

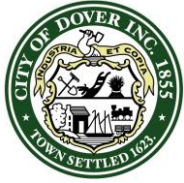


CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 1st Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, May 16, 2019**
Meeting Time: **10:30 am**

1. 10:30 AM - 11:15 AM: Site Review for Mac's Convenient Stores, LLC, Assessor's Map K, Lot 19C, zoned B-3, R-12 & ETP, and located at Dover Point Road. (Proposal is to construct an approximately 5,328 sq. ft. new convenience store with six (6) vehicle refueling stations under 3,968 sq. ft. canopy with one (1) electric vehicle recharging station). Related CUP & Lot Line Adjustment applications will also appear before the Planning Board). (P19-35)



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P19-16

Application Type: Site Plan Review
Applicant(s): One First Dover, LLC
Owner(s): One First Dover, LLC
Location: 1 First Street (Tax Map 6, Lot 20)
Date: April 18, 2019

INTENT: To demolish the existing building and construct one new building with 71 dwelling units (11 two-bedroom, 60 studio or one-bedroom) and 6,159 sq. ft. of commercial space and 29 on-site garage parking spaces. A CUP application for a sixth story will also appear before the Planning Board.

LOTS/UNITS PROPOSED: 71 residential, 6,159 sq. ft. commercial

AGENDA ITEM #: 1

ACREAGE: 0.53 acre

ZONING DISTRICT: CBD - General

EXISTING LAND USE: Vacant commercial, parking lot

SURROUNDING LAND USE: Residential, commercial, mixed use

ZBA ACTION: None

PERMITS REQUIRED: Conditional Use Permit (sixth story)

WAIVERS REQUESTED: None

ATTENDANCE:

Members:

Donna Benton, Planning
Jim Maxfield, Inspection Services
Marn Speidel, Police
Dave White, City Engineer
Elena Piekut, Planning/Zoning
Dan Barufaldi, Economic Development
Frank Torr, Planning Board

Others:

Britni Rotunda, DeStefano Architects
Tucker McCarthy, Keach-Nordstrom
Chris Swiniarski, McLane Middleton
Ryan Filion, Applicant
Christopher Parker, Planning

Approval of 4/11/2019 Meeting Minutes

D.White moved to approve the minutes of April 11, 2019. Sgt. Speidel seconded. Vote: UA

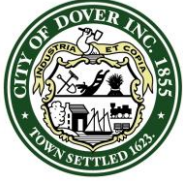
PLAN REVIEW:

Planning Comments:

- Impact fees (no credit for existing building)
- Water and Sewer Investment fees
- Will Eversource permit landscaping around transformer?
- Mechanicals should be fully screened; how are gas meters screened?
- Parking Commission to consider allotting spaces May 21st
- Please revise plan set to:
 - Combine architectural/renderings into plan set
 - Note tenants are responsible for bringing trash to dumpster
 - Add dumpster screening facing First Street
 - Add planning file number throughout, including cover sheet (P19-16)
 - Neighborhood plan may require better aerial image
 - Provide landscaping maintenance plan
 - Update rendering or landscape plan so that tree locations are consistent
 - Correct parking on 2nd Street rendering
 - Revise note regarding no Saturday or Sunday site work hours
 - Engineer, LLS, and Landscape Architect to sign and stamp final plan set
 - Note signage regarding visibility and noise will be installed and used during any earthwork, to the satisfaction of the City Engineer.
 - Identify a historic marker
 - Upgrade vinyl doors
 - Eliminate crosswalk
 - Add note that annually owner will let Planning Department know which units are designated to be affordable

Police Department Comments:

- Clarify discrepancy between 3/28/2019 Supplemental Traffic Letter page 4 "Proposed Parking Supply" and 3/29/2019 Response to Police comment #7. One states that employees for commercial spaces will be granted access to garage, the other states that employees will not have access and garage will be residential only.
- Revised plans do not address the Parking Commission's March 19, 2019 failed motion for long term lease of 78 spaces in the



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P19-16

Application Type: Site Plan Review
Applicant(s): One First Dover, LLC
Owner(s): One First Dover, LLC
Location: 1 First Street (Tax Map 6, Lot 20)
Date: April 18, 2019

Transportation Center Lot. Has the applicant considered any other alternatives?

Fire/Inspections Comments:

- Plan sheet 1 clarify the building setbacks
- Discuss sheet 4 and interior/exterior utility locations.
- Indicate location of water meter locations, sprinkler riser, PIV
- Discuss bollard location and spacing at gas meters- coordinate w/ building plan.
- Indicate dumpster screening on detail sheet
- Sheet 7 indicates a transformer pad adjacent to the front of the building on First Street. Provide the size and type of transformer and service. Indicate if transformer is utility or customer owned.
- Discuss the removal of the OHE lines in along east boundary line.
- Plan sheet 5 construction sequence does not appear to indicate removal scope of OHE
- Plan sheet 11 detail shall indicate design widths for access aisle- remove "varies"
- Plan Sheet 11 indicate height of accessible signage.
- Plan sheet 4-discuss alternative location for accessible parking space(s)
- Site plan shall indicate design compliance w/ applicable accessible regulations and NH RSA 155-A 5
- Provide a note on plan the project will require pre-baiting and an integrated pest management plan.
- Indicate the type of siding for the proposed structure
- Is the use/classification category known of the commercial tenancies (i.e. A, B, M etc.)
- Clarify fire department access to the parking garage
- Indicate mechanical ventilation locations for parking garage
- Indicate location of generator

Engineering Comments:

- Crosswalk should be eliminated
- Extend the sidewalk/curb and close up the alley driveway by the loading zone (striping per the city)
- Benches and trees need to meet standards

Economic Development Comments:

- Concerns have been addressed.

Planning Board Comments:

- Please work with Eversource to re-route the Overhead Lines out of the alleyway
- Use brick for landing on Second Street (plan shows concrete)
- Work with Woodman on any historical significance

Next Steps:

- Parking Commission May 21.
- Planning to be on the May 28, 2019 PB agenda

Motion to adjourn TRC at 11:36am by D.White and seconded by F.Torr. Vote: U/A



City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: April 02, 2018]

Office Use Only	Project #:	_____	Date Received:	_____
	Amount Paid:	_____	Time Received:	_____

APPLICANT AND OWNER INFORMATION

Name of Applicant: MAC'S CONVENIENT STORES, LLC Telephone # 330-630-6300 x-1830
Address of Applicant: 935 EAST TALLMADGE AVENUE AKRON, OHIO 44310
E-Mail Address: rlawrence@Circlek.com

Name of Property Owner (if different from applicant): SAME Telephone # _____
Address of Property Owner: _____

PROPERTY INFORMATION

Address of Property: DOVER POINT ROAD
Assessor's Map # K Lot(s) # 19C
Zoning District(s) B-3 Overlay District(s) NONE
Size of Parcel: 91,443 sq. ft. 2.10 ac. Property Deed: Book 4144 Page: 608
Existing Use of Property: VACANT

SITE PLAN INFORMATION

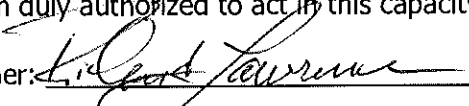
Describe Proposed Use: VEHICLE REFUELING & REGARGING STATION WITH CONVENIENCE STORE
Area of Parcel to be Developed: _____ 50,294 sq. ft.
If Multi-family Residential, Specify Number of Units & Buildings Proposed: N/A
Number of Parking Spaces: Existing 0 Proposed 30
Highway Access (check where applicable): _____ City Street X State Highway
Number of Employees Total: 9 In Maximum Shift: 3
Disposition of Parcel: _____ Building Setbacks: _____
Building Footprint _____ 9026 sq. ft. Front Yard _____ 50 ft.
Total Building Area _____ 9026 sq. ft. Rear Yard _____ 15 ft.
Paved Area _____ 44,966 sq. ft. Side Yard: Right 12 ft. Left 50 ft.

City Water? ☒ Yes ☐ No How far is city water from the property? AT POINTE PLACE ROWCity Sewer? ☒ Yes ☐ No How far is city sewer from the property? SEWER LINE RUNS THROUGH PROPERTY**BUILDING INFORMATION**Type of Building to be Built: SINGLE STORY MASONRY / BRICK FACADEHeight of Building: 20 FEET Finished Floor Elevation: 66.3Number of Seats (where applicable) N/AEstimated value of construction: \$350,000 Refuse removal: Public ☒ Private ☐ circle one)**WAIVER REQUESTS**Site Review Regulations section(s) to be waived: NONE

Justification for waiver request(s) (attach additional sheets as needed): _____

SURVEYOR INFORMATIONName of Surveyor and Company (Licensed in N.H.) MCENEANEY SURVEY ASSOCIATESAddress 24 CHESTNUT STREET DOVER, NH 03820 Telephone #: 742-0911Professional License #: KEVIN MCENEANEY, NH LLS 661 E-mail address: kevin@surveynh.com**ENGINEER INFORMATION**Name of Engineer and Company (Licensed in N.H.) CIVILWORKS NEW ENGLANDAddress P.O. BOX 1166 DOVER, NH 03821 Telephone #: 603-749-0443Professional License #: Stephen J. Haight, P.E. #7978 E-mail address: shaight@civilworksne.com**SIGNATURES**

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. Furthermore, I/we submit that the existing conditions sheet of the plan represents the lot in question, and that no alteration of the site shall take place during Planning Board review up to and including the pre-construction meeting. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:  Date: 4-22-19

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: SLADate: 4/22/19**AUTHORIZATION TO ENTER SUBJECT PROPERTY**

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Richard J. JurekDate: 4-22-19**AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY**

I, and my successors, hereby the City of Dover or its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: Richard J. JurekDate: 4-22-19

Signature of Applicant (if different from owner): _____

Date: _____

CERTIFICATION OF FEES

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board. Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner: Richard J. JurekDate: 4-22-19

Signature of Applicant (if different from owner): _____

Date: _____

CITY OF DOVER SITE REVIEW LIST OF ABUTTERS

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS
K	19C	MAC'S CONVENIENT STORES, LLC	935 EAST TALLMADGE AVENUE AKRON, OHIO 44310

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	MAILING ADDRESS
KEVIN MCENEANEY L.L.S.	MCENEANEY SURVEY ASSOCIATES	24 CHESTNUT STREET DOVER, NH 03820
STEPHEN J. HAIGHT P.E.	CIVILWORKS NEW ENGLAND	P.O. BOX 1166 DOVER, NH 03821

Conservation Easement Holder: N/A

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS



City of Dover, New Hampshire **SITE PLAN REVIEW SUBMISSION CHECKLIST**

[Revision Date: June 25, 2018]

This site plan review checklist, as required by Chapter 149-6-B(2), should be completed by the applicant. It is intended to assist the applicant in the planning process of preparing a Site Plan Review application for Planning Board action. The size of the project will determine the types of information required for review, therefore, a **pre-application conference** with the Planning Department to determine the list of items that must be completed is strongly encouraged.

Fees will be invoiced and are due along with fifteen (15), folded, copies of the plan set and materials, including response to TRC comments, will be due 3 weeks prior to the Planning Board meeting.

The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan Review Regulations for full details.

APPLICANT: MAC'S CONVENIENT STORES, LLC File Number: _____

PROJECT TITLE: CIRCLE K

PROPERTY LOCATION: DOVER POINT ROAD Tax Map: K Lot: 19C

	Explain How Provided	Reviewed
1. Completed and signed Application form	X	
2. Electronic copy of the engineered/surveyed plan layout	X	
3. Electronic copy of supplementary materials and application	X	
4. Traffic Impact Assessment and Analysis (Standard or Advanced)	X	
5. Waiver requests to the Site Plan Review Regulations, with written justification	NONE REQUESTED	
6. Conditional Use Permit applications	X	
7. A colored rendering of the streetscape that will be created along the existing public right-of-way	X	
8. A colored architectural plan showing all sides of buildings		
9. List of all professional agents to be notified for Planning Board	X	
10. Letter to Serve from Public and Private Utilities		
11. Eight folded copies of site plan w/ scale of not less than 1"=50' or 1"=100' for larger site plans, for TRC. Plans shall contain the following items as appropriate:	X	
Location map at appropriate scale	X	
Proposed Project name and title and Planning File #	X	
Date, north arrow and scale	X	
Names of all abutting property owners	X	
Name and address of owners and/or applicants	X	
Signature & stamp of NH licensed land surveyor and/or engineer	X	
Zoning District boundaries, including any special or overlay districts	X	
Location of Conservation District areas	N/A	
Location, names and widths of existing and proposed streets, including pavement widths, grades, curbs and crosswalks	X	
Location and widths of existing & proposed easements & right of ways	X	
Depict pedestrian walkways and accessible access	X	
Location and width of existing and proposed access/egress ways	X	
Existing and proposed property lines with dimensions and bearings tied into Dover's Geographic Information System coordinate system	X	
	Explain How Provided	Reviewed

Existing and proposed topographic information at two foot intervals	X	
Existing and proposed buildings and structure locations	X	
Minimum building setbacks or build to lines on all lots	X	
Location and size of existing and proposed electric, telephone, gas cable and other underground utilities	X	
Existing and proposed water lines and fire hydrants, including materials and capacity needed	X	
Location and materials of sanitary sewage facilities within project site and projected additional peak hour sewer load	X	
Existing and proposed stormwater lines and facilities	X	
Lighting plan depicting all existing and proposed exterior light fixtures and a lighting level analysis for parking lots	X	
Location of Flood Hazard Zone	X	
Location of all bodies of water and watercourses	N/A	
Location of wetlands and buffers	X	
Neighborhood plan with aerial underlay showing how project relates to abutting uses within the plan set	X	
Existing natural features and/or significant vegetation on property	X	
Depict existing contours up to 100 ft. beyond project limits		
Landscape plan depicting existing and proposed landscaping, prepared by a licensed Professional Landscape Architect	X	
Location of parking layout delineating spaces and arrangement; note addressing maximum required spaces	X	
Location, material and size of existing and proposed pavement area	X	
Location of proposed fire lanes	X	
Specify finished floor elevations of buildings	X	
Location of solid waste disposal facilities (dumpster, pad and screening, etc.), including required screening	X	
Depict all service, storage, loading bays and utility areas	X	
All applicable Dover Common Site Plan notes	X	
12. Additional Information if appropriate		
Stormwater Management Plan depicting the existing & proposed storm drainage system and engineered drainage analysis	X	
Stormwater Management System Operation and Maintenance Plan	X	
Erosion and Sedimentation Control Plan	X	
Landscape Operation and Maintenance Plan	X	
Proposed restrictive covenants or homeowners association documents	N/A	
Dates and permit numbers of all required state and federal permits	N/A	
If wetland buffer, indicate placards locations, as applicable	N/A	
Depict test boring locations, groundwater elevations and soil profiles and/or soils types call-outs	Report available upon request	
Location of proposed drive-in facilities	N/A	
Provide additional exhibits/technical data determined appropriate by the Planning Board or its staff as required	N/A	

REVIEWED BY: _____ DATE _____ TRC DATE _____



City of Dover, New Hampshire CONDITIONAL USE PERMIT APPLICATION

[Revision Date: May 18, 2017]

Office Use Only

Project #: _____

Date Received: _____

Amount Paid: _____

Time Received: _____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Mac's Convenience Stores, LLC Telephone # 330-630-6300 x-1830
Rich Lawrence

Address of Applicant: 935 EAST TALLMADGE AVENUE AKRON, OHIO 44310

E-Mail Address: rlawrence@Circlek.com

Name of Property Owner (if different from applicant): SAME Telephone # _____

Address of Property Owner: _____

PROPERTY INFORMATION

Assessor's Map # K Lot(s) # 19C

Address of Property: Dover Point Road

Zoning District(s) B-3 Overlay District(s) NONE

Existing Use of Property: VACANT

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

- | | | |
|---|---|--|
| ☐ Conservation District | ☐ RCM Use Overlay District | ☐ I-1 District Uses |
| ☐ Groundwater Protection | ☐ Off-Street Parking and Loading | ☐ Alternative Treatment Center |
| ☒ Wetland Protection District | ☐ Central Business District | ☐ Heritage Residential District |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

Grading to impact 6818 s.f. of the Wetland Buffer Area.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: NONE

Name of Professional That Prepared Plans: CIVILWORKS NEW ENGLAND

Address P.O. BOX 1166 DOVER, NH 03821 Telephone #: 749-0443

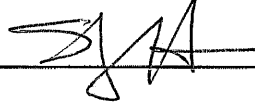
Professional License #: STEPHEN J. HAIGHT P.E. #7978 E-mail address: shaight@civilworksne.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

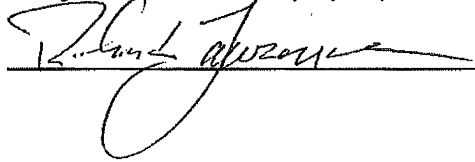
Signature of Property Owner:  Date: 4-22-17

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent:  Date: 4/22/19

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 4-22-19

PROJECT NARRATIVE
for
MAC'S CONVENIENCE STORES, LLC
CIRCLE K
30 Dover Point Road, Dover, NH
Tax Map K, Lots 19C

PROJECT OVERVIEW

The project applicant is proposing to construct a +/- 5,328 SF commercial building with (6) refueling stations and canopy, including new driveway entrances along Dover Point Road and Point Place. The proposed site will include a new convenience store and refueling stations, (1) electric recharging station, public water and sewer connections, underground electric service, natural gas service and associated drainage improvements. A portion (+/- 6,816 SF) of the work is within the 50' conservation district buffer but does not disturb any wetlands.

The project consists of the following general improvements:

- Remove existing portion of curbing and asphalt
- Construction of +/- 5,328 SF new convenience store, (6) vehicle refueling stations and +/- 3,968 SF canopy, and (1) electric vehicle recharge station.
- Construction of stormwater treatment structures, grading, and other drainage requirements
- Site utility construction
- Construct (2) new 32' entrances and internal access ways
- Stabilize remaining areas with loam and seed
- Special Exception Z18-18 granted 3/21/19 to allow a refueling station in the B3 zone

PROJECT LOCATION AND SITE CHARACTERISTICS

The project site is located within the B-3 Thoroughfare Business District and R-12 districts. The project area consists of a parcel of land shown on Tax Map K as Lot 19C. Lot 19C contains +/- 2.09 acres and is currently undeveloped. The project proposes to develop the existing lot with access from Dover Point Road as well as Point Place.

DRIVEWAY AND PARKING LOT

The proposed driveway entrances will be 32' wide with curbing including a newly proposed sidewalk along Pointe Place. Internal circulation lanes vary in width from 30'

width to 37' width. Lighting for the proposed parking lot and driveway will be per the lighting plan.

For the proposed development, the City of Dover Parking maximums allow for the following:

Allowed:

- Retail (5,328 SF)/(275 SF) = 19.4 Spaces Maximum
- Gas Island (6)*(2 spaces per fueling station) = 12 Spaces
 - o Total for Site = **31.4 Spaces Maximum (Surface)**

Proposed:

- Proposed Retail = 18 Surface Spaces**
- Proposed Gas Island = 12 Surface Spaces
- Total proposed = **30 Spaces (2 Accessible Spaces)**
 - ** (1) is an electric vehicle recharge station

WETLAND IMPACT TYPE

The project work requires a conditional use permit from the City of Dover. Approximately +/- 6,816 SF of non-tidal wetland buffer will be impacted. The total area of the 50' wetland buffer is 18,539 S.F. on the lot. The project does not impact bogs, marshes, sand dunes, tidal wetlands, cedar swamps, undisturbed tidal buffer zone, or involve any work within 50 feet of a salt marsh. The project is not located within 100 feet of prime wetlands.

DRAINAGE

The parcel is located at 30 Dover Point Road, Dover, NH. The site contains approximately 2.09 acres and is bounded on the west by Dover Point Road, the east by commercial development, and residential and mixed use properties to the north. The watershed of the parcel includes the project site. The project site consists of undeveloped land adjacent to Pointe Place. On site soils are a mix of Windsor Loamy Fine Sand, Windsor Loamy Sand, Suffield Silt Loam, and Buxton Silt Loam. The Windsor series soils are HSG A with the Suffield and Buxton series soils are classified as HSG C. The proposed development of the site includes the demolition of some structures in the Right-of-way as well as the construction of a convenience store and refueling area with canopy. The project also includes the construction of two access points, parking for the commercial use of the site, utility upgrades, and drainage improvements including stormwater quality treatment using a rain garden, detention pond, and a closed stormwater conveyance system.

The post development watershed is modeled utilizing the same point of analysis as the predevelopment watershed, allowing direct comparison of the peak runoff between the pre and post developed conditions (see drainage report).

The analysis indicates that the proposed development of the site will have negligible impact on the watershed leading to Varney brook. Slight increases in runoff due to sidewalk and entrance improvements within the Point Place right-of-way are shown at the catchbasin system within Pointe Place. However minimal these increases are, there is still additional pavement being removed outside of this analysis area where the existing cul-de-sac area is located which further mitigate any increases.

UTILITIES

The proposed project expects to connect to City of Dover water and sewer as well as Unitil natural gas, and Eversource electric. Natural Gas lines are located within the Dover Point Road right-of-way which is the anticipated location for this connection. The existing site is undeveloped and will require new services. City of Dover water lines are located within the Dover Point Road and Pointe Place. There is an existing service connection from the 8" line in Pointe Place that is anticipated to be used. A sewer easement and gravity sewer line runs through the property which is the intended point of connection for the project. Buildings will be sprinkled and connections made per the City's Community Services Utility Division and Fire Department requirements and standards. Underground electric for the site is to be provided by the existing electric lines located along Dover Point Road.

Stormwater Management System Inspection & Maintenance Plan

For

**CIRCLE K
MAP K, LOT 19**

**30 Dover Point Road
Dover, New Hampshire
Strafford County**

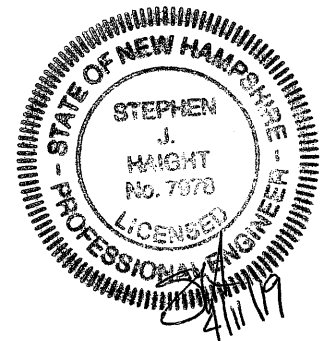
April 2019

Prepared For:

MAC'S CONVENIENCE STORES, LLC
935 E Talmadge Ave
Akron, OH 44310

Prepared By:

CIVILWORKS NE
P.O. Box 1166
181 Watson Road
Dover, New Hampshire 03820



Introduction

Civilworks NE, has prepared the following Stormwater Management System Inspection & Maintenance Plan for Circle K, Dover, NH. The intent of this plan is to provide a list of procedures that document the inspection and maintenance requirements of the Stormwater Management System for this site.

The following inspection and maintenance program is necessary in order to keep the Stormwater Management System functioning properly. These measures will also help to minimize potential environmental impacts to the areas surrounding the developed site. By following the enclosed procedures, the property owners, and maintenance personnel will be able to maintain the functional design of the Stormwater Management System and maximize its ability to remove sediment and other contaminants from site generated stormwater runoff while at the same time ensuring the recharge of groundwater resources through continued infiltration.

This plan also requires the Owner/Operator to prepare and implement a salt minimization plan to reduce salt usage on-site and ultimately within the watershed. This plan will allow the owner/operator to monitor and modify how much salt is needed, when it should be applied, where it needs to be applied, with the ultimate goal of reducing salt-use without compromising safety. It is expected that salt-use reduction will lead to long-term cost-savings as a result of purchasing less salt and reduced impacts on vegetation (e.g., landscaping) and corrosion of infrastructure .

The salt minimization plan should include the retention of a contractor who has completed the Green SnowPro Training course and obtained NHDES Salt Application Certification.

It is anticipated that this be a living document that will be updated at regular intervals (recommend updating annually in advance of the winter season in order to facilitate adjustments.

Owner

MAC'S CONVENIENCE STORES, LLC
935 E Talmadge Ave
Akron, OH 44310

In the event of a change in ownership, this Inspection and Maintenance Plan shall be transferred to the new party; transfer shall be documented to NH DES in writing.

Contact / Responsible Party

MAC'S CONVENIENCE STORES, LLC
935 E Talmadge Ave
Akron, OH 44310
Richard Lawrence
(330) 630-6300 x1830

The contact information for the Contact / Responsible Party shall be kept current; transfer shall be documented to NHDES in writing.

Management Company

MAC'S CONVENIENCE STORES, LLC
935 E Talmadge Ave
Akron, OH 44310

The contact information for the Management Party shall be kept current.

Inspection Schedule / Record Retention

Inspection frequency should, at a minimum, be in accordance with New Hampshire Stormwater Manual, Volume 2, latest edition, as updated by NHDES. See the Inspection and Maintenance Plan for frequency requirements. A copy of the completed Stormwater Management System's Inspection & Maintenance Log and Deicing Salt Quantity Use Log shall be maintained, kept on-site, and be made available to local, state, or federal regulators as applicable by law.

Stormwater Management System Components

The Stormwater Management System associated with the project is designed to mitigate both the quantity and quality of site-generated stormwater runoff and to recharge the underlying groundwater resources. As a result, its design includes the following elements:

- Culverts
- Detention Ponds/Raingardens
- Energy Dissipation Structures (Rip Rap)
- Catch Basins
- Pavement
- Outlet Structures
- Litter / Trash Removal

Structure callouts in () correlate to the design plans, a copy of which shall be maintained with this Inspection and Maintenance Plan.

Inspection and Maintenance Plan

By implementing the following procedures, the owners will be able to maintain the functional design of the Stormwater Management System and maximize the system's ability to remove sediment and other contaminants from site generated stormwater runoff and to effectively recharge the underlying groundwater resources.

CULVERTS:

- Inspect once per year.
- Inspect for clogging and sediment accumulation.
- Remove all debris immediately and sediment accumulations ≥ 2 inches.

DETENTION PONDS/RAINGARDENS:

- Inspection, by a **qualified professional**, of detention ponds at least twice annually, and following any rainfall event exceeding 2.5 inches in a 24 hour period, with maintenance or rehabilitation conducted as warranted by such inspection.
- Embankments and spillways should be inspected by a **qualified professional** for settlement, erosion, seepage, animal burrows, woody vegetation, and other conditions that could degrade the embankment and reduce its stability for impounding water. Immediate corrective action should be implemented if any such conditions are found.
- Inlet and outlet pipes, inlet and outlet structures, energy dissipation structures or practices, and other structural appurtenances should be inspected by a **qualified professional**, and corrective action implemented (e.g., maintenance, repairs, or replacement) as indicated by such inspection.
- The bottoms, interior and exterior side slopes, and crest of earthen detention basins should be mowed, and the vegetation maintained in healthy condition, as appropriate to the function of the facility and type of vegetation.
- Vegetated embankments that serve as "berms" or "dams" that impound water should be mowed at least once annually to prevent the establishment of woody vegetation.
- Trash and debris should be removed from the pond and any inlet or outlet structures whenever observed.
- Accumulated sediment should be removed when it significantly affects pond capacity.

ENERGY DISSIPATION STRUCTURES (RIP RAP): As Applicable

- Inspect the outlet protection annually for damage and deterioration. Repair damages immediately.
- If stones become displaced from the riprap areas they should be replaced immediately and chinked in to assure stability. Add additional riprap as needed. Vegetation growing through the riprap should be eliminated at least yearly.

OUTLET STRUCTURE(S):

- Inspect once per year.
- Inspect for clogging and sediment accumulation.
- Remove all debris immediately and sediment accumulations ≥ 2 inches.

CATCH BASIN(S):

- Inspect once per year.
- Inspect for floatables, sediment accumulation, and hydrocarbons (oils and grease).
- Remove all floatables immediately and sediment accumulations ≥ 2 feet.
- Hydrocarbons shall be removed immediately by skimming, absorbent materials, or other methods and should be disposed of in accordance with applicable State and Federal regulations.

PAVEMENT:

- Minimize sanding.
- Minimize application of salt for ice control.
- Monitor periodically to ensure that the pavement surface drains effectively after storms.
- Clean periodically (1-2 times per year) using a sweeper or vacuum sweeper.

LITTER / TRASH REMOVAL:

- Routinely patrol site for litter pick up.

DE-ICING AGENTS

- To address the concerns associated with the application of chlorides and other deicing materials, NHDES recommends that the Owner/Operator develop a Road Salt and Deicing Minimization Plan for the parking lots and roadways. The plan should develop the policies that the development will keep in place to minimize salt and other deicer use after the project has been completed. The plan should include tracking the use of salt and other deicers for each storm event and compiling salt use data annually. (See Anti-icing Data Form in the appendix).
- Use sand as primary agent for driveway and access way safety during ice and snow conditions
- Minimize the use of salt during the winter
- Use de-icing or anti-caking agents, added to enhance performance and application characteristics of sand mixtures, only as necessary and at minimum application rates.
- Recommend using a certified Winter Operator (Green SnowPro Trained) for applying de-icing agents.
- Monitor weather and apply de-icing agents based on weather conditions and temperatures.

ANTI-ICING AND SALT MINIMIZATION

- Owner to develop a Road Salt and Deicing Minimization Plan
- Provide a written policy that the “Development” will keep in place to minimize salt and other deicer use after the project has been completed.
- Use the attached form to track the use of salt and other deicers for each storm event and compiling salt use data annually.

Inspection & Maintenance Table

System Component / BMP	Minimum Inspection Frequency	Minimum Inspection Requirements	Maintenance / Cleanout Threshold
Culverts	Annually	Check for sediment accumulation and clogging	≥ 2 in. sediment depth
Detention Ponds/ Raingardens • Outlet Structure • Inlet/Outlet Piping • Embankments • Pond Sediment • Trash/Debris • Vegetation (Veg.)	Bi-Annually “ “ “ “ Periodically “ “ “ “	See Catch Basin (CB) Requirements (Req.) See Outlet Structure (OS) Req. Check for erosion, settlement, seepage, etc. Check for sediment accumulation in pond Check for trash (in pond and structures) • Maintain 95% veg. (pond & slopes) • Maintain healthy stand of veg.	See CB Req. See OS Req. Repair immediately ≥ 2 in. sediment Remove all trash/debris Restore veg. in-kind Mow when ≥ 6 in
Energy Dissipation (ED) Structures (RipRap)	Annually	Check for displaced stones Check for woody vegetation	Replace immediately Remove annually
Outlet Structure(s)	Annually	• Inspect once per year. • Inspect for clogging and sediment accumulation. • Remove all debris immediately and sediment accumulations ≥ 2 inches.	≥ 2 in. sediment Remove immediately
Catch Basins	Annually	• Check for sediment accumulation • Check for floatable contaminants	≥ 2 ft. sediment depth Remove all floatables
Pavement • Sanding • Salt Applications • Sweep/Vacuum • Trash/Debris	Limit use As Req. 1 - 2 x's Year Periodically	Minimize use to prevent tracking issues RECORD APPLICATION RATES Sweep or vacuum to prevent tracking issues Check for trash/debris	Sweep to prevent issues Minimize as Req. Sweep/Vac as needed Remove when noticed
Litter / Trash Removal	Periodically	Check for litter and trash	Remove when noticed

Inspection & Maintenance Checklist/Log

The following pages contain a blank copy of the Stormwater Management System's Inspection & Maintenance Log and a Deicing Salt Quantity Use Log. These forms are provided to assist the owners with the inspection and maintenance of the aforementioned Stormwater Management System.

Stormwater Management System's Inspection & Maintenance Log

Date of Inspection/Maintenance: _____ Inspector: _____

[illegible]

Deicing Salt Quantity Use Log

[illegible]

Landscape Operation & Maintenance Plan For Circle K – Dover Point Road

Weekly Tasks

1. Mow and edge lawns if needed. Lawns to be cut to 3.5" height.
2. Prune back any shrubs overhanging curbs or sidewalks.
3. Prune back any groundcover overhanging curbs or sidewalks.
4. Remove litter and leaves from plants, planters, and parking lots.
5. Remove any broken or fallen branches from trees. Remove sucker growth from tree trunks.
6. Remove any weeds larger than 2 inches (5 cm) high or wide from planters. Weeds 2 inches (5 cm) and larger must be removed, not just killed.
7. Replace bark mulch which has been knocked or washed out of planters. Smooth mulch layer if it has been disturbed.
8. Replace decorative rock which has been knocked or washed out of drip strips. Smooth decorative rock surface if it has been disturbed.
9. Check plants for signs of stress, pests or disease. Request authorization to replace other dead or missing plants. Note: Maintenance contractor must request authorization to make replacements within one week of the damage becoming evident.
10. Sweep or blow clean all walkways, curbs, and gutters.
11. Treat for any signs of disease or pest infestation.
12. Complete any items required on the Monthly Checklist.
13. Hand water any plants that are dry and stressed.
14. Check the irrigation system (if there is a system). Make emergency repairs as needed or request authorization to make major repairs. Note: Maintenance contractor must request authorization for repairs within one week of the damage becoming evident.
15. Adjust the irrigation controllers for current water needs of plants.
16. **Gently prune shrubs at appropriate time of year based on species, for shape and form. DO NOT shear.**

Yearly Tasks

Early Spring

1. Prune any tree branches that interfere with public safety. Prune all parking lot and street trees yearly to encourage strong growth.
2. Apply granular fertilizer to shrubs beds and lawns. Be sure to make application prior to a moderate rainfall in drip-irrigated planters so the rain will wash the fertilizer in.
3. Submit receipts to owner's authorized representative as proof of fertilizer purchase.
4. Trim any perennial foliage left in the fall for winter interest to within six inches of the ground.
5. Add new mulch to planters where the mulch depth has been reduced to less than 2 inches (5 cm) thick. Mulch depth shall not exceed 2". Additional mulch not required where shrubs or groundcover completely hide the soil surface from view.
6. Where there is irrigation and after threat of frost is gone, flush out irrigation systems as needed and check for proper operation of each valve zone.

7. Clean or replace plugged sprinkler nozzles. Replace plugged drip emitters.
8. Replace irrigation controller program back-up batteries.

June:

No additional items

July:

No additional items

August:

No additional items

September:

1. Inventory all plant materials. Inventory shall include an exact count of all shrubs and trees, itemized by planter. Replace any dead or missing plants.

October:

1. Prepare irrigation system for winter. Make sure backflow preventer is well insulated or drained prior to first freeze. Blow out pipes using compressed air in areas where freezing could result in breakage.
2. Mow field areas.

November:

1. "WILT-PRUF" broadleaf evergreens when temperature permits.

December:

1. Prune any tree branches that interfere with public safety. Prune all parking lot and street trees yearly to encourage strong growth.

WHITE APPRAISAL

REAL ESTATE APPRAISING & CONSULTING



Brian W. White, MAI, SRA

March 18, 2019

Dover Zoning Board of Adjustment
City Hall
288 Central Avenue
Dover, NH 03820

R.E.: The Special Exception application for a gasoline/convenience facility located on the corner of Dover Point Road and Pointe Place in Dover, NH

To Whom It May Concern:

I have been asked by the owner of the subject property to prepare an opinion on the proposed use for the above referenced property as it relates to the possible change of value for the surrounding properties. I have been appraising residential and commercial properties located in the Dover area for the past thirty-five years. I am very familiar with the Dover Point Road area and the recent developments located on Pointe Place as I have appraised many of the surrounding properties over the years. I am attaching a copy of my qualifications for your review.

I have reviewed the proposed site plan for the subject property which calls for developing the parcel with a new gasoline/convenience facility on the corner of Dover Point Road and Pointe Place. The parcel is identified as Map K, Lot 19C and it is currently owned by Macs Convenience Stores, LLC. The plan calls for constructing a 5,328 square foot building along with a gasoline canopy and other on-site improvements that are typical for a modern gasoline/convenience facility. The building will be located in the rear of the buildable portion of the parcel and the gasoline pumps and canopy will be located toward the front of the parcel similar to other modern gasoline/convenience developments. There will be a vinyl fence ranging in height from 4' to 8' along the northern portion of the parcel that will provide a visual screen for the property.

The property is located in the B-3 (Thoroughfare Business) zone. The zone allows for a variety of permitted uses including: Barber or beauty shop, Bank, Bed and breakfast, Commercial parking facility, Commercial recreation facility, Eating and drinking establishments, Hotel, Motel, New car sales, Office, Personal service establishment, Retail store, Service club, Theater, Child care facility, Church, Clinic, Educational institution - Post Secondary, Offices (administrative, financial & professional). Several other uses are allowed by Special Exception. The subject's proposed use for a retail convenience store would be permitted in the B-3 zone while the proposed gasoline station would require a Special Exception.

The subject's section of Dover Point Road is part of the state of NH Highway System and it is a heavily trafficked commuter route with over 12,000 vehicles per day. The proposed gasoline/convenience facility has been designed on a corner parcel that will have ingress and egress

to and from both Dover Point Road and Pointe Place. This type of commercial development will benefit from both local and impulse customers as it would provide a combined gasoline and convenience service that is currently not offered in a modern facility anywhere along Dover Point Road.

In 2010, the subject property received a Special Exception for the proposed gasoline/convenience use. Over the past eight plus years, both residential and commercial development in the subject's immediate area has increased. Pointe Place, to the rear of the subject property, has been developed with an over-55 detached condo development, a 20-unit townhouse condominium development, two multi-story mixed-use buildings with commercial and apartment space and an assisted living facility. Directly across Dover Point Road from the subject property, 50 Sheffield Drive was recently developed with a multi-tenant commercial building with residential townhouse units to the rear. At the present time, the multi-tenant commercial development located just to the south of the subject property (34 Dover Point Road) is being expanded with a rear addition to Patty B's Restaurant. Over the past eight years, the subject's immediate neighborhood has expended with a variety of residential and commercial developments.

At the present time, the subject property is abuts the Pointe Place development to the northeast and a vacant residential lot to the northwest. The Pointe Place development is a recently developed mixed-use property with a combination of commercial and residential space. The adjacent vacant residential lot is zoned R-12. It is noted that this lot was purchased by an investor in September of 2012. At that time, the subject property was approved for development with a gasoline/convenience development. The development located directly to the southwest of the subject property across Dover Point Road (50 Sheffield Drive) is improved with a multi-tenant commercial building with residential townhouse units to the rear. The development located directly to the southeast of the subject property across Pointe Place is improved with a multi-tenant commercial building with Patty B's being the major tenant. Three of the four immediately adjacent properties to the subject property have a commercial component and the one residential property is owned by an investor who purchased the property with the knowledge that the subject property was approved for a gasoline/convenience development.

If the proposed gasoline/convenience facility is constructed, the other commercial properties located on Dover Point Road and Pointe Place would not be negatively impacted as gasoline/convenience facilities are commonly found in areas with retail, office and automobile dealership facilities. I am not aware of any data that suggests that these properties would experience a diminution of value. There would be some impact from the subject's proposed facility on the nearby residential properties. This impact would largely be felt by an increase in traffic to and from the property. However, over the past eight years, the same can be said for all of the other commercial and mixed-use development that has taken place. New development where there was previously vacant land results in some increase in traffic. The subject property is currently a vacant lot and any type of development would increase traffic to the area. A modern gasoline/convenience facility typically experiences the bulk of its customer visits during business hours with the volume declining during the evening hours. A similar increase in traffic would be experienced if a number of other uses permitted in the B-3 zone were constructed on the property.

The subject's proposed gasoline/convenience commercial development is one that is commonly found along commercially zoned areas located throughout many cities and towns in the Seacoast area of New Hampshire. It is not a use that is typically prohibited from commercial thoroughfares. Dover Point Road extends southerly from Stark Avenue over three miles having three business zoned nodes with none of them containing a modern gasoline/convenience facility. The subject's corner location enhances the utility of the subject parcel to accommodate a modern gasoline/convenience facility.

The northern half mile of Dover Point Road, which includes the subject property, is a varied mixture of uses including single-family homes, multi-family homes, mobile home parks, commercial condominiums, residential condominiums, restaurants, ice cream stand, automotive dealerships, auto service facilities, general office uses, car wash, convenience/beverage sales, general retail store shop, and other uses. It is the very definition of a mixed-use business thoroughfare zone. Based on these facts and conditions, along with my experience appraising real estate in the Seacoast area of New Hampshire for many years, it is my opinion that the construction of the proposed gasoline/convenience facility on the subject property would not result in a diminution in value for the residential properties located on or off Dover Point Road.

The construction of the subject's gasoline/convenience development will add a modern convenience store and a modern gasoline station to the Dover Point Road and Point Place area. The convenience of these items will be viewed as an enhancement for most commercial users. The majority of the residential development that has taken place in the immediate area over the past eight years has been garden style or townhouse style apartment units. The tenants in these developments typically prefer to locate in areas that have convenient nearby access to shopping and highways. The addition of the subject's proposed gasoline/convenience development will also be viewed as an enhancement for these residential users. The fact that most of the users in the immediate area would view the proposed gasoline/convenience as an enhancement will likely result in the values of the commercial and residential properties that house these users being enhanced rather than a diminution in value taking place.

Respectively submitted,

A handwritten signature in dark ink, appearing to read "Brian W. White", is written over a solid horizontal line.

Brian W. White, MAI
NHCG-#52

Professional Designations:

Member, Appraisal Institute (**MAI**) – Awarded by the Appraisal Institute. MAI #9104
Senior Residential Appraiser (**SRA**)

Employment:

1989 to Present	White Appraisal – Dover, NH President – Senior Appraiser Owner of White Appraisal, a commercial and residential real estate appraisal firm. Complete appraisals on all types of commercial and residential properties. Consulting.
1988	Finlay Appraisal Services – Portsmouth, NH Senior Vice President/Chief Operations Officer Oversaw the operation of four appraisal offices. Completed commercial and residential appraisals on all types of properties.
1985	Finlay Appraisal Services – Portsmouth, NH and Appraisal Services Manager – South Portland, ME. Completed commercial and residential appraisals on all types of properties.

Education:

Mitchell College
Associate of Arts, Liberal Studies, 1979

University of Southern Maine
Bachelors of Science, Business Admin., 1984
Bus 022 Real Estate Law
Bus 023 Real Estate Practice
Bus 025 Real Estate Valuation

American Institute of Real Estate Appraisers
1A-1 Real Estate Appraisal Principles, 1985
1A-2 Basic Valuation Procedures, 1985
1B-A Cap. Theory and Technique (A), 1985
1B-B Cap. Theory and Technique (B), 1985
2-3 Standards of Pro. Practice, 1985
Exam #7 Industrial Valuation, 1986

Society of Real Estate Appraisers
101 Intro. To Appraising Real Property, 1986
102 Applied Residential Property Val., 1987
201 Prin. Of Income Property Appraising, 1985
202 Applied Income Property Valuation, 1985

Education (Continued):

Recent Appraisal Institute Classes:

Introduction to Appraising Green Buildings – 2011
USPAP Update - 2013
USPAP Update - 2015
Introduction to Land Valuation - 2016

Recent Seminars:

Drone Technology and Its Impact on the Appraisal Industry - 2015
Business Practices and Ethics - 2016
Paragon for Appraisers - 2016
NH's Changing Economic Real Estate Environment - 2016
Excel Can Do That - 2017
Mixed Use Properties - Income Capitalization Approach - 2017
Paragon - Appraisal Essentials for Appraisers – 2017
Current Use - 2018
Real Estate Damages Overview - 2018
Understanding and Using Public Data - 2018
Appraising Energy Efficient Residential Properties – 2018
Commercial Real Estate Roundtable - 2019

Appointments:

Board of Directors – New Hampshire Chapter of the Appraisal
Institute - 1991 to 1993; 2000 to 2010 and 2015-2018
Vice President - New Hampshire Chapter of the Appraisal Institute – 2011-2012 & 2019
President – New Hampshire Chapter of the Appraisal Institute – 2013 & 2014

Experience:

Review Chairperson – New Hampshire Chapter of the Appraisal
Institute – 1994 to 2010

Licenses:

N.H. Certified General Appraiser #NHCG -52, Expires 4/30/2019

Partial List of Clients:

Banks:

Androscoggin Bank
Granite Bank
Federal Savings Bank
Sovereign Bank
Eastern Bank
Century Bank
TD Bank
Kennebunk Savings Bank
Northeast Federal Credit Union
Profile Bank
Peoples United Bank
Key Bank
Optima Bank and Trust
Provident Bank

Attorneys:

John Colliander
Karyn Forbes
Michael Donahue
Richard Krans
Simone Massy
Samuel Reid
Daniel Schwartz
Robert Shaines
William Shaheen
Steve Soloman
Gerald Giles
Ralph Woodman
Gayle Braley
Fred Forman

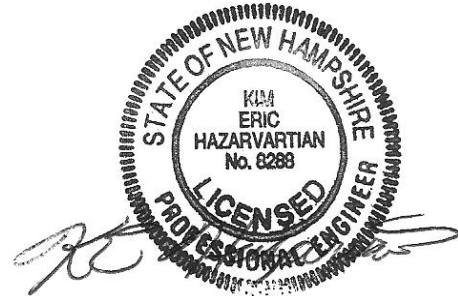
Others:

City of Dover
Town of Durham
University of New Hampshire
Wentworth-Douglass
The Homemakers
Strafford Health Alliance
Goss International
Chad Kageleiry
Gary Levy
Stan Robbins
Daniel Philbrick
Keith Frizzell
Chuck Cressy
John Proulx

MEMORANDUM

93 Stiles Road, Suite 201, Salem, New Hampshire 03079 USA
800 Turnpike Street, Suite 300, North Andover, Massachusetts 01845 USA
Phone (603) 212-9133 and Fax (603) 226-4108
Email tepp@teppllc.com and Web www.teppllc.com

Ref: 1466
Subject: Modified Site Plan
Proposed Commercial Development
Dover, New Hampshire
From: Kim Eric Hazarvartian, Ph.D., P.E., PTOE
Principal
Date: April 22, 2019

**INTRODUCTION**

Civilworks New England has retained TEPP LLC to prepare this memorandum regarding the modified site plan for a proposed commercial development in the City of Dover, New Hampshire. The proposed development will be in the northeast quadrant of the Dover Point Road/Pointe Place intersection.

The modified site plan:

- increases the proposed convenience store floor area, increases the number of vehicle-fueling positions (VFPs) and eliminates the drive-through window
- adds a proposed driveway along Dover Point Road
- adds a left-turn lane to the Dover Point Road southbound approach to the proposed driveway intersection

Conclusions are:

- the modified development program shows no significant change in calculated peak-hour trip generation from the City-approved development program
- the proposed Dover Point Road driveway will be more-than-adequately separated from Pointe Place
- the proposed Dover Point Road driveway will also serve the site to the north, eliminating the need for a separate driveway, reflecting desirable driveway-consolidation and access-management principles
- the proposed Dover Point Road driveway will benefit site safety and operations by providing a more direct connection to Dover Point Road that reduces recirculation through the site associated with the Pointe Place driveways

MODIFIED DEVELOPMENT PROGRAM

The City approved the proposed development as convenience store with about 3,055-square-foot (sf) floor area, 12 VFPs and one drive-through window. The applicant now seeks a convenience store of about 5,328-sf floor area, 12 VFPs and no drive-through window.

TRIP GENERATION

The Institute of Transportation Engineers (ITE) compiles trip generation information in the authoritative reference *Trip Generation*.¹ This information is based on empirical data for a variety of land uses including super convenience market/gas station, based on:

- floor area
- VFPs
- peak-hour traffic on adjacent street²

Table 1:

- shows calculated weekday vehicle-trips for the City-approved convenience store with about 3,055-sf floor area, 12 VFPs and one drive-through window, from the TEPP LLC TIAS³
- shows calculated weekday vehicle trips for the now-proposed convenience store of about 5,328-sf floor area, 12 VFPs and no drive-through window
- shows no significant change in calculated peak-hour trip generation between the City-approved and now-proposed development programs
- does not show reductions that are allowed for pass-by and diverted-linked trips

¹ ITE, *Trip Generation Manual*, 10th edition (Washington DC, September 2017).

² ITE, *Trip Generation Manual*, Volume 2, Data, Services (Land Uses 900-999), pages 402 to 425.

³ From TEPP LLC, *Traffic Impact and Access Study, Proposed Commercial Development, Dover, New Hampshire* (Salem, New Hampshire, April 14, 2010).

Table 1. Weekday total calculated trip generation

Time Period and Direction	Calculated Total Vehicle-Trips						
	Daily	AM-Street-Peak Hour			PM-Street-Peak Hour		
		In	Out	Total	In	Out	Total
Approved by City^a							
Convenience Market	2,414	100	99	199	115	114	229
<u>Drive-Through Window</u>	<u>360</u>	<u>30</u>	<u>31</u>	<u>61</u>	<u>7</u>	<u>8</u>	<u>25</u>
Total	2,774	130	130	260	122	122	244
Now Proposed^b							
Super Convenience Market	3,611 ^c	162	162	323 ^d	128	128	256 ^e

^a Convenience market with gasoline pumps, 2,855-sf floor area or 12 VFPs. Coffee/donut shop with drive-through window and no indoor seating, 200-sf floor area. From TEPP LLC TIAS.

^b Convenience market/gas station, 12 VFPs and 5,328-sf floor area.

^c Based on ITE, *Trip Generation Manual*, 10th edition, land use 960. Calculated as the average of vehicle-trips based on floor area and vehicle-trips based on VFPs. TEPP LLC has customer data from an existing convenience market with gasoline pumps. The facility was in the Town of Londonderry, New Hampshire on New Hampshire Route 28 west of Interstate Route 93. The total floor area was about 4,500 sf. The average daily customers for six weeks each in 2009 and 2010 was about 1,200, yielding about 2,400 vehicle-trips per day. Pro-rating to reflect a floor area of about 5,328-sf of floor area yields about 2,842 vehicle-trips per day.

^d Based on ITE, *Trip Generation Manual*, 10th edition, land use 960, convenience market/gas station. Calculated as the average of vehicle-trips based on fitted-curve equation for both floor area and VFPs and vehicle-trips based on peak-hour traffic on adjacent street. Peak-hour traffic estimated as 998 vehicles multiplied by 1.09 to reflect peak-month conditions, based on attached information from the New Hampshire Department of Transportation.

^e Based on ITE, *Trip Generation Manual*, 10th edition, land use 960, convenience market/gas station. Calculated as the average of vehicle-trips based on fitted-curve equation for both floor area and VFPs and vehicle-trips based on peak-hour traffic on adjacent street. Peak-hour traffic estimated as 968 vehicles multiplied by 1.09 to reflect peak-month conditions, based on attached information from the New Hampshire Department of Transportation.

Total trips appear on site driveways but not all are added to roads near the site. Accordingly, ITE compiles information on three trip types, based on empirical data for many land uses, in the authoritative Hooper, *Trip Generation Handbook*.⁴ These three trip types are:

⁴ Kevin G. Hooper, P.E., Principal Editor, *Trip Generation Handbook*, 3rd edition (Washington DC: Institute of Transportation Engineers, September 2017).

- primary trips that are added to the area and are primarily for visiting the site
- diverted trips that not added to the general area; these trips are from existing traffic on roads near the site
- pass-by trips that are not added to the general area; these trips are from existing traffic passing the site⁵

The below estimated primary trips are based on Hooper information for convenience market with gasoline pumps, land use 853:

- daily, 14 percent
- AM-street-peak hour, 11 percent
- PM-street-peak hour, 17 percent

MODIFIED DRIVEWAY SYSTEM

The City approved two driveways along the north side of Pointe Place east of Dover Point Road. The applicant now seeks to add one driveway along the east side of Dover Point Road north of Pointe Place.

The Dover Point Road driveway will:

- provide full movements in and out of the site
- include one lane entering the site and two lanes exiting the site
- be more-than-adequately separated from Pointe Place by about 200 feet (ft), center to center, and 155 ft, edge to edge
- be approximately centered on the northern limit of the Dover Point Road site frontage
- also serve the site to the north, eliminating the need for a separate driveway, reflecting desirable driveway-consolidation and access-management principles
- benefit site safety and operations by providing a more direct connection to Dover Point Road that reduces recirculation through the site associated with the Pointe Place driveways

The New Hampshire Department of Transportation (NHDOT) sets forth the following:⁶

⁵ Definitions of primary trips, diverted trips and pass-by trips are in Hooper, 3rd edition, page 93. Relevant data on primary trips, diverted trips and pass-by trips are in Hooper, pages 198 and 200.

⁶ NHDOT Office of the Commissioner, Declaratory Ruling No. 2000-01, Driveway Permits (Concord, New Hampshire, adopted March 10, 2000), Figure V.

- 100-ft desirable separation, edge to edge, between driveways and street intersections
- 30-ft minimum and 50-ft desirable separation, edge to edge, between two-way driveways

MODIFIED ROAD IMPROVEMENTS

The City approved the following proposed improvements to the Dover Point Road/Pointe Place intersection:

- one left-turn lane on the Dover Point Road southbound approach
- a second lane on the Pointe Place westbound approach

The applicant now seeks to provide one left-turn lane on the Dover Point Road southbound approach to the proposed driveway intersection. This left-turn lane would be continuous with the left-turn lane on the Dover Road southbound approach to the Pointe Place intersection.

CONCLUSION

The now-proposed development program shows no significant change in calculated peak-hour trip generation from the City-approved development program.

The proposed Dover Point Road driveway will:

- be more-than-adequately separated from Pointe Place
- also serve the site to the north, eliminating the need for a separate driveway, reflecting desirable driveway-consolidation and access-management principles
- benefit site safety and operations by providing a more direct connection to Dover Point Road that reduces recirculation through the site associated with the Pointe Place driveways

The applicant also proposes to provide one left-turn lane of the Dover Point Road southbound approach to the proposed driveway intersection.

attachments: NHDOT traffic-volume information

Location Info		Count Data Info	
Location ID	2125001	Start Date	4/10/2019
Type	I-SECTION	End Date	4/11/2019
Functional Class	4	Start Time	12:00 AM
Located On	Dover Point Rd	End Time	12:00 AM
Between	AND	Direction	2-WAY
Direction	2-WAY	Notes	nhdot
Community	DOVER	Count Source	21250015111
MPO_ID		File Name	02125001-0410001.PRN
HPMS ID		Weather	
Agency	New Hampshire DOT	Study	
		Owner	iwong
Interval: 60 mins			
Time	Hourly Count		
00:00 - 01:00	87		
01:00 - 02:00	32		
02:00 - 03:00	21		
03:00 - 04:00	32		
04:00 - 05:00	93		
05:00 - 06:00	214		
06:00 - 07:00	483		
07:00 - 08:00	998		
08:00 - 09:00	724		
09:00 - 10:00	606		
10:00 - 11:00	584		
11:00 - 12:00	692		
12:00 - 13:00	693		
13:00 - 14:00	696		
14:00 - 15:00	842		
15:00 - 16:00	920		
16:00 - 17:00	902		
17:00 - 18:00	968		
18:00 - 19:00	716		
19:00 - 20:00	531		
20:00 - 21:00	359		
21:00 - 22:00	252		
22:00 - 23:00	126		
23:00 - 24:00	88		
TOTAL	11659		

Year 2017 Monthly Data

Group 4 Averages:

Urban Highways

<u>Month</u>	<u>ADT</u>	<u>Adjustment to</u>	
		<u>Average</u>	<u>Peak</u>
January	12,254	1.21	1.33
February	13,494	1.10	1.21
March	14,335	1.03	1.14
April	15,004	0.99	1.09
May	15,547	0.95	1.05
June	16,310	0.91	1.00
July	15,523	0.95	1.05
August	15,974	0.93	1.02
September	15,546	0.95	1.05
October	15,104	0.98	1.08
November	14,544	1.02	1.12
December	14,151	1.05	1.15
Average ADT:	14,816		
Peak ADT:	16,310		

Source: New Hampshire Department of Transportation

PROPOSED VEHICLE REFUELING & RECHARGING STATION & CONVENIENCE STORE

DOVER POINT ROAD
TAX MAP K, LOT 19C
DOVER, NEW HAMPSHIRE
APRIL 22, 2019



LOCATION MAP (not to scale)

~PERMIT PLAN~
NOT FOR CONSTRUCTION

INDEX

SHEET NO.

Existing Conditions Plan (by MSA Inc.)	1
Lot Elimination & Lot Line Adjustment Plan (by MSA Inc.)	2
Note Sheet	3
Demolition Plan	4
Site Plan	5
Grading, Drainage & Erosion Control Plan	6
Utility Plan	7
Erosion Control Notes	8
Erosion Control Detail Sheet	9
Detail Sheets	10 – 14
Lighting Plan	15
Dover Ladder Truck Movement Plan	16
Neighborhood Plan	17
Dover Point Road Striping Plan	18
Landscape Plan	19
Streetscape Plan	20
Architectural Plans	—

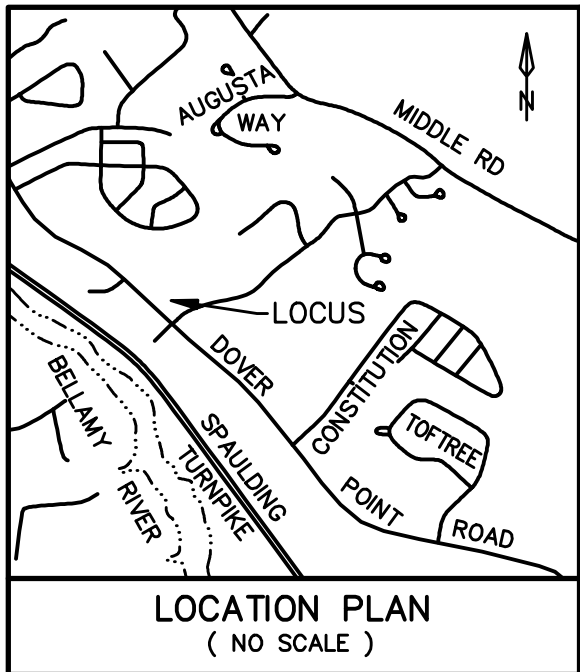
OWNER OF RECORD/PREPARED FOR:
MAC'S CONVENIENCE STORES, LLC
935 E TALLMADGE AVE
AKRON, OH 44310
TEL.: 330-696-9715

CIVIL ENGINEER:
CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

SURVEYOR:
MCENEANEY SURVEY ASSOCIATES, INC
P.O. BOX 681
DOVER, NEW HAMPSHIRE 03820
TEL.: 603-742-0911

SOIL SCIENTIST:
MICHEAL CUOMO
6 YORK POND ROAD
YORK, ME 03909
TEL.: 207-363-4532

P19-_____



No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	137°56'13"	65.00	156.48	121.34	S70°15'47"W
C2	66°49'33"	31.63	36.89	34.84	S34°42'27"W
C3	26°38'00"	175.00	81.35	80.62	S54°48'14"W
C4	90°39'01"	30.00	47.46	42.67	S86°48'44"W
C5	01°06'45"	5696.65	110.60	110.60	N47°18'23"W

No.	Bearing	Distance
L1	N46°29'57"W	50.00'
L2	S73°26'36"E	29.44'
L3	N46°45'01"W	9.82'
L4	N46°29'57"W	24.79'

K / 19

POINTE WEST, LLC
340 CENTRAL AVENUE SUITE 202
DOVER, NH 03820
4639 / 310

NOTES:

1.) OWNERS OF RECORD:

K / 19C

MACS CONVENIENCE STORES, LLC
935 EAST TALLMADGE AVENUE
AKRON, OHIO 44310
S.C.R.D. VOL. 4114, PAGE 608

OWNERS SIGNATURE

2.) K / 19C - DENOTES TAX MAP AND PARCEL NUMBER.

3.) ZONING DISTRICTS ARE:
R-12 (MEDIUM DENSITY RESIDENTIAL) AND
B-3 (THOROUGHFARE BUSINESS DISTRICT) AND
ETP (EXECUTIVE TECHNOLOGY PARK DISTRICT).

4.) DIMENSIONAL REGULATIONS:

ZONE:	R-12	
MINIMUM LOT SIZE		= 12,000 S.F.
MAXIMUM LOT COVERAGE		= 30 PERCENT
MINIMUM FRONTAGE		= 100 FEET
BUILDING REQUIREMENTS:		
FRONT BUILD TO		= 15 FEET MIN.
FRONT SETBACK		= 25 FEET MAX.
SIDE SETBACK		= 15 FEET
REAR SETBACK		= 30 FEET
ZONE:	B-3	
MINIMUM LOT SIZE		= 20,000 S.F.
MAXIMUM LOT COVERAGE		= 50 PERCENT
MINIMUM FRONTAGE		= 125 FEET
BUILDING REQUIREMENTS:		
FRONT BUILD TO		= 30 FEET
FRONT SETBACK		= 12 FEET
SIDE SETBACK		= 15 FEET
REAR SETBACK		= 15 FEET
ZONE:	ETP	
MINIMUM LOT SIZE		= 3 ACRES
MAXIMUM LOT COVERAGE		= 33 PERCENT
MINIMUM FRONTAGE		= N/A
BUILDING REQUIREMENTS:		
FRONT BUILD TO		= 50 FEET
SIDE SETBACK		= 50 FEET
REAR SETBACK		= 50 FEET

5.) THE INTENT OF THIS PLAN IS TO DEPICT AND DESCRIBE THE SUBJECT PARCEL "EXISTING CONDITIONS". INFORMATION SHOWN IS BASED ON SURVEY FIELD DATA TAKEN DURING JUNE 2006, AUGUST 2012 AND UPDATED THROUGH OCTOBER 2018 BY THIS OFFICE.

6.) PARCEL AREA: 91,443 S.F. / 2.10 Ac.

7.) THE SUBJECT PARCEL IS LOCATED WITHIN AREAS DETERMINED TO BE OUTSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145; PANEL 0340; SUFFIX E; MAP NUMBER 33017C0340E; EFFECTIVE DATE SEPTEMBER 30, 2015.

8.) BASIS OF BEARING IS THE CITY OF DOVER G.I.S. SYSTEM STATIONS TR 112 AND TR 113 WHICH WERE USED TO DETERMINE LOCATION, ORIENTATION. VERTICAL DATUM - NAVD 88.

9.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCENEANEY SURVEY ASSOCIATES, INC. DURING SEPTEMBER 2018 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.

10.) WETLANDS SHOWN WERE DELINEATED BY LEONARD A. LORD, Ph.D., CAREX ECOSCIENCES, LLC ON JULY 6, 2005 AND LOCATED BY MCENEANEY SURVEY ASSOCIATES, INC.

11.) THIS PORTION OF THE CUL-DE-SAC IS TO BECOME PART OF PARCEL K / 19C WHEN THE THORNWOOD LANE (NOW POINTE PLACE) RIGHT OF WAY IS CONTINUED. SEE REFERENCE PLAN #1.

12.) REFERENCE IS MADE TO RECIPROCAL EASEMENT AGREEMENT MADE BETWEEN SEBRING HOLDINGS, LLC AND MAC'S CONVENIENCE STORES LLC RECORDED AT S.C.R.D. IN BOOK 4114, PAGE 610, DATED APRIL 4, 2013.

SANITARY SEWER STRUCTURE SCHEDULE

EXIST. SMH "A"	EXISTING CITY CROSS-COUNTRY LINE
RIM ELEV.:	=
INVERT IN:	=
INVERT OUT:	=
EXIST. SMH "B"	EXISTING CITY CROSS-COUNTRY LINE
RIM ELEV.:	= 59.34
INVERT IN:	= 48.74 (12")
INVERT OUT:	= 48.64 (12")
EXIST. SMH "C"	EXISTING CITY CROSS-COUNTRY LINE
RIM ELEV.:	= 54.06
INVERT IN:	= 44.26 (12")
INVERT OUT:	= 44.16 (12")

STORMDRAINAGE STRUCTURE SCHEDULE

EXIST. CB "A"	
RIM	= 61.38
INVERT OUT:	= 57.28 (CB "B")
SUMP	= 54.2
12" HDPE LENGTH:	= 29.8
EXIST. DMH "B"	
RIM	= 62.27
INVERT IN:	= 57.57 (CB "A")
INVERT IN:	= 57.7 (CB "B1")
INVERT OUT:	= 57.47 (CB "C")
SUMP	= 54.8
12" HDPE LENGTH:	= 173.0
EXIST. CB "C"	
RIM	= 58.46
INVERT IN:	= 54.06 (CB "B")
INVERT OUT:	= 53.96 (CB "D")
SUMP	= 51.0
12" HDPE LENGTH:	= 69.5
EXIST. CB "D"	
RIM	= 56.96
INVERT IN:	= 52.76 (CB "C")
INVERT OUT:	= 52.66
SUMP	= 49.5
12" HDPE	
EXIST. CB "B1"	
RIM	= 61.55
INVERT OUT:	= 57.0
SUMP	= 54.8
12" HDPE	

REFERENCE PLANS:

- BOUNDARY LINE ADJUSTMENT & SUBDIVISION PLAN - ELLIOTT ROSE COMPANY OF DOVER, INC., DOVER POINT ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 40'; DATED: JUNE 28, 2002, REVISED TO 8/25/03; BY: TRITECH ENGINEERING CORP. RECORDED S.C.R.D. PLAN 72-49.
- LOT ELIMINATION AND LOT LINE ADJUSTMENT PLAN PREPARED FOR SEBRING HOLDINGS, LLC AND MACS CONVENIENCE STORES, LLC, TAX MAP K, LOT Nos. 19A, 19C, & 26, DOVER POINT ROAD & THORNWOOD LANE, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 30'; DATED: NOVEMBER 1, 2018; BY THIS OFFICE.

LEGEND

- I.R. (set) o - IRON ROD W/ I.D. CAP (SET)
- o I.P. - IRON PIPE
- G.B. - GRANITE BOUND
- o I.R. - IRON ROD
- o I.R. (fnd) - IRON ROD (FOUND)
- D.H. - DRILL HOLE
- S.F. - SQUARE FEET
- Ac. - ACRE
- (TYP.) - TYPICAL
- ± - MORE OR LESS
- Ø - DIAMETER
- S.C.R.D. - STRAFFORD COUNTY
- REGISTRY OF DEEDS
- o- UP - UTILITY POLE
- - EDGE OF WETLAND
- - EDGE OF PAVEMENT
- O.A. - OVERALL
- R.O.W. - RIGHT OF WAY
- DMH - DRAIN MANHOLE
- CB - CATCH BASIN
- SMH - SEWER MANHOLE
- HYD. - FIRE HYDRANT
- WV - WATER GATE VALVE
- GV - GAS VALVE
- 20' WIDE SEWER EASEMENT BENEFITING CITY OF DOVER S.C.R.D. 1009 / 804
- 20' WIDE SEWER EASEMENT BENEFITING CITY OF DOVER S.C.R.D. 1021 / 712
- IRON ROD SET CITY COORDINATES N - 246,787.34 E - 714,572.53
- ETP R-12
- 50' WIDE WETLAND BUFFER (TYP.)
- SEBRING HOLDINGS, LLC 340 CENTRAL AVENUE, SUITE 202 DOVER, NH 03820 4056 / 18
- HERBERT E. FOLLANSBEE MARILYN FOLLANSBEE 25 DOVER POINT ROAD DOVER, NH 03820 987 / 64
- ROBERT V. PAOLINI, TRUSTEE JNM REALTY TRUST 242 CENTRAL AVENUE DOVER, NH 03820 3795 / 336
- KENNETH WILKINS HEIDI G. WILKINS 58 TEMPERANCE HILL DRIVE NORTHWOOD, NH 03261 4164 / 663
- STF DEVELOPMENT CORPORATION 242 CENTRAL AVENUE DOVER, NH 03820 4197 / 156
- STF DEVELOPMENT CORPORATION 242 CENTRAL AVENUE DOVER, NH 03820 3771 / 979
- ROMAN CATHOLIC BISHOP OF MANCHESTER 153 ASH STREET MANCHESTER, NH 03104

K / 18A-10

CITY OF DOVER
288 CENTRAL AVENUE
DOVER, NH 03820
991 / 26 [R-12]
4456 / 510 [ETP]

PARCEL AREA
91,443 S.F.
2.10 Ac.

K / 19B

JBACK REALTY, LLC
34 DOVER POINT ROAD
DOVER, NH 03820
2826 / 516

K / 39

ROMAN CATHOLIC BISHOP
OF MANCHESTER
153 ASH STREET
MANCHESTER, NH 03104

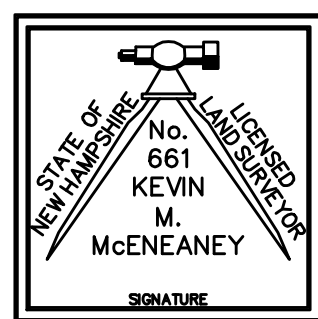
"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 676:18)

DATE: / KEVIN M. MCENEANEY LLS # 661

EXISTING CONDITIONS PLAN OF LAND
PREPARED FOR
MACS CONVENIENCE STORES, LLC
TAX MAP K, LOT No. 19C
DOVER POINT ROAD & POINTE PLACE
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

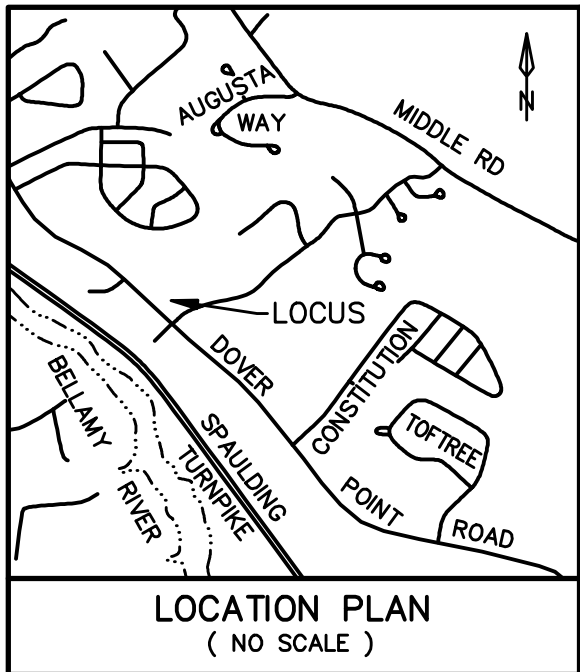
DOVER PLANNING FILE No. P 18-____
DRAWN BY: RJM FILE: W10 CP\1720\18-1720 EC
SCALE: 1" = 30' DATE: NOV. 1, 2018



McEneaney
Survey
Associates, inc.

P.O. Box 681 - 24 CHESTNUT STREET
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING



LEGEND

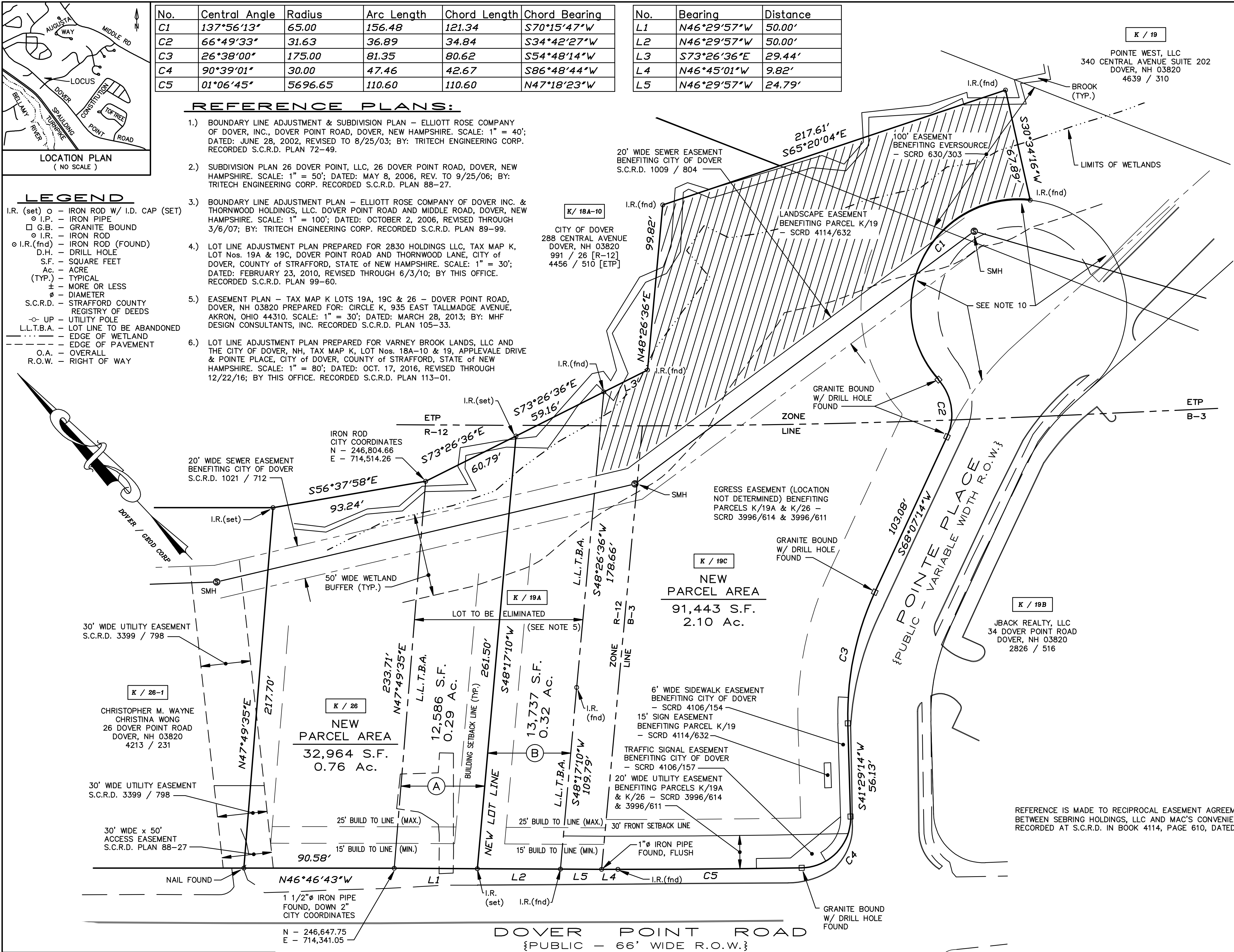
I.R. (set) ○ - IRON ROD W/ I.D. CAP (SET)
○ I.P. - IRON PIPE
□ G.B. - GRANITE BOUND
○ I.R. - IRON ROD
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D.H. - DRILL HOLE
S.F. - SQUARE FEET
Ac. - ACRE
(TYP.) - TYPICAL
± - MORE OR LESS
Ø - DIAMETER
S.C.R.D. - STRAFFORD COUNTY
REGISTRY OF DEEDS
-o- UP - UTILITY POLE
--- L.L.T.B.A. - LOT LINE TO BE ABANDONED
--- EDGE OF WETLAND
--- EDGE OF PAVEMENT
--- O.A. - OVERALL
R.O.W. - RIGHT OF WAY

No.	Central Angle	Radius	Arc Length	Chord Length	Chord Bearing
C1	137°56'13"	65.00	156.48	121.34	S70°15'47"W
C2	66°49'33"	31.63	36.89	34.84	S34°42'27"W
C3	26°38'00"	175.00	81.35	80.62	S54°48'14"W
C4	90°39'01"	30.00	47.46	42.67	S86°48'44"W
C5	01°06'45"	5696.65	110.60	110.60	N47°18'23"W

REFERENCE PLANS:

- BOUNDARY LINE ADJUSTMENT & SUBDIVISION PLAN - ELLIOTT ROSE COMPANY OF DOVER, INC., DOVER POINT ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 40'; DATED: JUNE 28, 2002, REVISED TO 8/25/03; BY: TRITECH ENGINEERING CORP. RECORDED S.C.R.D. PLAN 72-49.
- SUBDIVISION PLAN 26 DOVER POINT, LLC, 26 DOVER POINT ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 50'; DATED: MAY 8, 2006, REV. TO 9/25/06; BY: TRITECH ENGINEERING CORP. RECORDED S.C.R.D. PLAN 88-27.
- BOUNDARY LINE ADJUSTMENT PLAN - ELLIOTT ROSE COMPANY OF DOVER INC. & THORNWOOD HOLDINGS, LLC. DOVER POINT ROAD AND MIDDLE ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 100'; DATED: OCTOBER 2, 2006, REVISED THROUGH 3/6/07; BY: TRITECH ENGINEERING CORP. RECORDED S.C.R.D. PLAN 89-99.
- LOT LINE ADJUSTMENT PLAN PREPARED FOR 2830 HOLDINGS LLC, TAX MAP K, LOT Nos. 19A & 19C, DOVER POINT ROAD AND THORNWOOD LANE, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 30'; DATED: FEBRUARY 23, 2010, REVISED THROUGH 6/3/10; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 99-60.
- EASEMENT PLAN - TAX MAP K LOTS 19A, 19C & 26 - DOVER POINT ROAD, DOVER, NH 03820 PREPARED FOR: CIRCLE K, 935 EAST TALLMADGE AVENUE, AKRON, OHIO 44310. SCALE: 1" = 30'; DATED: MARCH 28, 2013; BY: MHF DESIGN CONSULTANTS, INC. RECORDED S.C.R.D. PLAN 105-33.
- LOT LINE ADJUSTMENT PLAN PREPARED FOR VARNEY BROOK LANDS, LLC AND THE CITY OF DOVER, NH, TAX MAP K, LOT Nos. 18A-10 & 19, APPLEVALE DRIVE & POINTE PLACE, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE. SCALE: 1" = 80'; DATED: OCT. 17, 2016, REVISED THROUGH 12/22/16; BY THIS OFFICE. RECORDED S.C.R.D. PLAN 113-01.

No.	Bearing	Distance
L1	N46°29'57"W	50.00'
L2	N46°29'57"W	50.00'
L3	S73°26'36"E	29.44'
L4	N46°45'01"W	9.82'
L5	N46°29'57"W	24.79'



NOTES:

- OWNERS OF RECORD:

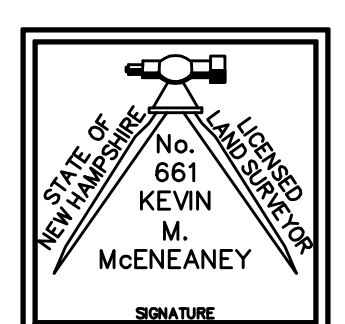
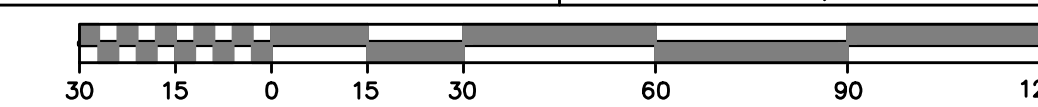
K / 19A	SEBRING HOLDINGS, LLC 340 CENTRAL AVENUE, SUITE 202 DOVER, NEW HAMPSHIRE 03820 S.C.R.D. VOL. 4056, PAGE 18	OWNERS SIGNATURE
K / 19C	MACS CONVENIENCE STORES, LLC 935 EAST TALLMADGE AVENUE AKRON, OHIO 44310 S.C.R.D. VOL. 4114, PAGE 608	OWNERS SIGNATURE
K / 26	SEBRING HOLDINGS, LLC 340 CENTRAL AVENUE, SUITE 202 DOVER, NEW HAMPSHIRE 03820 S.C.R.D. VOL. 4056, PAGE 18	OWNERS SIGNATURE
- K / 19C - DENOTES TAX MAP AND PARCEL NUMBER.
- ZONING DISTRICT IS R-12 (MEDIUM DENSITY RESIDENTIAL) AND PORTIONS OF PARCEL K / 19C ARE ALSO LOCATED WITHIN THE B-3 (THOROUGHFARE BUSINESS DISTRICT) AND ETP (EXECUTIVE TECHNOLOGY PARK DISTRICT).
- DIMENSIONAL REGULATIONS:

ZONE:	R-12	
MINIMUM LOT SIZE		= 12,000 S.F.
MAXIMUM LOT COVERAGE		= 30 PERCENT
MINIMUM FRONTAGE		= 100 FEET
BUILDING REQUIREMENTS:		
FRONT BUILD TO		= 15 FEET MIN.
SIDE SETBACK		= 25 FEET MAX.
REAR SETBACK		= 15 FEET
ZONE:	B-3	
MINIMUM LOT SIZE		= 20,000 S.F.
MAXIMUM LOT COVERAGE		= 50 PERCENT
MINIMUM FRONTAGE		= 125 FEET
BUILDING REQUIREMENTS:		
FRONT		= 30 FEET
SIDE SETBACK		= 12 FEET
REAR SETBACK		= 15 FEET
ZONE:	ETP	
MINIMUM LOT SIZE		= 3 ACRES
MAXIMUM LOT COVERAGE		= 33 PERCENT
MINIMUM FRONTAGE		= N/A
BUILDING REQUIREMENTS:		
FRONT BUILD TO		= 50 FEET
SIDE SETBACK		= 50 FEET
REAR SETBACK		= 50 FEET
- PLAN INTENT: PARCEL K/19A IS BEING ELIMINATED AND TO ADJUST THE LOT LINES AS SHOWN. (FORMER) PARCEL K/19A IS TO BE DIVIDED AS SHOWN. TRACT A 12,586 S.F. / 0.29 Ac. IS TO BE ADDED TO PARCEL K / 26 TRACT B 13,737 S.F. / 0.32 Ac. IS TO BE ADDED TO PARCEL K / 19C
- PARCEL AREAS:

PARCEL	ORIGINAL AREA	NEW AREA
K / 19A	26,323 S.F. / 0.60 Ac.	ELIMINATED
K / 19C	77,707 S.F. / 1.78 Ac.	91,443 S.F. / 2.10 Ac.
K / 26	20,378 S.F. / 0.47 Ac.	32,964 S.F. / 0.76 Ac.
- THE SUBJECT PARCELS ARE LOCATED WITHIN AREAS DETERMINED TO BE OUTSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330145; PANEL 0340; SUFFIX E; MAP NUMBER 33017C0340E; EFFECTIVE DATE SEPTEMBER 30, 2015.
- BASIS OF BEARING IS THE CITY OF DOVER G.I.S. SYSTEM STATIONS TR 112 AND TR 113 WHICH WERE USED TO DETERMINE LOCATION, ORIENTATION. VERTICAL DATUM - NAVD 88.
- PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY MCNEANEY SURVEY ASSOCIATES, INC. DURING SEPTEMBER 2018 WITH AN ERROR NOT GREATER THAN 1 IN 10,000.
- THIS PORTION OF THE CUL-DE-SAC IS TO BECOME PART OF PARCEL K / 19C WHEN THE (FKA THORNWOOD LANE), (NOW POINTE PLACE) RIGHT OF WAY IS CONTINUED. SEE REFERENCE PLAN #1.

LOT ELIMINATION
AND
LOT LINE ADJUSTMENT PLAN
PREPARED FOR
SEBRING HOLDINGS, LLC
AND
MACS CONVENIENCE STORES, LLC
TAX MAP K, LOT Nos. 19A, 19C, & 26
DOVER POINT ROAD & POINTE PLACE
CITY of DOVER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 18-____
DRAWN BY: RJM FILE: W10 CP\1720\18-1720 LLADJ
SCALE: 1" = 30' DATE: NOV. 1, 2018



McEaney
Survey
Associates, inc.

P.O. Box 681 - 24 CHESTNUT STREET
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
18-1720	LL ADJ	18-06	22-27	
PROJECT NO	TYPE	FIELDBOOK & PAGES		

K / 35 ROBERT V. PAOLINI, TRUSTEE
JNM REALTY TRUST
242 CENTRAL AVENUE
DOVER, NH 03820
3795 / 336
HERBERT E. FOLLANSBEE
MARILYN FOLLANSBEE
25 DOVER POINT ROAD
DOVER, NH 03820
987 / 64

K / 36-31 KENNETH WILKINS
HEIDI G. WILKINS
58 TEMPERANCE HILL DRIVE
NORTHWOOD, NH 03261
4164 / 663

K / 37 STF DEVELOPMENT CORPORATION
242 CENTRAL AVENUE
DOVER, NH 03820
4197 / 156

K / 38 STF DEVELOPMENT CORPORATION
242 CENTRAL AVENUE
DOVER, NH 03820
3771 / 979

K / 39 ROMAN CATHOLIC BISHOP
OF MANCHESTER
153 ASH STREET
MANCHESTER, NH 03104

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

GENERAL NOTES:

1. SUBJECT PARCEL IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA (COMMUNITY PANEL NUMBER 33017C0340E, EFFECTIVE DATE: SEPTEMBER 30, 2015).
2. WETLANDS WERE DELINEATED BY LEONARD A LORD, PH.D., CAREX ECOSCIENCES, LLC ON JULY 6, 2005 AND LOCATED BY MCNEANEY SURVEY ASSOCIATES, INC.
- ZONING BOARD OF ADJUSTMENT BY SPECIAL EXCEPTION GRANTED: 218-18 MARCH 21, 2019
CONDITIONAL USE PERMIT GRANTED BY PLANNING BOARD: PENDING
EPA NOTICE OF INTENT PERMIT NO.: PENDING

DEMOLITION NOTES:

1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
6. SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT TO REMAIN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
11. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE IT.
13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
14. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

SITE NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT IMPROVEMENTS ASSOCIATED WITH A 5,275 SF REFUELING STATION & CONVENIENCE STORE ALONG WITH A GAS PUMP CANOPY. THE NEW ENTRANCE/EXIT ONTO DOVER POINT ROAD WILL BECOME A SHARED DRIVE WITH THE ABUTTING LOT TAX MAP K LOT 28.
2. CURRENT OWNER: MAC'S CONVENIENCE STORES, LLC
935 E TALLMADGE AVE
AKRON, OH 44310
3. THE PROPOSED USE FOR THE SITE IS A CONVENIENCE STORE AND REFUELING STATION.
4. THE PROJECT PARCEL IS SHOWN AS LOT NO 19A, 19C & 28, MAP K OF THE CITY OF DOVER TAX ASSESSOR'S MAPS.
5. THE PROJECT PARCEL(S) CONTAINS 2.86 ACRES OR 124,407 SQUARE FEET AREA OF LAND.
6. TITLE REFERENCE FOR THE PROJECT PARCEL(S) IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, BOOK NO. VOL. 4114 PAGE 608.
7. TOPOGRAPHIC SURVEY PERFORMED BY MCNEANEY SURVEY ASSOCIATES, INC SEPTEMBER 2018.
8. BASIS OF BEARING IS CITY OF DOVER / GEOD CORP G.I.S. COORDINATES BASED ON S.C.R.D. PLAN.
9. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
10. STRIPE ON-SITE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
11. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
12. SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
13. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
14. ON-SITE PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3"-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
15. THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
16. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
17. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR TOWN CODES & SPECIFICATIONS.
18. ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE CITY OF DOVER COMMUNITY SERVICES REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
19. COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM WITH DOVER CITY CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
20. DOVER POINT ROAD IS CURRENTLY MAINTAINED BY THE CITY OF DOVER. ALL WORK WITHIN THE ROAD SHALL BE COORDINATED WITH CITY.
21. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
22. SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
23. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
24. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
25. EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
26. SNOW STORAGE WILL BE ACCORDING TO THE OPERATION AND MAINTENANCE PLAN AND WITHIN AREAS AS INDICATED.
27. PRIOR TO CONSTRUCTION A STORMWATER POLLUTION AND PREVENTION PLAN AND NOTICE OF INTENT SHALL BE SUBMITTED FOR AN NPDES CONSTRUCTION PERMIT.
28. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS. ALL OFF-SITE MARKINGS SHALL BE REFLECTIVE AND THERE SHALL BE NO DIAGONAL STRIPING IN ROADWAY.
29. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED.
30. SPECIAL EXCEPTION CASE NUMBER Z-1001 WAS GRANTED ON JUNE 17, 2010 FOR THE GASOLINE STATION WITHIN A B-3 THOROUGHFARE BUSINESS DISTRICT. THE FOLLOWING ARE THE SPECIAL EXCEPTION REQUIREMENTS:
A. THE USE OF LAND FOR A GASOLINE AND AUTO SERVICE STATION MAY ONLY BE PERMITTED UPON THE DETERMINATION THAT THE PROPERTY VALUES OF ADJACENT LAND WILL NOT BE COMPROMISED. ANY GASOLINE AND AUTO SERVICE STATION WHICH DISCONTINUES OPERATIONS FOR A PERIOD IN EXCESS OF NINETY (90) DAYS SHALL BE REQUIRED TO FILE A NEW APPLICATION FOR A SPECIAL EXCEPTION WITH THE ZONING BOARD OF ADJUSTMENT. SUCH CONDITIONS MAY INCLUDE BUT NEED NOT BE LIMITED TO THE PROVISION OF ADEQUATE AND PROPERLY MAINTAINED SCREENING AROUND LAND SO USED.
B. THE MINIMUM LOT SIZE SHALL BE SIXTY THOUSAND (60,000) SQUARE FEET, THE MINIMUM LOT WIDTH SHALL BE ONE HUNDRED FIFTY (150) FEET, TWENTY-FIVE PERCENT (25%) OF THE SUBJECT PARCEL SHALL BE OPEN/GREEN SPACE. THE TOTAL PERMITTED SIGN AREA SHALL NOT EXCEED ONE HUNDRED (100) SQUARE FEET.
31. THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
32. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN 50 FT OF THE CONSERVATION OR WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK.
33. BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
34. A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE I, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER.
35. CONFIRM PYLON SIGN LOCATION PRIOR TO CONSTRUCTION. FINAL LOCATION SHALL BE BASED ON SIGHT DISTANCES AND SHALL NOT CONFLICT WITH PROPOSED FUTURE INTERSECTION IMPROVEMENTS.
36. ALL OFF-SITE SIGN POSTS SHALL BE 2" SQUARE, GALVANIZED AND WITH BREAKAWAY BASES.
37. THIS ENTRANCE/EXIT ONTO DOVER POINT ROAD WILL BE SHARED BY PARCELS K-19C AND K-28 AND IS DEFINED WITHIN THE "RECIPROCAL ACCESS AGREEMENT" WHICH WILL BECOME PART OF THIS PLAN WHEN THE PLAN IS APPROVED. THE COPY OF THE FULL AGREEMENT IS ON FILE WITH THE DOVER PLANNING OFFICE. WHEN THIS PLAN IS APPROVED THE EXISTING PAVED ACCESS FOR PARCELS K-28 WILL BE ABANDONED.
38. WHEN PARCEL K-28 IS DEVELOPED, ACCESS TO THE PARCEL WILL BE ALLOWED FROM THE SHARED DRIVEWAY. AS REQUESTED BY THE PLANNING BOARD A "POTENTIAL" ACCESS HAS BEEN SHOWN FOR REFERENCE ONLY AND THE ACTUAL LOCATION IS SUBJECT TO CHANGE AND WILL BE DEFINED ON FUTURE DEVELOPMENT PLANS FOR PARCEL K-19A. THE DEVELOPER OF PARCEL K-28 WILL DESIGN AND IMPLEMENT THEIR ACCESS TO THE SHARED DRIVEWAY AND WILL RELOCATE THE FENCE AND VEGETATED SCREENING AS APPROPRIATE TO MAINTAIN SCREENING.
39. CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY - FRIDAY 7 A.M. - 6 P.M., SATURDAY & SUNDAY 9 A.M. - 4 P.M. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE SHALL BE LOCATED AND APPROVED BY THE CITY ENGINEER OR DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.
40. THE SITE SHALL BE ACCESSIBLE IN ALL WEATHER CONDITIONS AT ALL TIMES DURING CONSTRUCTION.
41. A BUILDING PERMIT IS REQUIRED FOR FENCES OVER 6' HIGH.
42. THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL BE ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS.
43. ALL EXTERIOR DOORS ARE MANUAL AND OPENED FROM THE INTERIOR BY PANIC HARDWARE. ALL EXTERIOR DOORS SHALL COMPLY WITH ADA AND ALL LOCAL BUILDING CODE REQUIREMENTS.

GRADING & DRAINAGE NOTES

1. COMPACTION REQUIREMENTS
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
- *ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOO C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1558 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR APPROVED EQUAL), OR RCP CLASS IV AS SPECIFIED. RCP SHALL BE PROVIDED FOR ANY DRAINAGE PIPE WITH LESS THEN 2.5 FEET OF COVER.
3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, AND RAMP AREAS ADJACENT TO THE BUILDING.
6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
9. ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
10. ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE CITY OF DOVER COMMUNITY SERVICES REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
11. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
12. SEE EXISTING CONDITIONS PLAN FOR ADDITIONAL BENCH MARK INFORMATION.
13. OIL/WATER SEPARATOR HOODS SHALL BE INSTALLED ON ALL CATCHBASINS.
14. FOUNDATION DRAINS MAY BE REQUIRED. COORDINATE WITH FINAL ARCHITECTURAL PLANS.
15. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.

EROSION CONTROL NOTES

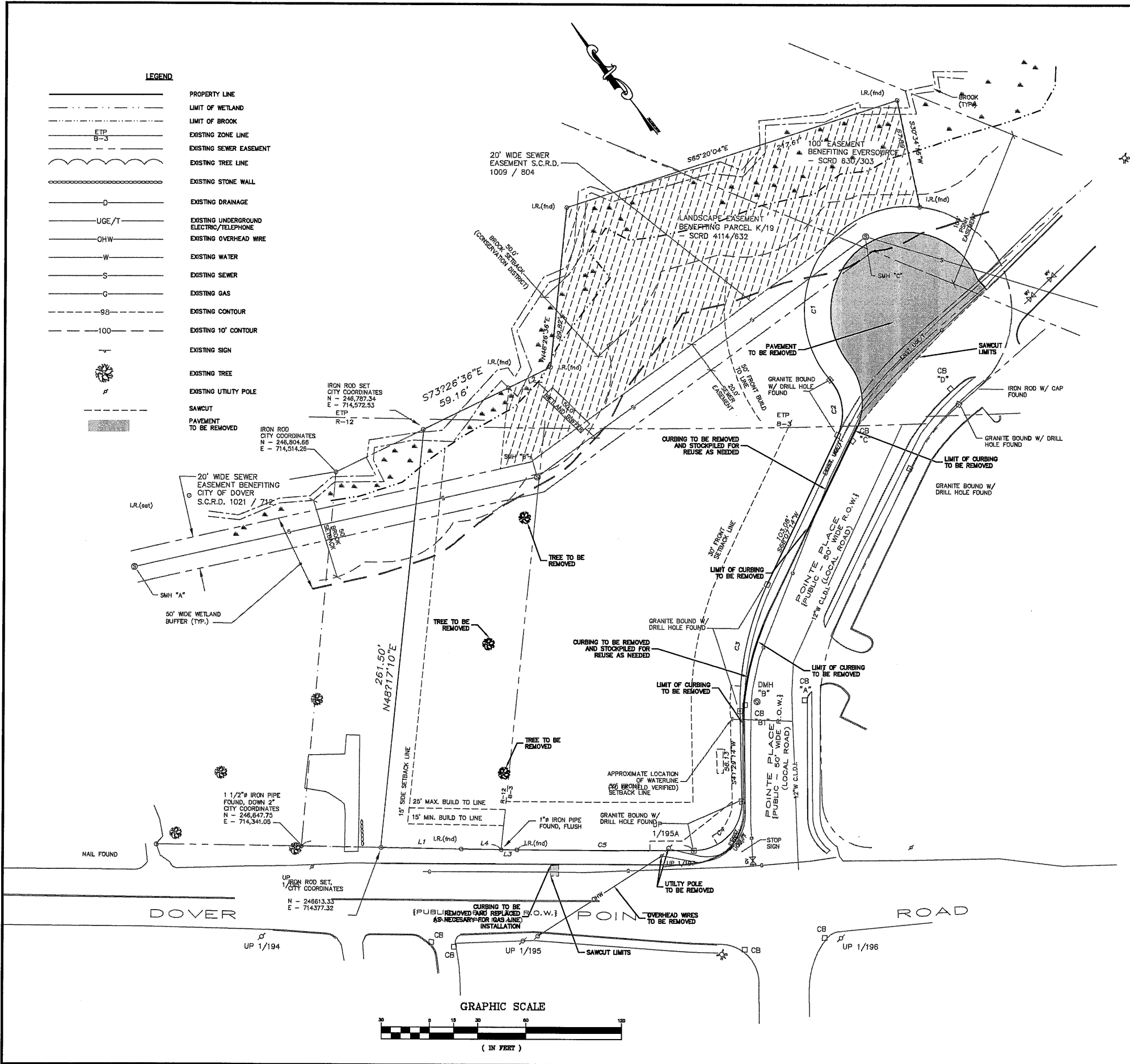
1. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
2. THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN THE 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
3. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE AND APPROVED CONSTRUCTION SIGN SHALL BE IN PLACE PRIOR TO ANY EARTH DISTURBING ACTIVITY.
4. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
5. PROVIDE INLET PROTECTION AT ALL EXISTING AND PROPOSED CATCHBASIN INLETS AS SHOWN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. CONTRACTOR SHALL USE "SILT SACKS" WITHIN EXISTING CATCH BASINS.
6. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
7. INSPECT INLET PROTECTION AND SILT SOXES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARIID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT SOXX AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND AND NON-PAVED SWALES.
13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) CHUTE ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.
15. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED ACCORDING TO THE REQUIREMENTS FOR INDUSTRIAL WASTES AND COPIES OF EACH SWPPP INSPECTION REPORT SHALL ALSO BE PROVIDED TO THE CITY OF DOVER ENVIRONMENTAL PROJECTS MANAGER.
16. THE OWNER OF RECORD SHALL RECORD AT THE REGISTRY OF DEEDS DOCUMENTATION SUFFICIENT TO PROVIDE NOTICE TO ALL PERSONS THAT MAY ACQUIRE ANY PROPERTY SUBJECT TO THE REQUIREMENTS AND RESPONSIBILITIES DESCRIBED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE NOTICE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR RECORDING CONTAINED BY RSA 477 AND 478. THE NOTICE NEED NOT SET FORTH THE REQUIREMENTS AT LENGTH, SO LONG AS IT IS SUFFICIENT TO PROVIDE NOTICE TO PROSPECTIVE PURCHASERS TO THE REQUIREMENTS FOR MAINTENANCE AND REPORTING.

UTILITY NOTES

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
NATURAL GAS - UNILIT CORPORATION
CONTACT: DAVID BEAULIEU
325 WEST ROAD
PORTSMOUTH, NH 03801
T: (603)-294-3144
- CITY OF DOVER COMMUNITY SERVICES DEPARTMENT
- PUBLIC WORKS & UTILITIES
CONTACT: BILL BOULANGER
271 EAST ROAD
DOVER, NH 03820
T: (603)-516-6450
PUBLIC SERVICE OF NEW HAMPSHIRE
CONTACT: PIERRE BOUGIE
74 OLD DOVER ROAD
ROCHESTER, NH 03867
T: (603)-332-4227
- FAIRPOINT COMMUNICATIONS, INC.
ED LANAHAN
HIGHWAY 33, BOX 307
1578 GREENLAND ROAD
GREENLAND, NH 03804
T: (603)-528-7335
3. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
4. THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED. SITE PLANS SHALL SHOW ANY EASEMENTS FOR THESE SERVICES.
5. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
6. THE SUBJECT PARCEL(S) IS (ARE) SERVED BY MUNICIPAL WATER AND SEWER
7. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
8. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, DOUBLE CEMENT LINED DUCTILE IRON PIPE OR TYPE "K" COPPER, OR CITY APPROVED MATERIAL.
9. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF DOVER WATER DEPARTMENT.
10. ALL GRAVITY SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED AND CONFORM TO THE REQUIREMENTS OF THE CITY OF DOVER SEWER DEPARTMENT STANDARDS.
11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE CITY OF DOVER COMMUNITY SERVICES DEPARTMENT STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
14. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
15. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
16. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
17. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES. COORDINATE WITH GAS COMPANY.
18. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
19. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
20. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
21. GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF DOVER.
22. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF DOVER.
23. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
24. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
25. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PREPARED BY THE PROJECT ELECTRICAL ENGINEER AND PROVIDED TO THE CITY OF DOVER ENGINEER.
26. APPROVED BACKFLOW PREVENTORS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
27. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
28. A SECURITY ALARM SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE I, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER.
29. THE PROPOSED STRUCTURE SHALL COMPLY WITH CHAPTER 109, ARTICLE IV, SECTION 109-30 AND THE 2015 STATE BUILDING CODES OF THE CODE OF THE CITY OF DOVER.
30. FINAL PLANS FOR TANK LOCATIONS, DISTRIBUTION SYSTEMS, AND CROSS SECTIONS ASSOCIATED WITH THE FUEL BAYS, SHALL BE PROVIDED TO THE CITY OF DOVER ENGINEER PRIOR TO CONSTRUCTION.
31. FIRE SUPPRESSION PLANS SHALL BE PROVIDED TO THE FIRE/INSPECTION DEPARTMENT PRIOR TO INSTALLATION.
32. THE STRUCTURE SHALL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER CHAPTER 109- 30 OF THE CODE OF THE CITY OF DOVER AND THE 2015 STATE BUILDING CODES.
33. SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED.
34. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13.

APPLICANT/OWNER OF RECORD:
MAC'S CONVENIENCE
STORES, LLC
935 E TALLMADGE AVE
AKRON, OH 44310

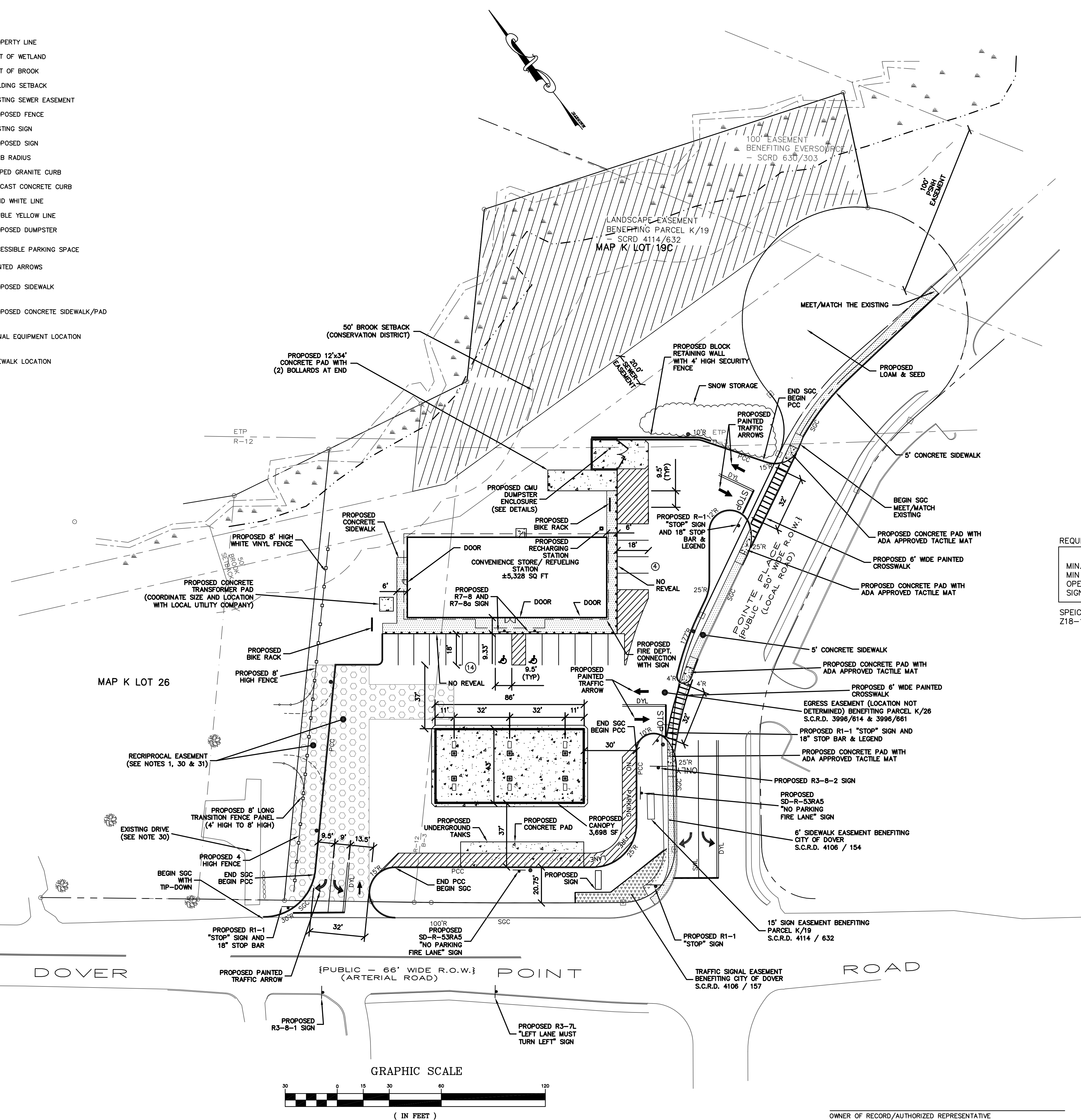
CIRCLE K
MAP K, LOT 19
30 DOVER POINT ROAD
DOVER, NH 03820



REFERENCE PLAN
1. "EXISTING CONDITIONS PLAN OF LAND" PREPARED FOR MAC'S CONVENIENCE STORES LLC; TAX MAP K, LOT NO. 19C; DOVER POINT ROAD & THORNWOOD LANE, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE; FILE VR CP\1720/2017 HAHGT; PREPARED BY MCNEANEY SURVEY ASSOCIATES, INC.; SCALE: 1"=30'; DATE: FEBRUARY 14, 2017.

PLANNING FILE #P19-		PERMIT PLAN - NOT FOR CONSTRUCTION	
DEMOLITION PLAN		CIVILWORKS NEW ENGLAND	
PROJECT: CIRCLE K LOT 19, MAP K, LOT 19, 30 DOVER POINT ROAD, DOVER, NH 03820		181 Watson Road, P.O. Box 1166, Dover, New Hampshire 03820, (603) 789-0443	
APPLICANT/OWNER OF RECORD: MAC'S CONVENIENCE STORES, LLC, 935 E TALLMADGE AVE, AKRON, OH 44310		DATE: 4-4-19	
		SCALE: 1"=30'	
		DRAWN BY: SRD	
		DESIGN BY: SRD	
		APPROVED BY: SH	
		PROJECT NO: 1877	
		FILE STEDWG	
		NO.	
		REVISION	
		APPD	
		DATE	

- LEGEND**
- PROPERTY LINE
 - LIMIT OF WETLAND
 - LIMIT OF BROOK
 - BUILDING SETBACK
 - EXISTING SEWER EASEMENT
 - PROPOSED FENCE
 - EXISTING SIGN
 - PROPOSED SIGN
 - 5'R CURB RADIUS
 - SGC SLOPED GRANITE CURB
 - PCC PRECAST CONCRETE CURB
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - D PROPOSED DUMPSTER
 - P ACCESSIBLE PARKING SPACE
 - PAINTED ARROWS
 - PROPOSED SIDEWALK
 - PROPOSED CONCRETE SIDEWALK/PAD
 - SIGNAL EQUIPMENT LOCATION
 - SIDEWALK LOCATION



REFERENCE PLAN
1. "EXISTING CONDITIONS PLAN OF LAND" PREPARED FOR MACS CONVENIENCE STORES LLC;
TAX MAP K, LOT NO. 19C, DOVER POINT ROAD & POINTE PLACE, CITY OF DOVER,
COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE; FILE W10 CP1720/18-1720 EC;
PREPARED BY MCNEANEY SURVEY ASSOCIATES, INC.; SCALE: 1"=30'; DATE: NOV. 1,
2018.

BICYCLE RACK REQUIREMENTS		
MINIMUM NUMBER OF BIKE STORAGE SPACES:	REQUIRED	PROVIDED
5% TOTAL REQUIRED PARKING	2 SPACES	5 SPACES

DRIVEWAY REQUIREMENTS		
# OF DRIVEWAYS 1/400 FT OF FRONTAGE (ARTERIAL ROAD)	1	2
# OF DRIVEWAYS 1/125 FT OF FRONTAGE (LOCAL ROAD)	3	2
MINIMUM DISTANCE FROM INTERSECTION (LOCAL ROAD -35 MPH)	155'	*135
MINIMUM DRIVEWAYS SEPARATION (LOCAL ROAD -35 MPH)	155'	*110
* A WAIVER WAS GRANTED (SEE NOTICE OF DECISION AUG. 31, 2010)		

DIMENSIONAL REQUIREMENTS (ZONES R-12, B-3 ETP)		
MINIMUM LOT AREA	REQUIRED	PROPOSED
OUTSIDE CONSERVATION DISTRICT	*60,000 SF	*91,443 SF
MINIMUM LOT FRONTAGE	125'	*219
MINIMUM LOT WIDTH	*150'	*214'
FRONT YARD SETBACK	50'	*164'
SIDE YARD SETBACK (ABUT A LOT)	12'	*52'
SIDE YARD SETBACK (ABUT A STREET)	50'	50'
REAR YARD SETBACK	15'	>67'
MAXIMUM BUILDING COVERAGE	50%	*11.7%
MINIMUM LOT OPEN SPACE	*25%	54.8%
MAXIMUM BUILDING HEIGHT	40'	<40'
MINIMUM SIGN SETBACK	0'	2'
MAXIMUM SIGN HEIGHT	30'	<30'
MINIMUM INTERIOR PARKING LANDSCAPE	5%	N/A

* ZONING REQUIREMENTS SPECIFIC TO GASOLINE AND AUTO SERVICE STATIONS
** INCLUDES GAS DISPENSER CANOPY

PARKING REQUIREMENTS		
PARKING STALL SIZE (90')	MAX. ALLOWED	PROPOSAL
	9'x18'	9.5'x18'
MINIMUM ACCESS WAY WIDTH	22' AISLE	24' AISLE
PARKING CALCULATIONS:		
RETAIL (1 SPACE PER 275 SF) (±5,275 SF)	21 SPACES	18 SPACES
GAS ISLAND (2 SPACES PER FUELING LOCATION) (6 X 2)		12 SPACES
TOTAL		30* SPACES
* 1 SPACE IS A RECHARGING STATION		

REQUIRED AS SPECIAL EXCEPTION CRITERIA FOR GASOLINE STATION

	REQUIRED	PROPOSED
MIN. LOT SIZE	80,000 S.F.	91,443 S.F.
MIN LOT WIDTH	150 FT	214 FT
OPEN SPACE	30%	45%
SIGN AREA	100 S.F.	NOT REQUESTING SIGNAGE AT THIS TIME

SPECIAL EXCEPTION Z18-18
Z18-18 GRANTED 3-21-19

PLANNING FILE #P19-

SITE PLAN

PROJECT:

CIRCLE K
MAP K, LOT 19
30 DOVER POINT ROAD
DOVER, NH 03820

5

~PERMIT PLAN~
NOT FOR CONSTRUCTION

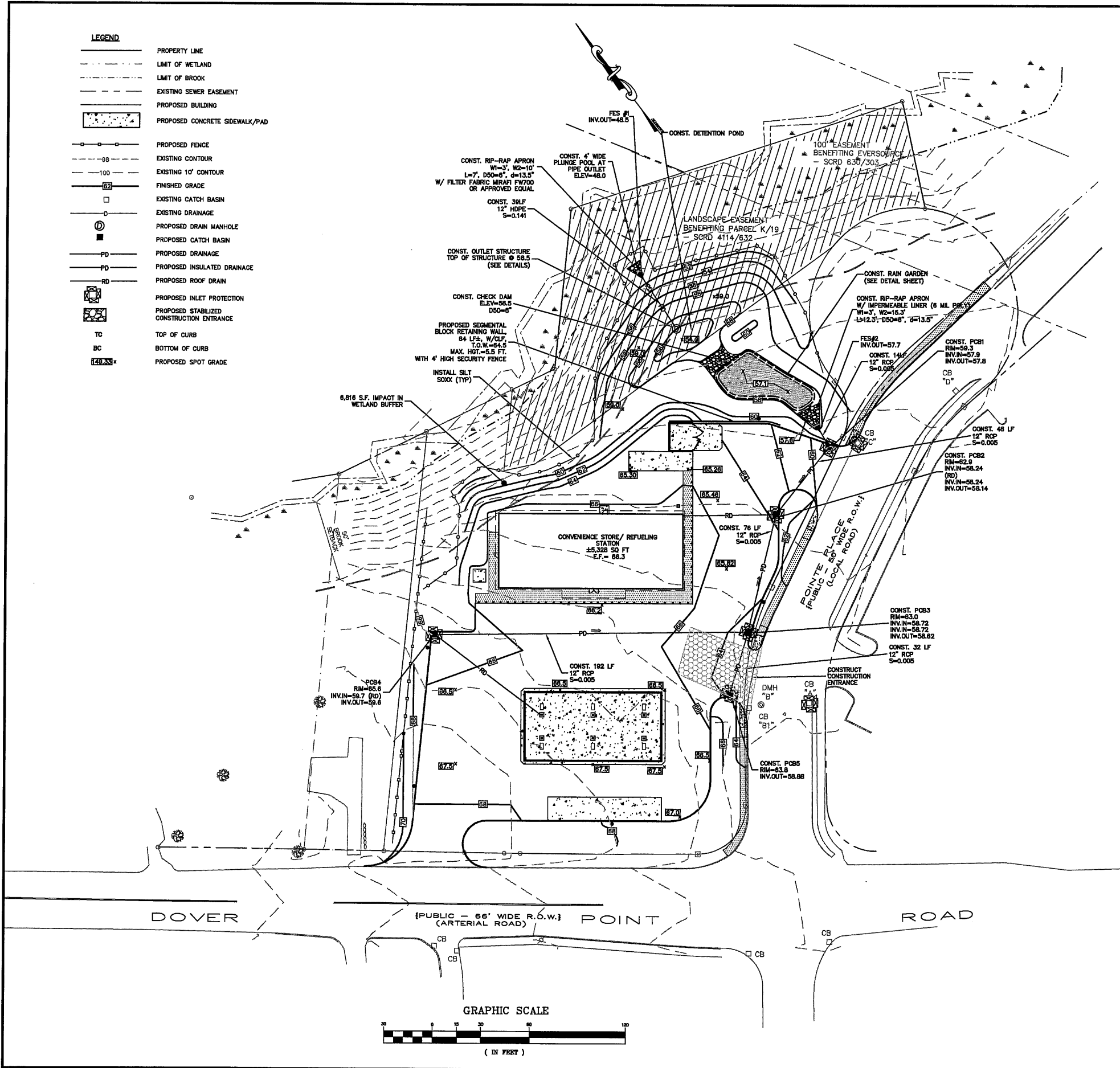
CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, NH 03820
(603) 749-0443

DATE: 4-4-19
SCALE: 1"=30'
DRAWN BY: SRD
DESIGN BY: SRD
APPROVED BY: SH
PROJECT NO: 1677
FILE: SITE.DWG

REVISION

AP'D

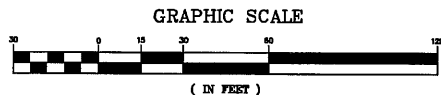
DATE



- LEGEND**
- PROPERTY LINE
 - LIMIT OF WETLAND
 - LIMIT OF BROOK
 - EXISTING SEWER EASEMENT
 - PROPOSED BUILDING
 - PROPOSED CONCRETE SIDEWALK/PAD
 - PROPOSED FENCE
 - EXISTING CONTOUR
 - EXISTING 10' CONTOUR
 - FINISHED GRADE
 - EXISTING CATCH BASIN
 - EXISTING DRAINAGE
 - PROPOSED DRAIN MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED DRAINAGE
 - PROPOSED INSULATED DRAINAGE
 - PROPOSED ROOF DRAIN
 - PROPOSED INLET PROTECTION
 - PROPOSED STABILIZED CONSTRUCTION ENTRANCE
 - TOP OF CURB
 - BOTTOM OF CURB
 - PROPOSED SPOT GRADE

EXISTING STORM DRAINAGE STRUCTURE SCHEDULE

EXIST. CB "A"	RM = 61.38
INV. OUT = 57.28 (CB "B")	
SUMP = 54.2	
PIPE = 12" HDPE	
LENGTH = 29.5	
DMH "B"	RM = 62.27
INV. IN = 57.57 (CB "A")	
INV. IN = 57.7 (CB "B")	
INV. OUT = 57.47 (CB "C")	
SUMP = 57.8	
PIPE = 12" HDPE	
LENGTH = 173.0	
EXIST. CB "C"	RM = 58.46
INV. IN = 54.06 (CB "B")	
INV. OUT = 53.96 (CB "D")	
SUMP = 51.0	
PIPE 12" HDPE	
LENGTH = 69.5	
EXIST. CB "D"	RM = 56.96
INV. IN = 52.76 (CB "C")	
INV. OUT = 52.66	
SUMP = 48.5	
PIPE 12" HDPE	
EXIST. CB "B1"	RM = 61.55
INV. OUT = 57.0	
SUMP = 54.8	
PIPE = 12" HDPE	



PLANNING FILE #P19-

GRADING, DRAINAGE & EROSION CONTROL PLAN

APPLICANT/OWNER OF RECORD:
MAC'S CONVENIENCE STORES, LLC
935 E TALLMADGE AVE
AKRON, OH 44310

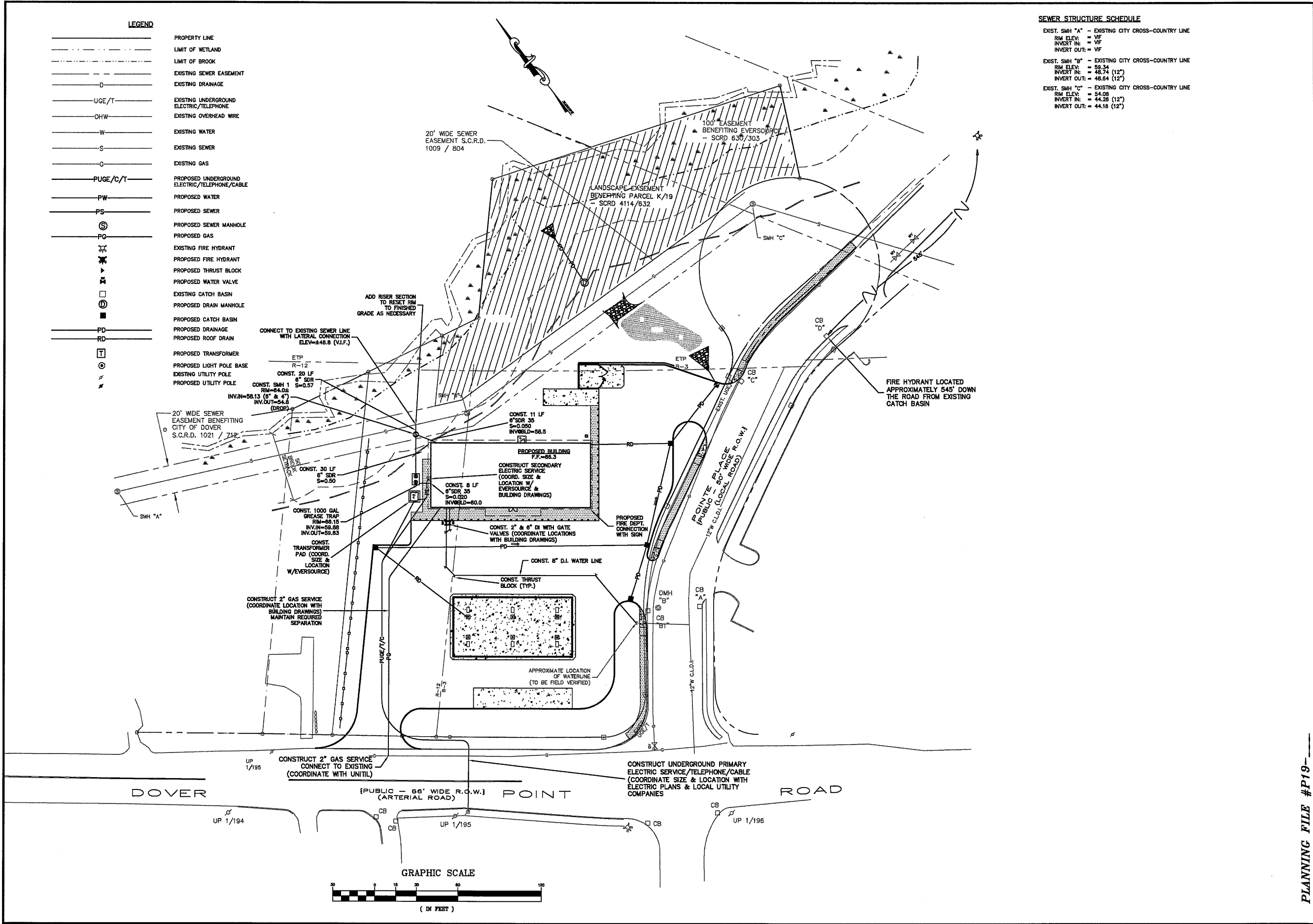
PROJECT:
CIRCLE K
MAP K LOT 19
30 DOVER POINT ROAD
DOVER, NH 03820

PERMIT PLAN - NOT FOR CONSTRUCTION

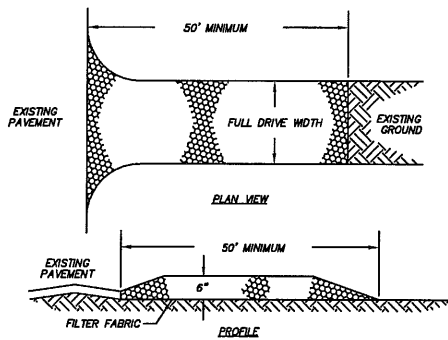
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4-4-19	1"=30'	SRD	SRD	BY:SRH	NO.1877				

CIVILWORKS NEW ENGLAND
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 789-0443

6

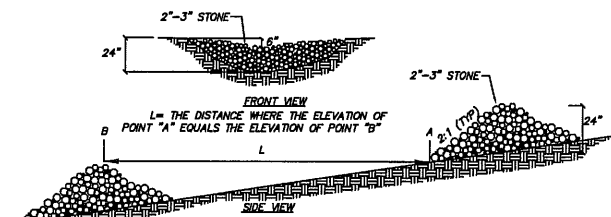


PLANNING FILE #P19-		UTILITY PLAN		APPLICANT/OWNER OF RECORD:		PROJECT:	
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DRAWN BY: SRD		DESIGN BY: SRD		APPROVED BY: SRD		PROJECT NO: 1877	
FILE NO: 1877		NO.		REVISION		DATE	
MAC'S CONVENIENCE STORES, LLC		CIRCLE K LOT 19		30 DOVER POINT ROAD		DOVER, NH 03820	
935 E TALLMADGE AVE		AKRON, OH 44310		CIVILWORKS NEW ENGLAND		181 Watson Road, P.O. Box 1166	
DOVER, New Hampshire 03820		181 Watson Road, P.O. Box 1166		DOVER, New Hampshire 03820		181 Watson Road, P.O. Box 1166	
DOVER, New Hampshire 03820		181 Watson Road, P.O. Box 1166		DOVER, New Hampshire 03820		181 Watson Road, P.O. Box 1166	

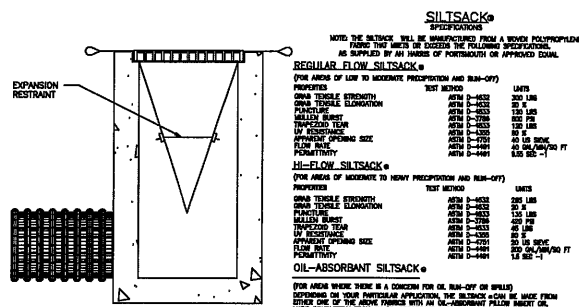


NOTES:
1. SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.

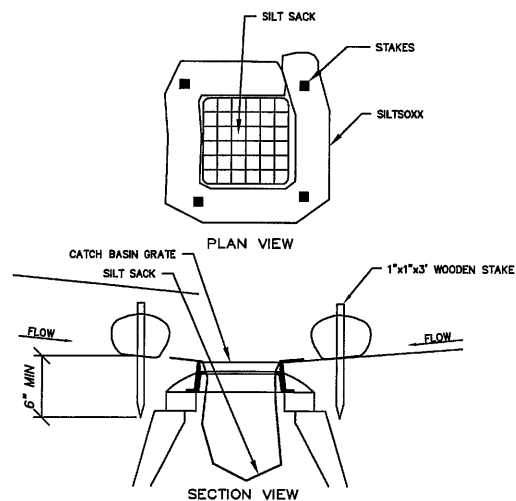
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



STONE CHECK DAM
NOT TO SCALE

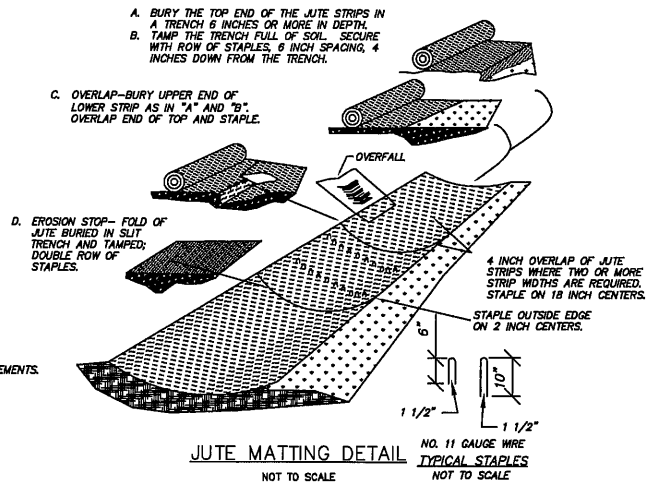


**INSTALLATION DETAIL
DETAIL OF INLET SEDIMENT CONTROL DEVICE**
NOT TO SCALE

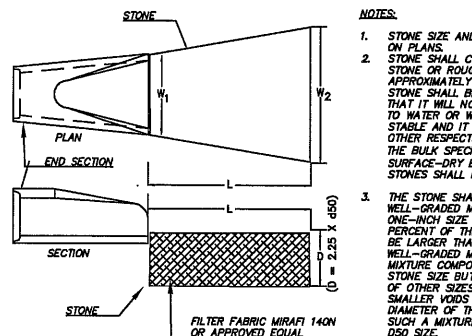


NOTES:
1. ENCLOSE STRUCTURE WITH SILTSoxx AFTER CATCH BASIN CONSTRUCTION, MAINTAIN UNTIL PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
2. IF GRATE IS AGAINST EXISTING CURB THEN SILTSoxx ARE TO BE PLACED AROUND THREE SIDES OF GRATE ONLY.
3. GRATE TO BE PLACED OVER FILTER FABRIC.
4. SILTSoxx SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

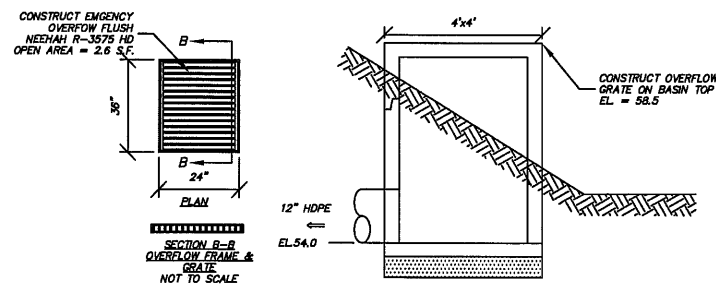
CATCH BASIN SEDIMENT TRAP
NOT TO SCALE



JUTE MATTING DETAIL
NOT TO SCALE

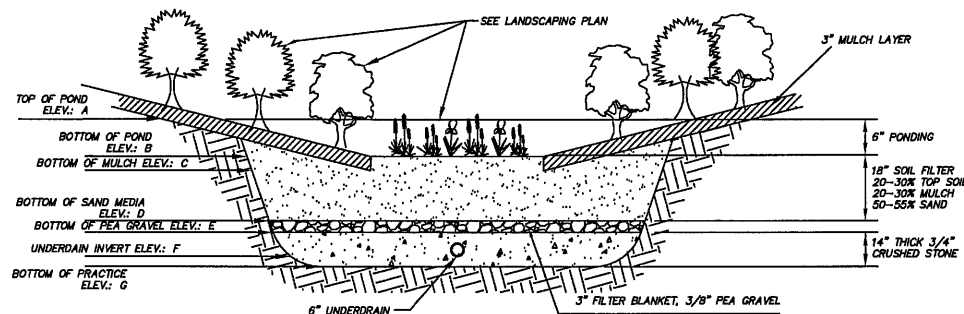


STONE APRON DETAIL
NOT TO SCALE



NOTES:
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE II CEMENT).
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE TOP OF THE THIRD WALL.
3. THE TONGUE AND GROOVE OF THE JOINT SHALL CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
4. BITUMINOUS WATERPROOF COATING TO BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
5. THE STRUCTURE SHALL BE DESIGNED FOR H20 LOADING.
6. ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

OUTLET STRUCTURE
NOT TO SCALE

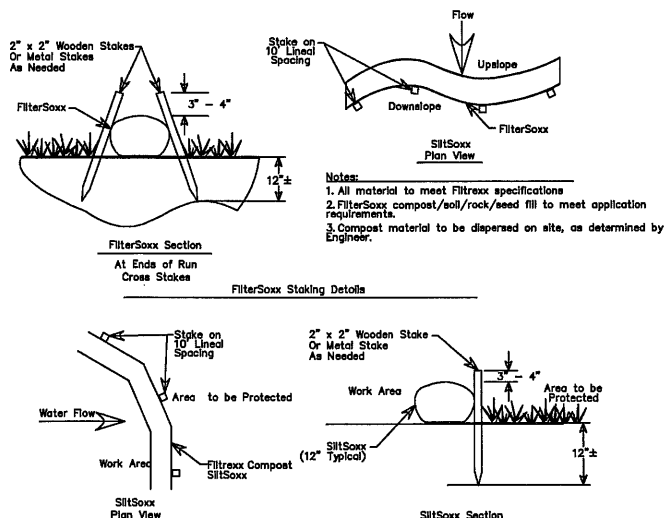


BIORETENTION POND SYSTEM CHART

POND	A	B	C	D	E	F	G
RG1	58.0	57.1	56.85	55.6	55.35	54.52	54.19

NOTES:
1. CONSTRUCT GRASSED OVERFLOW SPREADER EARLY DURING INITIAL CONSTRUCTION TO ESTABLISH TURF PRIOR TO CONSTRUCTION OF BIORETENTION SYSTEM.
2. DO NOT BEGIN CONSTRUCTION OF THE BIORETENTION AREA UNTIL LAWN AREA ON THE ENTIRE SITE AREA ESTABLISHED WITH AT LEAST 80 PERCENT TURF. FILTER ALL DRAIN INLETS IN THE SEDIMENT FOREBAYS TO PREVENT SILTATION INTO THE BIORETENTION AREA.
3. THE RAIN GARDEN SUBGRADE SHALL BE EXCAVATED TO THE DESIGN DEPTH PLUS TWO (2) INCHES. AT THAT DEPTH FOUR (4) INCHES OF COMPOST SHALL BE TILLED INTO THE EXISTING SOILS SUCH THAT THE SOILS ARE WELL MIXED.
4. DO NOT DRIVE CONSTRUCTION EQUIPMENT ON FILTER SUBGRADE NOR ON THE FILTER MATERIAL. INSTALL FILTER MATERIAL BY MEANS OF AN EXCAVATOR LOCATED ADJACENT TO THE FILTER AREA.
5. MATERIALS: CRUSHED STONE LAYER SHALL MEET MNDOT 304.4. STONE SHALL CONTAIN NO MORE THAN 5% FINES PASSING THE #200 SIEVE. TOPSOIL SHALL CONTAIN 15 TO 25% FINES PASSING THE #200 SIEVE. MULCH SHALL BE SHREDDED HARDWOOD, AGES IN A STOCKPILE OR STORED FOR AT LEAST 12 MONTH. NON-WOVEN GEOTEXTILE BE 4 TO 6 OZ. PER SQUARE YARD WITH A.O.S. OF #70 SIEVE OR LOWER, AND A MINIMUM FLOW RATE OF 125 GAL PER SQUARE FEET. UNDERDRAIN SHALL BE PERFORATED 6\"/>

BIORETENTION SYSTEM DETAIL
NOT TO SCALE



NOTES:
1. All material to meet SiltSoxx specifications
2. SiltSoxx compost/soil/rock/seed fill to meet application requirements.
3. SiltSoxx depicted is for minimum slopes. Greater slopes may require larger sacks per the Engineer.
4. Compost material to be dispersed on site, as determined by Engineer.

SiltSoxx Details
NOT TO SCALE

PERMIT PLAN -
NOT FOR CONSTRUCTION

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERS
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 729-0445

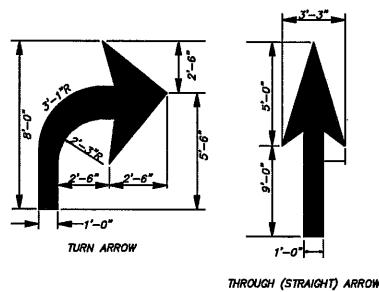
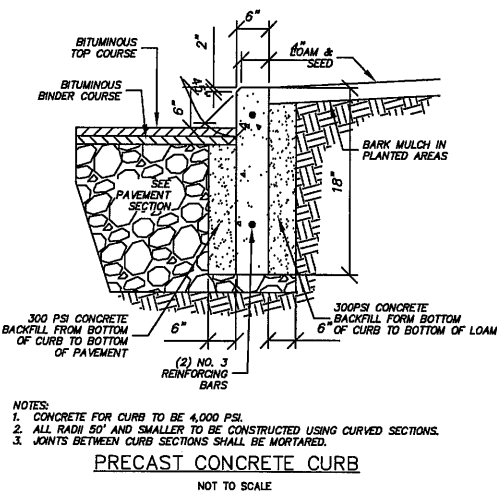
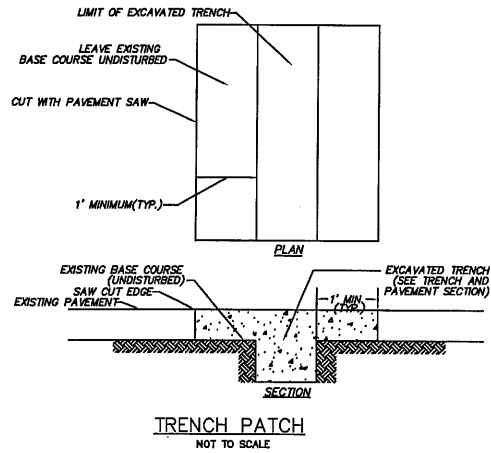
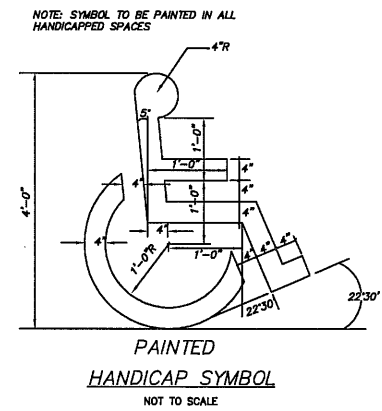
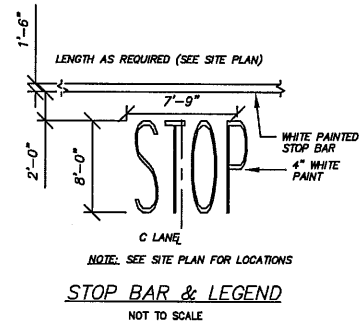
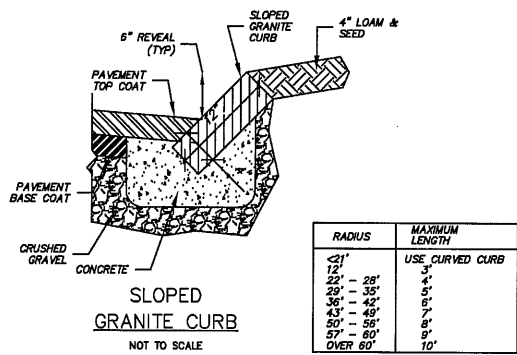
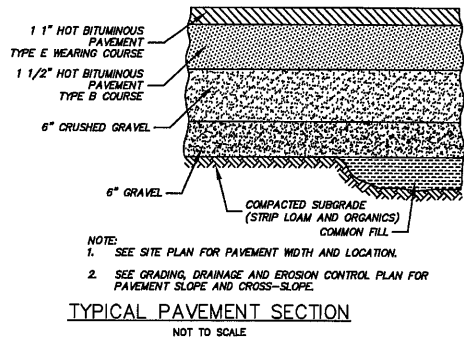
DATE: 4-4-19									
SCALE: 1"=30'									
DRAWN BY: SRD									
DESIGN BY: SRD									
APPROVED BY:SRD									
PROJECT NO:1677									
FILE: SITE.DWG									
NO.	REVISION	APP'D	DATE						

APPLICANT/OWNER OF RECORD:
MAC'S CONVENIENCE
STORES, LLC
935 E TALLMADE AVE
AKRON, OH 44310

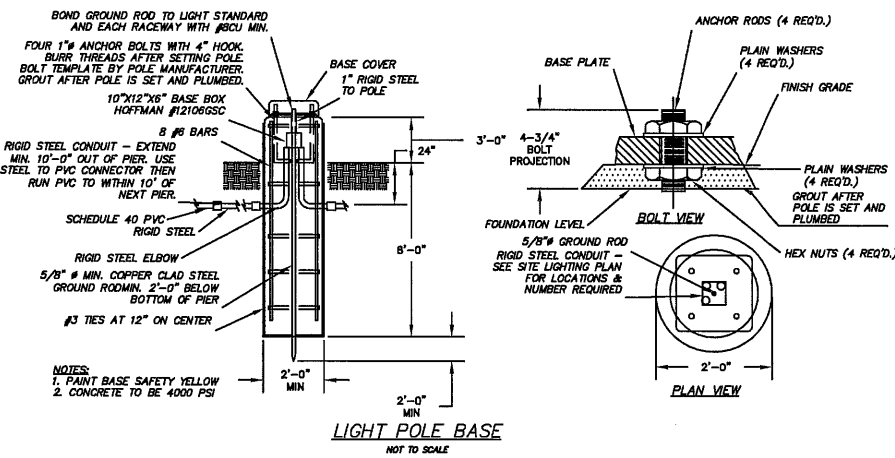
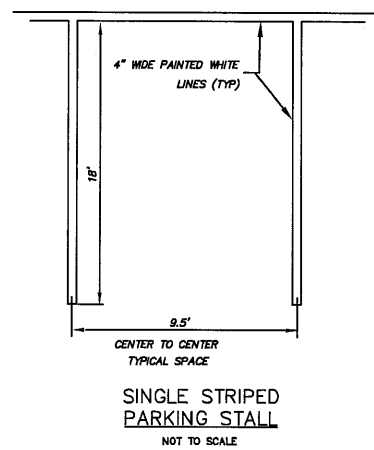
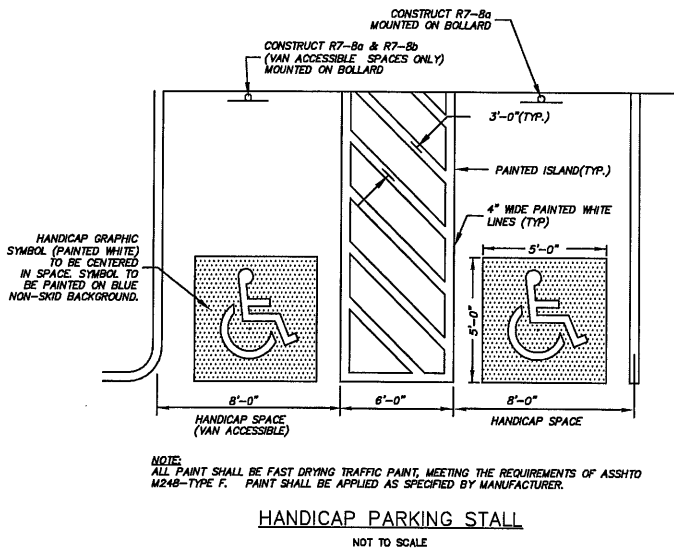
PROJECT:
CIRCLE K
MAP K, LOT 19
30 DOVER POINT ROAD
DOVER, NH 03820

9

PLANNING FILE #P19-
EROSION CONTROL DETAIL SHEET



- GENERAL NOTES:
- ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
 - MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.
 - THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEED THE WORD "ONLY".
 - COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (e.g. TURN AND THROUGH ARROWS). HOWEVER, THE SHAFTS OF THE ARROWS SHALL COINCIDE AS SHOWN.
 - PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
 - WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.



PLANNING FILE #P19-

DETAIL SHEET

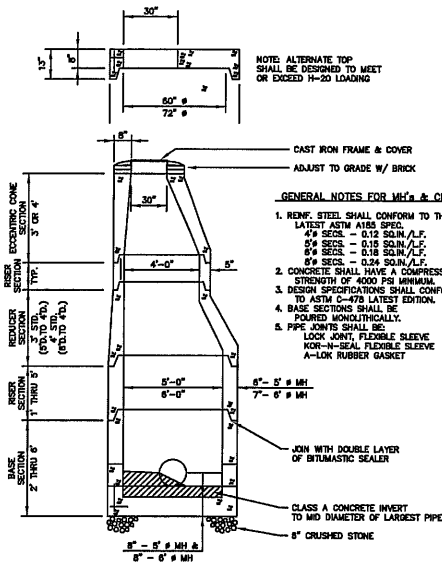
PROJECT: CIRCLE K MAP K LOT 19 30 DOVER POINT ROAD DOVER, NH 03820

APPLICANT/OWNER OF RECORD: MAC'S CONVENIENCE STORES, LLC 935 F TALLMADGE AVE AKRON, OH 44310

PERMIT PLAN - NOT FOR CONSTRUCTION

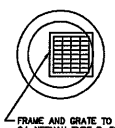
CIVILWORKS NEW ENGLAND
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	FILE NO.	NO.	REVISION	DATE
4-4-19	1"=30'	SRD	SRD	BY:SH	NO:1877				



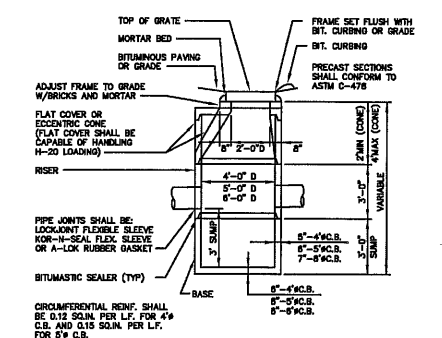
STANDARD 5 FT. & 6 FT. DIA. MANHOLES

NOT TO SCALE



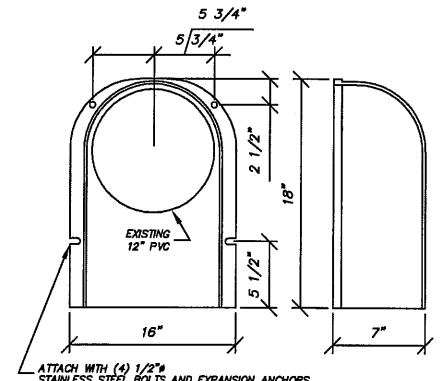
GRATE DETAIL

NOT TO SCALE



PRE-CAST REINFORCED CATCH BASIN

NOT TO SCALE

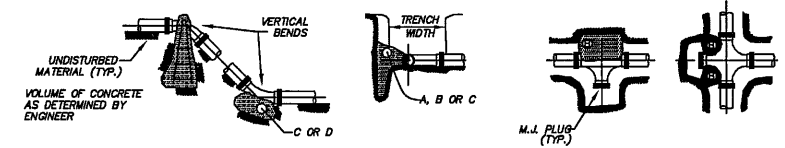


CATCH BASIN HOOD DETAIL

(NOT TO SCALE)

SPECIFICATIONS

1. All construction shall conform with the State of New Hampshire Department of Transportation (NHDOT), "Standard Specifications for Road and Bridge Construction", hereinafter referred to as the "Standard Specifications".
2. Storm drains shall be ADS N12 or approved equal, and shall be jointed with neoprene "O" rings.
3. Catch basins and manholes shall be pre-cast reinforced concrete designed by an engineer registered in New Hampshire, and able to withstand loadings of 8 tons (H20 Loading).
4. Manholes shall have cast iron frames and covers with 30" inside diameter openings. A 3-inch (minimum) letter "D" for drain shall be plainly cast into the center of each cover.
5. Catch basins and manholes shall be adjusted to grade with courses of brick. Maximum adjustment to grade shall be 12 inches. Frames shall be set on a full bed of mortar, true to grade and concentric with the masonry. All voids between the top of the structure and the bottom flange of the frame shall be completely filled to make a watertight fit. A ring of mortar at least one inch thick and pitched to shed water away from the frame, shall be placed over and around the outside of the bottom flange. The mortar shall extend to the outer edge of the masonry all around its circumference and shall be finished smooth. No visible leakage will be permitted.
6. Invert channels of sewer manholes shall be formed smoothly to the largest pipe radius. Changes in grade shall be formed smoothly and evenly. The floor of the structure outside the channels shall be sloped towards the channels at approximately 1/2 inch per foot. The floor at the channel shall match the crown of the largest pipe.
7. Trench construction will conform with Section 603.3.1 of the Standard Specifications (1974).
8. Wood sheeting or a suitable trench box shall be used to support the trench as necessary. If wood sheeting is used, it shall be driven at a depth 6 inches below the invert of the pipe. Wood sheeting shall be cut off and left in place to an elevation not less than 1 foot above the top of the pipe, but not greater than 3 feet below the finished grade.
9. Bedding shall conform with Section 603.3.2 of the Standard Specifications (1974).
10. Backfill material will conform with Section 603.3.5 of the Standard Specifications (1974) and, in addition, shall exclude debris, pieces of pavement, organic matter, top soil, oil, wet or soft muck, peat or clay, all excavated ledge material, frozen material, all rocks over 6 inches in largest dimension, or any material which, as determined by the Engineer, will not provide sufficient support or maintain the completed construction in a stable condition. Backfill shall not be placed on frozen or previously frozen material.
11. All backfill and bedding compaction shall meet the requirements of AASHTO T 99 Method C. Density shall be 95 percent. Compaction shall be 8 inch lifts for bedding and backfill to a plane 1 foot above the pipe and in 12 inch lifts thereafter by an approved mechanical compactor.
12. Should frozen material be encountered, it shall not be placed in the backfill nor shall backfill be placed upon frozen material. Previously frozen material shall be removed as required before new backfill is placed.
13. The Contractor shall be responsible for any damage to frames and grates during and from the time of removal from the existing structure to and during the time of resetting, and shall replace in kind any damaged frames or grates at no additional compensation.
14. All trenches will be covered and debris, including any rejected materials, shall be removed daily. Strict safety precautions shall be maintained at all times.
15. Location of utilities shown on the plans are approximate.
 - a) The Contractor shall, 48 hours prior to construction, notify the utility companies and have all utilities in the vicinity of the construction marked in the field.
 - b) After the utilities have been located and prior to construction, the Contractor with the Engineer, shall layout the proposed drainage system in the field and rectify any utility conflicts which may be found.
 - c) Any conflicts with utilities found during construction by the Contractor shall be immediately brought to the attention of the Engineer and the Utility Company and properly rectified.
 - d) The Contractor is responsible for the cost of repair for any utilities damaged during construction. The Contractor shall contact the Utility Company to repair any damages, however, the Contractor may make appropriate repairs with the Utility Company's permission.
16. Complete shop drawings for pipe, manholes, catch basins, frames, grates and covers shall be submitted in triplicate for approval by the Engineer prior to the start of construction. Each shop drawing shall be checked and initialized by the Contractor to indicate approval before it is submitted to the Engineer.
17. Shop drawings for flat concrete covers shall be stamped prior to submission for approval by a New Hampshire Registered Professional Engineer.
18. Brick masonry for setting frames and brick and mortar plugs shall conform to the Standard Specification Section 604.2.4.

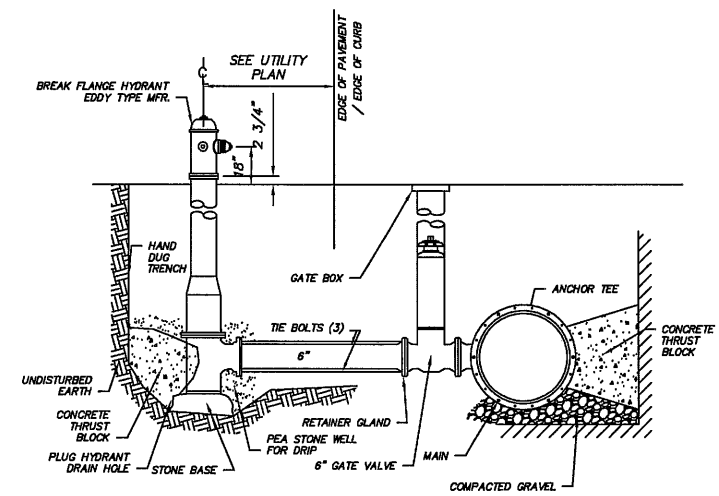


SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL		PIPE SIZE				
REACTION TYPE		4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24	
B 180°	0.65	1.53	2.78	8.39	12.00	
C 45°	0.48	1.19	2.12	6.02	9.32	
D 22-1/2°	0.25	0.60	1.06	3.09	4.74	
E 11-1/4°	0.13	0.30	0.54	1.54	2.38	

- NOTES
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED. EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
 2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.

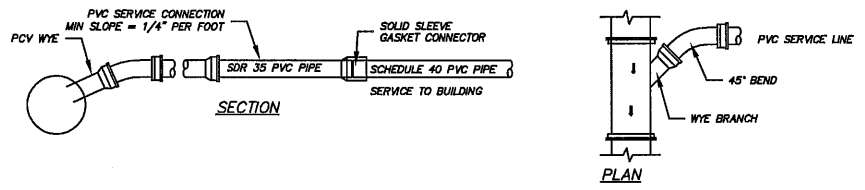
THRUST BLOCKING DETAIL

NOT TO SCALE



TYPICAL HYDRANT INSTALLATION

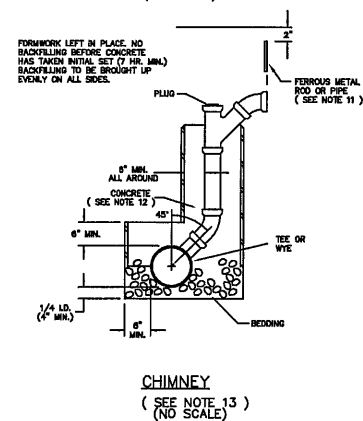
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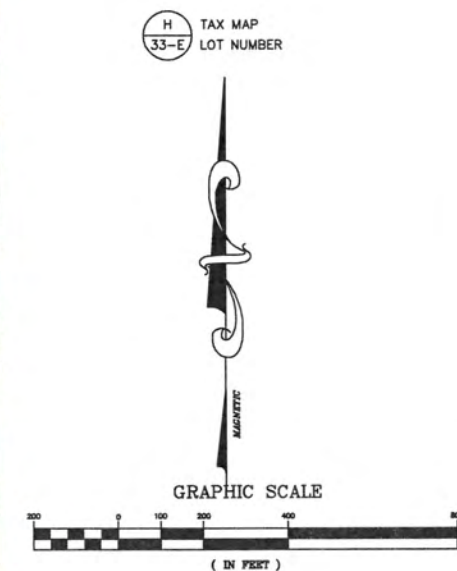
CITY OF DOVER SEWER SERVICE

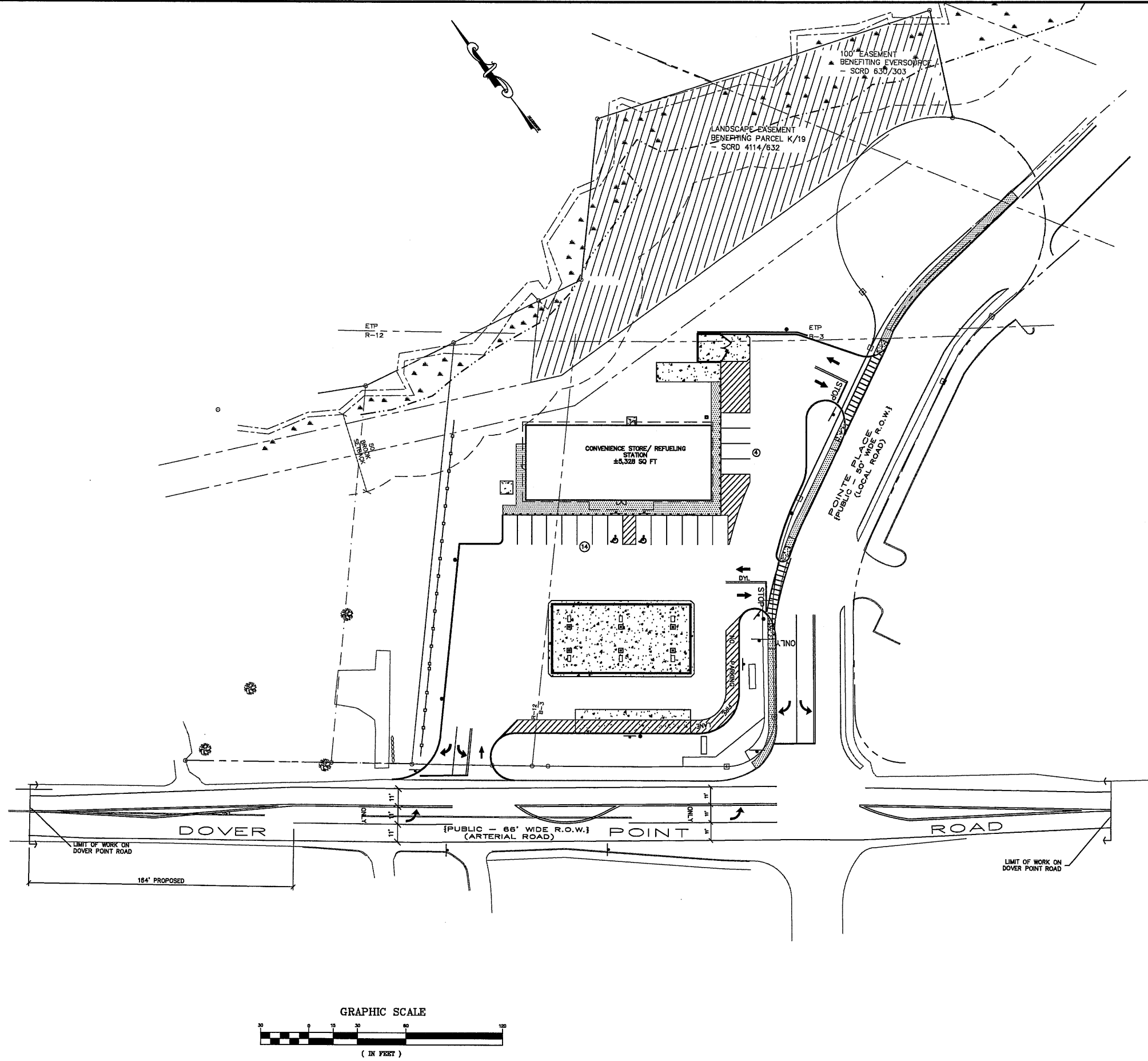
NOT TO SCALE

~PERMIT PLAN~ NOT FOR CONSTRUCTION		CIVILWORKS NEW ENGLAND CIVIL ENGINEERS 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443	
DATE: 4-4-19	SCALE: 1"=30'	DRAWN BY: SRD	DESIGN BY: SRD
APPROVED BY: SRD	PROJECT NO: 1677	FILE: SITE.DWG	NO.
APPLICANT/OWNER OF RECORD: MAC'S CONVENIENCE STORES, LLC 935 E TALMADGE AVE AKRON, OH 44310		PROJECT: CIRCLE K MAP K, LOT 19 30 DOVER POINT ROAD DOVER, NH 03820	
12		REVISION	
APPD		DATE	



14

[illegible]



PLANNING FILE #P19-

DOVER POINT ROAD STRIPING PLAN

PROJECT:	CIRCLE K MAP K, LOT 19 30 DOVER POINT ROAD DOVER, NH 03820
	APPLICANT/OWNER OF RECORD: MAC'S CONVENIENCE STORES, LLC 935 E TALIMADGE AVE AKRON, OH 44310

DATE: 4-4-19	NO.	REVISION	APPD	DATE
SCALE: 1"=30'				
DRAWN BY: SRD				
DESIGN BY: SRD				
APPROVED BY: SAH				
PROJECT NO: 1677				
FILE: SITE.DWG				

PERMIT PLAN NOT FOR CONSTRUCTION				
CIVILWORKS NEW ENGLAND CIVIL ENGINEERS 181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 795-0485				

TREES

SHRUBSPERENNIALS, GROUNDCOVERS, VINES and ANNUALS

1 Do not heavily prune the tree at planting. Only allow cross-prune limbs, or branches leading, and broken or dead branches. Some interior burls and lateral branches may be pruned. However, DO NOT remove the terminal buds, or branches left exposed to the crown.

2 Trunk less than 3" in caliper shall be staked with three stakes per tree, spaced evenly around the trunk until 12 gauge wire. Plastic hose sections shall be used as attachment in trees. Each wire shall be staggered with a vertical overlap. 9" vinyl cover section shall be used to anchor the wires. Stakes shall be placed at least 12" outside the edge of the planting pit. Remove all staining NO LATER than the end of the first growing season after planting.

3 Mark the north side of the tree in the vicinity. Rotate the tree so face north if the top remains possible.

4 6 in. High saucer beneath lowest edge of root ball.

5 In the soil, Mulch. Do NOT place mulch in contact with low trunk. Maintain the mulch level-free for a minimum of three years after planting.

6 Keep with present root ball some firmly laid pressure so that root ball does not move.

7 Place root ball on unexcavated or compacted soil.

8 Fill with existing soil, in sandy red Jersey clay soils add 20% heavy dry organic composted organic material to existing soil.

9 Remove all binding roots and foliage.

10 If plant is delivered with a wire basket around the root ball, prior to planting, the contractor shall cut away the bottom of the wire basket, allowing the plant to place. Once the tree is placed and tamped, the contractor shall remove the remainder of the wire basket on backfill the planting pit all levels above.

Other labels:

- Three galvanized 3" x 12 copper stake in gutter with three pry bar, secured evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used as attachment to trees. Each guy wire shall be staggered with a vertical overlap. 24' lengths or metal drive anchors shall be used to anchor the guy wires. Stake-to-stake shall be driven 12"-14" min., outside the edge of the planting pit into stable ground. Remove all staining NO LATER than the end of the first growing season after planting.
- 4" Corrugated PVC two stake
- Mulch layer 9" 4" diameter max (RPT) (diam standard)
- Each tree must be planted such that the original trunk line is visible at the top of the root ball. Trees where the original trunk line is not visible may be re-labeled. NO NOT cover the top of the root ball with soil.
- Before planting Contractor must inspect the material for the location of the original root flare. If the original root flare is not visible at the top of the root ball then the Contractor shall gently remove from the top of the root ball and examine both from nursery specimens that may be covering the original root flare. All secondary and girdling wounds shall be removed prior to planting. Trees with 2" or more of extensive and/or irregular dieback tissues greater than 18" shall be rejected. Live plants shall be provided with the original root flare or at capacity (2-3') above surrounding finished grade.
- Backfill with existing soil, in sandy red Jersey clay soils add 20% heavy dry organic composted organic material to existing soil.
- Remove all binding roots and foliage.
- If plant is delivered with a wire basket around the root ball, prior to planting, the contractor shall cut away the bottom of the wire basket, allowing the plant to place. Once the tree is placed and tamped, the contractor shall remove the remainder of the wire basket on backfill the planting pit all levels above.
- 2 times the diameter of the root ball
- Permeable zone in which tree is to be planted shall be no less than 9" wide below from the base of the tree

Tree Planting Detail

Landscape Notes

- 1 Design is based on drawings by OnWorks.com New England dated 3/20/17 and may require adjustment due to actual field conditions.
- 2 The Contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- 3 Erosion Control shall be in place prior to construction.
- 4 Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- 5 The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- 6 If the Contractor's responsibility to verify drawings provided are to the correct scale prior to any bid estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- 7 Trees to remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line with a minimum and shall include any all surface roots. Do not fill or mulch on the trunk face. Do not construct disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portables within the tree protection area.
- 8 Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- 9 The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- 10 The Contractor shall procure any required permits prior to construction.
- 11 Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macronutrients and micronutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- 12 Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to unforeseen drainage problems, subsurface utility conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- 13 The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of seed, size, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock. American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- 14 A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or proper botanical names occur in the plant materials list, the planting plans shall govern.
- 15 The Contractor shall be legally ligaged with proper botanical name.
- 16 The Contractor shall guarantee all plants no later than one year from date of acceptance.
- 17 Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species and quantity in this work.
- 18 No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- 19 All landscaping shall be provided with either of the following:
 - a. An underground sprinkling system
 - b. An outside hose attachment within 150 feet
- 20 An automatic irrigation system is required. All irrigation valve boxes shall be located within planting bed areas.
- 21 All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- 22 Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark, not longer than 4" in length and 1/2" in width. Free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter ring. Sauer. Color of mulch shall be black.
- 23 In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- 24 Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy.
- 25 Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- 26 Landscape Architect is not responsible for the means and methods of the contractor.



PLANNING FILE #P10-09B

LANDSCAPE PLAN

CIRCLE K
MAP K, LOT 19
DOVER POINT ROAD
DOVER, NH 03820

**MAC'S CONVENIENCE
STORES, LLC
9935 E TALLMADGE AVE
AKRON, OH 44310**

APPLICANT/OWNER OF RECORD:

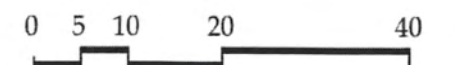
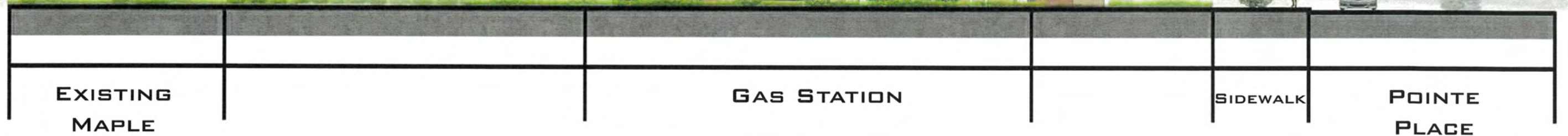
DATE: 5-5-2017
SCALE: 1"=20'

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NOT FOR
~PH

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

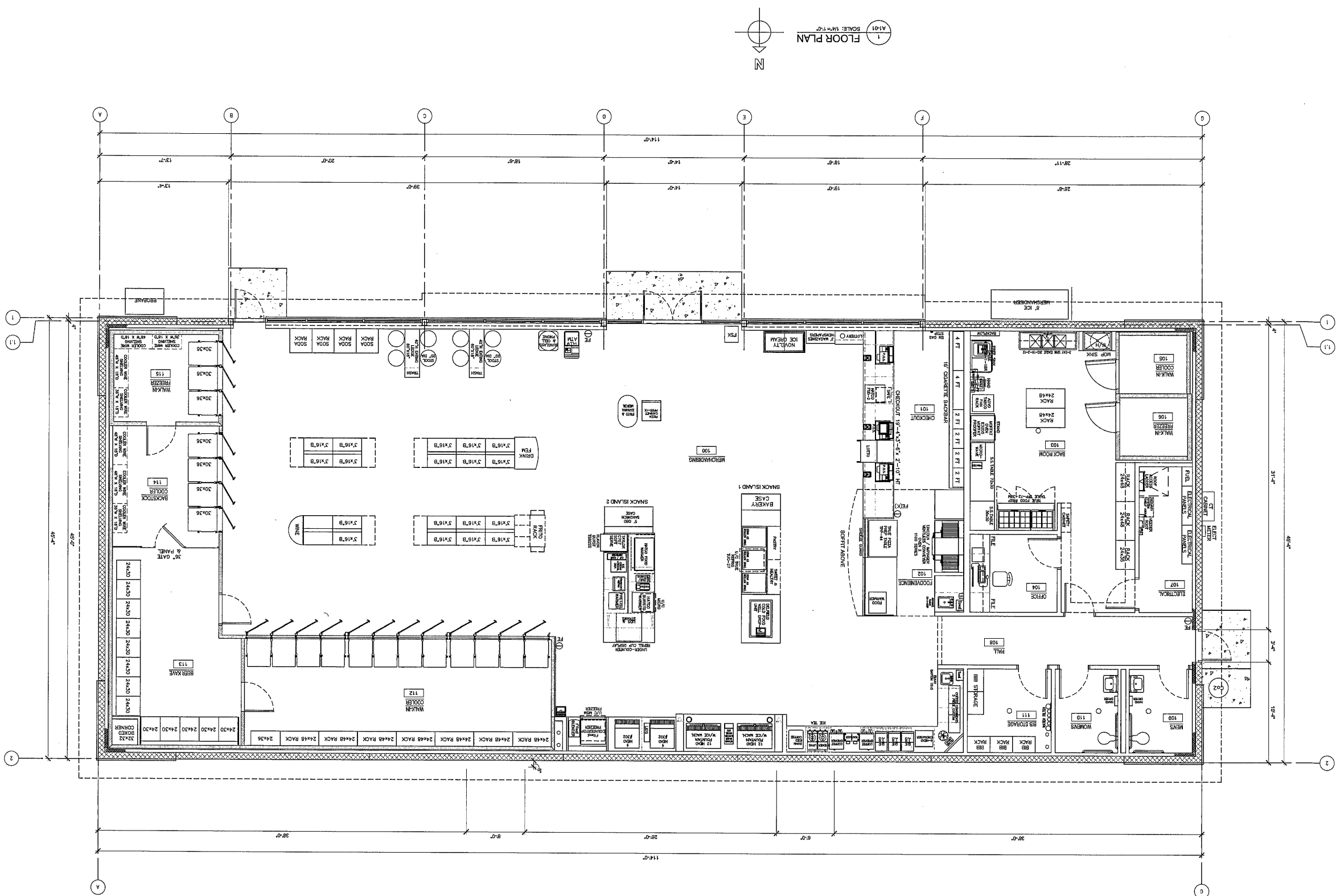
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Circle K Dover
30 Dover Point Road
Dover, NH 03820

CLIENT
Circle K Great Lakes
935 East Tallmadge Ave
Akron, OH 44310





30 Dover Point Rd
Dover, NH

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