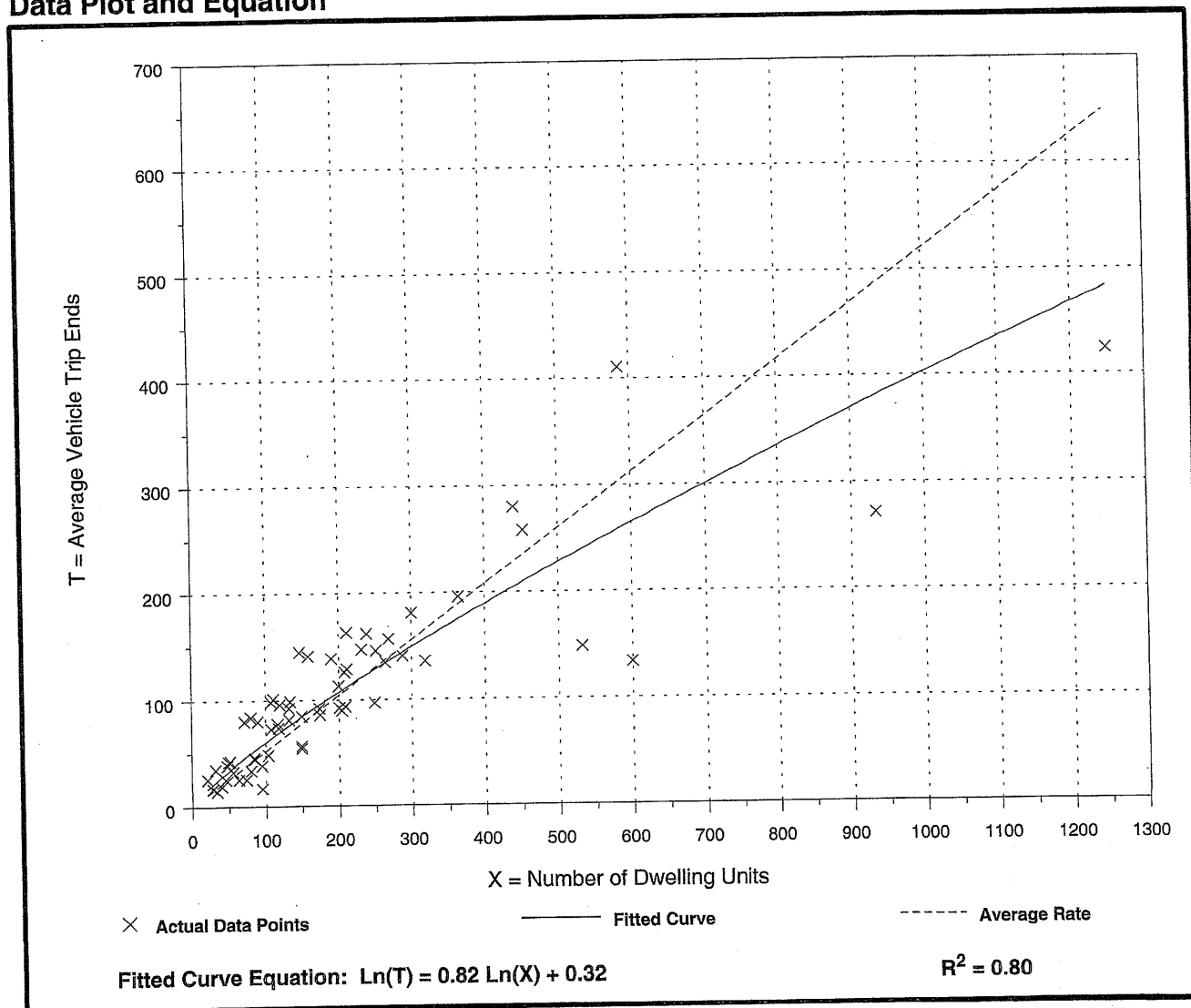
Average Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Number of Studies: 62
 Avg. Number of Dwelling Units: 205
 Directional Distribution: 67% entering, 33% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.52	0.18 - 1.24	0.75

Data Plot and Equation



Residential Condominium/Townhouse (230)

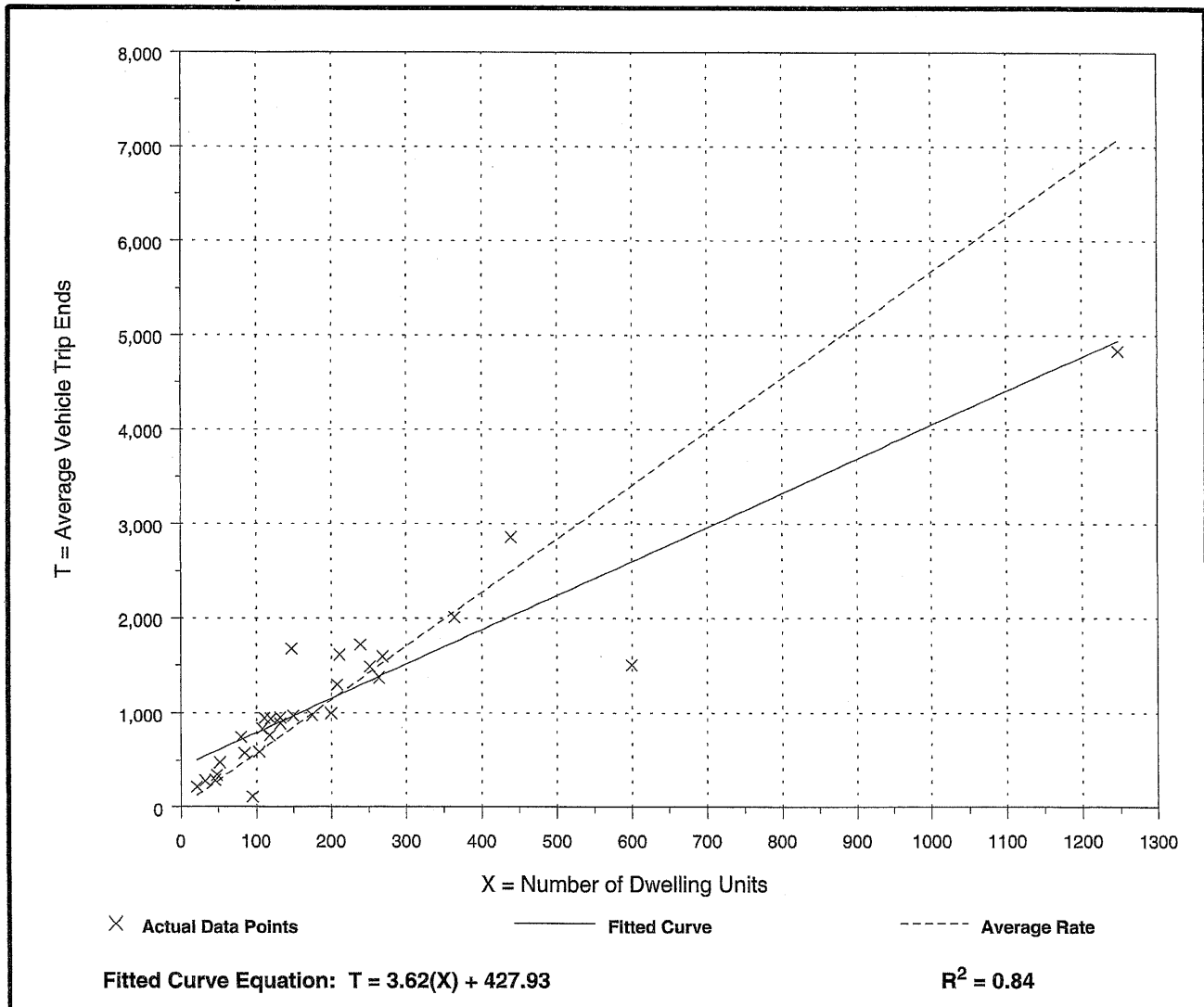
Average Vehicle Trip Ends vs: Dwelling Units
On a: Saturday

Number of Studies: 30
Avg. Number of Dwelling Units: 209
Directional Distribution: 50% entering, 50% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
5.67	1.17 - 11.40	3.10

Data Plot and Equation



Marina (420)

Average Vehicle Trip Ends vs: Berths
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

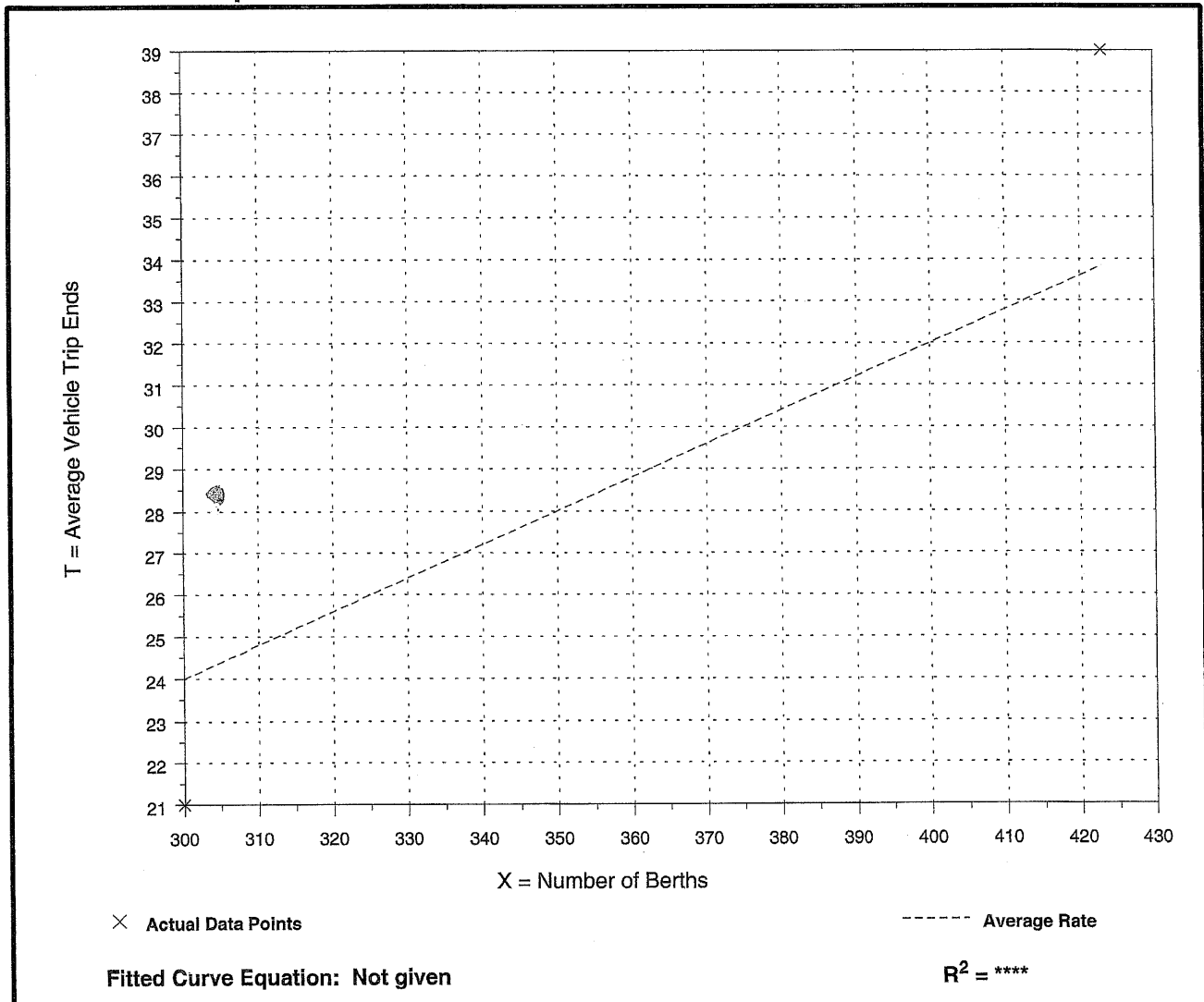
Number of Studies: 2
 Average Number of Berths: 362
 Directional Distribution: 33% entering, 67% exiting

Trip Generation per Berth

Average Rate	Range of Rates	Standard Deviation
0.08	0.07 - 0.09	*

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Marina (420)

Average Vehicle Trip Ends vs: Berths
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

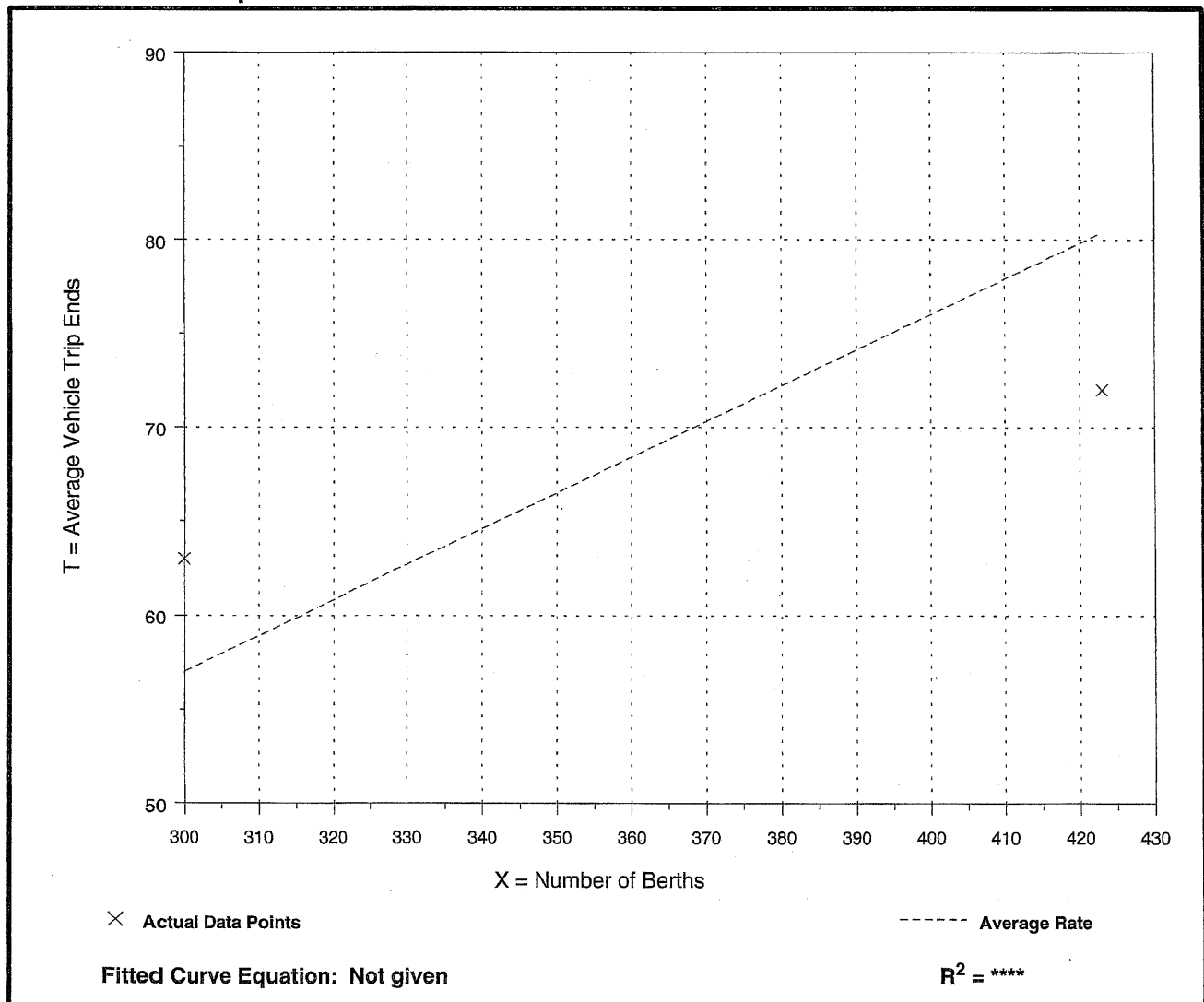
Number of Studies: 2
 Average Number of Berths: 362
 Directional Distribution: 60% entering, 40% exiting

Trip Generation per Berth

Average Rate	Range of Rates	Standard Deviation
0.19	0.17 - 0.21	*

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Marina (420)

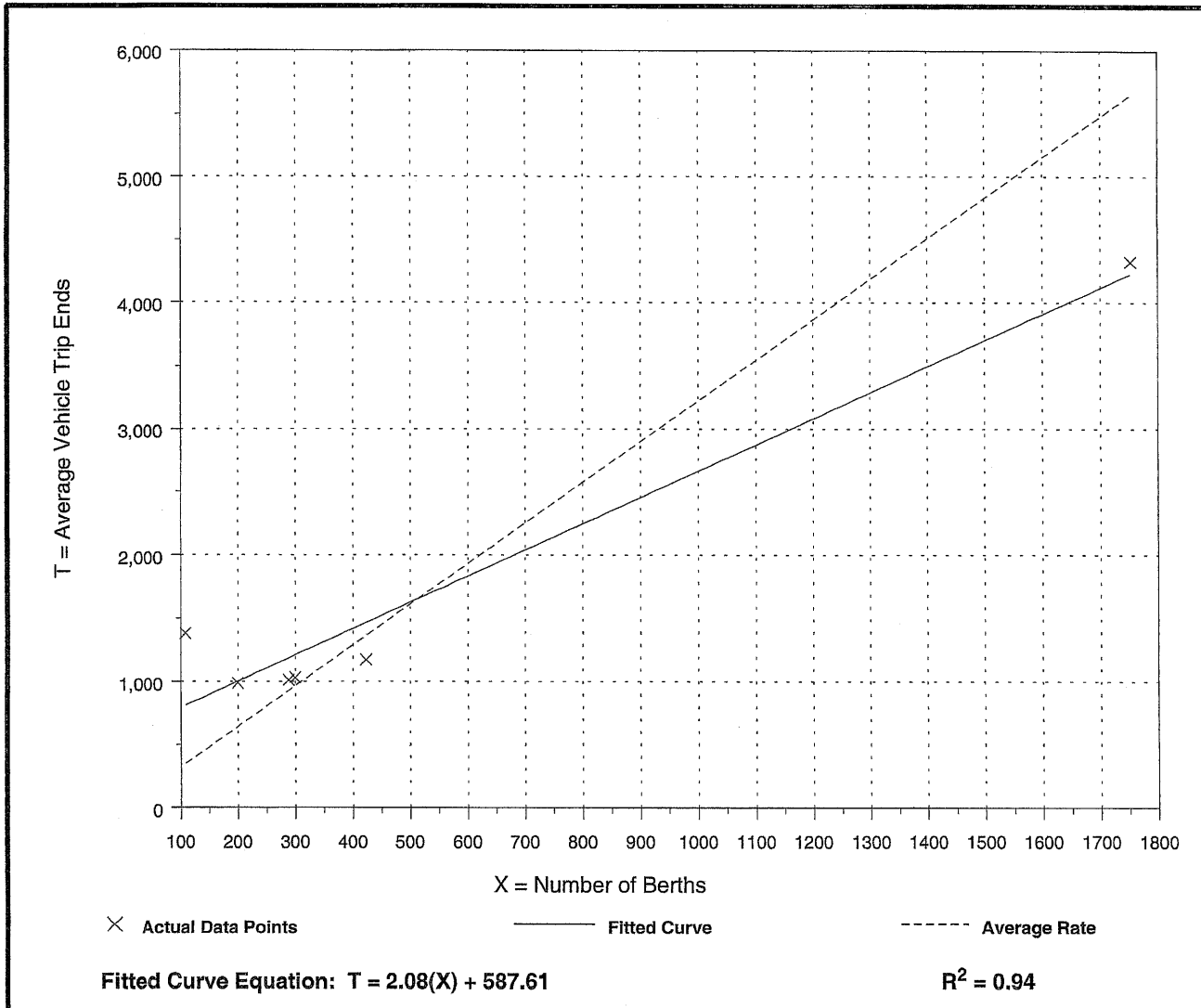
Average Vehicle Trip Ends vs: Berths
On a: Saturday

Number of Studies: 6
Average Number of Berths: 512
Directional Distribution: 50% entering, 50% exiting

Trip Generation per Berth

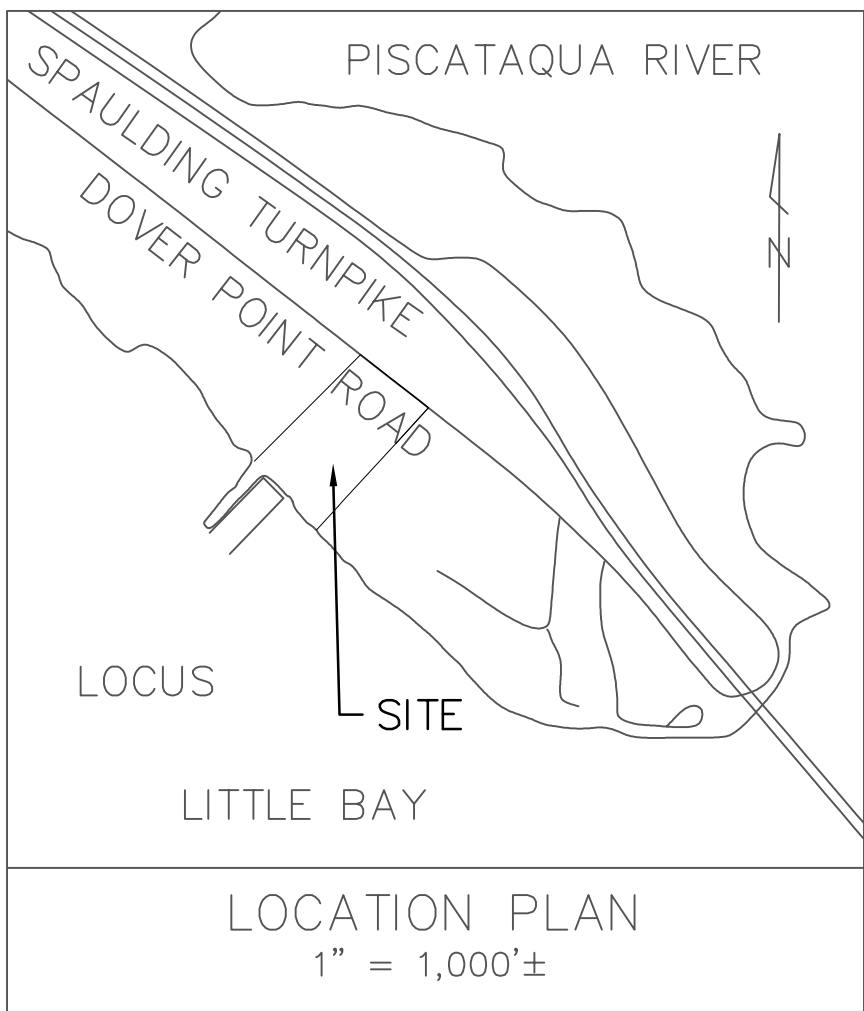
Average Rate	Range of Rates	Standard Deviation
3.22	2.47 - 12.78	2.64

Data Plot and Equation



LITTLE BAY MARINA MIX USE DEVELOPMENT
MULTI UNIT RESIDENTAIL
AND MARINA OFFICE SITE PLAN

TAX MAP 8, LOTS 9, 10, 11 & 12
DOVER POINT ROAD
DOVER, NH
JANUARY 4, 2019



OWNER/APPLICANT LITTLE BAY MARINA & DEVELOPMENT, LLC
111 LOUDON ROAD
CONCORD, NH 03301
FOR: _____

DATE _____

SITE CIVIL ENGINEER CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

LAND SURVEYOR MCENEANEY SURVEY ASSOCIATES, INC.
P.O. BOX 681
24 CHESTNUT STREET
DOVER, NH 03820
(603) 742-0911

LANDSCAPE ARCHITECT WOBBURN & COMPANY
103 KENT PLACE
NEWMARKET, NH 03857
(603) 659-5949

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ABUTTERS LIST
(WITHIN 200 FT)

	TAX MAP	LOT NO.	NAME & ADDRESS
	8	8-B	JOHN H & M BLACKWELL 57 PLEASANT LANE HAMPSTEAD, NH 03841
	8	13-A	NEWICK FAMILY REAL ESTATE LLC & NEWICK JOAN LIFE ESTATE 431 DOVER POINT ROAD DOVER, NH 03820
	8	29	STATE OF NEW HAMPSHIRE PO BOX 483 CONCORD, NH 03302-0483
	8	38	SETH C. DESJARDINS 422 DOVER POINT ROAD DOVER, NH 03820
	8	38-A	MILES C. & COURTNEY E. ROBERGE 420 DOVER POINT ROAD DOVER, NH 03820
	8	38-C	PATRICK J. CRAGIN PO BOX 250 DOVER, NH 03820
	8	38-D	PAUL G. LONG JR. 418 DOVER POINT ROAD DOVER, NH 03820

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

PLANNING FILE NO.: P18-_____

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

NEIGHBORHOOD PLAN

**LITTLE BAY MARINA &
DEVELOPMENT, LLC
111 LOUDON ROAD
CONCORD, NH 03301**

**LITTLE BAY MARINA
DOVER POINT ROAD
DOVER, NH**

2

**LITTLE BAY MARINA &
DEVELOPMENT, LLC
111 LOUDON ROAD
CONCORD, NH 03301**

GRAPHIC SCALE

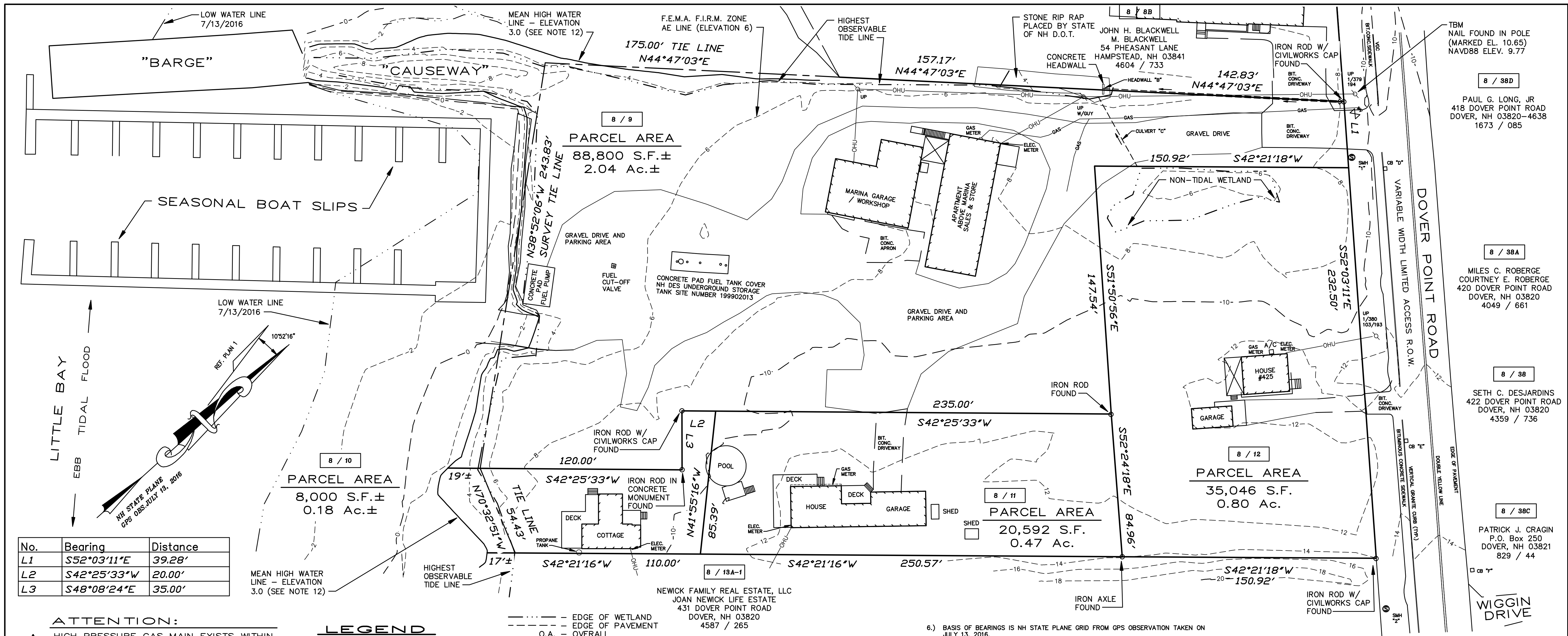


(IN FEET)

W  **E**

MAGNETIC

 TAX MAP
LOT NUMBER



No.	Bearing	Distance
L1	S52°03'11"E	39.28'
L2	S42°25'33"W	20.00'
L3	S48°08'24"E	35.00'

ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE RIGHT OF WAY OF DOVER POINT ROAD; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233 TO VERIFY LOCATION.

LEGEND

I.R. (set) o - IRON ROD W/ I.D. CAP (SET)
S.F. - SQUARE FEET
Ac. - ACRE
(TYP.) - TYPICAL
± - MORE OR LESS
Ø - DIAMETER
S.C.R.D. - STRAFFORD COUNTY
REGISTRY OF DEEDS
- UP - UTILITY POLE

--- EDGE OF WETLAND
--- EDGE OF PAVEMENT
O.A. - OVERALL
R.O.W. - RIGHT OF WAY
CB - CATCH BASIN
SMH - SEWER MANHOLE
WV - WATER GATE VALVE
BIT. - BITUMINOUS
CONC. - CONCRETE
ELEV. - ELEVATION
FF - FINISH FLOOR
ELEC. - ELECTRIC
OHU - OVERHEAD UTILITIES

NOTES:

1.) OWNERS OF RECORD:

- 8 / 9 LITTLE BAY MARINA & DEVELOPMENT, LLC
197 LOUDON ROAD, SUITE 350
CONCORD, NEW HAMPSHIRE 03301-8000
S.C.R.D. VOL. 4101, PAGE 409
REF. S.C.R.D. VOL. 4593, PAGE 978
- 8 / 10 LITTLE BAY MARINA & DEVELOPMENT, LLC
197 LOUDON ROAD, SUITE 350
CONCORD, NEW HAMPSHIRE 03301-8000
S.C.R.D. VOL. 4473 PAGE 288
- 8 / 11 LITTLE BAY MARINA & DEVELOPMENT, LLC
197 LOUDON ROAD, SUITE 350
CONCORD, NEW HAMPSHIRE 03301-8000
S.C.R.D. VOL. 4589, PAGE 826
- 8 / 12 LITTLE BAY MARINA & DEVELOPMENT, LLC
197 LOUDON ROAD, SUITE 350
CONCORD, NEW HAMPSHIRE 03301-8000
S.C.R.D. VOL. 4415, PAGE 221

- 2.) 8 / 9 - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) ZONING DISTRICT: LITTLE BAY WATERFRONT (LBW)
MINIMUM LOT SIZE = 10,000 S.F.
MAXIMUM COVERAGE = 50 PERCENT
MINIMUM FRONTAGE = 75 FEET
FRONT SETBACK = 15 FEET
ABUT A STREET SETBACK = 15 FEET
SIDE SETBACK = 10 FEET
REAR SETBACK = 15 FEET
MAXIMUM BUILDING HEIGHT = 40 FEET

- 4.) PLAN INTENT: TO DEPICT THE PROJECT PARCEL BOUNDARIES AND IMPROVEMENTS AS OF NOVEMBER 2018, PARCELS ARE SERVICED BY MUNICIPAL SEWER AND WATER SUPPLY SYSTEMS.
- 5.) A PORTION OF PARCEL 8 / 9 & PARCEL 8 / 10 IS LOCATED WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN, ZONE AE (ELEVATION 6) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145, PANEL 0405; SUFFIX E; MAP NUMBER 33017C0405E; EFFECTIVE DATE SEPTEMBER 30, 2015. PARCELS 8 / 11 AND 8 / 12 ARE LOCATED OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145; PANEL 0405; SUFFIX E; MAP NUMBER 33017C0405E; EFFECTIVE DATE SEPTEMBER 30, 2015.

- 6.) BASIS OF BEARINGS IS NH STATE PLANE GRID FROM GPS OBSERVATION TAKEN ON JULY 13, 2016.
- 7.) VERTICAL DATUM IS NAVD88 FROM GPS OBSERVATION TAKEN ON JULY 13, 2016.
- 8.) JURISDICTIONAL WETLANDS AND HIGHEST OBSERVABLE TIDE LINE (H.O.T.L.) IDENTIFIED AND FLAGGED BY DAMON BURT, N.H.C.W.S. #163 OF FRAGILE ROCK ENVIRONMENTAL SERVICES, DURING JULY 2016 AND FIELD LOCATED BY MCNEANEY SURVEY ASSOCIATES, INC.
- 9.) PORTIONS OF THE PARCELS ARE SUBJECT TO THE RULES OF THE SHORELAND WATER QUALITY PROTECTION ACT (NH RSA 483-B), THOSE AREAS WITHIN TWO HUNDRED AND FIFTY (250) FEET OF THE LITTLE BAY H.O.T.L. (REFERENCE LINE).
- 10.) REFERENCE IS MADE TO CERTAIN SEWER EASEMENTS GRANTED TO THE CITY OF DOVER, ALTHOUGH IT APPEARS THAT THE SAID SEWER LINE WAS NEVER CONSTRUCTED.
PARCEL 8 / 9 - S.C.R.D. VOL. 1006, PAGE 450
PARCEL 8 / 11 - S.C.R.D. VOL. 1011, PAGE 244
PARCEL 8 / 12 - S.C.R.D. VOL. 1014, PAGE 904
- 11.) PARCELS ARE SUBJECT TO ACCESS RIGHTS IN COMMON WITH EACH OTHER.
- 12.) MEAN HIGH WATER (ELEVATION 3.0) IS BASED ON NATIONAL TIDAL DATUM EPOCH INFORMATION PUBLISHED BY NOAA FOR STATION 8423005, ATLANTIC TERMINALS T14A NH (<https://tidesandcurrents.noaa.gov/datums.html?id=8423005>)
- 13.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCNEANEY SURVEY ASSOCIATES, INC. DATED APRIL 2018 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.

REFERENCE PLANS:

- 1.) PLAN OF LAND PREPARED FOR LITTLE BAY MARINA & DEVELOPMENT, LLC AND RICHARD J.C. & VICTORIA BENN AND LITTLE BAY MARINA & DEVELOPMENT, LLC, TAX MAP 8, LOT Nos. 9, 10, 11 & 12, DOVER POINT ROAD & LITTLE BAY, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 30'; DATED: APRIL 1, 2018; BY: THIS OFFICE. RECORDED S.C.R.D. PLAN 116-58.
- 2.) LOT LINE ADJUSTMENT PLAN PREPARED FOR ANN SHINE TAX MAP 8, LOT No. 8, 419 DOVER POINT ROAD AND JOHN ANASTAS & GLORIA ESPOSITO-ANASTAS TAX MAP 8, LOT No. 8B, 419A DOVER POINT ROAD, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: AUGUST 17, 2018, REVISED THROUGH 9/18/18; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 117-33.

EXISTING CONDITIONS PLAN
PREPARED FOR
LITTLE BAY MARINA & DEVELOPMENT, LLC
TAX MAP 8, LOT Nos. 9, 10, 11 & 12
DOVER POINT ROAD & LITTLE BAY
CITY OF DOVER
COUNTY OF STRAFFORD
STATE OF NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-__

DRAWN BY: RJM FILE: W10 CP\2123\16-2123 2018EC
SCALE: 1" = 30' DATE: NOVEMBER 27, 2018

30 15 0 15 30 60 90 120

McNeaney
Survey
Associates, inc.
P.O. Box 681 - 24 CHESTNUT STREET
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

GENERAL NOTES

1. OWNERS OF RECORD:

8 / 9, 10, 11 & 12

LITTLE BAY MARINA & DEVELOPMENT, LLC
111 LOUDON ROAD
CONCORD, NEW HAMPSHIRE 03301
S.C.R.D. VOL. 4101, PAGE 409

8 / 9

– DENOTES TAX MAP AND PARCEL NUMBER.

3. ZONING DISTRICT: LITTLE BAY WATERFRONT (LBW)
- | | |
|-------------------------|---------------|
| MINIMUM LOT SIZE | = 10,000 S.F. |
| MAXIMUM COVERAGE | = 50 PERCENT |
| MINIMUM FRONTAGE | = 75 FEET |
| FRONT SETBACK | = 15 FEET |
| ABUT A STREET SETBACK | = 15 FEET |
| SIDE SETBACK | = 10 FEET |
| REAR SETBACK | = 15 FEET |
| MAXIMUM BUILDING HEIGHT | = 40 FEET |
4. PLAN INTENT: TO DEPICT THE PROJECT PARCEL BOUNDARIES AND IMPROVEMENTS AS OF NOVEMBER 2018, PARCELS ARE SERVICED BY MUNICIPAL SEWER AND WATER SUPPLY SYSTEMS.
5. A PORTION OF PARCEL 8 / 9 & PARCEL 8 / 10 IS LOCATED WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOOD PLAIN, ZONE AE (ELEVATION 6) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145; PANEL 0405; SUFFIX E; MAP NUMBER 33017C0405E; EFFECTIVE DATE SEPTEMBER 30, 2015.
- PARCELS 8 / 11 AND 8 / 12 ARE LOCATED OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145; PANEL 0405; SUFFIX E; MAP NUMBER 33017C0405E; EFFECTIVE DATE SEPTEMBER 30, 2015.
6. BASIS OF BEARINGS IS NH STATE PLANE GRID FROM GPS OBSERVATION TAKEN ON JULY 13, 2016.
7. VERTICAL DATUM IS NAVD88 FROM GPS OBSERVATION TAKEN ON JULY 13, 2016.
8. JURISDICTIONAL WETLANDS AND HIGHEST OBSERVABLE TIDE LINE (H.O.T.L.) IDENTIFIED AND FLAGGED BY DAMON BURT, N.H.C.W.S. #163 OF FRAGGLE ROCK ENVIRONMENTAL SERVICES. DURING JULY 2016 AND FIELD LOCATED BY McENEANEY SURVEY ASSOCIATES, INC., IN ACCORDANCE WITH CHAPTER 170-27.1 OF THE ZONING ORDINANCE.
9. PORTIONS OF THE PARCELS ARE SUBJECT TO THE RULES OF THE SHORELAND WATER QUALITY PROTECTION ACT (NH RSA 483-B), THOSE AREAS WITHIN TWO HUNDRED AND FIFTY (250) FEET OF THE BELLAMY RIVER H.O.T.L. REFERENCE IS MADE TO CERTAIN SEWER EASEMENTS GRANTED TO THE CITY OF DOVER, ALTHOUGH IT APPEARS THAT THE SAID SEWER LINE WAS NEVER CONSTRUCTED.
- | | |
|---------------|--------------------------------|
| PARCEL 8 / 9 | – S.C.R.D. VOL. 1003, PAGE 450 |
| PARCEL 8 / 11 | – S.C.R.D. VOL. 1101, PAGE 244 |
| PARCEL 8 / 12 | – S.C.R.D. VOL. 1014, PAGE 904 |
11. PARCELS ARE SUBJECT TO ACCESS RIGHTS IN COMMON WITH EACH OTHER.
12. THE OWNER OF RECORD SHALL RECORD AT THE REGISTRY OF DEEDS DOCUMENTATION SUFFICIENT TO PROVIDE NOTICE TO ALL PERSONS THAT MAY ACQUIRE ANY PROPERTY SUBJECT TO THE REQUIREMENTS AND RESPONSIBILITIES DESCRIBED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE NOTICE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR RECORDING CONTAINED IN RSA 477 AND 478. THE NOTICE NEED NOT SET FORTH THE REQUIREMENTS AT LENGTH, SO LONG AS IT IS SUFFICIENT TO PROVIDE NOTICE TO PROSPECTIVE PURCHASERS TO THE REQUIREMENTS FOR MAINTENANCE AND REPORTING.

DEMOLITION NOTES:

1. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
2. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY DEMOLITION/ CONSTRUCTION ACTIVITIES. (811).
4. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, UTILITIES AND PAVEMENT ON THE SITE TO THE LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT AND POLES.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT ALREADY OBTAINED BY THE OWNER AND ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
8. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
9. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.
10. EXISTING ("OLD") WATER SERVICES TO THE SUBJECT SITE SHALL BE DISCONNECTED AND SHUT-OFF AT THE WATER MAIN.
11. EXISTING SEWER SERVICES TO BE CUT AND PERMANENTLY CAPPED AT PROPERTY LINE.
12. ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.

SITE DATA:

1. THE PARCEL IS SHOWN AS LOT NO. 9, 10, 11 & 12 4 ON MAP 8 OF THE CITY OF DOVER
- TAX ASSESSOR'S MAPS.
2. THE PROJECT PARCEL CONTAINS 3.49 ACRES OF LAND.
3. PARKING CALCS:
RETAIL: 1 PER 275 S.F.
1400 S.F./275 S.F.= 5 SPACES
RESIDENTIAL UNITS: 24
24 UNITS x (1.4+0.5) = 46 SPACES
SLIPS: 42
42 SLIPS x 0.8= 34 SPACES
MAX REQUIRED = 85

SITE NOTES:

1. PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A PLAN REFERENCED AND PREPARED BY MCENEANEY SURVEY ASSOCIATES INC. (SEE EXISTING CONDITIONS PLAN IN THIS PLAN SET)
2. THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF 6 MULTI-UNIT CONDOMINIUM BUILDINGS, 1 MIXED-USE COMMERCIAL BUILDING, SURFACE PARKING, DRIVE AISLES, DRAINAGE IMPROVEMENTS, AND UTILITIES.
3. EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
4. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13.
5. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
7. STRIPE PARKING AREAS AS SHOWN INCLUDING HANDICAP SYMBOLS AND PAINTED ISLANDS. ALL MARKINGS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M-248-TYPE N.
8. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS, AND THE AMERICAN WITH DISABILITIES ACT, LATEST EDITIONS.
9. PAINTED ISLANDS SHALL BE 4 INCHES WIDE DIAGONAL LINES 3 FEET ON CENTER.
10. ON-SITE SNOW STORAGE SHALL OCCUR ALONG THE EDGES OF PROPOSED PAVEMENT.
11. LAYOUT OF BUILDING CORNERS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AND SHALL BE BASED UPON THE ARCHITECT'S FINAL FOUNDATION PLAN AND ALL SITE LAYOUT SHALL BE PERFORMED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR UNDER CONTRACT WITH THE CONTRACTOR.
12. SEE DETAILS FOR SIGN LEGENDS.
13. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE FACILITIES AND THEIR COMPONENTS DURING DEMOLITION AND CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNERS REPRESENTATIVE. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS. SUCH MATERIALS SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF THE PROJECT.
14. METHODS OF DEMOLITION, CONSTRUCTION AND ERECTION ARE THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED. IT IS THE CONTRACTORS' RESPONSIBILITY TO PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY FEDERAL, STATE AND MUNICIPAL REGULATIONS AND PERMITS. ENVIRONMENTAL CONTROLS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO DUST CONTROL AND SILT BARRIERS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO STRUCTURES OR UTILITIES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION PHASE CAUSED BY HIMSELF, HIS EMPLOYEES, HIS SUBCONTRACTORS OR EMPLOYEES OF SAME. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY FACILITIES FOR THE PROTECTION OF THE WORK, WORKERS AND PUBLIC SAFETY.
16. BUILDING ADDRESSES TO BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
17. THE SITE DESIGN IS IN COMPLIANCE WITH THE APPLICABLE ACCESSIBILITY REGULATIONS 2009 IBC AND ANSI STANDARDS.
18. THE SITE SHALL BE MAINTAINED TO PROVIDE ACCESSIBILITY IN ALL WEATHER CONDITIONS.
19. COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM WITH DOVER CITY CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
20. THE SUBJECT PARCEL(S) IS (ARE) SERVED BY MUNICIPAL WATER AND SEWER.
21. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN THE 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO ANY EARTH DISTURBAIN ACTIVITY OCCURS.
22. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
23. A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE 1, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER.
24. SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM, SATURDAY AND SUNDAY 9 AM-4 PM. HOURS OF CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR ASSISTANT CITY MANAGER.
25. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
26. ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE CITY OF DOVER COMMUNITY SERVICES REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
27. BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
28. THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL BE ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS.
29. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
NHDOT AOT: PENDING
NHDOT WETLANDS/SHORLAND: PENDING
30. LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT OR CONDITIONAL USE PERMITS GRANTED BY THE PLANNING BOARD FOR THE PROPOSED USE OR STRUCTURE, INCLUDING THE CASE NUMBER AND DATE OF DECISION AND ANY CONDITIONS.
CONDITIONAL USE PERMIT: PENDING

GRADING NOTES:

1. ALL ROAD (INCLUDING PARKING LOT AND DRAINAGE) WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR CONSTRUCTION OF THE CITY OF DOVER, N.H. AND "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION", LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEERING CONSULTANT APPROVED BY THE OWNER, TO CONDUCT COMPACTION TESTING AND FILL GRADATION MONITORING PER THE ABOVE REFERENCED "STANDARD SPECIFICATIONS".
3. SEE EROSION CONTROL NOTES & DETAIL SHEET FOR TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
4. ALL DRAINAGE PIPES SHALL BE HDPE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
5. ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 6" OF HIGH QUALITY LOAM AND SHALL BE SEEDED WITH GRASS.
6. ALL SITEWORK CONSTRUCTION SHALL BE ADVANCED USING "BEST MANAGEMENT PRACTICES" SANCTIONED BY THE USDA SCS AND NHDES.
7. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED, UTILIZED AND MAINTAINED UNTIL BASE MATERIALS ARE CONSTRUCTED.
8. CONTRACTOR SHALL PROVIDE A FINISH GRADED SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND UNDER RAISED STRUCTURES.
9. DENSITY REQUIREMENTS:
- | LOCATION | MINIMUM DENSITY |
|---|-----------------|
| BELOW PAVED OR CONCRETE AREAS | 95% |
| TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL | 95% |
| BELOW LOAM AND SEED AREA | 90% |
- *ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-238 AND T-239.
10. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEET.
11. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND AS SHOWN ON PLAN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED AND UPSTREAM AREAS HAVE BEEN STABILIZED.
12. INSPECT SILT BARRIERS AFTER EACH RAIN STORM OF 1/4 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
13. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THIS PROJECT. THE SWPPP MUST INCLUDE THE APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE SITE. PARTIES RESPONSIBLE FOR DEVELOPING THE SWPPP SHOULD REFER TO THE EPA NPDES CONSTRUCTION GENERAL PERMITS NOTICE OF INTENT FOR A COMPLETE OUTLINE OR REQUIRED ELEMENTS. THESE PLANS AND THE STORMWATER MANAGEMENT SYSTEM INSPECTION & MAINTENANCE PLAN PREPARED FOR THIS PROJECT MAY BE UTILIZED IN FULFILLING THE REQUIREMENTS.
14. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN THE 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
15. ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
16. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE AND APPROVED CONSTRUCTION SIGN SHALL BE IN PLACE PRIOR TO ANY EARTH DISTURBING ACTIVITY.

UTILITY NOTES:

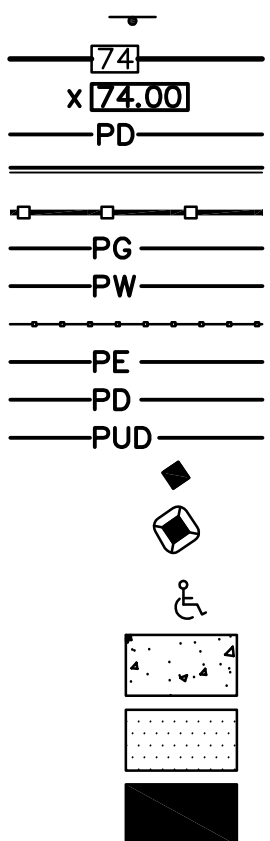
1. THE PROJECT SITE IS SERVED BY CITY WATER AND SEWER.
2. THE BEST AVAILABLE INFORMATION WAS USED TO DETERMINE THE LOCATION AND SIZE OF EXISTING UTILITIES. THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE EXACT SIZE AND LOCATION OF UTILITIES SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
3. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-388-7233 OR "811".
4. ALL PROPOSED UTILITY SERVICES SHALL BE UNDERGROUND WITHIN THE SITE.
5. UNDERGROUND ELECTRIC, TELEPHONE, AND CABLE TV CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH/PER PSNH, VERIZON, COMCAST, AND UNILIT STANDARDS.
6. PROPOSED INSTALLATION OF UNDERGROUND CONDUITS FOR TELEPHONE, ELECTRIC AND GAS SERVICE SHALL BE COORDINATED WITH THE RESPECTIVE CONTACTS ARE AS FOLLOWS:
- | | | |
|-----------|------------|----------------|
| ELECTRIC: | EVERSOURCE | 1.800.362.7764 |
| CABLE: | COMCAST | 603.334.3615 |
| GAS: | UNILIT | 866.933.3821 |
7. SEE ELECTRICAL DRAWINGS AND DETAILS FOR OUTDOOR LIGHTING CONDUIT LOCATIONS.
8. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
9. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
10. SEWAGE LOADING (PER ENV. – Wq 1008.03 TABLE 1008-1)
- | | |
|--|--------------|
| 23 – 3 BEDROOM RESIDENTIAL TOWNHOMES = | |
| 3 BDRMS x 150 GALS./DAY/BDRM x 23 PLUS | = 10,350 GPD |
| 1 – 2 BEDROOM ACCESSORY APT. = | |
| 2 BDRMS x 150 GALS./DAY/BDRM x 1 PLUS | = 300 GPD |
| 1 MARINA OFFICE/DRY GOODS STORE @ 16'x20' = 1,400 S.F. | |
| 1,400 S.F. x 5 GPD/100 S.F. + 10 GPD/EMPLOYEE (2) | |
| | = 90 GPD |
| TOTAL | = 10,740 GPD |
11. THE PROPOSED STRUCTURES SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER CHAPTER 109-30 OF THE CODE OF THE CITY OF DOVER AND THE 2009 STATE BUILDING CODE.
12. SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED.
13. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13.
14. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
15. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
16. BACKFLOW PREVENTORS SHALL BE INSTALLED ON BOTH FIRE AND DOMESTIC WATER LINES.
17. ALL UNUSED WATER SERVICES SHALL BE REMOVED BACK TO THE CORPORATION AT THE MAIN.

LEGEND

S.F.
Ac.
±
(TYP.)
S.C.R.D.
TBR
5'R
SGC
VGC
x 74.00
---94---
---OHW---
---E---
---W---
---S---
---D---
---G---

SQUARE FEET
ACRE
MORE OR LESS
TYPICAL

TO BE REMOVED
EXISTING UTILITY POLE
EXISTING SIGN
EXISTING WATER SHUT-OFF
EXISTING WATER VALVE
EXISTING GAS VALVE
EXISTING HYDRANT
EXISTING LIGHT/SIGNAL POLE
EXISTING SEWER MANHOLE
EXISTING DRAINAGE MANHOLE
EXISTING CATCHBASIN
PAVEMENT RADIUS
SLOPE GRANITE CURB
VERTICAL GRANITE CURB
EXISTING SPOT GRADE
EXISTING GRADE
OVERHEAD WIRES
EXISTING ELECTRIC
EXISTING WATER LINE
EXISTING SEWER LINE
EXISTING DRAINAGE LINE
EXISTING GAS LINE



PROPOSED SIGN
PROPOSED FINISH GRADE
PROPOSED SPOT GRADE
PROPOSED DRAIN LINE
PAVEMENT WITH CURB
SILT BARRIER
PROPOSED GAS
PROPOSED WATER
PROPOSED FENCE
PROPOSED ELECTRIC
PROPOSED DRAIN LINE
PROPOSED UNDERDRAIN LINE
PROPOSED CATCHBASIN

INLET PROTECTION

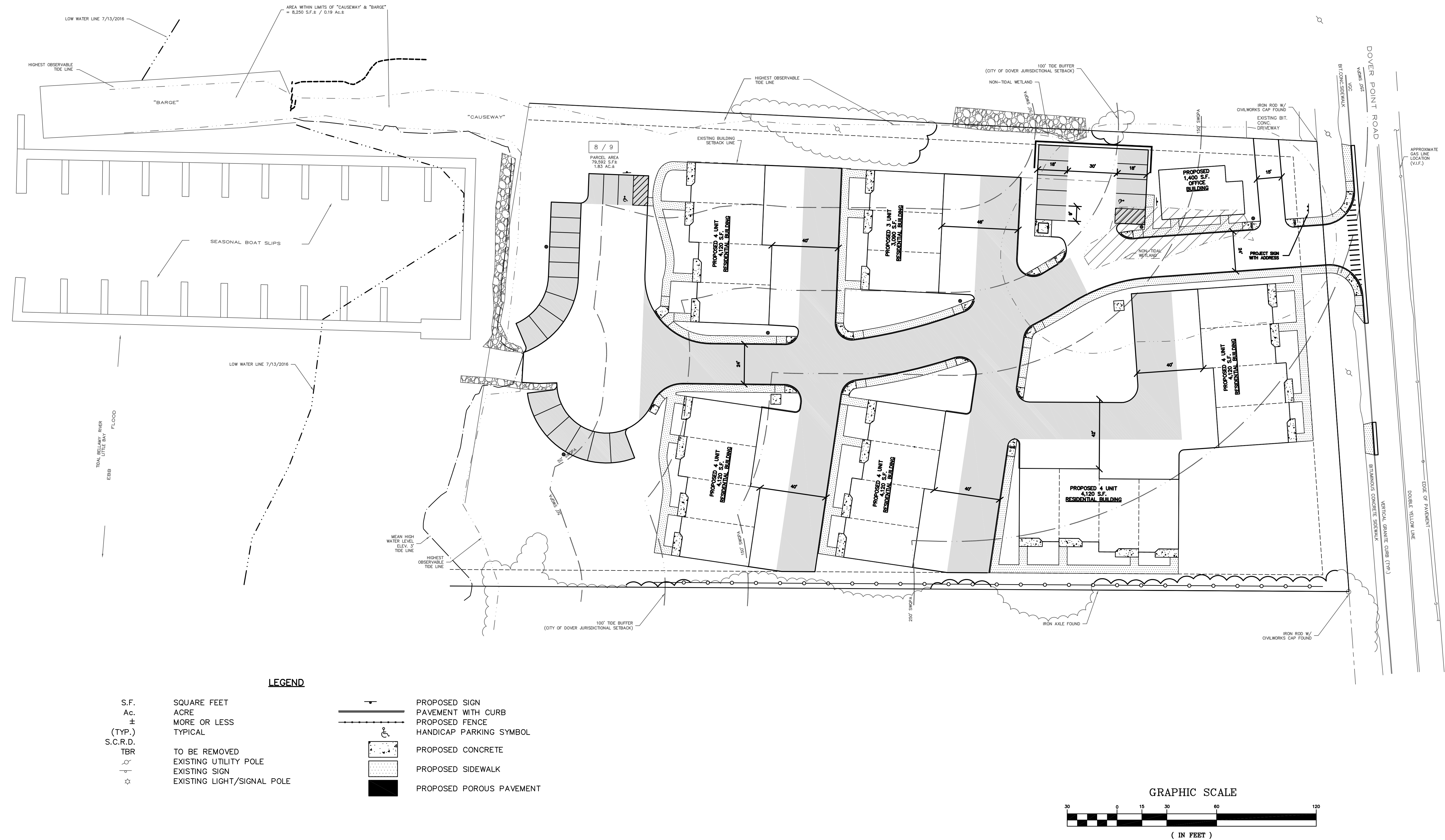
HANDICAP PARKING SYMBOL

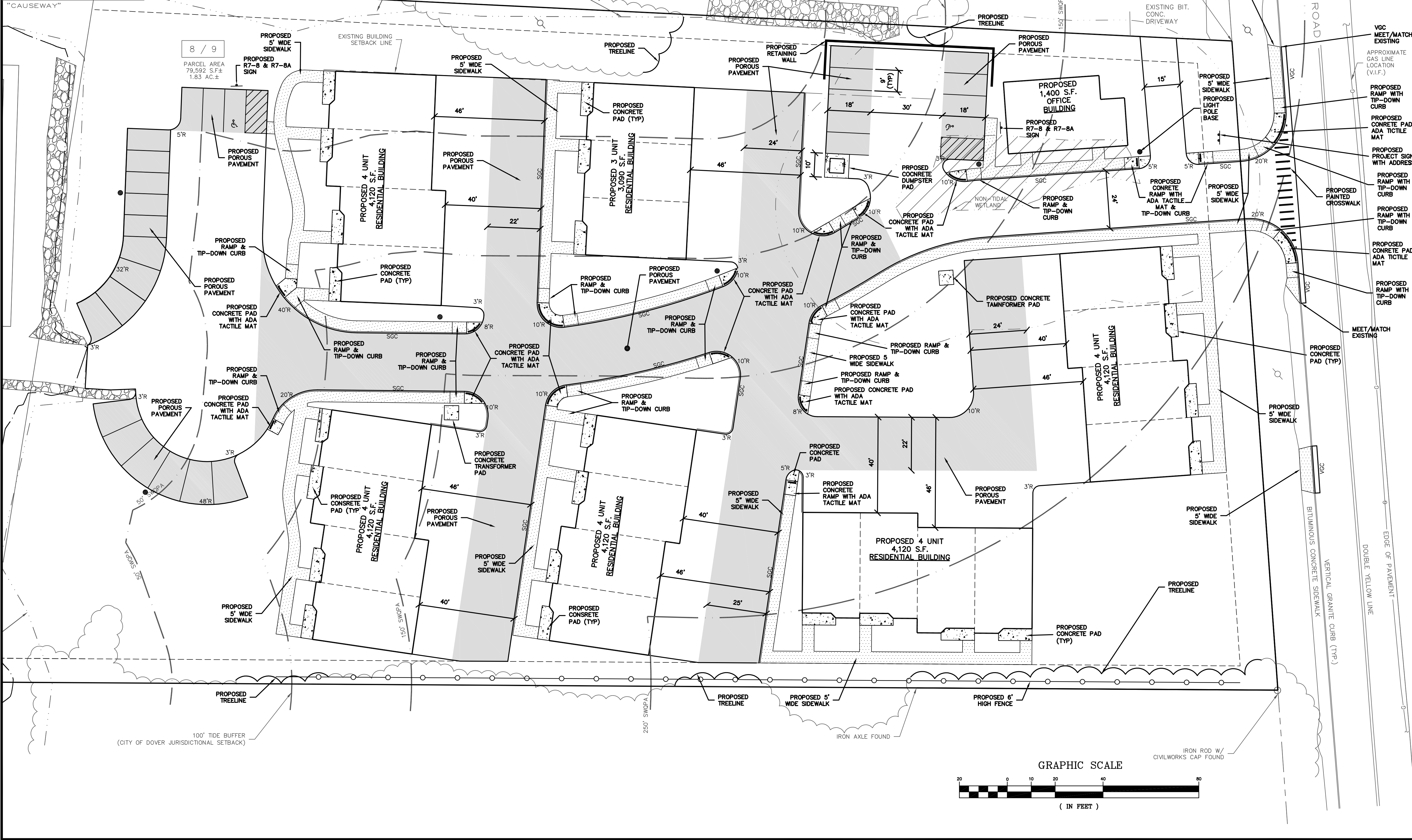
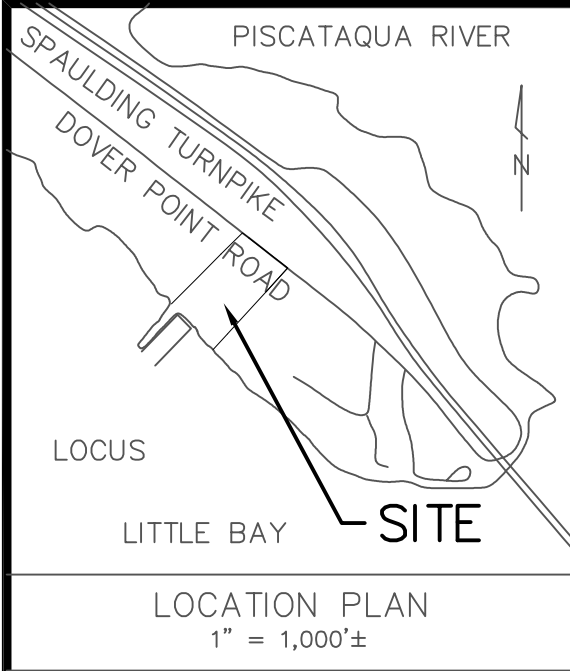
PROPOSED CONCRETE

PROPOSED SIDEWALK

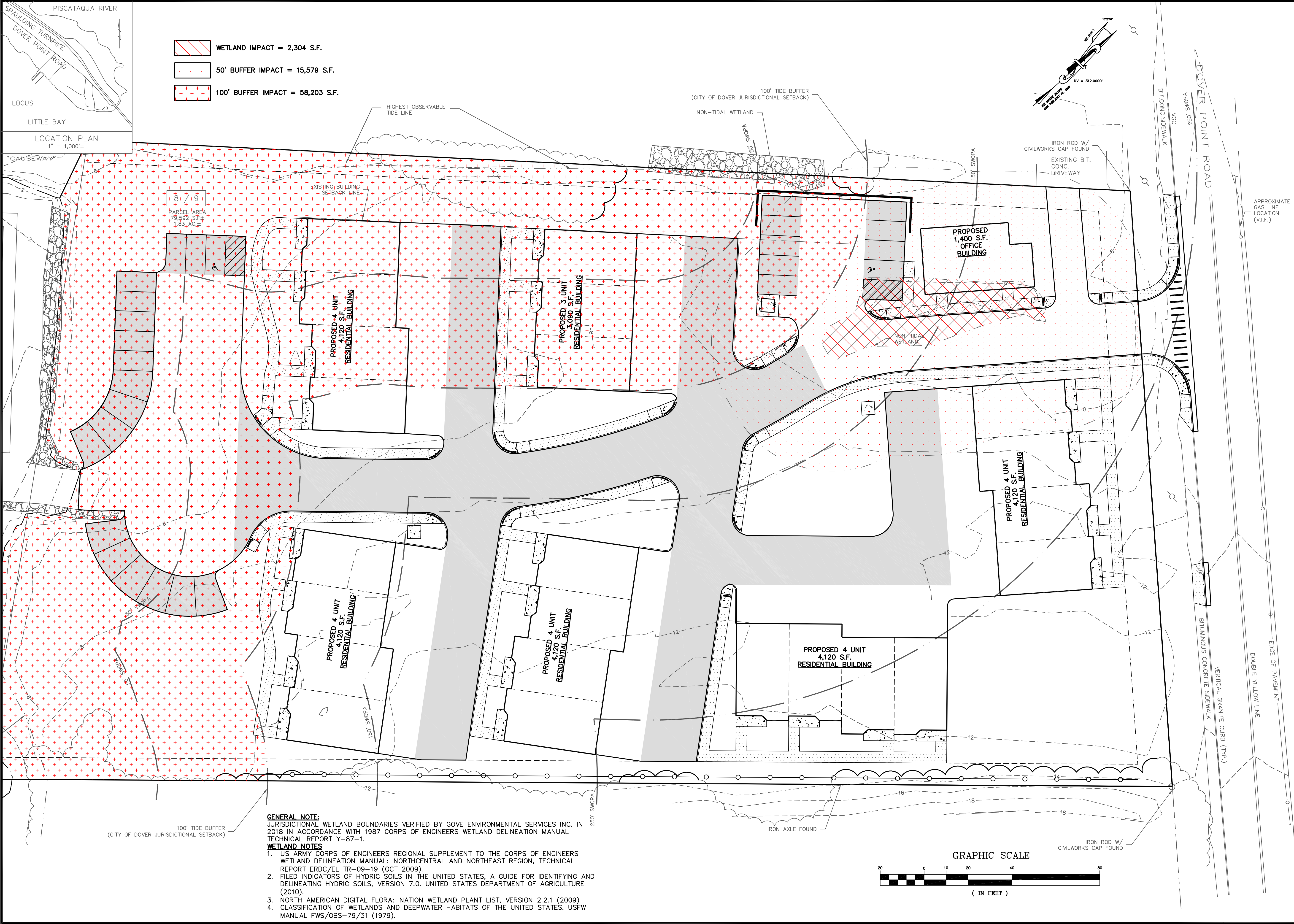
PROPOSED POROUS PAVEMENT

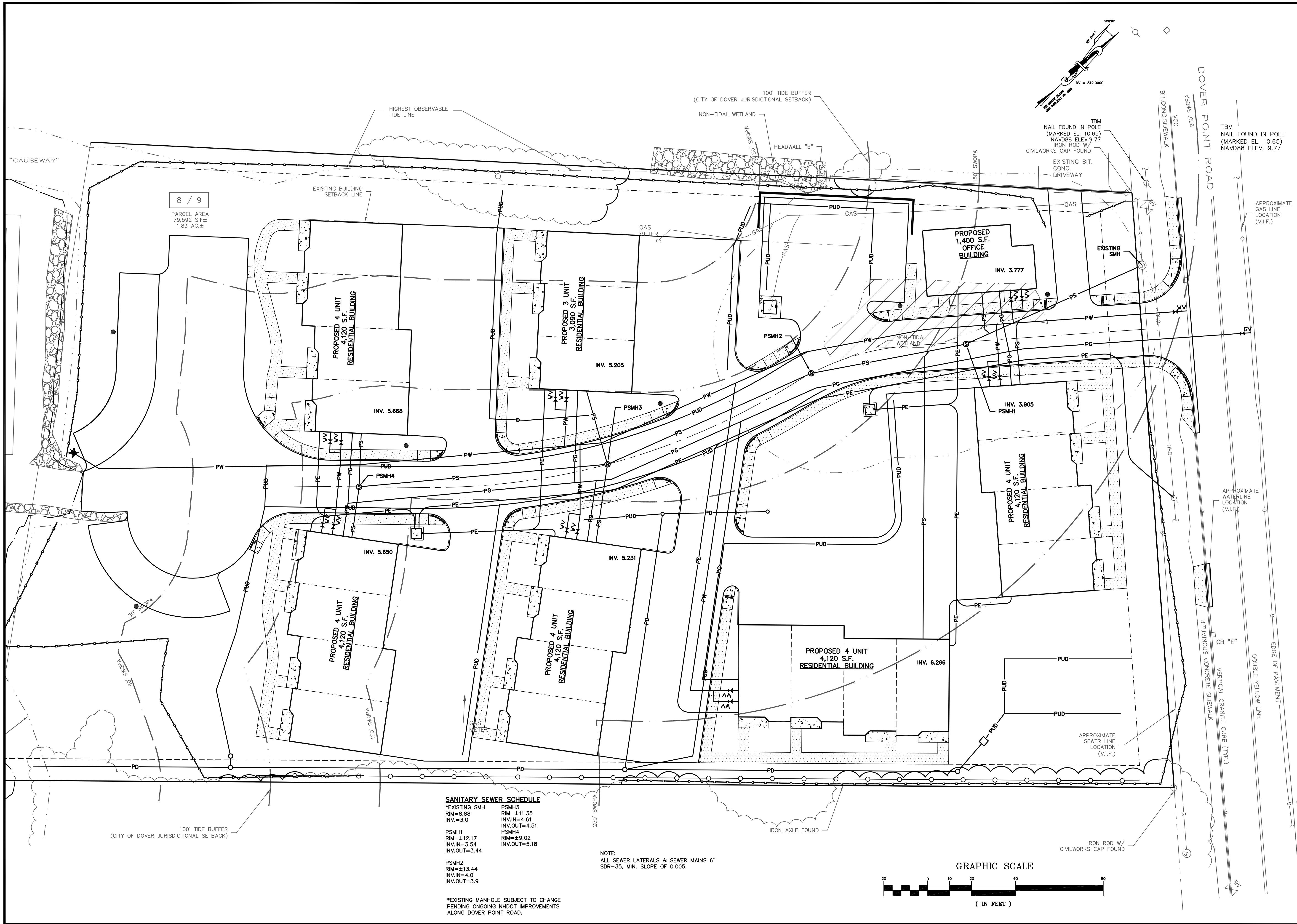
NOT FOR CONSTRUCTION FOR PERMIT USE ONLY	
PLANNING FILENO.: P18-___	
CIVILWORKS NEW ENGLAND CIVIL ENGINEERING 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443	
DATE: 1-4-19	NO.
SCALE: AS NOTED	REVISION
DRAWN BY: SRD	APP'D
DESIGN BY: SRD	DATE
APPROVED BY:SH	
PROJECT NO:1788	
FILE: SITE.DWG	
LITTLE BAY MARINA & DEVELOPMENT, LLC 111 LOUDON ROAD CONCORD, NH 03301	
LITTLE BAY MARINA DOVER POINT ROAD DOVER, NH	
4	

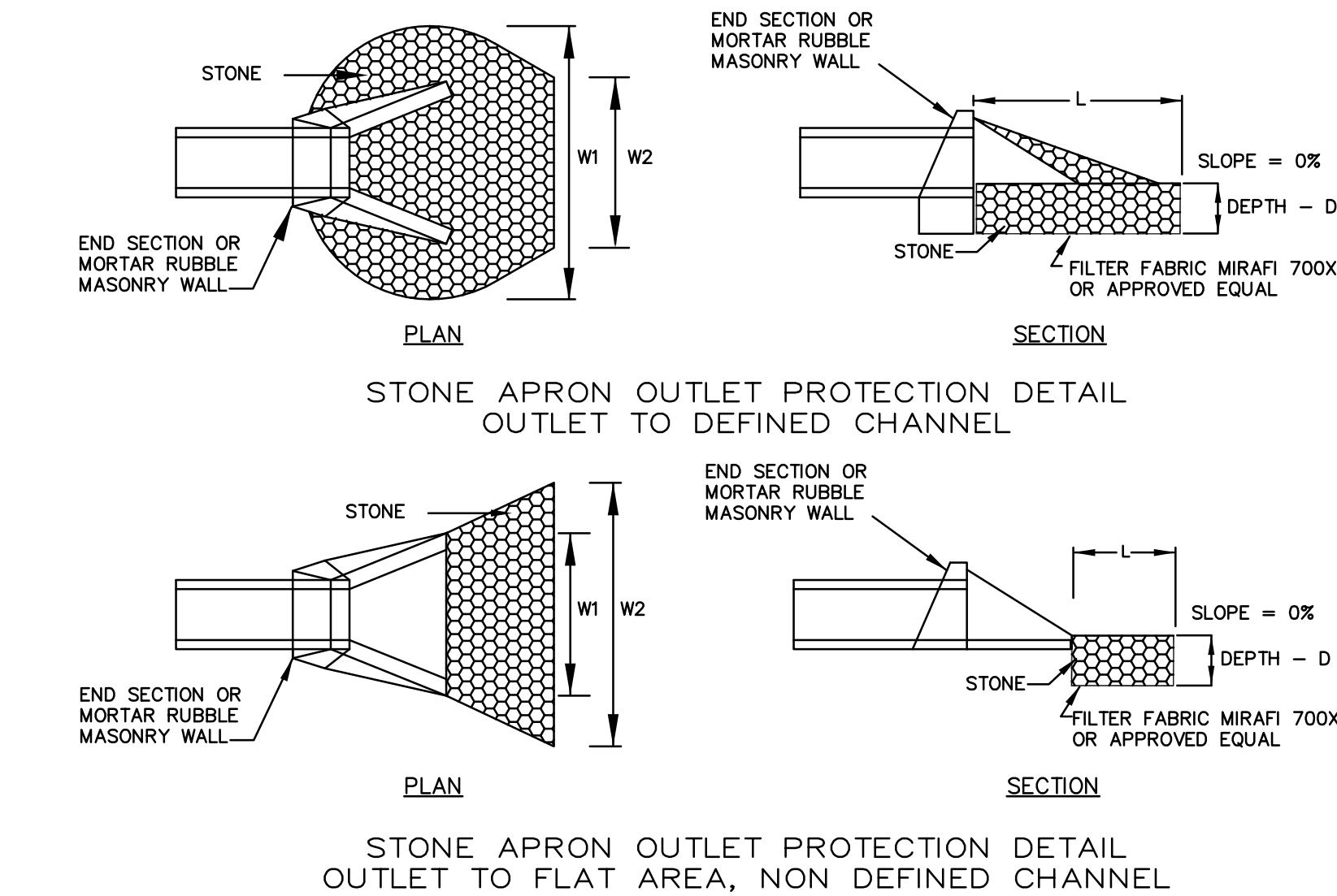
[illegible]



NOT FOR CONSTRUCTION FOR PERMIT USE ONLY				PLANNING FILE NO.: P18-___			
CIVILWORKS NEW ENGLAND				CIVILWORKS NEW ENGLAND			
181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443				181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443			
DATE: 1-4-19				DATE			
SCALE: 1"=20'				APP'D			
DRAWN BY: SRD				REVISION			
DESIGN BY: SRD				NO.			
APPROVED BY: SH				FILE: SITE.DWG			
PROJECT NO: 1788				LITTLE BAY MARINA & DEVELOPMENT, LLC 111 LOUDON ROAD CONCORD, NH 03301			
SITE PLAN				LITTLE BAY MARINA & DEVELOPMENT, LLC DOVER POINT ROAD DOVER, NH			
				2			







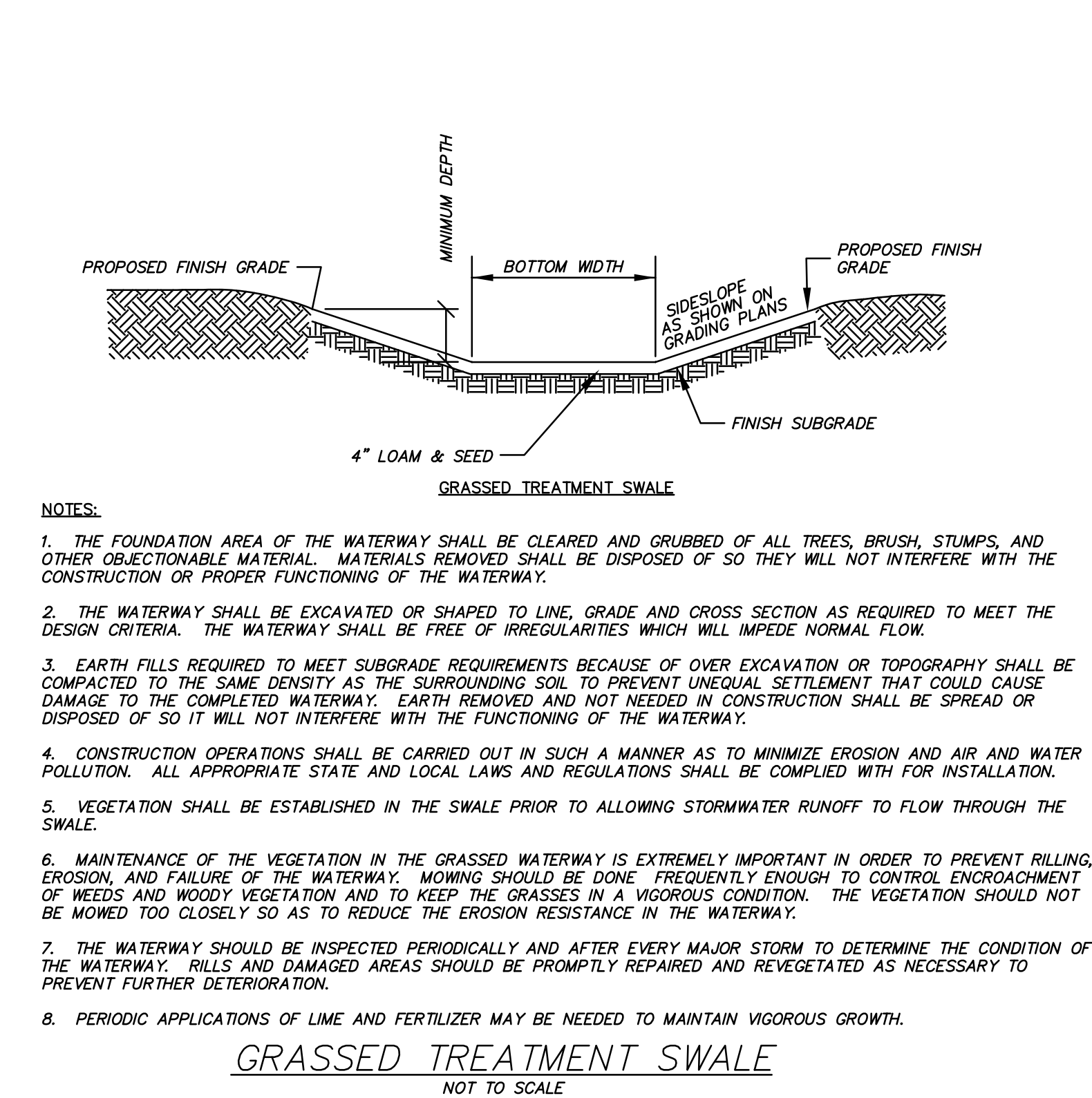
MAINTENANCE
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

STONE GRADATION		
% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE	
100	1.5 TO 2.0 D50	
85	1.3 TO 1.8 D50	
50	1.0 TO 1.5 D50	
15	0.3 TO 0.5 D50	

CONSTRUCTION SPECIFICATIONS

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK OR GRAVEL USED FOR FILTER OR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

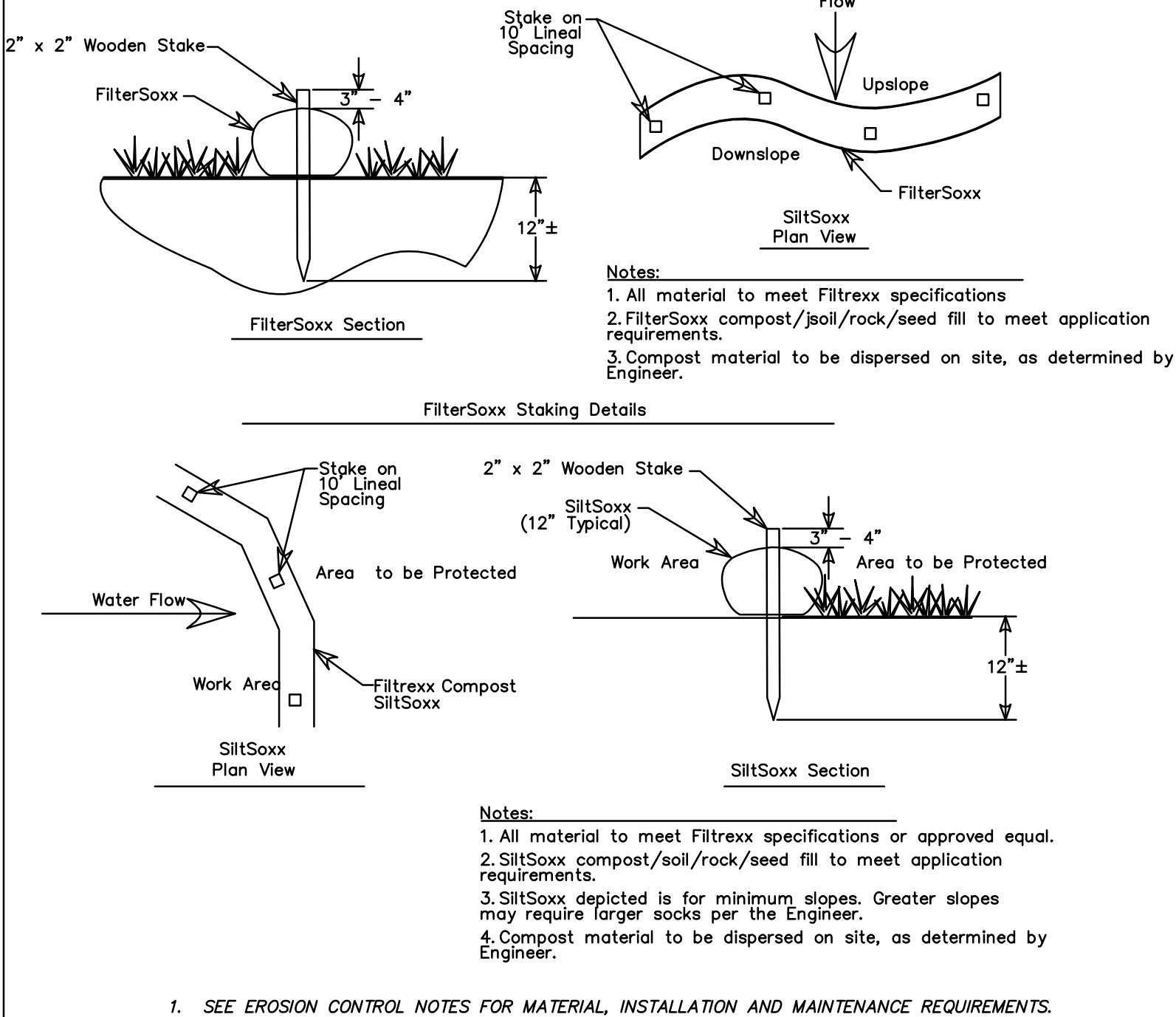
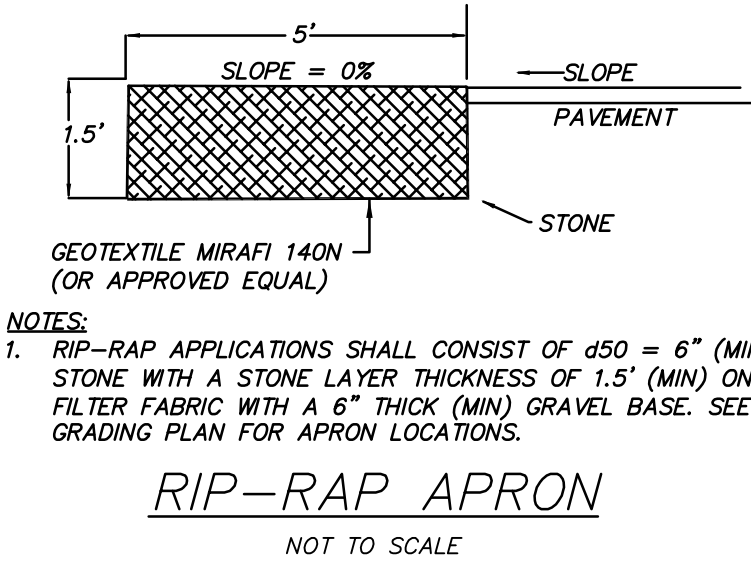
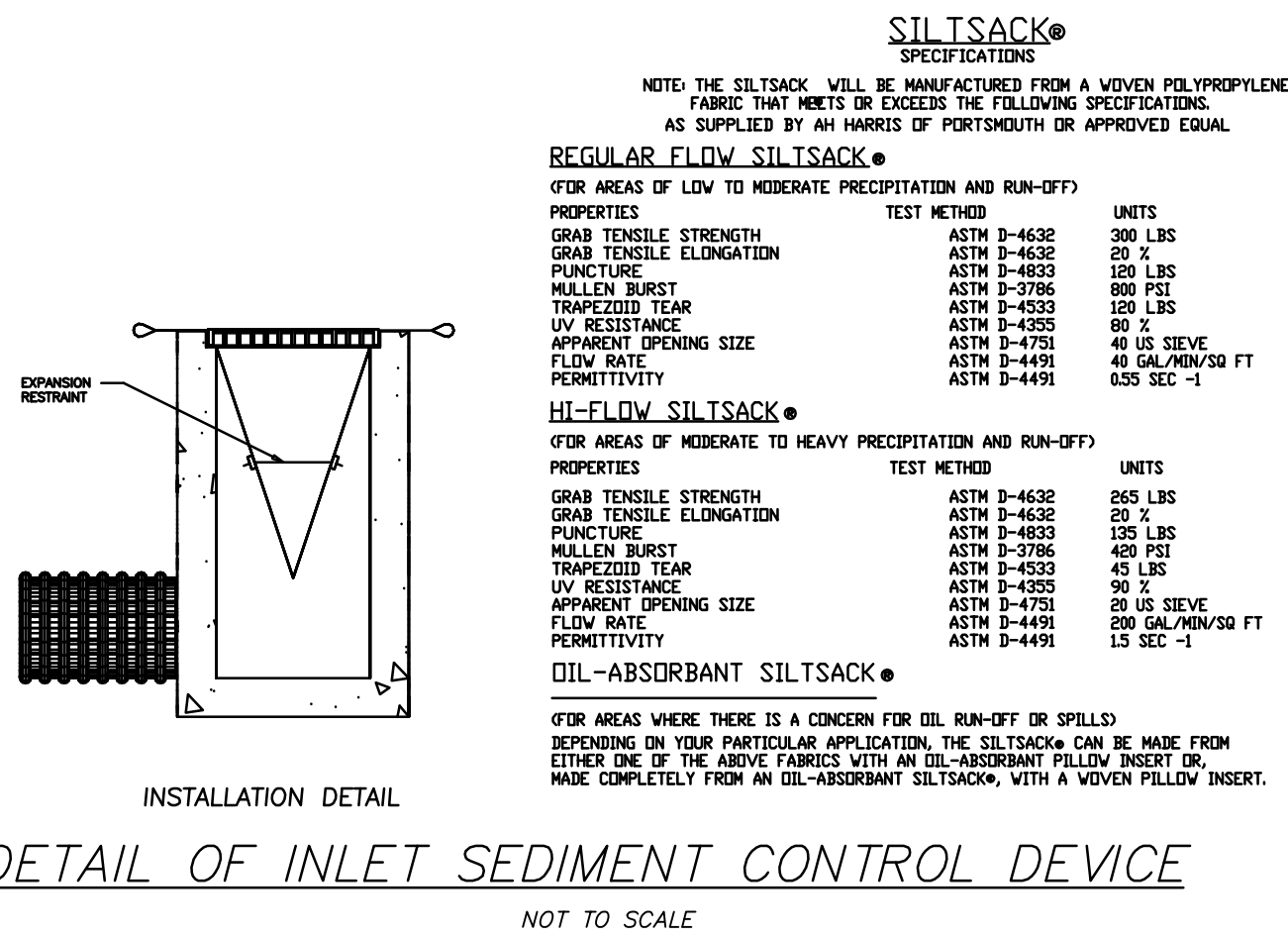
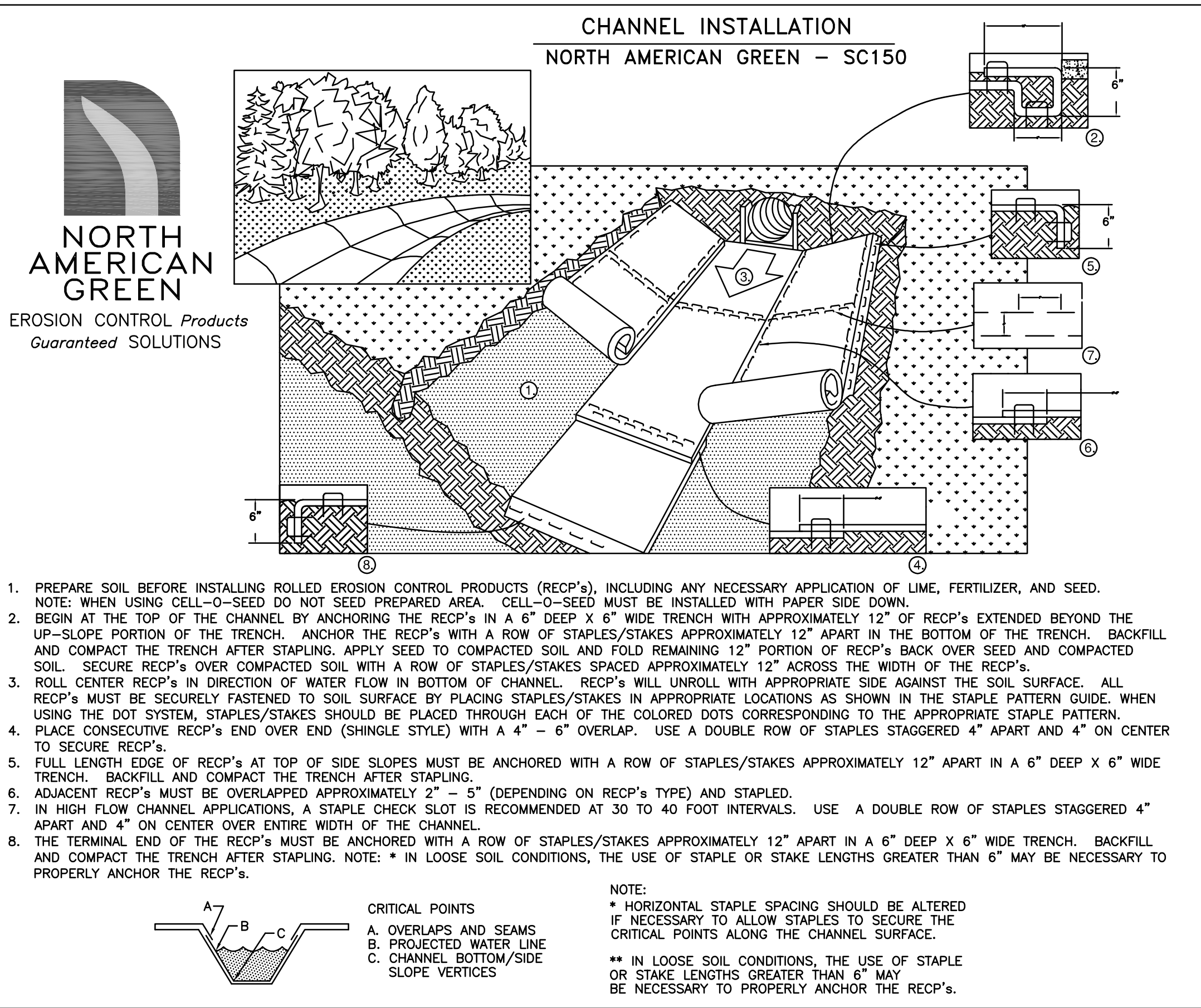
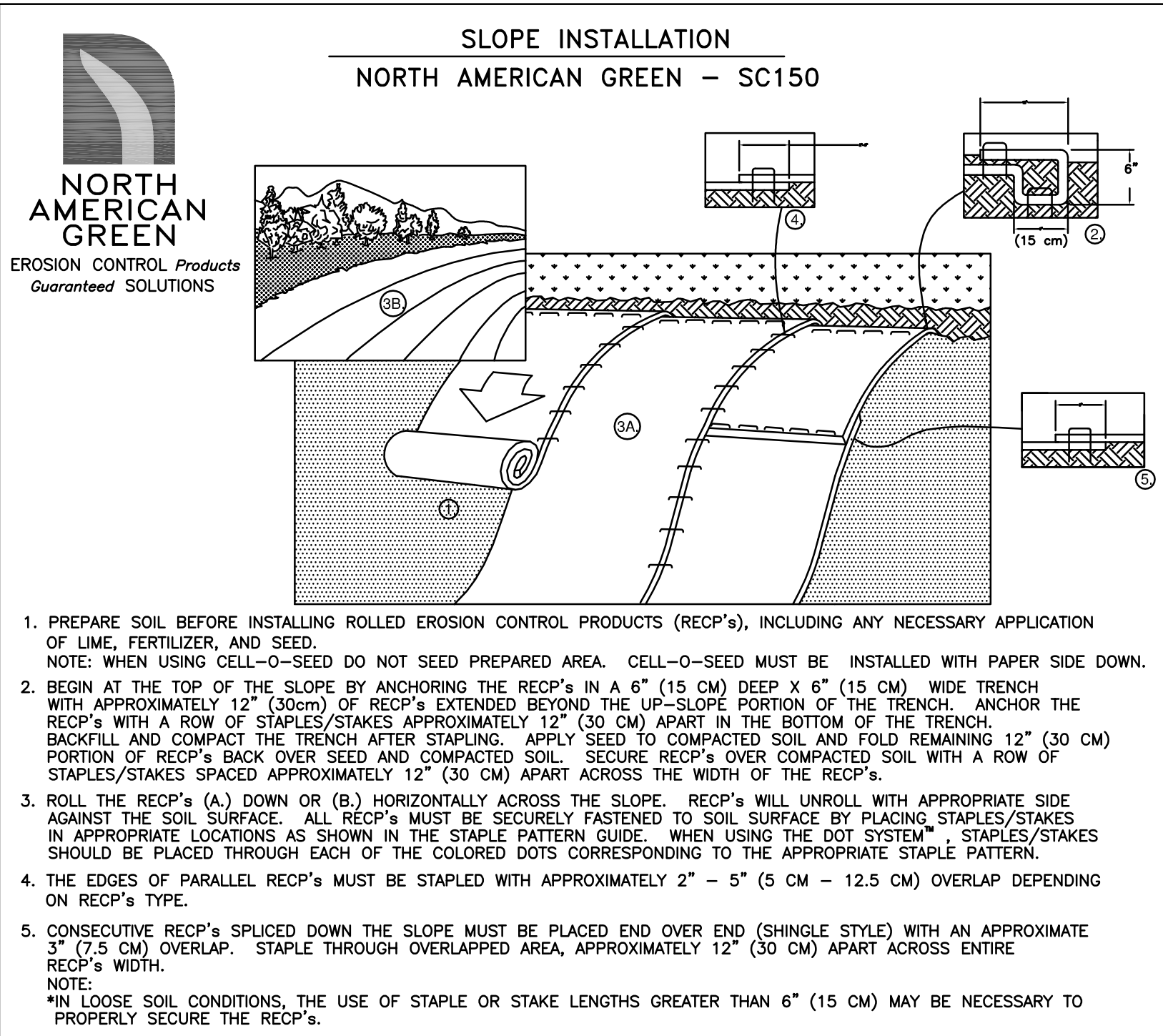
RIP RAP OUTLET PROTECTION
NOT TO SCALE



- NOTES:**
- THE FOUNDATION AREA OF THE WATERWAY SHALL BE CLEARED AND GRUBBED OF ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL. MATERIALS REMOVED SHALL BE DISPOSED OF SO THEY WILL NOT INTERFERE WITH THE CONSTRUCTION OR PROPER FUNCTIONING OF THE WATERWAY.
 - THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE DESIGN CRITERIA. THE WATERWAY SHALL BE FREE OF IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 - EARTH FILLS REQUIRED TO MEET SUBGRADE REQUIREMENTS BECAUSE OF OVER EXCAVATION OR TOPOGRAPHY SHALL BE COMPACTED TO THE SAME DENSITY AS THE SURROUNDING SOIL TO PREVENT UNEQUAL SETTLEMENT THAT COULD CAUSE DAMAGE TO THE COMPLETED WATERWAY. EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER AS TO MINIMIZE EROSION AND AIR AND WATER POLLUTION. ALL APPROPRIATE STATE AND LOCAL LAWS AND REGULATIONS SHALL BE COMPLIED WITH FOR INSTALLATION.
 - VEGETATION SHALL BE ESTABLISHED IN THE SWALE PRIOR TO ALLOWING STORMWATER RUNOFF TO FLOW THROUGH THE SWALE.
 - MAINTENANCE OF THE VEGETATION IN THE GRASSED WATERWAY IS EXTREMELY IMPORTANT IN ORDER TO PREVENT RILLING, EROSION, AND FAILURE OF THE WATERWAY. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION AND TO KEEP THE GRASSES IN A VIGOROUS CONDITION. THE VEGETATION SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE EROSION RESISTANCE IN THE WATERWAY.
 - THE WATERWAY SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE WATERWAY. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND REVEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.
 - PERIODIC APPLICATIONS OF LIME AND FERTILIZER MAY BE NEEDED TO MAINTAIN VIGOROUS GROWTH.

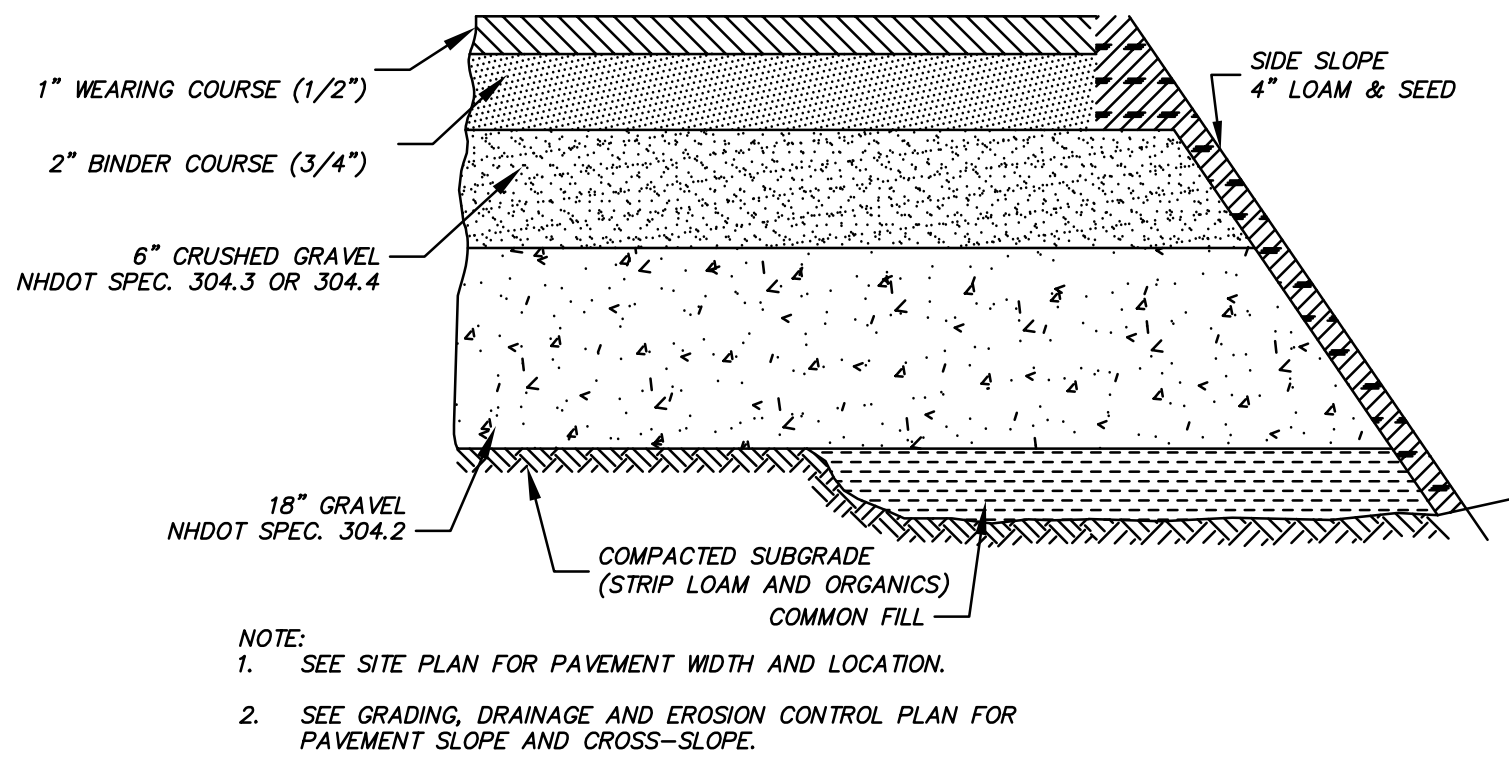
GRASSED TREATMENT SWALE
NOT TO SCALE

STRUCTURE	WIDTH (Ft)	LENGTH (Ft)	SLOPE (Ft/Ft)
TS 1	3.5	110	0.0064
PRE TREATMENT	4	50	±0.005

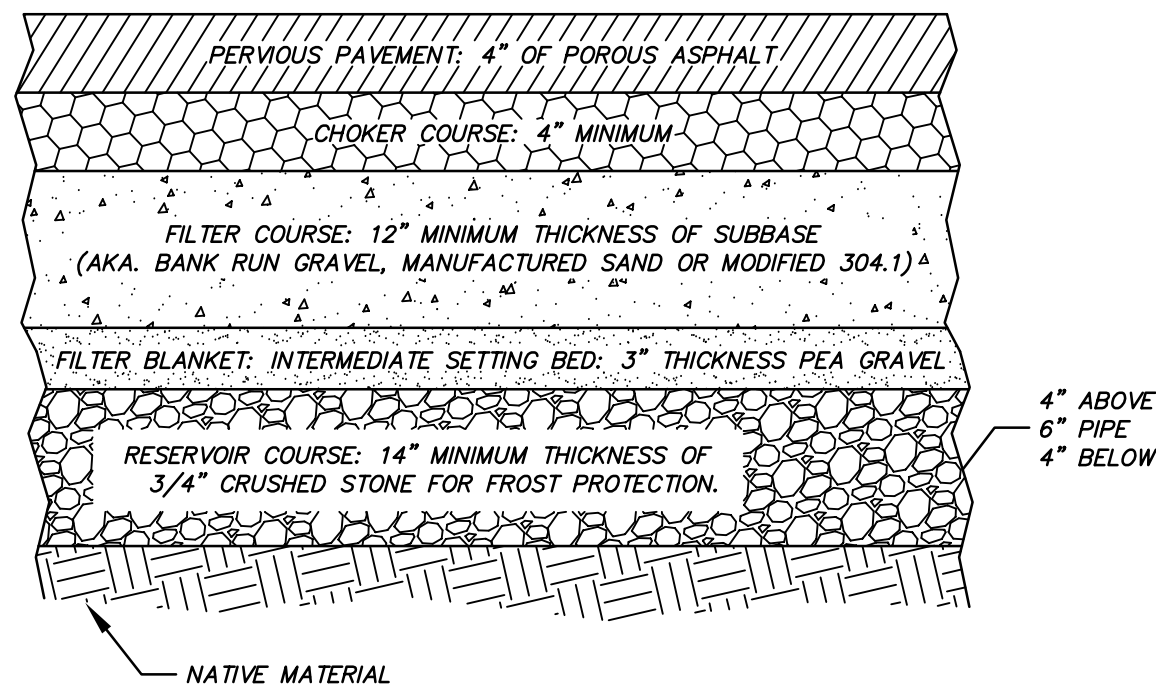


Filter Barrier Detail
NOT TO SCALE

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY				PLANNING FILENO.: P18-___			
DATE: 1-4-19	SCALE: AS NOTED	DRAWN BY: SRD	DESIGN BY: SRD	APPROVED BY: SH	PROJECT NO: 1788	FILE: SITE.DWG	NO.
LITTLE BAY MARINA & DEVELOPMENT, LLC 111 LOUDON ROAD CONCORD, NH 03301				LITTLE BAY MARINA & DEVELOPMENT, LLC DOVER POINT ROAD DOVER, NH			
EROSION CONTROL DETAILS				12			

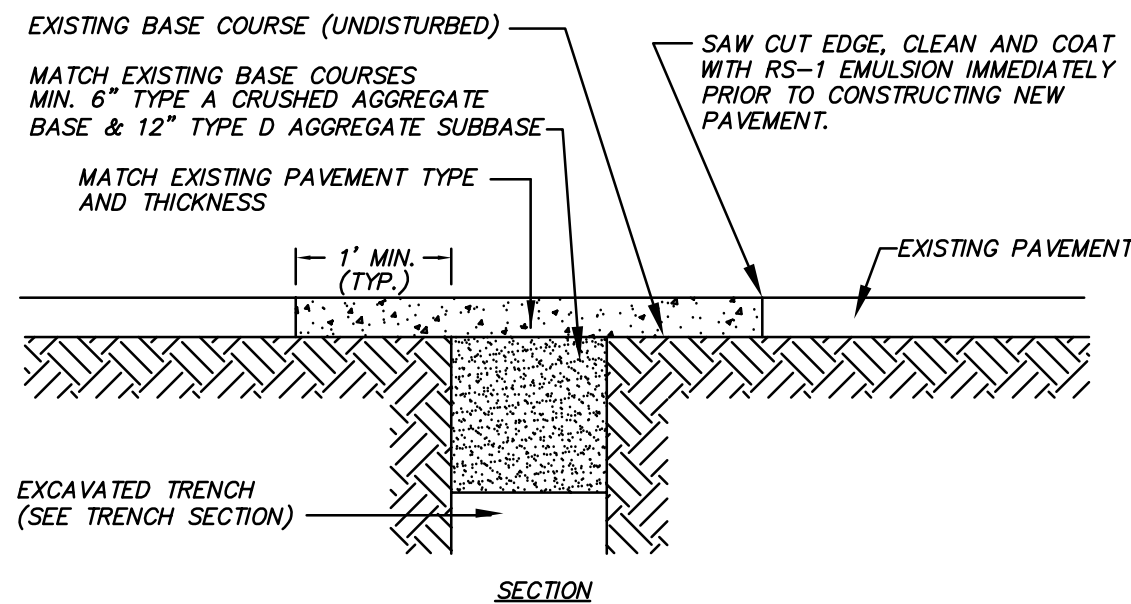


TYPICAL PAVEMENT SECTION
NOT TO SCALE

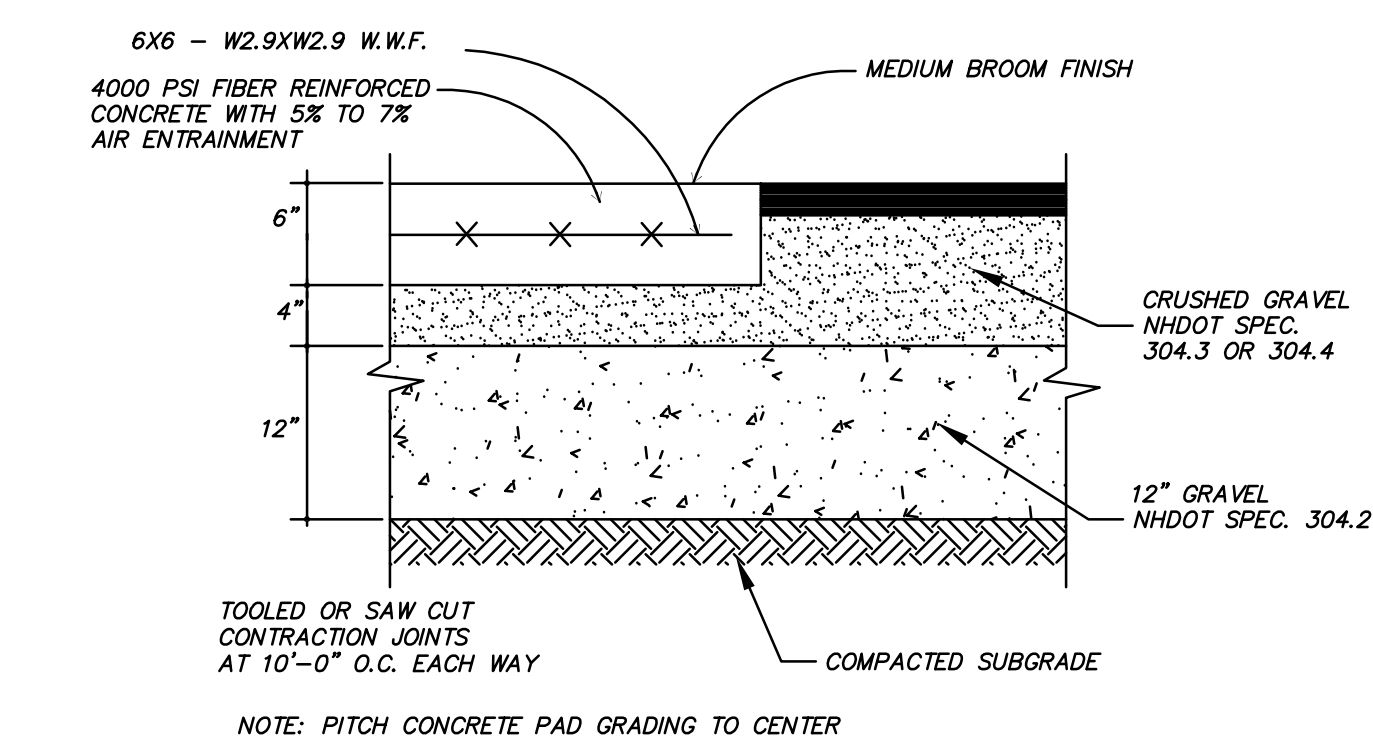


- NOTE:
1. SEE SITE PLAN FOR LOCATION OF POROUS PAVEMENT, PAVEMENT WIDTH AND LOCATION.
 2. CONSTRUCTION MATERIALS SHALL NOT BE STORED ON THE POROUS PAVEMENT OR BASE MATERIALS.
 3. PLACEMENT OF POROUS PAVEMENT AND BASE MATERIALS SHALL BE MONITORED BY THE DESIGN ENGINEER. ADVISE THE CITY ENGINEER AS TO INSTALLATION SCHEDULE.
 4. CRUSHED STONE, BANK RUN GRAVEL & CRUSHED GRAVEL MATERIALS SHALL CONFORM WITH MASSDOT STD. SPECIFICATIONS.
 5. POROUS PAVEMENT SHALL CONFORM WITH GENERAL POROUS BITUMINOUS PAVING SPECIFICATIONS PREPARED BY THE UNH STORMWATER CENTER 2/14).
 6. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.

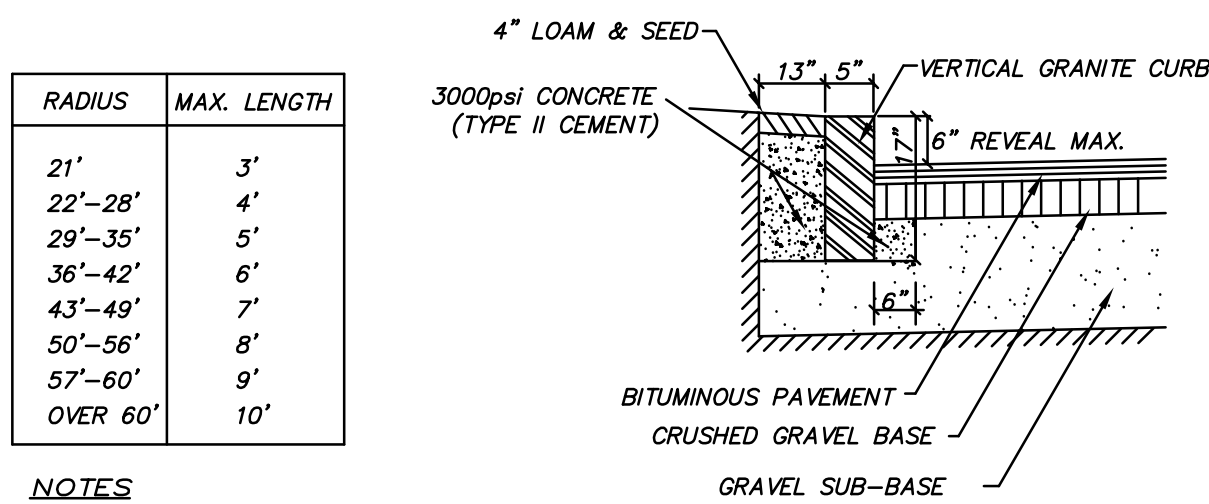
POROUS PAVEMENT SECTION
NOT TO SCALE



ROADWAY TRENCH PATCH DETAIL
NOT TO SCALE

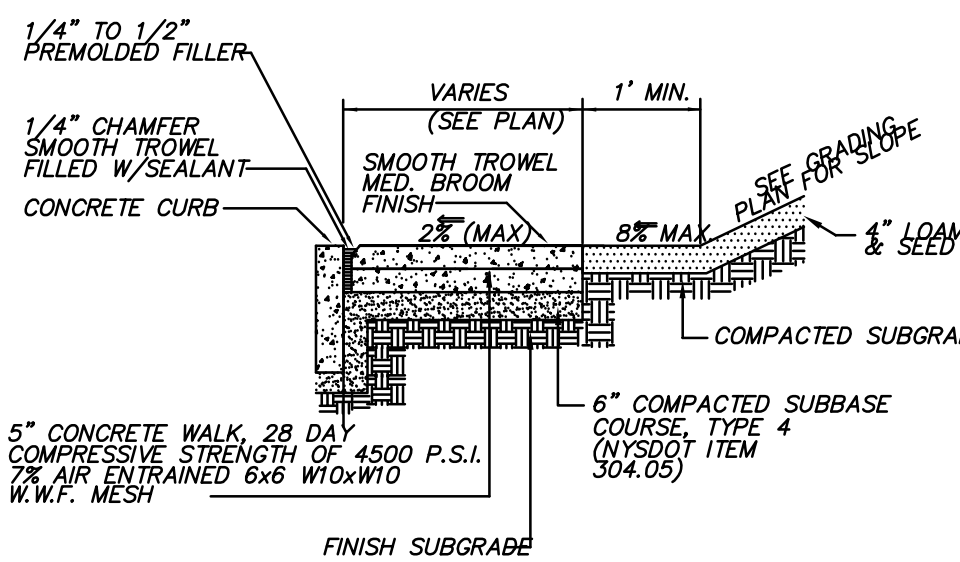


DUMPSTER DETAIL
NOT TO SCALE

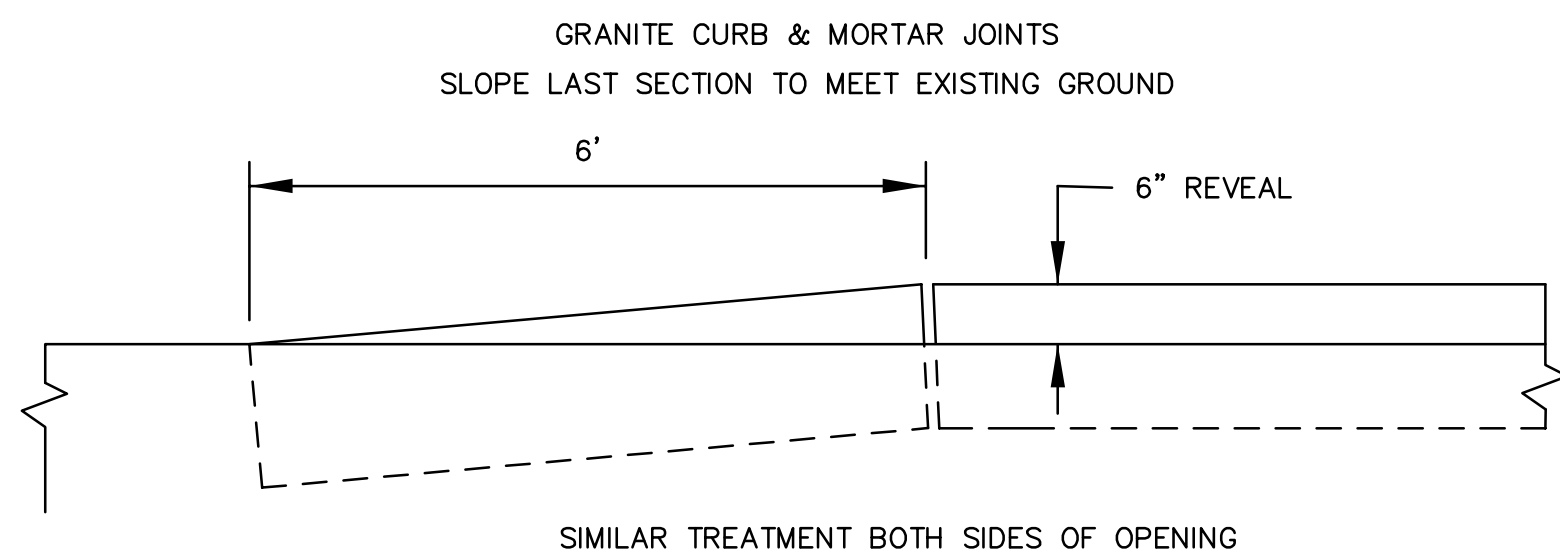


- NOTES
1. SEE SITE PLAN FOR LIMITS OF CURBING.
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF CURB STONES = 3'.
 4. MAXIMUM LENGTH OF CURB STONES = 10'.
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE CHART).
 6. ALL RADII 20 FEET AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

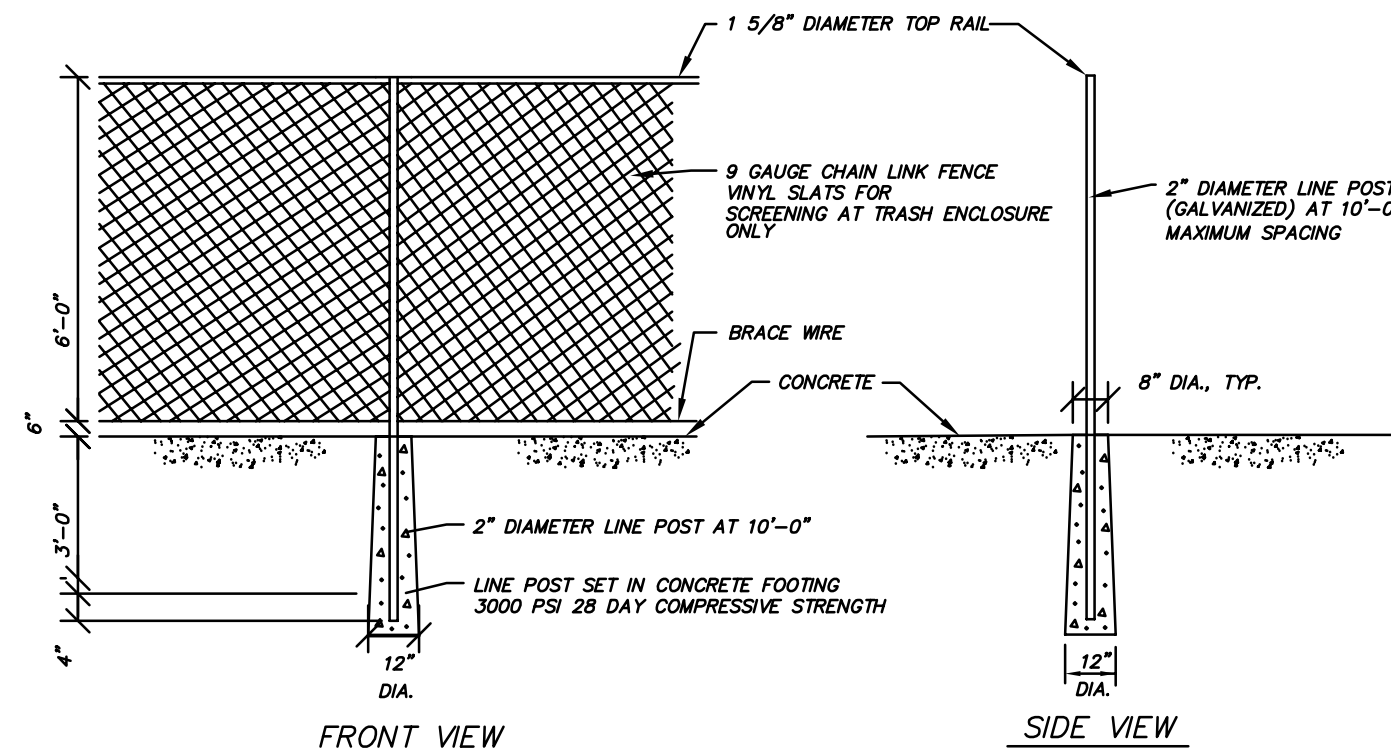
VERTICAL GRANITE CURB
NOT TO SCALE



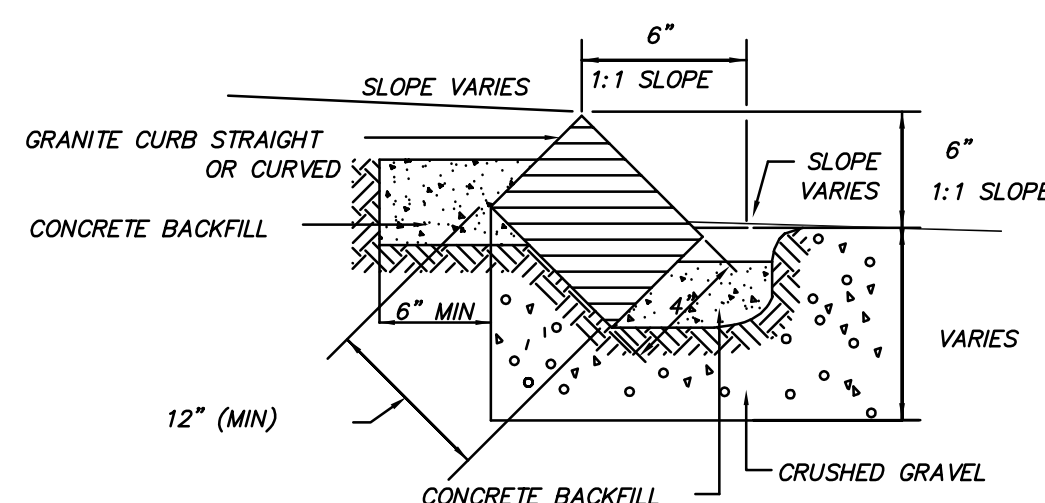
CONCRETE SIDEWALK
NOT TO SCALE



"TIP-DOWN" CURB DETAIL
NOT TO SCALE



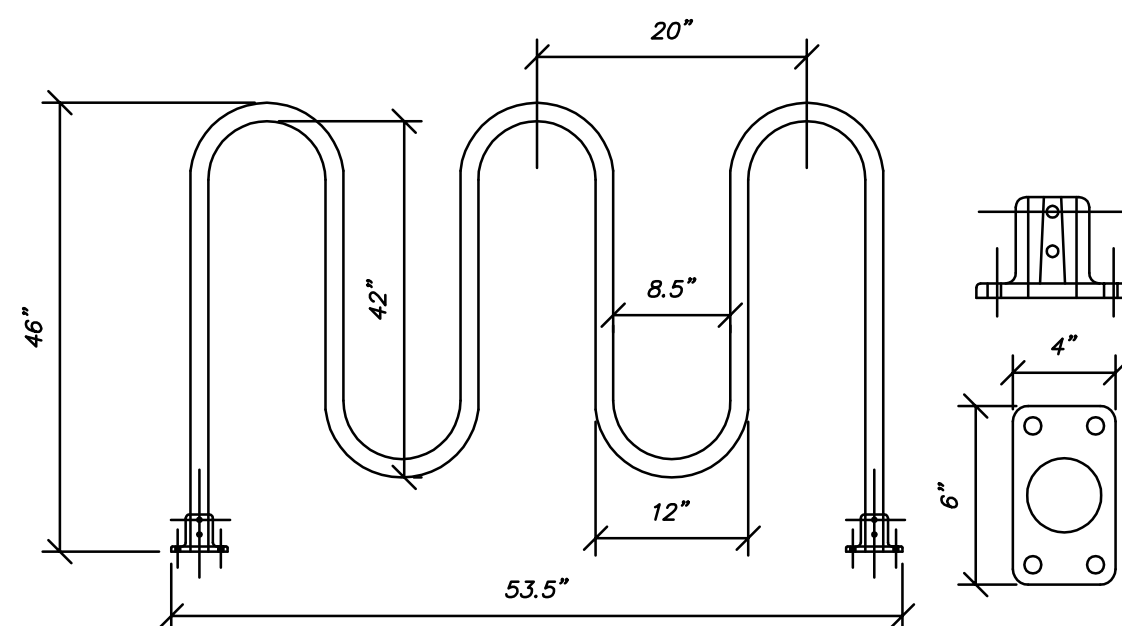
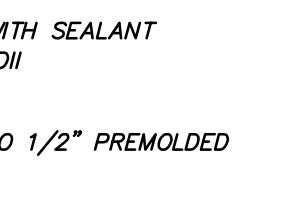
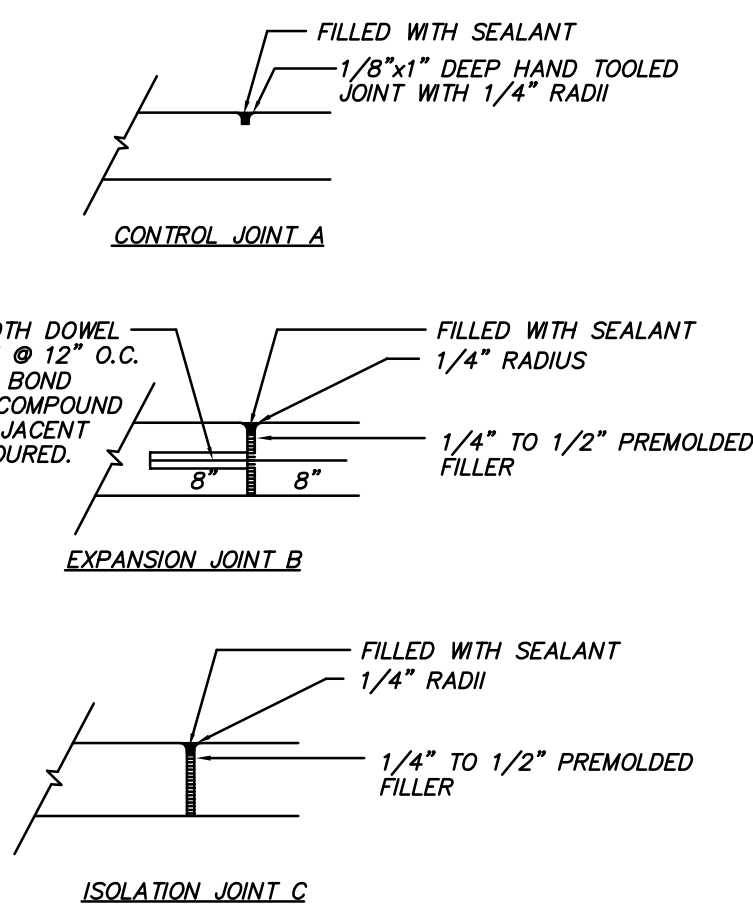
CHAINLINK FENCE DETAIL
NOT TO SCALE



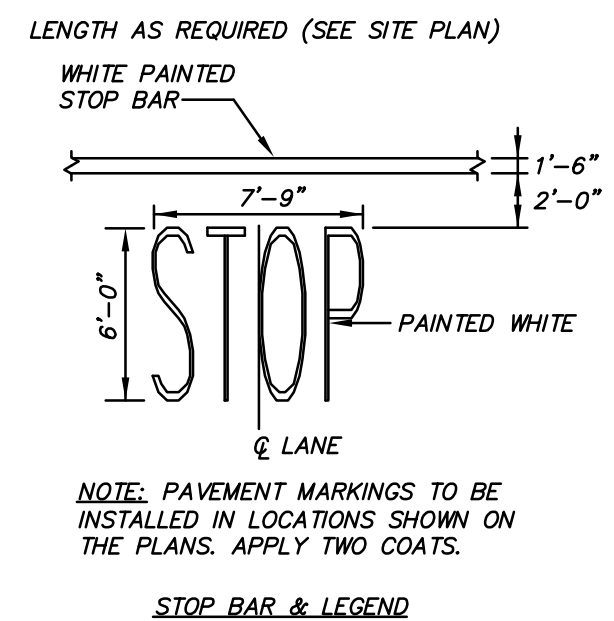
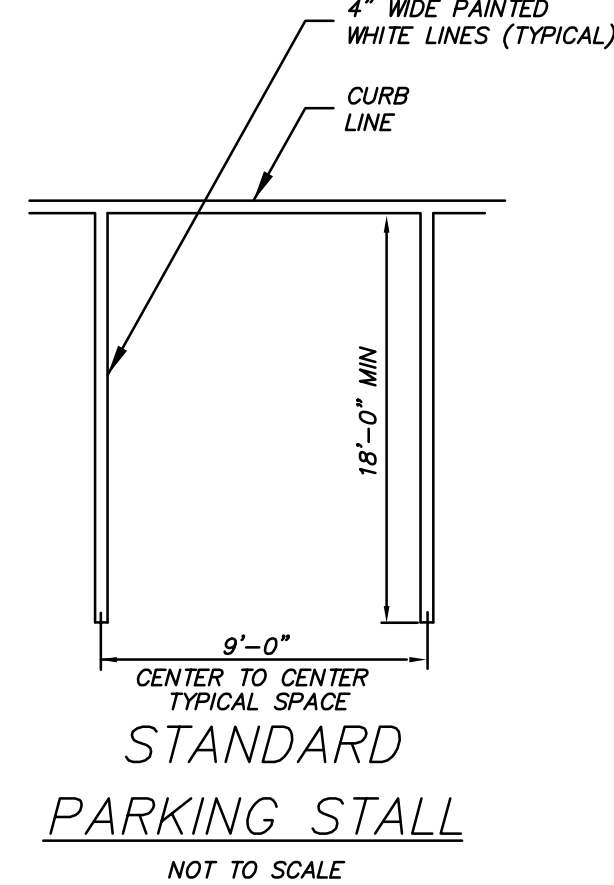
- NOTES
1. ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 2. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
 3. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART

RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
16'-28'	1'-6"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
OVER 110'	8'

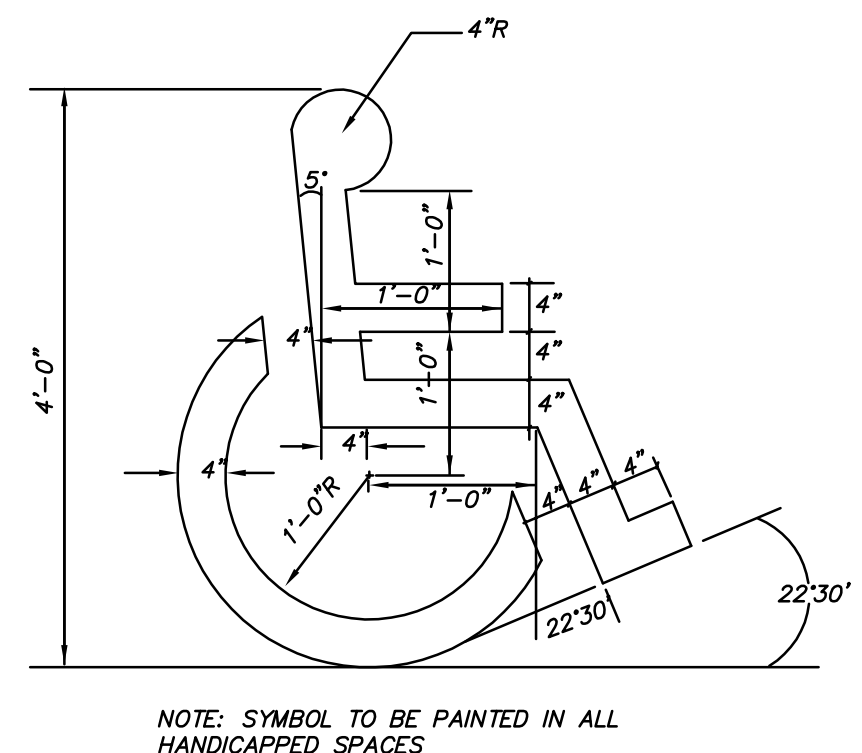
SLOPED GRANITE CURBING
NOT TO SCALE



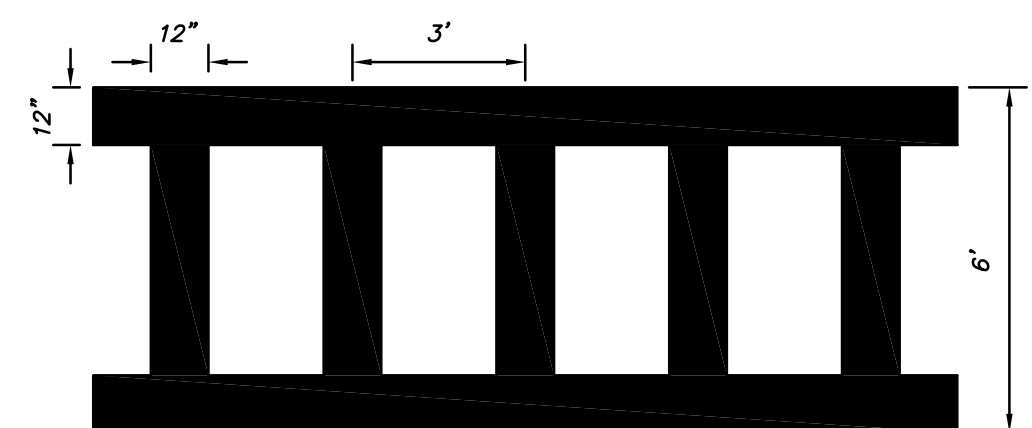
BIKE RACK DETAIL
NOT TO SCALE



PAVEMENT MARKINGS
NOT TO SCALE



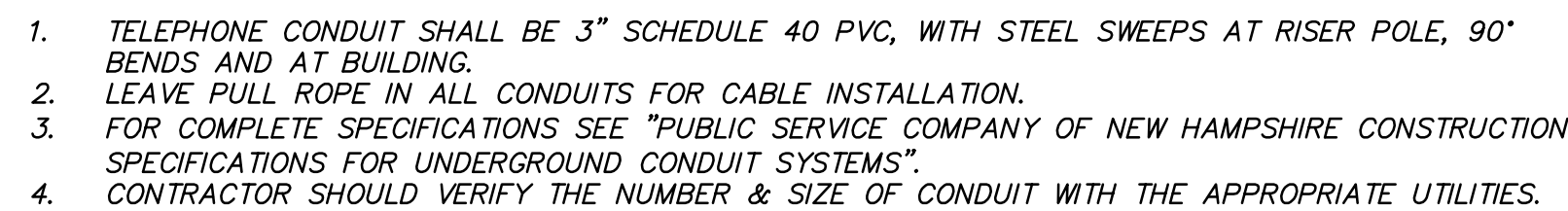
PAINTED HANDICAP SYMBOL
NOT TO SCALE



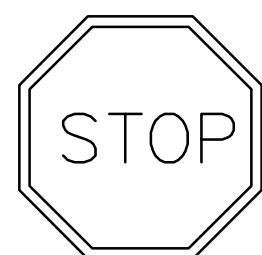
- NOTE:
1. ALL PAINT SHALL BE NORMAL DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE N. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.

CROSSWALK MARKING DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY				DETAILS			
DATE: 1-4-19	SCALE: AS NOTED	DRAWN BY: SRD	DESIGN BY: SRD	LITTLE BAY MARINA & DEVELOPMENT, LLC 111 LOUDON ROAD CONCORD, NH 03301			
APPROVED BY: SH	PROJECT NO: 1788	FILE: SITE.DWG	NO.				
PLANNING FILE NO.: P18-							
CIVILWORKS NEW ENGLAND CIVIL ENGINEERING 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443				REVISION	APP'D	DATE	
							13



NOT TO SCALE



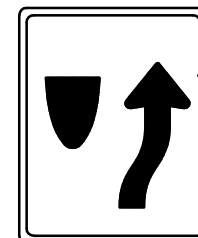
NOTE:

1. ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



VAN

ACCESSIBLE



R4-7



R6-1b

LENGTH: AS REQUIRED

WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)

HOLES: 3/8" DIAMETER. 1" C-C FULL LENGTH

STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR

ASTM A-576 (GRADE 1070 - 1080)

FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED

MEDIUM GREEN

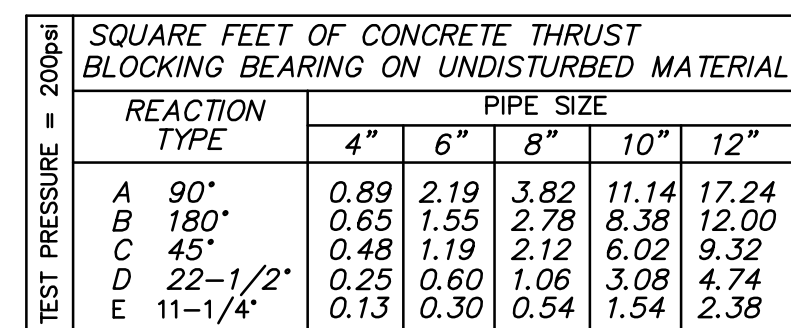
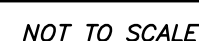
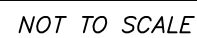
BAKED ON OR AIR DRIED. PAINT OF WEATHER RESISTANT QUALITY

ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING

NOT TO SCALE

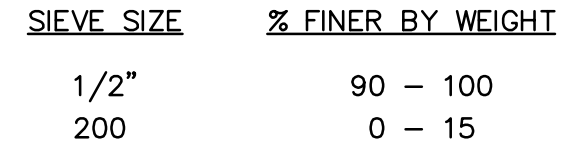


NOT TO SCALE



- NOTES:

1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.

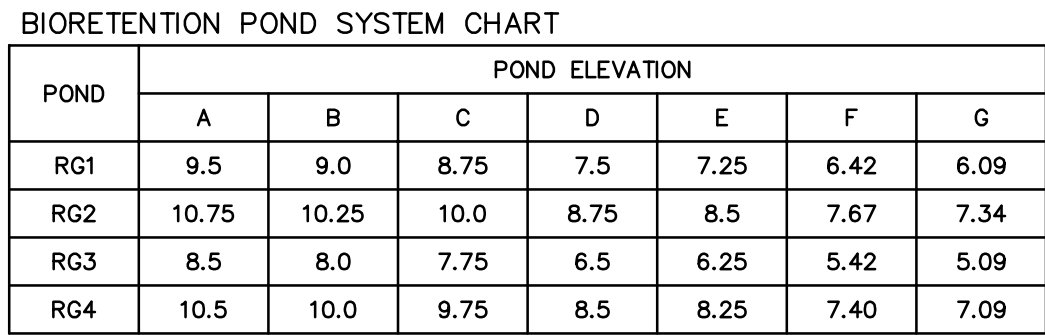
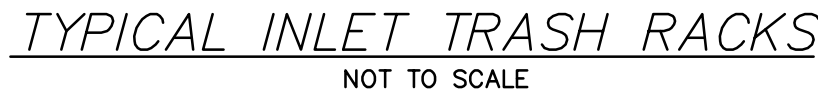


- NOTES

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

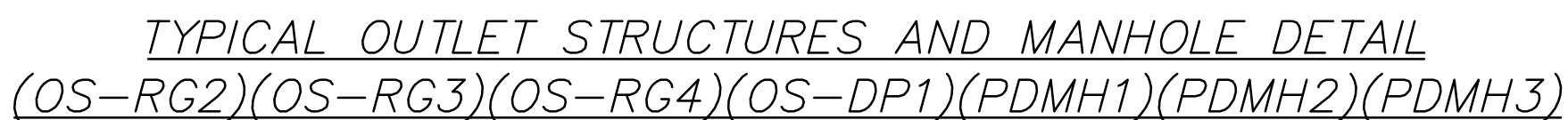
NOT TO SCALE

14 LITTLE BAY MARINA DOVER POINT ROAD DOVER, NH		LITTLE BAY MARINA & DEVELOPMENT, LLC 111 LOUDON ROAD CONCORD, NH 03301	DETAILS										NOT FOR CONSTRUCTION FOR PERMIT USE ONLY									
			PLANNING FILENO.: P18-										CIVILWORKS NEW ENGLAND CIVIL ENGINEERING 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443									
			DATE: 1-4-19																			
			SCALE: AS NOTED																			
			DRAWN BY: SRD																			
			DESIGN BY: SRD																			
			APPROVED BY: SJH																			
			PROJECT NO: 1788																			
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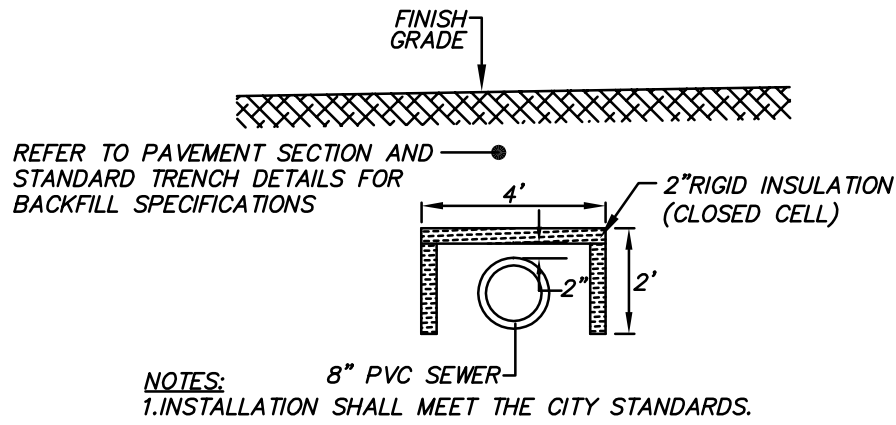
1. **NOTES:**
2. **CONSTRUCT GRASS SEED OVERFLOW SPREADER EARLY DURING INITIAL CONSTRUCTION TO ESTABLISH TURF PRIOR TO CONSTRUCTION OF BIORETENTION SYSTEM.**
3. **DO NOT BEGIN CONSTRUCTION OF THE BIORETENTION AREA UNTIL LAWN AREA ON THE ENTIRE SITE AREA ESTABLISHED WITH AT LEAST 80 PERCENT TURF. FILTER ALL RUNOFF WASTEWATER INTO THE BIORETENTION AREA TO PREVENT SILTATION INTO THE BIORETENTION AREA.**
4. **THE RAIN GARDEN SUBGRADE SHALL BE EXCAVATED TO THE DESIGN DEPTH PLUS TWO (2) INCHES. AT THAT DEPTH FOUR (4) INCHES OF COMPOST SHALL BE TILLED INTO THE EXISTING SOILS SUCH THAT THE SOILS ARE WELL MIXED.**
5. **DO NOT DRIVE CONSTRUCTION EQUIPMENT ON FILTER SUBGRADE NOR ON THE FILTER MATERIAL. INSTALL FILTER MATERIAL BY MEANS OF AN EXCAVATOR LOCATED ADJACENT TO THE FILTER AREA.**
6. **WATER: CRUSHED STONE LAYER SHALL MEET MHDOT 304.4. STONE SHALL CONTAIN NO MORE THAN 5% FINES PASSING THE #200 SIEVE. TOPSOIL SHALL CONTAIN 15 TO 25% FINES PASSING THE #200 SIEVE. MULCH SHALL BE SHREDDED HARDWOOD, AGES IN A STOCKPILE OR STORED FOR AT LEAST 12 MONTH. NON-WOVEN GEOTEXTILE BE 4 TO 6 OZ. PER SQUARE YARD WITH A.O.S. OF #70 SIEVE OR LOWER, AND A MINIMUM FLOW RATE OF 125 GAL PER SQUARE FEET. UNDERDRAIN SHALL BE PERFORATED 6" PVC OR TRIPLE WALL PE PIPE; SLOPE 1/4" / FT. MINIMUM.**
7. **REFER TO LANDSCAPING DRAWINGS FOR GRASS SEED MIXES AND PLANTINGS. FERTILIZATION OF THE FILTER AREA SHALL BE AVOIDED UNLESS ABSOLUTELY NECESSARY TO ESTABLISH VEGETATION.**
8. **INITIAL ESTABLISHMENT: DURING THE FIRST 2-3 MONTHS OF ESTABLISHMENT WATER THE GARDEN ON A WEEKLY BASIS (TO SUPPLEMENT RAINFALL FOR TOTAL OF 1 INCH PER WEEK).**
9. **ANNUAL MAINTENANCE: IN THE SPRING OF EACH YEAR, ANY DEAD VEGETATION SHALL BE REMOVED TO ALLOW FOR NEW GROWTH, AND ANY ACCUMULATED SEDIMENT (NORMALLY AT THE ENTRANCE TO THE GARDEN) SHALL ALSO BE REMOVED. DURING THE GROWING SEASON THE RAIN GARDEN SHALL BE WEEDED TWO (2) TIMES AND ADDITIONAL HARDWOOD MULCH SHALL BE ADDED AS NEEDED TO ASSIST IN WEED SUPPRESSION. TURF AT FILTER SHALL BE MOWED NO MORE THAN 3 TIMES PER GROWING SEASON. IF WATER POND ON THE SURFACE FOR MORE THAN 24 HOURS DURING THE FIRST YEAR OR 72 HOURS THEREAFTER, THE FILTER SURFACE SHALL BE AERATED WITH DEEP TINES OR THE SURFACE REPLACED.**
10. **PLANTINGS SHALL BE NATIVE NON-INVASIVE SPECIES. SEE LANDSCAPE ARCHITECT DRAWINGS.**

NOT TO SCALE

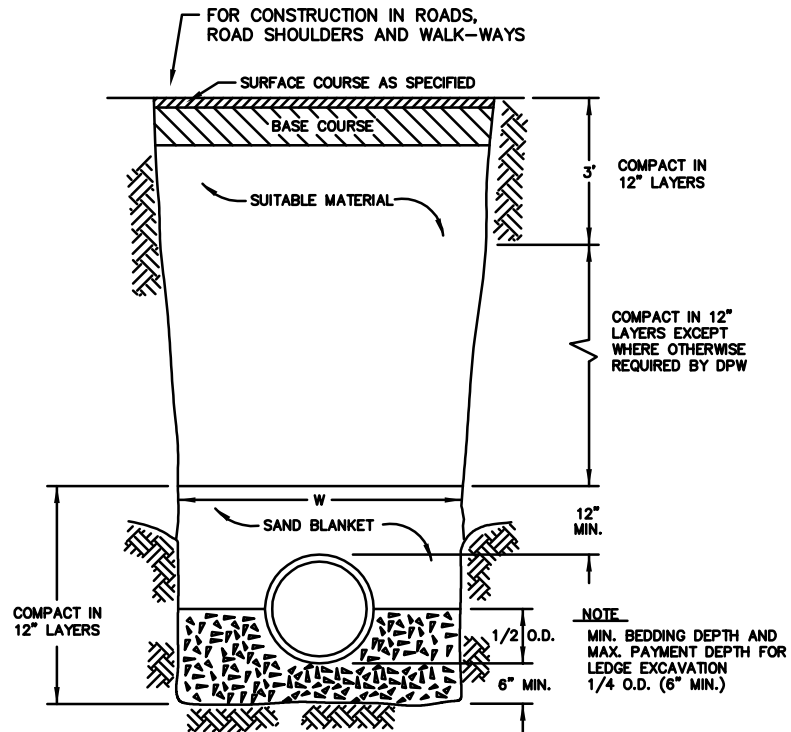


- 1) ALL OUTLET STRUCTURES SHALL BE PRE CAST WITH A MINIMUM CONCRETE STRENGTH OF 4,000 PSI @ 28 DAYS.
- 2) THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EACH STRUCTURE FOR REVIEW BY THE TOWN.

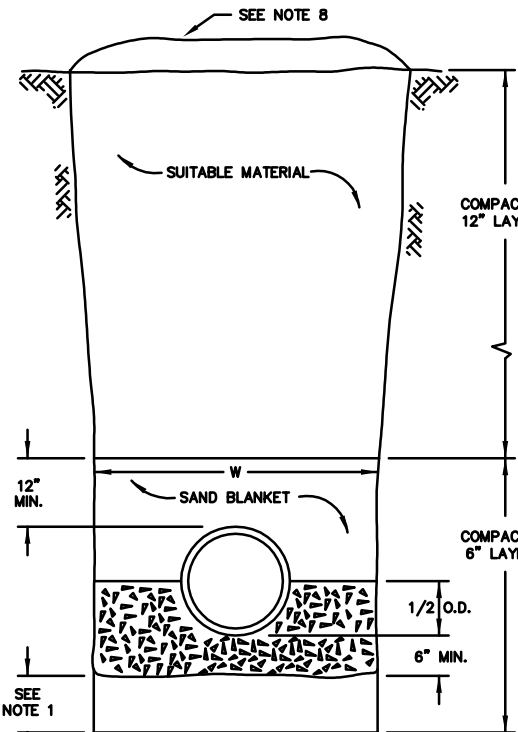
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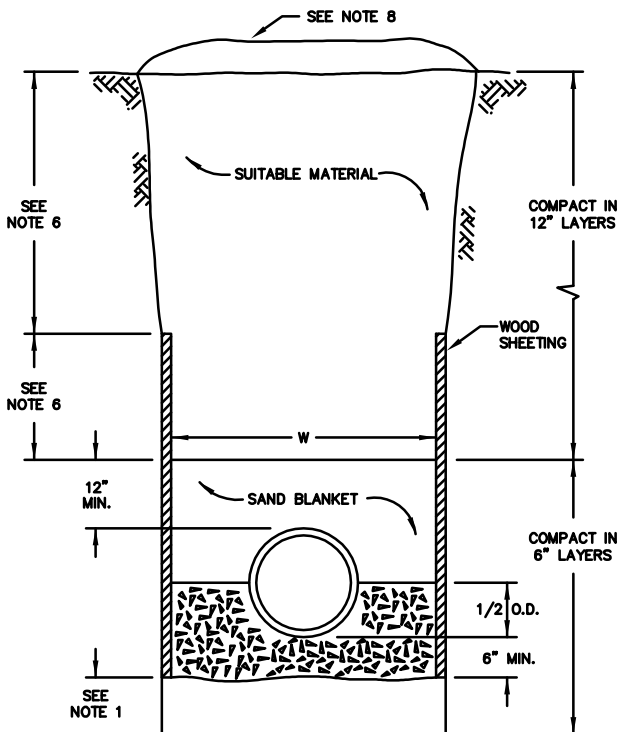
SEWER INSULATION DETAIL
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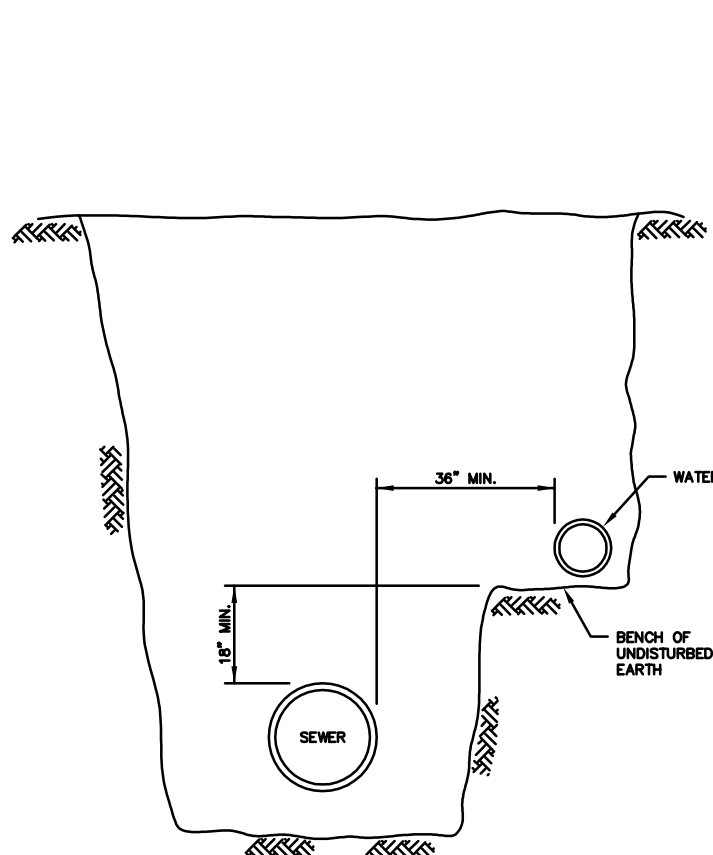
LEDGE CONSTRUCTION



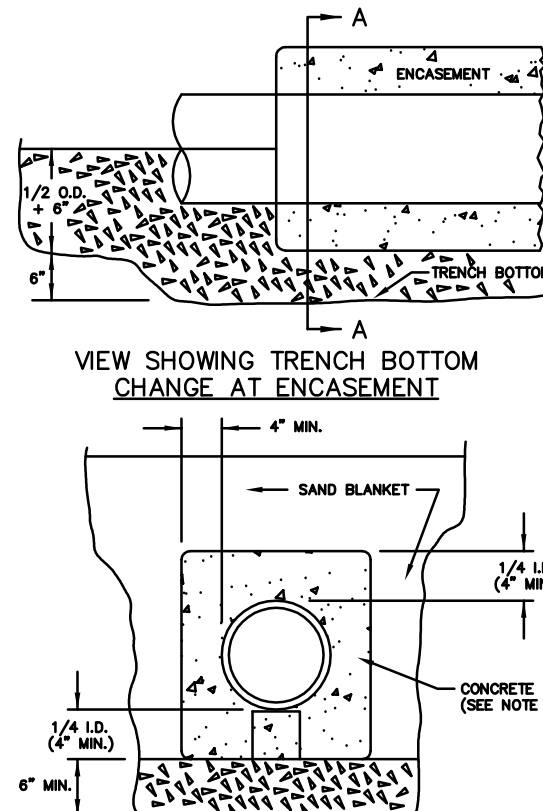
EARTH CONSTRUCTION



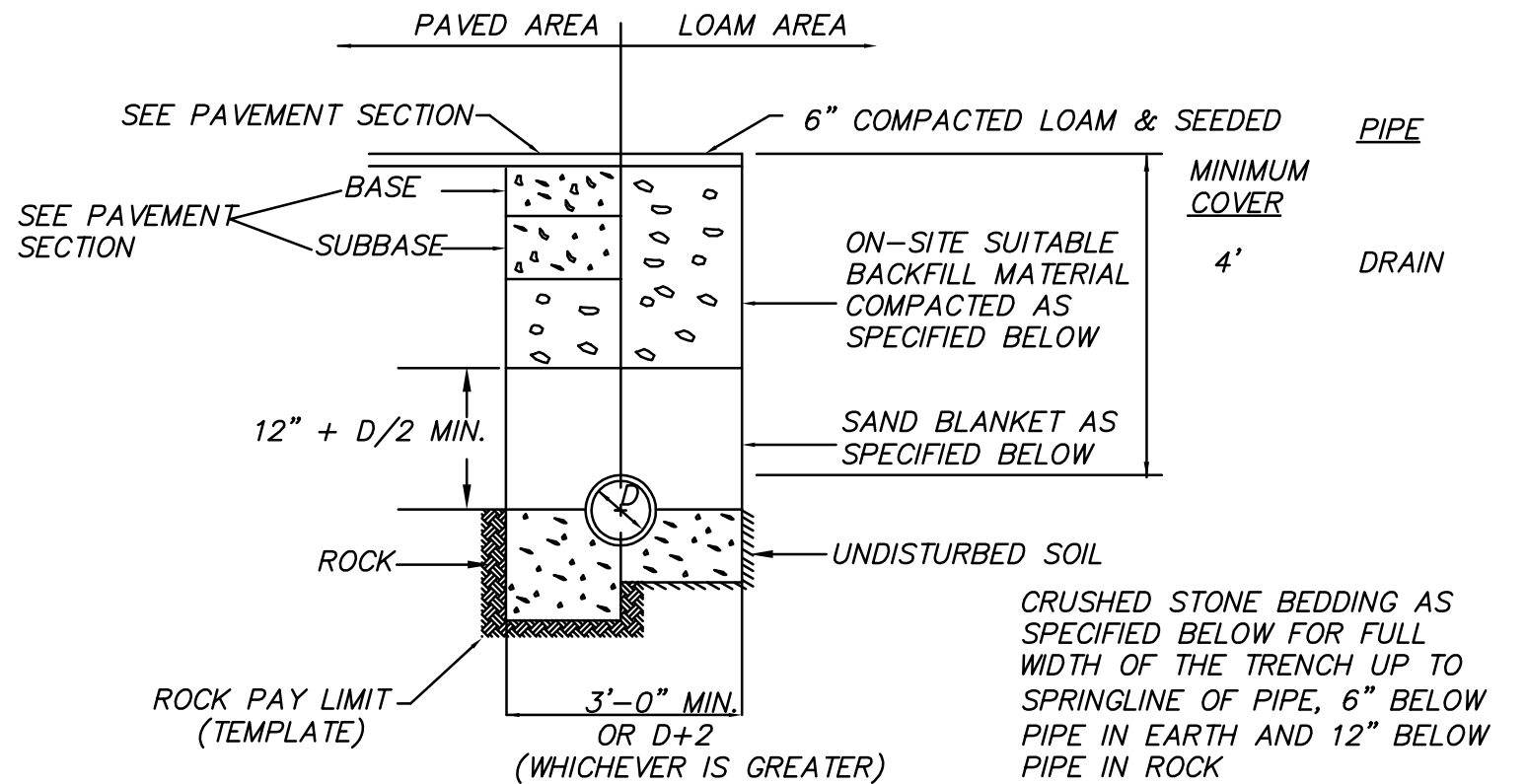
EARTH CONSTRUCTION WITH SHEETING



WATER AND SEWER IN SAME TRENCH



SECTION A-A
CONCRETE FULL ENCASEMENT
(SEE NOTE 11)



BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

SAND BLANKET & BEDDING		3/4" CRUSHED STONE BEDDING	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
(FOR WATER MAIN BEDDING)		1/2"	20 - 50
		3/8"	0 - 20
		# 4	0 - 5

DRAINAGE TRENCH

NOT TO SCALE

STANDARD TRENCH SECTION

NOTES:

- 1.) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. SEE ALSO NOTE 7.
- 2.) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90 - 100% PASSING	3/4 INCH SCREEN
20 - 55% PASSING	3/8 INCH SCREEN
0 - 10% PASSING	#4 SIEVE
0 - 5% PASSING	#8 SIEVE

 - CRUSHED STONE 1/2 INCH - 1 1/2 INCH MAY BE USED INSTEAD OF SCREENED GRAVEL WHERE ALLOWED BY THE ENGINEER.
- 3.) SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE.
- 4.) SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALK-WAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.

IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY, WILL BE PRESERVED.
- 5.) BASE COURSE, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, (D.O.T.).
- 6.) WOOD SHEETING, IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- 7.) W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- 8.) FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 9.) CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000#) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT: 6.0 BAGS PER CUBIC YARD
WATER : 5.75 GALLONS PER BAG CEMENT
MAXIMUM SIZE OF AGGREGATE: 1 INCH
- 10.) NEW HAMPSHIRE WATER SUPPLY AND POLLUTION CONTROL COMMISSION (NH DES) DESIGN STANDARDS REQUIRE 10 FT. SEPARATION. HOWEVER, SHOULD CONSTRUCTION OPERATIONS REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FT. HORIZONTAL FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICABLE TO RELOCATE THE SEWER, THE FOLLOWING METHODS OF PROTECTION MUST BE EMPLOYED.

A. IF THE WATERLINE CAN BE KEPT AT LEAST 18 INCHES ABOVE AND 3 FEET TO ONE SIDE OF THE SEWER, AS SHOWN AND SUPPORTED ON A BENCH OF ORIGINAL SOIL, NO OTHER PROTECTION IS REQUIRED.
--
- 11.) IF FULL CASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

DETAILS

LITTLE BAY MARINA &
DEVELOPMENT, LLC
111 LOUDON ROAD
CONCORD, NH 03301

LITTLE BAY MARINA
DOVER POINT ROAD
DOVER, NH

16

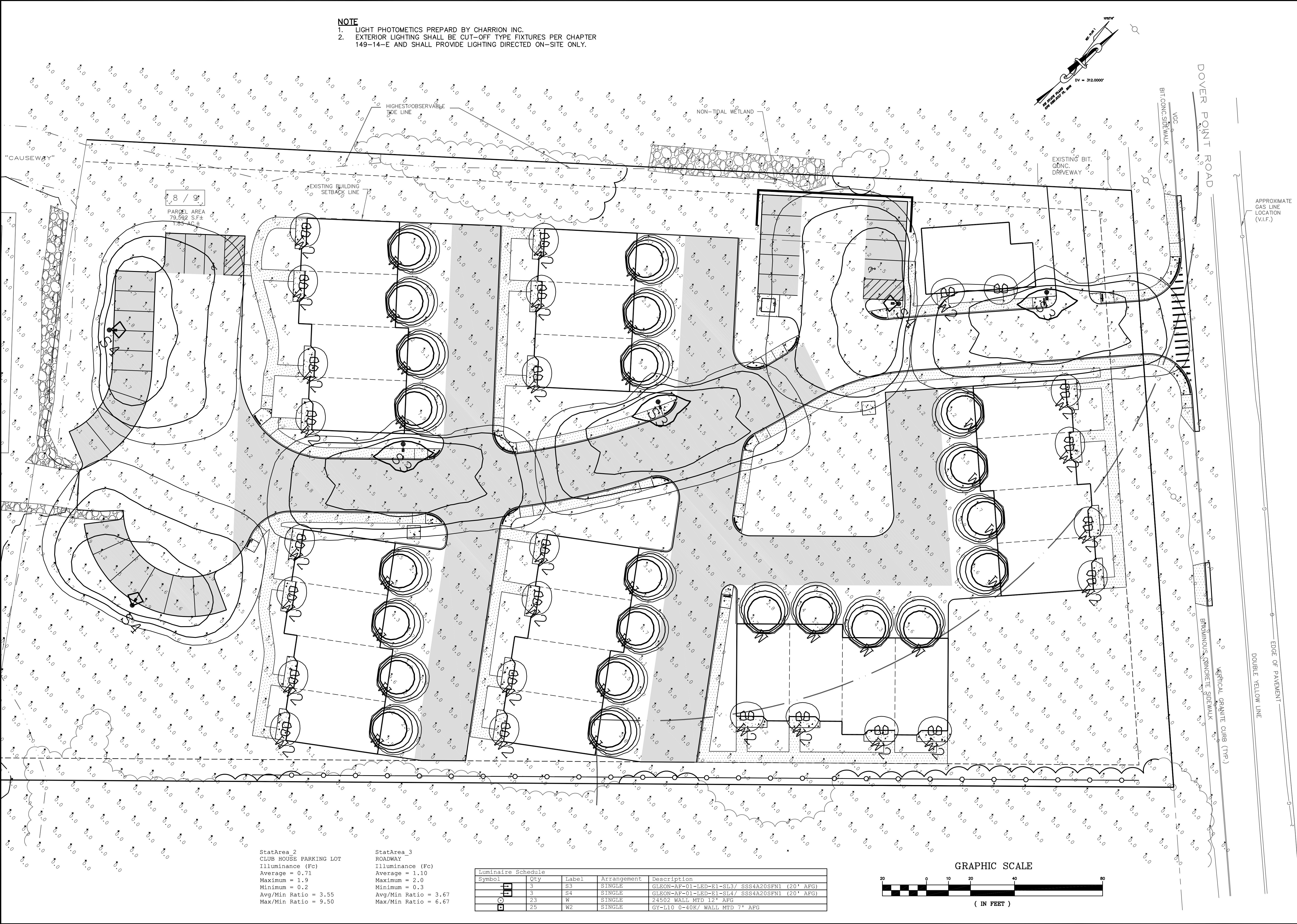
NOT FOR CONSTRUCTION FOR PERMIT USE ONLY
PLANNING FILENO.: P18-
CIVILWORKS NEW ENGLAND
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

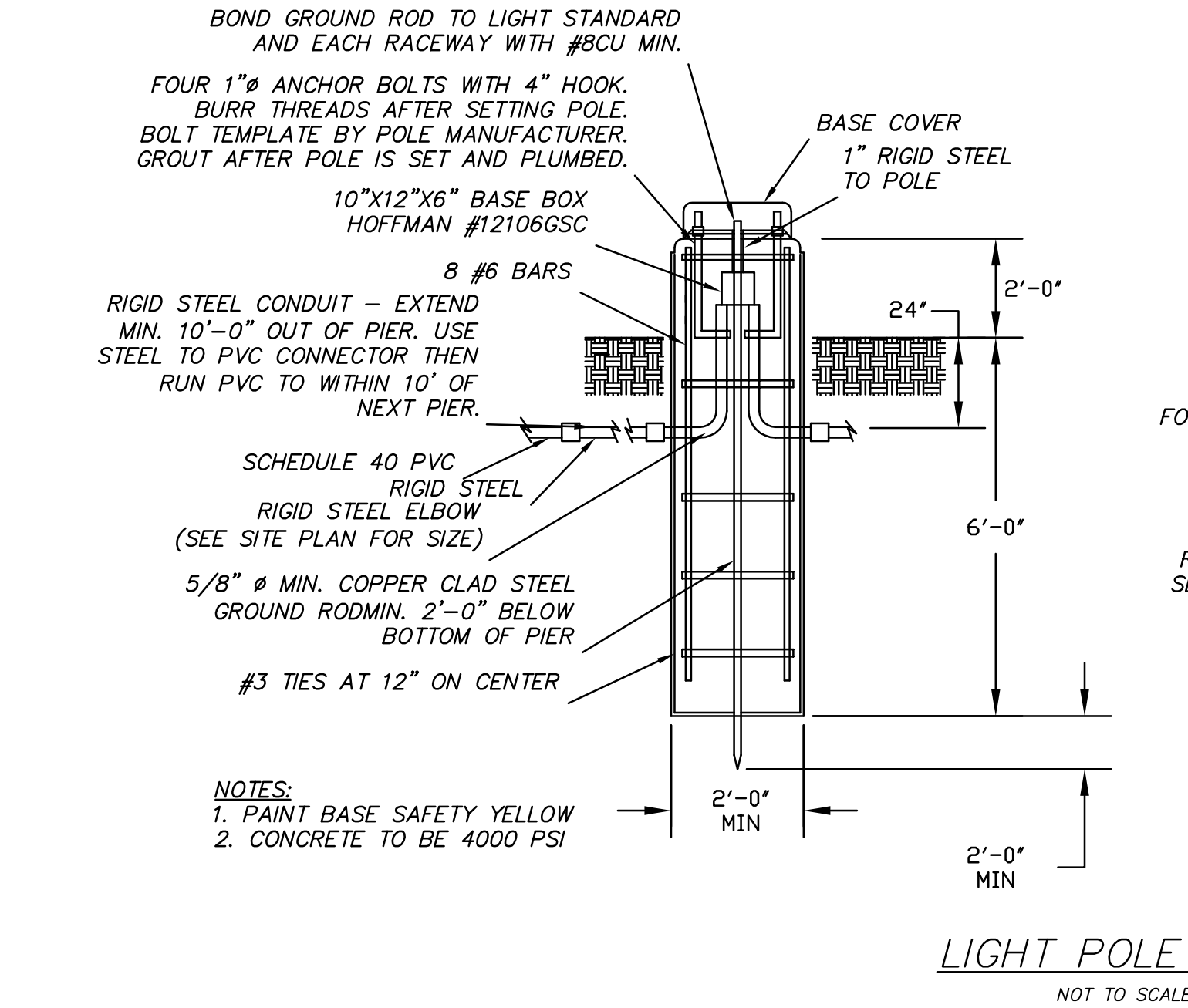
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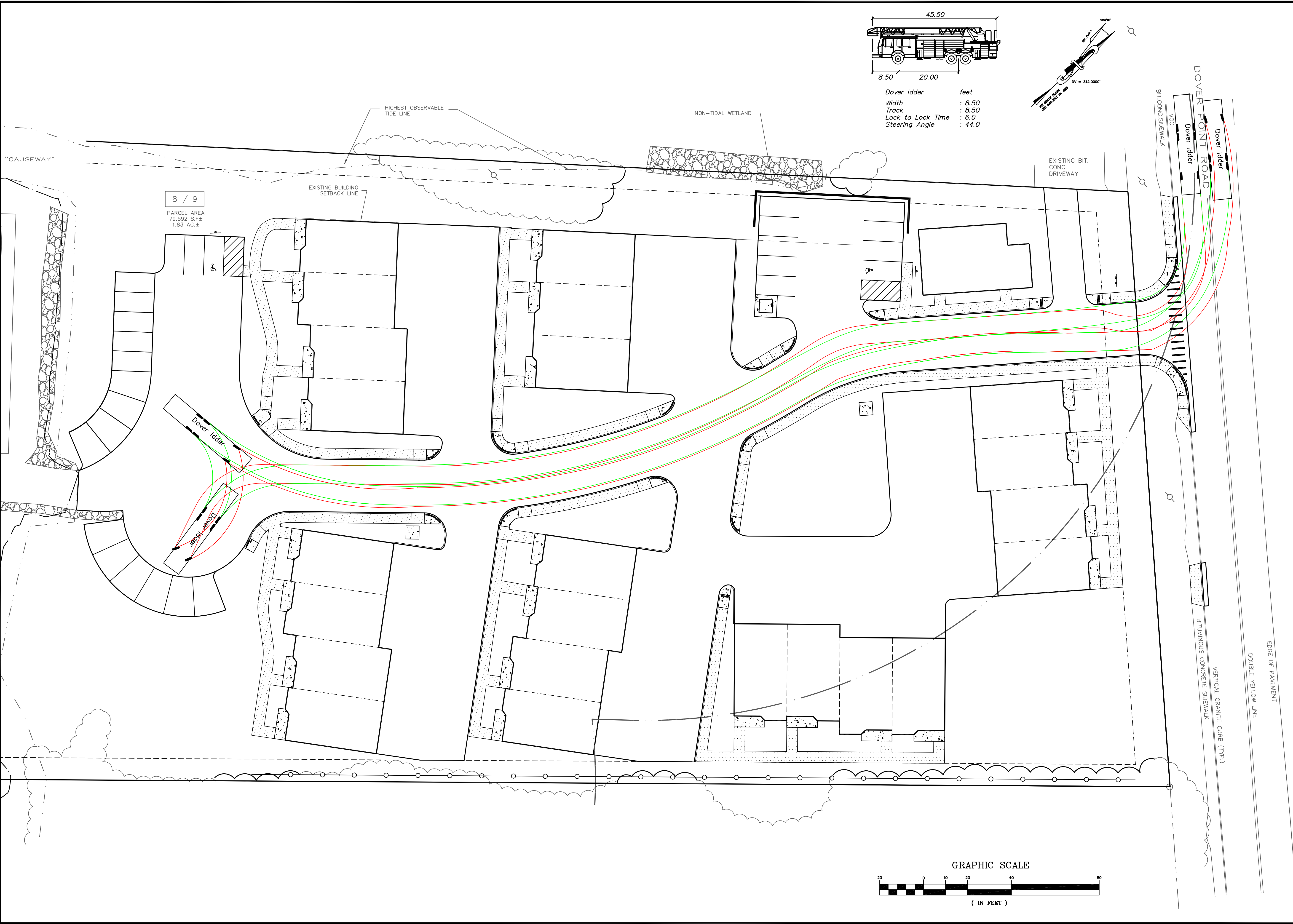
REVISION

NO.

DATE: 1-4-19
SCALE: AS NOTED
DRAWN BY: SRD
DESIGN BY: SRD
APPROVED BY: JH
PROJECT NO: 1788
FILE: SITE.DWG



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DOVER LADDER TRUCK MOVEMENT PLAN		NOT FOR CONSTRUCTION FOR PERMIT USE ONLY					
19	LITTLE BAY MARINA DOVER POINT ROAD DOVER, NH	LITTLE BAY MARINA & DEVELOPMENT, LLC 111 LOUDON ROAD CONCORD, NH 03301	DATE: 1-4-19				
			SCALE: 1"=20'				
			DRAWN BY: SRD				
			DESIGN BY: SRD				
			APPROVED BY:SH				
			PROJECT NO:1788				
			FILE: SITE.DWG	NO.	REVISION	APP'D	DATE
			PLANNING FILE NO.: P18- ----				
			CIVILWORKS NEW ENGLAND CIVIL ENGINEERING 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443				

LANDSCAPE PLAN
BY
WOODBURN & COMPANY

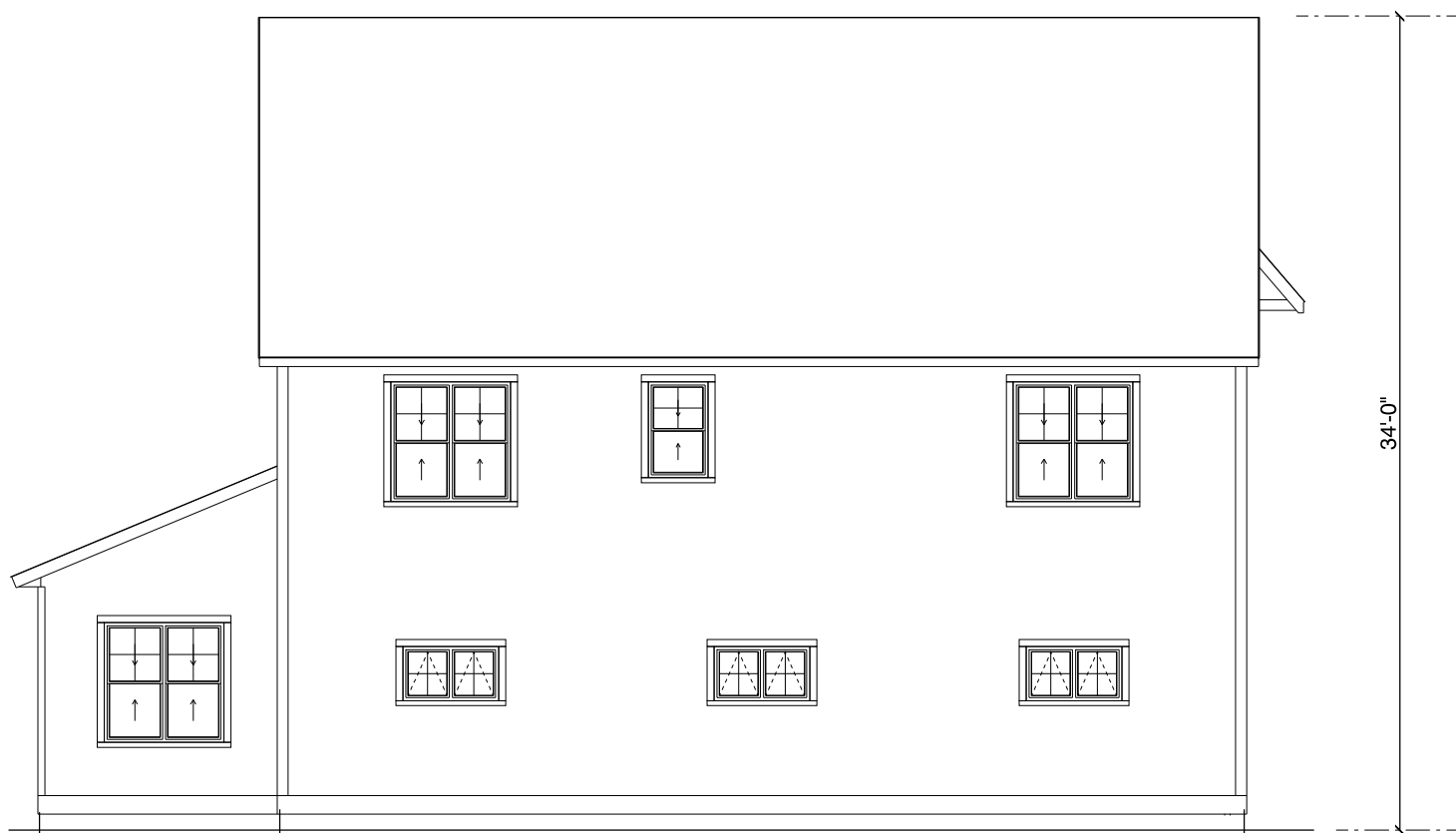
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STREET SCAPE PLAN
BY
WOODBURN & COMPANY

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MARINA OFFICE CONCEPTUAL NORTH ELEVATION



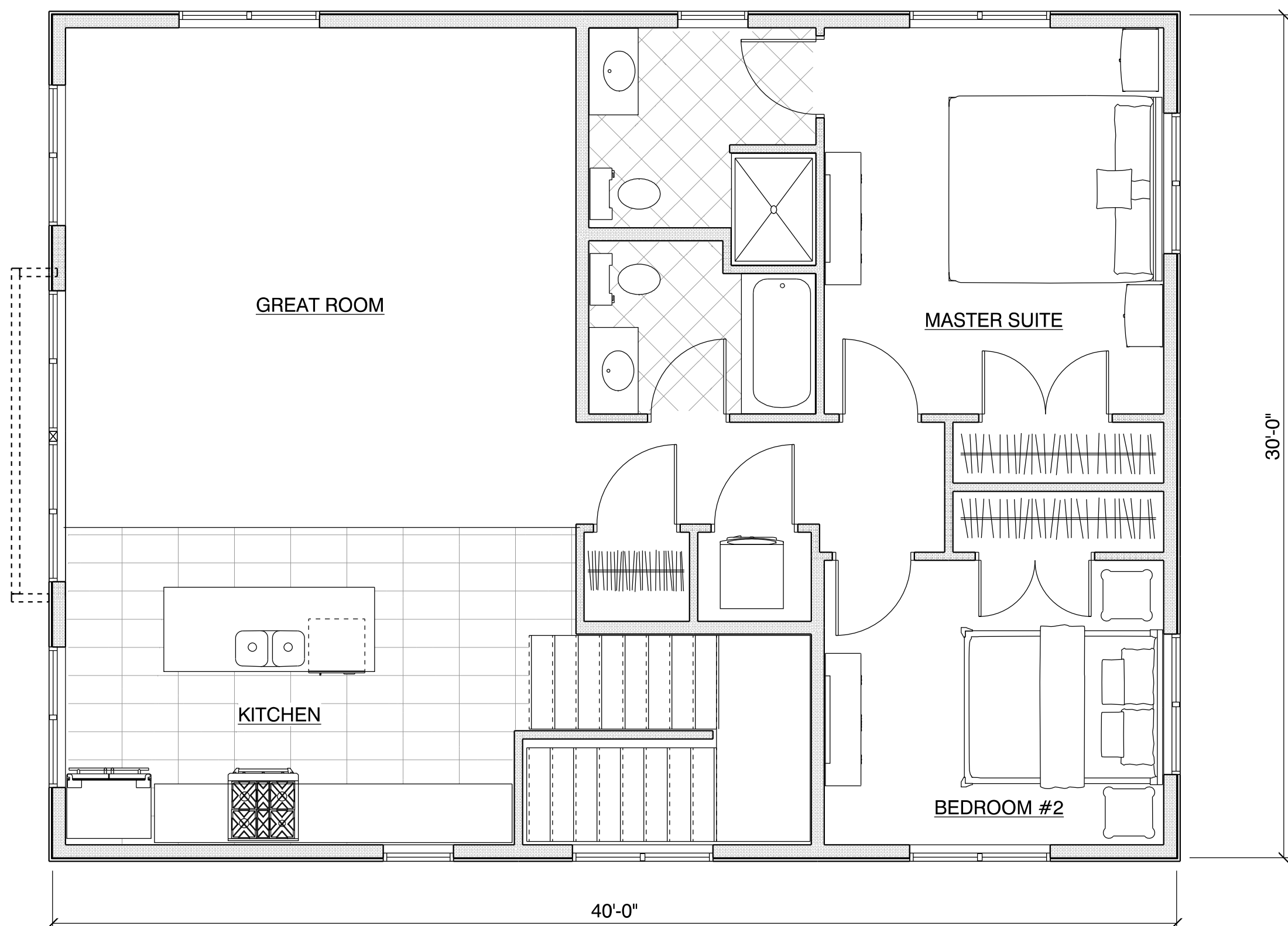
MARINA OFFICE CONCEPTUAL WEST ELEVATION



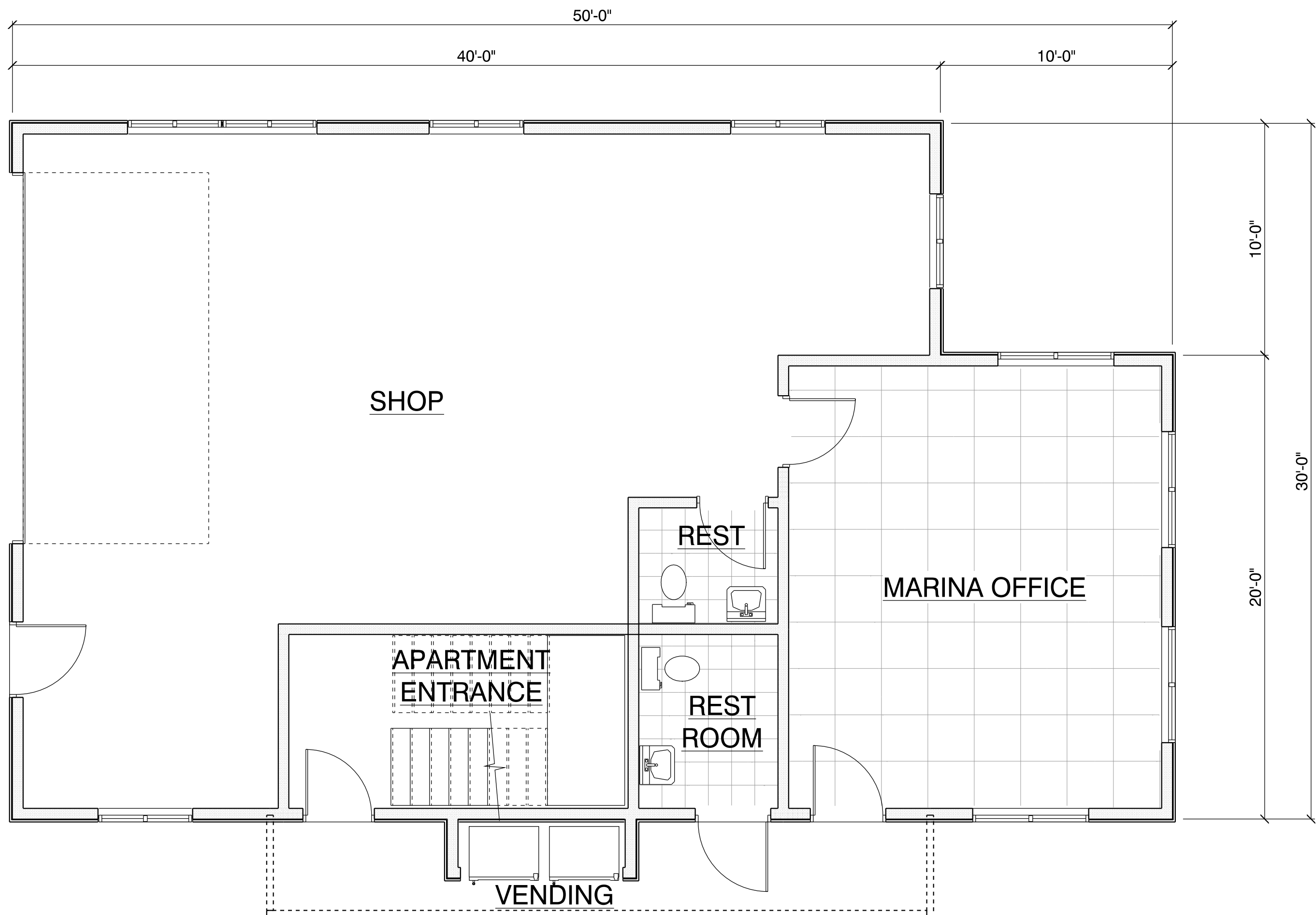
MARINA OFFICE CONCEPTUAL EAST ELEVATION



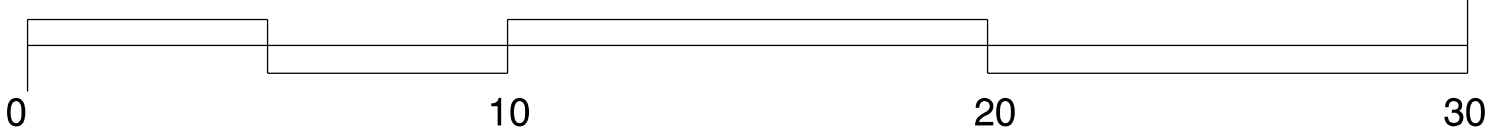
MARINA OFFICE CONCEPTUAL SOUTH ELEVATION



CONCEPTUAL SECOND FLOOR PLAN ACCESSORY APARTMENT



CONCEPTUAL FIRST FLOOR PLAN MARINA OFFICE



mjk

Michael J. Keane
Architects, PLLC

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03857

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PROJECT

VARIANCE APPLICATION

LITTLE BAY MARINA AND DEVELOPMENT LLC

DOVER POINT ROAD
DOVER,
NH

TITLE

CONCEPTUAL
MARINA OFFICE
AND
ACCESSORY
APARTMENT

DRAWN BY: MJK

CHECKED BY: mjk

DATE: Wednesday, May 02, 2018

SCALE: As Noted

DRAWING NO.

A-1

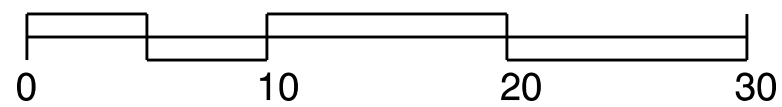
DO NOT SCALE PRINTS



TYPICAL NORTH AND SOUTH ELEVATIONS TOWNHOUSE CONCEPTUAL



TYPICAL WEST ELEVATION TOWNHOUSE CONCEPTUAL



EAST ELEVATION TOWNHOUSE CONCEPTUAL



mjk

Michael J. Keane
Architects, PLLC

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PLANNING
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PROJECT

VARIANCE APPLICATION

LITTLE BAY MARINA AND DEVELOPMENT LLC

DOVER POINT ROAD
DOVER,
NH

TITLE

CONCEPTUAL
ELEVATIONS
TYPICAL
TOWNHOUSE
UNITS

DRAWN BY: MJK

CHECKED BY: mjk

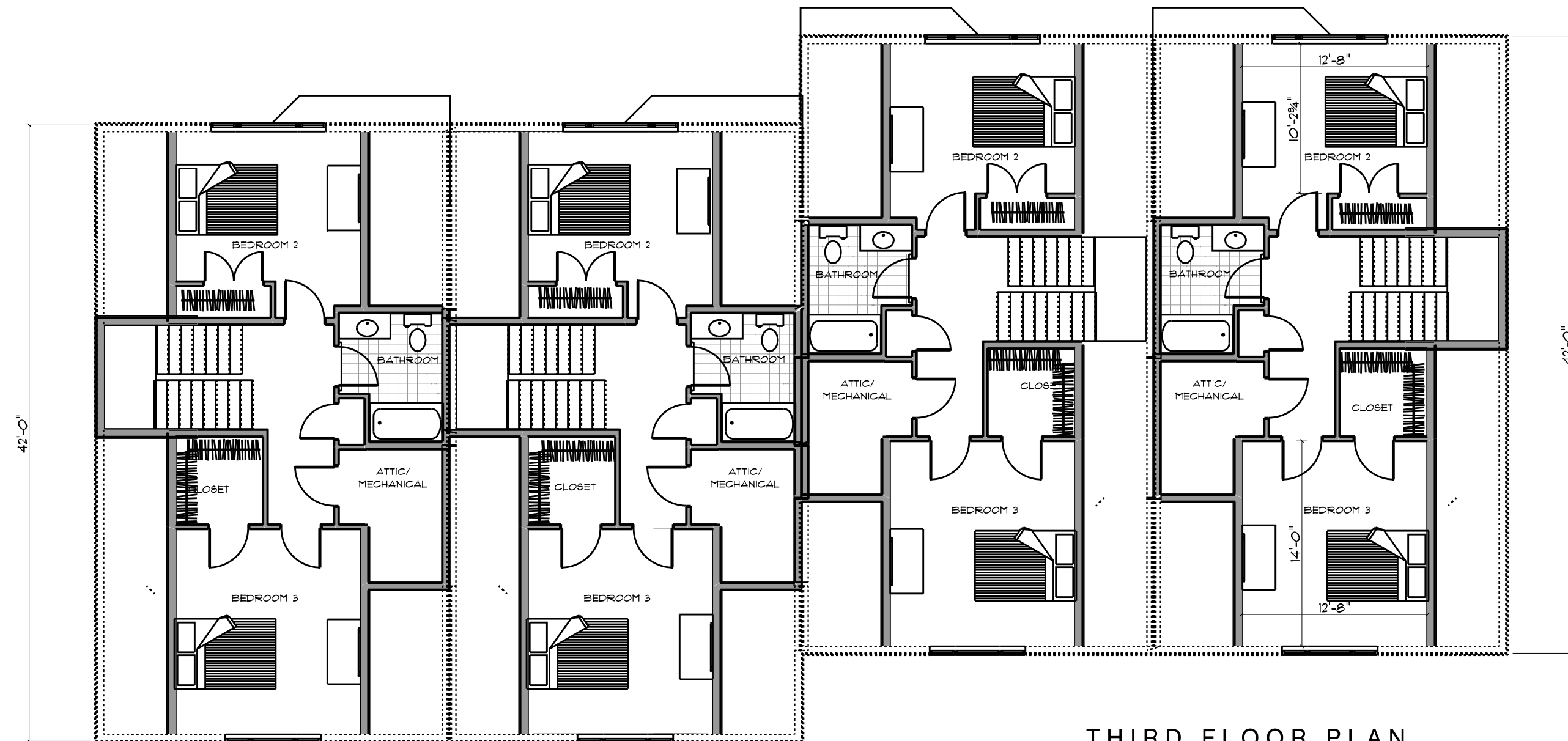
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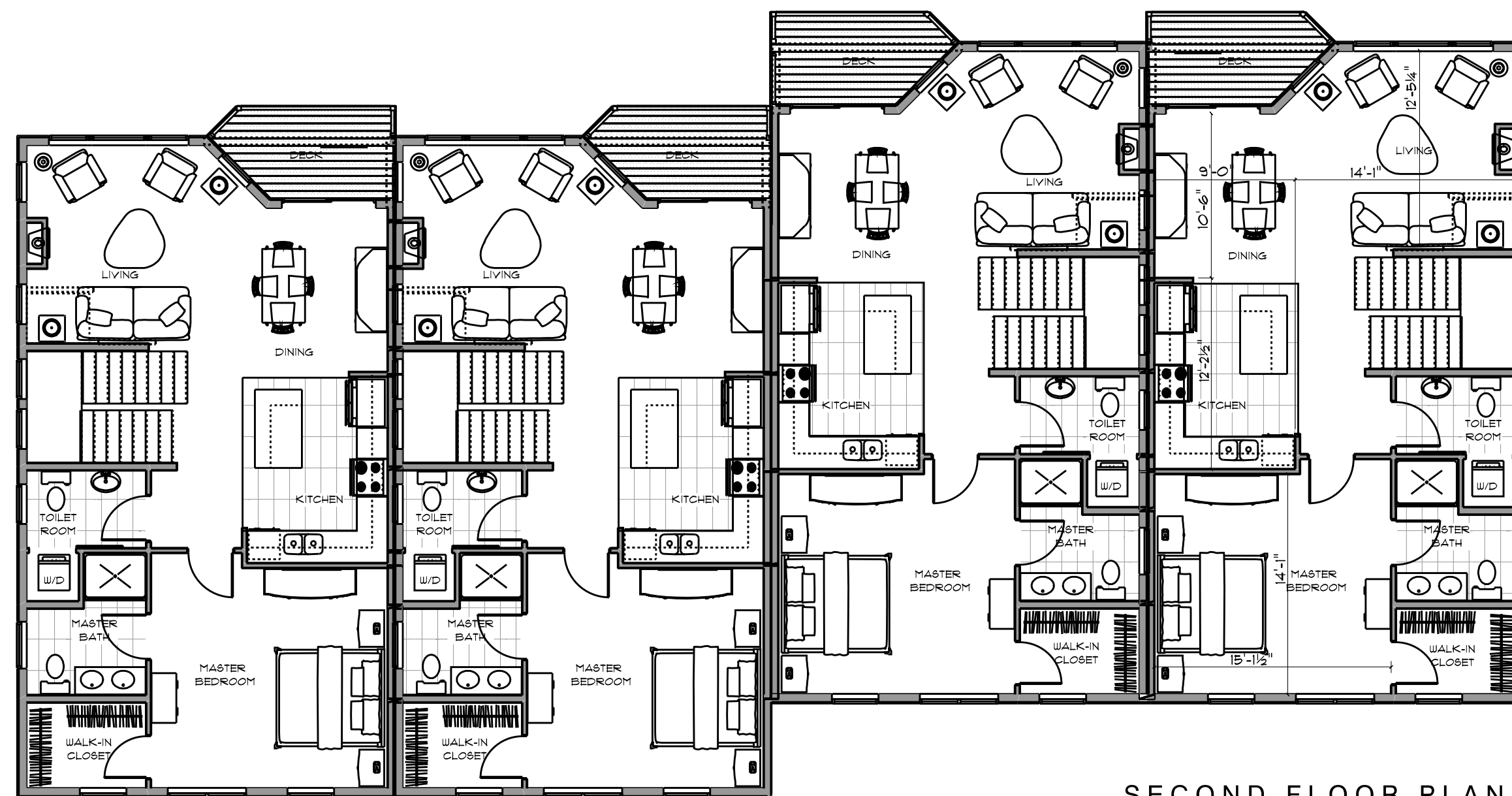
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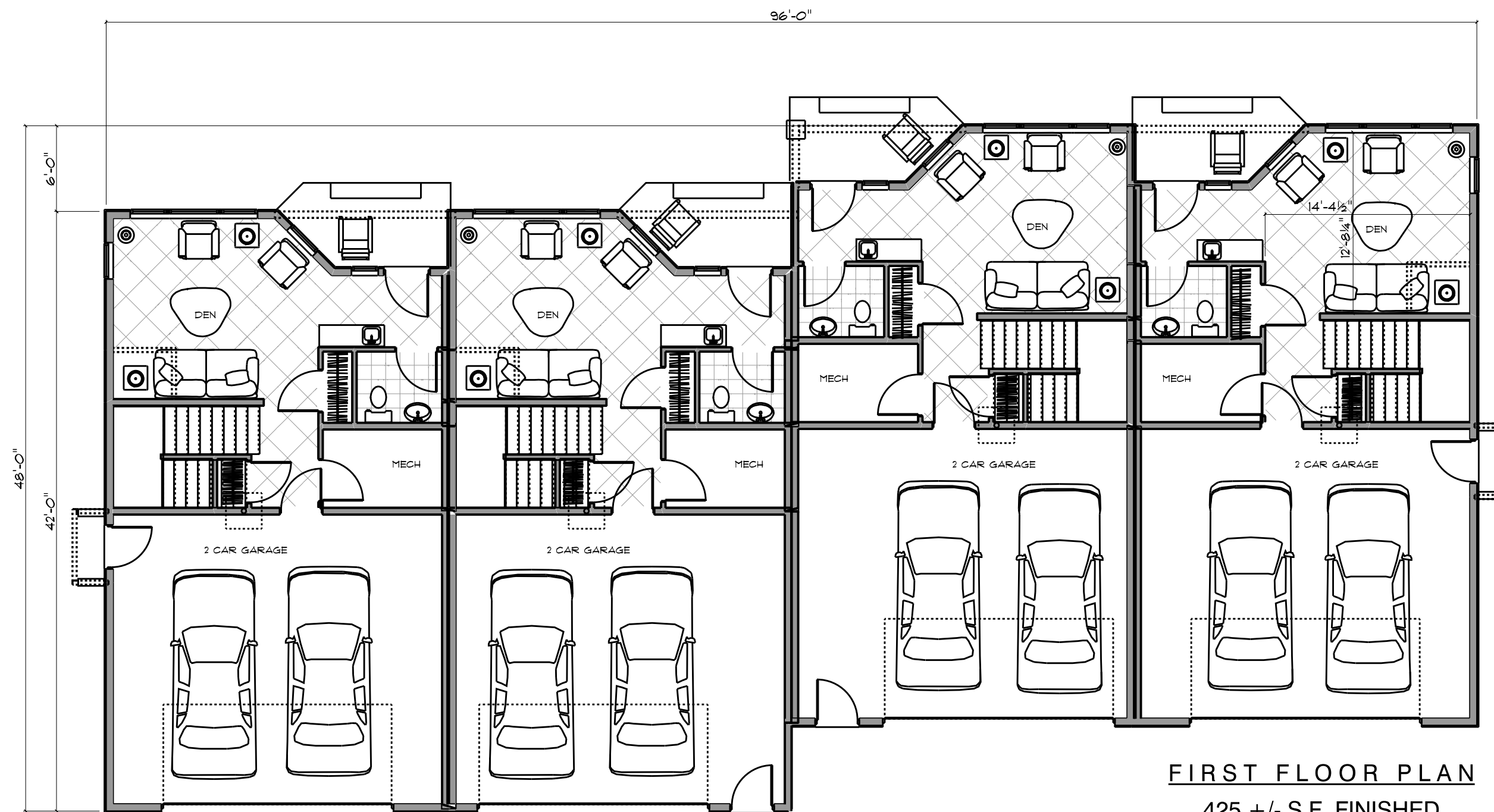
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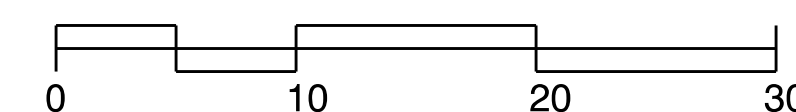
THIRD FLOOR PLAN
730 S.F. +/-



SECOND FLOOR PLAN
980 +/- S.F.



FIRST FLOOR PLAN
425 +/- S.F. FINISHED



mjk

Michael J. Keane
Architects, PLLC

ARCHITECTURE
PLANNING
DESIGN

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Newmarket, NH
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PROJECT

VARIANCE APPLICATION

LITTLE BAY MARINA AND DEVELOPMENT LLC

DOVER POINT ROAD
DOVER,
NH

TITLE

CONCEPTUAL
TOWNHOUSE
FLOOR PLANS

DRAWN BY: MJK

CHECKED BY: mjk

DATE: Wednesday, May 02, 2018

SCALE: 1/8" = 1'-0"

DRAWING NO.

A-3

DO NOT SCALE PRINTS