



CITY OF DOVER

DOVER PLANNING BOARD – AGENDA

REVISED

Meeting Type: Regular Meeting
Meeting Location: Council Chambers, City Hall, 288 Central Ave, Dover NH 03820
Meeting Date: **Tuesday, May 14, 2019**
Meeting Time: **7:00 pm**

1. CITIZENS' FORUM

2. APPROVAL OF THE PRIOR MINUTES

- April 23, 2019 Regular Meeting Minutes

3. OLD BUSINESS

- A. Consideration and possible vote on posting the proposed Architectural Design Standards in Chapter 170 and the associated Zoning Tables. The full text of the amendments is available in Planning Department & at www.dover.nh.gov located under City Documents & View Current City Reports.
- B. Consideration and possible vote on posting the proposed Architectural Design Standards in Chapter 149. The full text of the amendments is available in Planning Department & at www.dover.nh.gov located under City Documents & View Current City Reports.

4. NEW BUSINESS

- A. Consideration and acceptance of an Amendment to the conditions for a previously approved Subdivision Plan for TDAK & Company LLC, Assessor's Map 35, Lot 57, zoned R-12, located at 99 Sixth Street. (Proposal is to adjust grading and add a fence and arborvitae). *(P18-07B)
- B. Consideration and acceptance of a Lot Line Adjustment for Roger C. Groux, (Owners: Groux/Bow Street & 280 Dover Pt Rd LLC), Assessor's Map L, Lots 106 & 106A, zoned R-20, located at Dover Point Road & 278 ½ Dover Point Road. *(P19-38)

5. STAFF COMMENT

6. MEMBER COMMENTS

7. ADJOURNMENT

*Indicates that if the application is accepted for discussion, the public hearing will be held the same evening. Note that some hearings will be continued from one meeting to another and some may be postponed. Since this is only a partial description of the proposal and may change, persons with questions or wishing to see the plans are invited to visit the Planning Office, Monday through Thursday from 8:30 am to 5:30 pm and Friday 8:30 am to 4:00 pm or email Dover-Planning@dover.nh.gov. You may also view materials at www.dover.nh.gov. Follow us on Twitter @DoverNHPlanning and find us on Facebook at <https://www.facebook.com/DoverNHPlanning>.



DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting
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Members Present: Gina Cruikshank (Chair), Dennis Ciotti (Councilor), Dave White, Dave Landry, Frank Torr, Tom Clark, Jackson Kaspari, Matt Sullivan (Alternate), Lee Skinner, Hayley Harmon, Ellen Brooks (Alternate)

Members Not Present: James Burdin (Alternate)

Staff Present: Christopher Parker, Assistant City Manager

The Chair called the meeting to order at 7:00pm and announced Jackson Kaspari was elevated to regular member and welcomed new alternate Ellen Brooks.

1. CITIZENS' FORUM

Citizens Forum Open No one spoke. *Citizens Forum Closed.*

The Chair announced that Items 5H and 5I would not be heard tonight, and have asked to continue until May 28th.

C. Parker suggested that the Board suspend the rules to discuss a potential site walk for the item, in case there are abutters present.

Motion: F. Torr made a motion to suspend the rules. Seconded by T. Clark. Vote U/A

H. Consideration and acceptance of a Site Review for Little Bay Marina & Development, LLC, Assessor's Map 8, Lots 9, 10, 11, & 12, zoned LBW, located at 421, 423, 425, and 427 Dover Point Road. (Proposal is to develop a condominium containing 23 units plus marina/marina office with 1 ADU and 27 parking spaces. This project has TDR approval from the Planning Board). *(P19-04)

I. Consideration and acceptance of a Conditional Use Permit for Little Bay Marina & Development, Assessor's Map 8, Lots 9, 10, 11, & 12, zoned LBW, located at 421, 423, 425, and 427 Dover Point Road. (Proposal will impact 2,304 sq. ft. of non-tidal wetlands, the total area of the 100' tidal buffer is 58,203 sq. ft. and the 50' buffer area to be impacted will be 15,579 sq. ft.). *(P19-05)

C. Parker noted that the Conservation Commission is holding a site walk for the application which the Planning Board is welcome to attend. The proposed dates are April 30, May 2 or May 7th. The applicant will stake the wetlands buffer, edge of the Conservation District and the roadway centerline.

Motion: F. Torr made a motion to continue both items until May 28th with a site walk on April 30th at 5:30pm. Seconded by T. Clark. Vote 8-1 (Ciotti).

2. ELECTION OF VICE CHAIR

Motion: D. Ciotti made a motion to nominate H. Harmon as Vice Chair. Seconded by F. Torr. The board voted by ballot to approve H. Harmon for Vice Chair.

3. APPROVAL OF THE PRIOR MINUTES

- April 9, 2019 Regular Meeting Minutes

Motion: L. Skinner made a motion to approve the minutes. Seconded by F. Torr. Vote: U/A.



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4. OLD BUSINESS

None

5. NEW BUSINESS

- A. Consideration and acceptance of a Minor Subdivision for David W. Vincent, LLS, (Owner: Valerie A. Chenevert Irrevocable Trust), Assessor's Map M, Lot 102, zoned R-40, located at 277 Middle Road. (2 new lots) *(P19-28)

C. Parker explained that the applicant wishes to subdivide one lot into three lots. The new lots would be 1.15 acres, 1 acre and 28.56 +/- acres. The applicant is requesting a waiver from Section 155-28 to allow the plat to be reviewed by the Planning Board without certain topographic, wetland, and other required site features over the entire parent parcel.

Typically, staff would support such a waiver request if a reference plan shows the missing information and is listed on the plat before the Board. In this case, staff recommends the condition of approval below that any substantial building be built, over 200 sq. ft., that Planning Board review may be required as the new lots are in the area of the plat that has been surveyed with topo and wetlands indicated.

David Vincent, Vincent Land Survey Services, represented the owner and reviewed the application noting the lot is currently 30 acres with an existing house and barn. The owners are trying to sell the property, but people interested in the house do not want all of the land. The applicant wishes to subdivide out one acre of land with the house and barn.

D. Ciotti asked about note 7: access only across 102-12. C. Parker said there are state laws that allow heirs to access burial sites.

F. Torr asked D. White where the sewer is. D. White said there isn't one to tie into in that area.

Motion: L. Skinner made a motion to accept the applications. Seconded by D. Ciotti. Vote U/A.

Public hearing opened.

No one spoke.

Public Hearing closed.

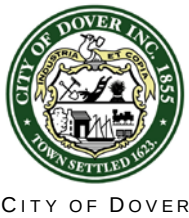
STAFF RECOMMENDATION-Waiver:

The Planning Department recommends that the Planning Board accept the application, open the public hearing, and vote on the waiver request per the reasons provided by the applicant at the meeting:

Condition to be Met Prior to Signing of the Plans:

1. Add a note to the plat that the Board granted a waiver to Chapter 155-28 and that the Board found the criteria of Chapter 155-52.A have been met.
2. Add a note to the plat that should any building over 200 sq.ft. be built on the proposed lot 102-12 on the area not shown on this subdivision plat, that further Planning Board review may be necessary.

Motion: D. White made a motion to grant the waiver request with staff recommended conditions. Seconded by D. Ciotti.



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L. Skinner expressed concern for use of the term 'may'.
Vote U/A.

STAFF RECOMMENDATION-Minor Subdivision:

Chapter 155-15 of the Land Subdivision Regulations of the City Code provides for subdivisions of existing lots. This plan is consistent with the regulations, and the Planning Department recommends that the Planning Board approve the Minor Subdivision with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. Provide:
 - a. Copy of Sewer Discharge permit and amend plan note to add permit number.
 - b. Updated current use plan to the satisfaction of the City Assessor
2. The applicant shall revise the plat to:
 - a. Include the Licensed Land Surveyor signature and stamp
 - b. Add the owner's signatures to the final plat submitted for signature to be recorded at the Strafford County Registry of Deeds
 - c. Indicate leach field area
 - d. Show proposed utilities
 - e. Show proposed driveway location
 - f. Add Planning File #P19-28
 - g. Revise floodplain note to indicate that floodplains may be along the rear of the parcel that was not part of the survey/review.
 - h. Fix spelling of the owner's name
 - i. Add tax map and lots per Assessing Office

Conditions to Be Met Prior to Build Permit:

3. Water investment fees shall be paid at time of request for service.

Conditions to Be Met Prior to Occupancy:

4. Issuance of a Certificate of Occupancy.
5. Impact fees for new dwelling unit shall be paid per the invoice included with the Notice of Decision.

Motion: F. Torr made a motion to approve with staff recommended conditions. Seconded by T. Clark.
Vote U/A.

- B. Consideration and acceptance of a Minor Subdivision for Knox Marsh Development LLC, (Owner: Michael & Gaye Dean), Assessor's Map 38, Lot 32-1, zoned R-12, and located at 7 Glenwood Avenue. (Proposal is to subdivide the existing lot into two lots).*(P19-31)

C. Parker explained that the applicant wishes to subdivide one lot into two lots. The new lots would be 0.45 acres and 0.28 acres. The existing 4 unit building will remain and a new single family lot will be created. As this is a minor subdivision, it did not go before the Technical Review Committee. But due to the location of the parking and access today along the proposed boundary line, a condition of approval is that the applicant has the Technical Review Committee review the parking, access, and drainage and the Community Services Department approve the exact location of the water/sewer lines at the time of service.

Christopher Berry, Berry Surveying and Engineering, represented the applicant and owner and reviewed the application. He highlighted the existing gravel parking which would be revised for approval by TRC. He



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mentioned driveway access and removing the barn. The 4-unit structure will have four spaces in the front and four spaces in the back for parking.

D. Ciotti wondered if the applicant will move the dumpster to where the barn currently is and if the driveway cuts will be worked out at TRC. Yes

Motion: F. Torr made a motion to accept the applications. Seconded by T. Clark. Vote U/A.

Public hearing opened.

C. Parker summarized a letter from Dale Lyons regarding pest control.

Public Hearing closed.

STAFF RECOMMENDATION-Minor Subdivision:

Chapter 155-15 of the Land Subdivision Regulations of the City Code provides for subdivisions of existing lots. This plan is consistent with the regulations, and the Planning Department recommends that the Planning Board approve the Minor Subdivision with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. As noted on the plan, the parking, access, and drainage will need to be reviewed by the Technical Review Committee.
2. The applicant shall revise the plat to:
 - a. Include the Licensed Land Surveyor signature and stamp
 - b. Add the owner's signatures to the final plat submitted for signature to be recorded at the Strafford County Registry of Deeds
 - c. Add Planning File #P19-31
 - d. Revise note 17 to indicate no Sunday hours of construction
 - e. Show proposed driveway location
 - f. Provide a pest control plan

Conditions to Be Met Prior to Building Permit:

3. Water and sewer investment fees shall be paid at time of the request for service.

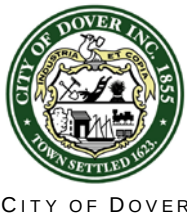
Conditions to Be Met Prior to Occupancy:

4. Issuance of a Certificate of Occupancy.
5. Impact fees for new dwelling unit shall be paid per the invoice included with the Notice of Decision.

Motion: D. White made a motion to approve with staff recommended conditions. Seconded by D. Landry. Vote U/A.

- C. Consideration and acceptance of a Conditional Use Permit for Eversource Energy, (Owners: David & Laurie Landry and Christopher Lacasse), Assessor's Map I, Lots 29 and 29-D, zoned R-40, located at 17 & 19 Spruce Lane. (Proposal is to replace an existing utility pole structure in a utility easement within the 50-foot wetland buffer. Temporary wetland buffer impacts are 4,461 s.f.). *(P19-32)

C. Parker explained that the applicant wishes to obtain a Conditional Use Permit to replace utility pole structures in a utility easement within the 50-foot wetland buffer. Temporary wetland buffer impacts would be 4,461 square feet. The Conservation Commission endorsed this CUP at their April 8, 2019 meeting.



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Matt Cardin, Eversource, represented the applicant and owner and reviewed the application explaining this project is a structure replacement. There's an existing wooden structure. There will be 4400 sq. ft. of temporary wetland impact. The new structure will be located within 10' of the existing structure so it can be utilized while the new one is installed. The area will be restored when the work is complete.

Motion: F. Torr made a motion to accept the applications. Seconded by D. Landry. Vote U/A.

Public hearing opened.

No one spoke.

Public Hearing closed.

STAFF RECOMMENDATION:

The Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and wetland buffers if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards. The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following condition:

Condition to Be Met Prior to the issuance of the Conditional Use Permit:

1. The applicant shall install the erosion and sediment control measures as depicted on the plans.

Motion: T. Clark made a motion to approve with staff recommended conditions. Seconded by D. White. Vote U/A.

H. Harmon noted that items 4D and E would be heard together.

- D. Consideration and acceptance of a Conditional Use Permit for Amer Fakhoury & Micheline Elias, Assessor's Map 4, Lot 40, zoned CBD – General, and located at 6-12 Preble Street. (Proposal is to allow a building that provides 37.6% lot coverage, where a minimum lot coverage of 75% is required). *(P19-12)

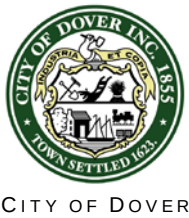
- E. Consideration and acceptance of a Site Review for Amer Fakhoury & Micheline Elias, Assessor's Map 4, Lot 40, zoned CBD – General, and located at 6-12 Preble Street. (Proposal is to construct a four-story building and driveway with parking. The building will consist of 12 apartment units on the upper three floors, and approx. 1,811 s. f. of commercial space on the first floor). *(P19-11)

C. Parker explained that the applicant wishes to construct a new four-story building and driveway with 11 parking spaces. The building will consist of 12 apartment units on the upper three floors, as well as 966 sq. ft. of office space and 845 sq. ft. of restaurant space on the first floor. A CUP application for lot coverage is required as the proposal is to allow a building with 37.6% lot coverage where 75% is allowed.

This application was reviewed by the Technical Review Committee on February 28, 2019.

Robert Stowell, Trittech Engineering, represented the applicant and owner and reviewed the application explaining this is an infill development with a 4-story building. The first floor would include parking and commercial with three floors of residential units. This project has been through the TRC process. He noted the latest plan includes about 60' of sidewalk that is not shown on the plan. Also, the dumpster and bike rack locations have been slightly altered.

D. Ciotti asked for lot clarifications and asked about the parking plans. Mr. Stowell addressed the questions.



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Motion: F. Torr made a motion to accept the applications. Seconded by D. White. Vote U/A.

Public hearing opened.

Basant Das, 11/13 New York Street is concerned about the aggressive knot weed that comes right through the pavement and has to be trimmed. He would like the applicant to remove it. He also expressed concern for pest control at the time of construction.

Public Hearing closed.

R. Stowell addressed the concerns stating pest control will occur during construction and the weeds will be removed as part of the plan. He described where the 20 parking spaces will be.

A lengthy parking discussion occurred among board members, C. Parker and Mr. Stowell.

STAFF RECOMMENDATION-Conditional Use Permit:

Chapter 170-20-B(1) of the City Code states that conditional use approval for relief from the standards may be granted by the Planning Board provided that the proposed project complies with the listed standards. Staff finds the standards have been met and recommends the Planning Board approve the Conditional Use Permit with the following condition:

Condition to Be Met Prior to the issuance of the Conditional Use Permit:

1. The applicant shall be subject to a formal agreement between the Planning Board and the applicant. Said agreement shall be recorded at the Strafford County Registry of Deeds per Chapter 170-20-B(3).

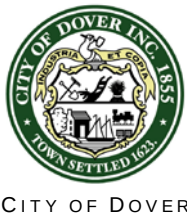
Motion: T. Clark made a motion to approve with staff recommended conditions. Seconded by D. Landry. Vote U/A.

STAFF RECOMMENDATION-Site Plan:

Chapter 149-4 of the Site Review Regulations of the City Code provides for site review by the Planning Board of new construction of various types. This plan is consistent with those regulations. The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following condition:

Conditions to Be Met Prior to the Signing of Plans:

1. The conditional use permit (P19-12) shall be approved.
2. The applicant shall provide:
 - a. A digital version of plan set
 - b. Example parking lease, with a 5 year term, to the satisfaction of the Assistant City Manager
 - c. Replacement Letter to Serve from Eversource Engineering or Site Supervisor
 - d. Copy of the recorded cross access easement and book and page at the Strafford County Registry of Deeds
3. The applicant must revise final plan set to:
 - a. Add LL. Skinner & PE signatures and stamps to final plan
 - b. Note that the applicant shall overlay Preble Street in the Construction Sequence.
 - c. Revise lighting plan so that there is no spill over onto abutting properties.
 - d. Provide a plan showing the 6 parking spaces on lot 76 properly marked and striped



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Conditions to Be Met Prior to any Construction Activity:

4. A site construction sign with the contact information for the general contractor must be located and approved by the City Engineer or Assistant City Manager.
5. Applicant shall complete Land Use Development Tracking Form, most recently revised version, utilizing the online Pollution Tracking and Accounting Pilot Project (PTAPP) portal. <https://www.unh.edu/unhsc/ptapp>
6. Install signage noting visibility and noise during any earthwork, to the satisfaction of the City Engineer.

Conditions to Be Met Prior to Issuance of a Building Permit:

7. The new dwelling units shall be assessed and pay the current water and sewer investment fees in place at the time of application for service.
8. Applicant shall record the proposed easement(s) at the Strafford County Registry of Deeds to the satisfaction of the Assistant City Manager.

Conditions to Be Met Prior to Occupancy:

9. Issuance of a certificate of occupancy.
10. Impact fees shall be paid per the invoice included with the Notice of Decision.
11. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.

Motion: T. Clark made a motion to approve with staff recommended conditions (20-yr parking lease).
Seconded by L. Skinner.
Discussion about parking ensued.
Vote 1 (Clark) – 8 motion fails.

Motion: F. Torr made a motion to approve with the standard (5-yr parking lease). Seconded by HH.
Vote 7 – 2 (Clark, Ciotti) motion passes.

- F. Consideration and acceptance of a Lot Line Adjustment for Invictus Holdings, LLC, c/o Summit Land Development, LLC (Owners: Invictus Holdings, LLC c/o Summit Land Development, LLC & H53 Mast Road LLC), Assessor's Map H, Lots 48 & 53, zoned R-40, located at Cold Springs Road & 17 Stonewall Drive. *(P19-33)

C. Parker explained that the applicant wishes to adjust the lot lines between two adjacent parcels moving 6.34 acres to lot 48. The new lot line will be along the zoning boundary between the I-4 and R-40 district.

The area of the lot line adjustment is comprised of a multi-use ballfield and former home site. Both areas are encumbered by conservation and recreation easements, used to satisfy Transfer of Development Rights requirements for Pointe Place. Based upon those easements, no residential use will be allowed on the site.

Lot H/48's access would remain the same without frontage on a public street but instead having Cold Springs Road run through the lot. Therefore, staying in the legal nonconforming status.

Kevin McEneaney, McEnenay Suevey, represented the applicant and owner and reviewed the application stating this is a simple lot line adjustment. They are adding 6 acres to a 3-acre lot. The lot line will follow the zoning map so that no part of the lot bridges two zones.



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C. Parker clarified the ballfield is being constructed by the City. The Recreation dept manages the existing field and will manage the new field, if it's built.

Motion: F. Torr made a motion to accept the applications. Seconded by D. White. Vote U/A.

Public hearing opened.

Elizabeth and Freddy Wiedmann, 47 Bellamy Road expressed concerns about traffic, deteriorating road conditions and access over Cold Springs Road. Semi-trucks have been going up the road not knowing the property can't be accessed that way. The applicant has been receptive to concerns and has put up signage indicating no access and is ordering speed limit signs as well.

Public Hearing closed.

C. Parker agreed the applicant will be working with staff to mitigate traffic issues and to design the new field, so it is utilized well and not over-used. Also, the football activities at that site were during high school renovations and may not continue.

Mr. McEneaney explained direction aps are sending these trucks along this route. The applicant is in communication with these ap managers to correct the issue. He has also unlocked the gate so truck drivers can get in to turn around if necessary. He will work with the neighbors on issues as they come up.

STAFF RECOMMENDATION:

Chapter 155-18 of the Land Subdivision Regulations of the City Code provides for the adjustment of existing lot lines between two or more lots. This plan is consistent with those regulations The Planning Department recommends the Planning Board approve the Lot Line Adjustment with the following condition:

Conditions to Be Met Prior to Signing of Plans:

1. The applicant shall provide the Planning Department with a digital version of the final plat.
2. The applicant shall revise the plat to:
 - a. Add Planning file number P19-33
 - b. Add signature and stamp of LLS
 - c. Add owners' signatures
 - d. Add a note regarding the conservation and recreation easements.

Motion: L. Skinner made a motion to approve with staff recommended conditions. Seconded by H. Harmon. Vote U/A.

- G. Consideration and acceptance of a Minor Subdivision for Kevin P & Karen M Coppinger, Assessor's Map M Lot 40, zoned R-12, and located at 39 Gerrish Road. (Proposal is to subdivide the existing lot into two lots). *(P19-34)

C. Parker explained that the applicant wishes to subdivide one lot into two lots. The new lots would be 0.35 acres and 0.38 acres

Kevin McEneaney, McEnenay Survey, represented the applicant and owner and reviewed the application.

Motion: F. Torr made a motion to accept the applications. Seconded by T. Clark. Vote U/A.



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Public hearing opened.

No one spoke.

Public Hearing closed.

STAFF RECOMMENDATION-Minor Subdivision:

Chapter 155-15 of the Land Subdivision Regulations of the City Code provides for subdivisions of existing lots. This plan is consistent with the regulations, and the Planning Department recommends that the Planning Board approve the Minor Subdivision with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The applicant shall revise the plat to:
 - a. Include the Licensed Land Surveyor signature and stamp
 - b. Add the owner's signatures to the final plat submitted for signature to be recorded at the Strafford County Registry of Deeds
 - c. Add Planning File #P19-34
 - d. Show proposed driveway location
 - e. Show proposed utilities
 - f. Add note that both wooden fences would be removed so that they do not cross boundaries
 - g. Revise note 10 to add when and by whom the site was reviewed for wetlands.
 - h. Add common subdivision notes: 15, 17, & 26.
 - i. Add note that the new lot number will be assigned by the City Assessor and building address by the Building Official.

Conditions to Be Met Prior to Building Permit:

2. Water and sewer investment fees shall be paid at time of the request for service.

Conditions to Be Met Prior to Occupancy:

3. Issuance of a Certificate of Occupancy.
4. Impact fees for new dwelling unit shall be paid per the invoice included with the Notice of Decision.

Motion: T. Clark made a motion to approve with staff recommended conditions. Seconded by D. White.
Vote U/A.

6. STAFF COMMENTS

- The only TRC item since the last meeting was second review of 1 First Street. Northern Pool and Spa at 29 Littleworth is coming back in two weeks.
- National Planning Conference
- NHDOT Rt. 108 meeting May 2nd
- NH OSI Spring Planning and Zoning Conference is June 1st

7. MEMBER COMMENTS

- L. Skinner commented that public comment emails and packets submitted should not be read into the record verbatim, but rather summarized as was done tonight.
- J. Kaspari is going to be presenting with Elena at the June 1st conference. He is also taking a new planning board member course.



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- F. Torr expressed concern about sound walls on Spaulding Turnpike. He stated sound barriers should be paid attention to. We need to preserve the tourism aspects of the state- the views. The Planning Board should be involved.

8. ADJOURNMENT

Motion: D. White made a motion to adjourn at 9:01 pm. Seconded by D. Landry. Vote U/A

 CITY OF DOVER	CITY OF DOVER – ORDINANCE Posted: Ordinance Number: O – yyyy.mm.dd - Ordinance Title: Updating the Dover Zoning Ordinance Chapter: 170
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The City of Dover Ordains:

1. PURPOSE

The purpose of this ordinance is to amend Chapter 170 of the Code of the City of Dover, entitled Zoning, by updating the Code to reflect changes in the community and in land use regulations.

2. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-20 “Central Business District Regulations”, revising section D “Standards and regulations” as follows:

D. Standards and regulations

- (1) The standards for use and dimensions to be utilized within the CBD are shown on the tables at the end of the section. Included in each table are the following areas:
 - (a) District Purpose
 - (b) LOT Occupation Regulations
 - (c) Diagram of BUILDING HEIGHT
 - (d) Diagram of BUILD TO LINES
 - (e) Special Regulations
 - (f) Permitted Uses
- (2) Through the issuance of a conditional use permit, BUILDING HEIGHT may be increased by one (1) story, which shall be setback from the allowed height to create a terrace, for either:
 - a. Each subgrade story of parking provided on the site; or.
 - b. Additional units resulting from this CUP are restricted so that the rent of said units conforms to the HUD Fair Market Rent rates, for Dover, published annually by the New Hampshire Housing Finance Authority.
- (3) General Guiding Principles for BUILDING Placement
 - (a) The goal of the BUILDING HEIGHT and BUILD TO LINE standards is the creation of a healthy and vital public realm through good STREET space.

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- (b) BUILDINGs are aligned and close to the STREET.
- (c) The STREET is a coherent space, with consistent BUILDING forms on both sides of the STREET, creating a clear PUBLIC SPACE and community identity.
- (d) BUILDINGs oversee the STREET (and SQUARE) with active fronts contributing to a vital and safe PUBLIC SPACE.
- (e) Property lines are physically defined by BUILDINGs or STREET WALLs.
- (f) BUILDINGs are designed for an urban feel and situation. Views are directed to the STREET and the garden/courtyard, not toward the neighbors. However within the STREET wall alcoves or small courtyards are permitted to allow for seating and public access
- (g) Vehicle storage, garbage and mechanical equipment are kept away from the STREET.
- (h) Within the General, Mixed Use, and TOD sub-districts, new retail and commercial activities are located on the GROUND FLOOR. Residential activity is not permitted, except as follows:
 - 1. Where a BUILDING does not front directly onto a STREET or municipal parking lot, residential activity may be located on the GROUND FLOOR.
 - 2. If retail and commercial activities are located on the GROUND FLOOR of BUILDINGs not fronting directly onto a STREET or municipal parking lot, the HEIGHT of the BUILDING may be increased by one (1) story.
 - a. Any additional stories shall be setback to create a terrace, and approved via a Conditional Use Permit.
- (i) In the Downtown Gateway residential may be located on the GROUND FLOOR, however new retail and commercial activities are encouraged to be developed.
- (j) Parking (not including on-street parking) should be away from the STREETs and shared by multiple owners/users.
- (k) Historic character should be preserved and enhanced by context sensitive construction.

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3. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-20 “Central Business District Regulations”, revising section E “STREETSCAPE” as follows:

E. STREETSCAPE

- (1) Sites within the CBD shall be developed so that BUILDINGs are placed at or near the right of way STREET, along the outer edge of their sites and so as to ensure the unity of those STREETS. Furthermore, these standards establish an environment that encourages and facilitates pedestrian activity. The Sub-District Sheets, Design Guidelines, and Dover Streetscape Standards will serve as a reference document for many of the elements below.

- (2) General Principles and Intent

(a) The STREETSCAPE

- (i) The STREET and BUILDING façade receives more attention than the rest of the BUILDING.
- (ii) STREETSCAPE elements, such as pavers, benches and waste-bins must be consistent within a project and adjacent properties where these elements are present.

(iii) PUBLIC ART is encouraged.

a. PUBLIC ART shall be reviewed and endorsed by the Dover Arts Commission.

b. Diversity of PUBLIC ART including paintings, sculptures, interactive, or passive artwork should be reviewed.

(iii)c. Celebrating Dover’s maritime heritage is desirable. This can be done with interactive water features (eg. a fountain) or through depictions of river activity.

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(b) FRONTS AND REARS

 CITY OF DOVER	CITY OF DOVER – ORDINANCE	
	Ordinance Number: O – yyyy.mm.dd - Ordinance Title: Updating the Dover Zoning Ordinance Chapter: 170 Posted:	

- (i) BUILDING facades are the public "face" of every BUILDING. Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their BUILDINGS.
- (ii) The private, REAR portions of the LOTs allow commercial operators to utilize these spaces as efficient working environments unseen by the public and allow residents to have private and semi-private (for apartment and condominium BUILDINGS) OPEN SPACE.

(c) OFF STREET PARKING

- (i) Parking provided for a project shall be screened from the STREET. The design of the screen shall be subject to PLANNING BOARD approval and shall use materials that are compatible with the surrounding character of the NEIGHBORHOOD and contribute to an attractive STREETScape.
- (ii) Parking shall be considered accessory and shall not be the principal use of a LOT.

(3) Minimum Standards

In addition to any regulations set forth in the CBD sub-district tables and the *Dover Streetscape Standards*, development shall follow the regulations outlined below. Subsections (a), (b), and (c) shall only apply to new construction and/or renovations that will result in a 50% or more increase in the value of the property, as determined by a licensed New Hampshire appraiser.

(a) STREET TREES/Landscaping

- (i) Each STREET shall have canopy shade trees (STREET TREES). STREET TREES shall be planted at an average spacing not greater than twenty-five (25) to thirty (30) feet on center (measured per BLOCK FACE). The planting area's minimum dimension shall be not less than five (5) feet. At planting, trees shall be two and a half (2.5) to three (3) inches in diameter (four (4) feet above grade) and shall meet the *American Nursery Standards* for HEIGHT. The tree species used shall be selected from the City of Dover's approved list of STREET TREES.

- (ii) Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground or mulch-only areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree



CITY OF DOVER

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Chapter: 170

boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and maintained to ensure 5' wide walkway.

~~(ii) Any unpaved ground area fronting the LOTs (to the curb) shall be planted with groundcover or flowering vegetation.~~

(b) SIDEWALKS

(i) SIDEWALKs shall be made of brick or concrete and shall be a minimum of five (5) feet wide but ideally eight (8) feet wide.

~~(+)(ii) Existing surrounding sidewalk materials shall be reviewed in determining material used.~~

(c) STREET FURNITURE

(i) Benches - Benches will have backs and arm rests and be accessible. See sub-district tables for spacing requirements. Benches shall be oriented to encourage social interaction, and be designed to enhance the site, not detract from it.

~~(+)(i)a. Benches may be exchanged for street furniture (eg chess/checker tables) where space allows.~~

(ii) Waste Bins - At a minimum, one (1) waste bin will be provided at each BLOCK CORNER.

(iii) Bike Racks – At a minimum, one (1) bike rack shall be required per non-residential project or residential projects with five (5) or more units.

(d) Lighting

(i) Materials and equipment chosen for lighting fixtures should be durable, energy efficient, and weather well. Appropriate lighting is desirable for nighttime visibility, crime deterrence, and decoration. However, lighting that is too bright or intense creates glare, hinders night vision, and creates light pollution.

(ii) At the front of the BUILDING, exterior lights shall be mounted between six (6) feet and fourteen (14) feet above the adjacent grade.

(iii) Floodlights or directional lights may be used to illuminate parking garages and working (maintenance) areas but must be shielded or aimed in such a way that they do not shine into other LOTs, or the STREET. Floodlighting

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 CITY OF DOVER	CITY OF DOVER – ORDINANCE	
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shall not be used to illuminate BUILDING walls (i.e. no up-lighting), except in the TOD sub-district.

- (iv) Site lighting shall be of a design and HEIGHT so as to illuminate only the LOT.
- (v) No flashing, traveling, animated, or intermittent lighting shall be visible from the STREET on the exterior of any BUILDING, whether such lighting is of temporary or long-term duration.

(e) Mechanical Equipment

- (i) The following shall not be stored or located within any STREET, and be screened from view from the STREET: Air compressors, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, and the like may not be stored or located within any area considered a FRONT YARD under this Code.
- (ii) Roof mounted equipment shall be screened from view from the STREET.

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4. AMENDMENT

Chapter 170 of the Code of the City of Dover, entitled Zoning, is hereby amended by revising Chapter 170-20 “Central Business District Regulations” revising section F “Architectural Standards” as follows:

F. Architectural Standards

The following standards ~~including those are optional (except where noted on sub-district sheets)~~ and may be utilized by the APPLICANT. ~~An APPLICANT's election not to submit to architectural standards shall not adversely prejudice the application.~~

(1) General Principles and Intent

(a) Tradition

- (i) These standards favor BUILDINGS that are traditional in design in a broad sense. They specify an architectural language of load-bearing walls and regional materials that help define BUILDING base and cornice. These standards encourage details, such as column and pier spacing, window

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proportions, entry level, roof or cornice configurations, storefronts, and overhangs.

- (ii) The intent behind these standards is to reinforce the existing character and historic nature of Dover’s central business district. However, modern BUILDINGs that are sensitive to that character and their adjacent context may be permitted as well

- (iii) All BUILDING materials to be used shall express their specific properties. For example, stronger and heavier materials (masonry) support lighter materials (wood).

(b) Energy Efficiency and Environmental Conservation

- (i) LEED (Leadership in Energy and Environmental Design) standards, or an equivalent standard (or such others as may succeed them), are encouraged to be incorporated into the BUILDING design.

(c) PUBLIC SPACE

- (i) Many of these standards apply only in conditions that enhance and define the PUBLIC SPACE. These controls concentrate on the PUBLIC SPACE/views from the PUBLIC SPACE and minimize interference in the private realm.

(2) BUILDING Walls (Exterior)

- (a) BUILDING walls should reflect and complement the traditional materials and techniques of Dover’s architecture. They should express the construction techniques and structural constraints of traditional, long-lasting, BUILDING materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in BUILDING form and the articulation of details. All BUILDING materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood). Yet architectural detail shall be present throughout the building face horizontally and/or vertically rather than just on the first twenty feet (20') from the ground.

~~(a)~~(b) BUILDING materials shall be context sensitive and shall reflect a consistency to be found within the sub-district.

- (i) Brick, stone or masonry BUILDING materials are ~~encouraged~~expected for exterior walls.

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 CITY OF DOVER	CITY OF DOVER – ORDINANCE	
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(3) Roofs and PARAPETs

- (a) Roofs and PARAPETs should demonstrate a commonsense recognition of the climate by utilizing appropriate pitch, drainage, and materials.
- (b) BUILDINGs without visible roof surfaces and overhanging eaves may have a cornice projecting horizontally between six (6) and twelve (12) inches beyond the BUILDING walls. For BUILDINGs three stories or taller, the cornice projection shall increase an additional six (6) and twelve (12) inches per STORY.
- (c) Skylights and roof vents are permitted only on the roof plane opposite the primary STREET or when shielded from the STREET view by the BUILDING's PARAPET wall. If a glass roof form is a primary design feature of a building it shall be considered in regard to the architectural design guidelines as part of the building elevations rather than a skylight.
- (d) Overly elaborate, “postmodern” and/or “high-tech” designs are discouraged, where in conflict with existing architecture. However, ornamentation which contributes to the character of the BUILDING is encouraged. BUILDING designs need to reflect the adjacent massing. Ornamentation should be consistent with that used in the NEIGHBORHOOD of BUILDINGs to reinforce the fabric and richness of the community.

(e) Green roof technologies are encouraged in all districts. Use of this technology to cover thirty percent (30%) of the roof is required on commercial and mixed-use structures over 25,000 square feet in the CBD. Vegetative cover should be considered for flat ~~roofed~~ roofs and solar panels should be considered for integration into pitched ~~roof~~ STRUCTUREs. Roofs that contain gardens or plants must be maintained per the approved maintenance agreement.

(f) Solar panels are desirable citywide.

i. In the CBD all buildings must be solar ready.

ii. Commercial and mixed-use buildings that are 25,000 sq ft or more must incorporate solar panels.

~~(b)~~iii. Solar panels must be presented in an aesthetically pleasing pattern.

(4) STREET WALLS

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(a) STREET WALLS establish a clear edge to the STREET in locations where the BUILDINGS do not. The CBD requirements include masonry walls that define outdoor spaces and separate the STREET from the private realm (parking LOTS, trash cans, gardens, and equipment). All STREET WALL façades shall be as carefully designed as the BUILDING façade, with the finished side out, i.e. the “better” side facing the STREET.

(5) Windows and Doors

(a) Windows should be divided by multiple, vertical panes of glass. This helps the window “hold” the surface of the façade, rather than appearing like a “hole” in the wall (an effect produced by a large single, horizontal sheet of glass).

(b) PRINCIPAL BUILDING entrances shall be clearly visible from the primary front STREET and create a safe and inviting space.

5. TAKES EFFECT

This ordinance shall take effect upon passage and publication of notice as required by RSA 47:18.

AUTHORIZATION

Approved as to Funding:	Daniel R. Lynch	Sponsored	Councilor Dennis Ciotti
		by:	
	Finance Director		City Council Planning Board Representative
Approved as to Legal Form and Compliance:	_____		
	City Attorney		
Recorded by:	Sue Mistretta		
	City Clerk		

DOCUMENT HISTORY:

First Reading Date: _____	Public Hearing Date: _____
Approved Date: _____	Effective Date: _____

DOCUMENT ACTIONS:

Document Created by: Planning Department Document Posted on: May 14, 2019	Arch Arch Zoning Amendments 2019 Zoning amendments first draft Page 9 of 10
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Posted:

Chapter: 170

Date of Vote:	YES	NO
Mayor, Karen Weston		
Deputy Mayor, Robert Carrier		
Councilor Michelle Muffett-Lipinski, Ward 1		
Councilor Dennis Ciotti, Ward 2		
Councilor Deborah Thibodeaux, Ward 3		
Councilor Marcia Gasses, Ward 4		
Councilor Dennis Shanahan, Ward 5		
Councilor Michael Keane, Ward 6		
Councilor Lindsey Williams, At Large		
Total Votes:		
Resolution does does not pass.		

Arch Arch Zoning Amendments 2019 Zoning amendments
first draft

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CBD Transit Oriented Development Sub-District

The information included in this table represents the requirements for development in this sub-district; see Section 170-20 for additional requirements (Adopted ____, Amended ____).



STATEMENT OF PURPOSE

This is an area ripe for redevelopment. This area west of Chestnut Street was once the home of coal yards, warehouses, and other supporting structures for the rail line that passes through it. The rail line will be the key to its future success as well. In combination with the associated transportation center, transportation is the key to future development here. It is envisioned that this could be an area of very dense development along the banks of the Cochecho River. A wide variety of uses is intended here, with residences dominating upper levels, and retail and commercial activity dominating lower levels.

DIMENSIONAL REGULATIONS*

Principal Building	
Lot Size	N/A
Lot Coverage	75%-100%
Frontage Build-Out	80% min.
Front Primary BUILD TO LINE	0 ft. min - 0 ft. max
Front Secondary BUILD TO LINE	0 ft. min - 0 ft. max
Side Setback	10 ft. min, 25 ft max
Rear Setback	0 ft. min, 25 ft. max
Outbuilding	
Front Setback	Not permitted
Side Setback	Not permitted
Rear Setback	Not permitted
Private Frontages	
Common Yard	Not permitted
Porch and Fence	Not permitted
Terrace/Lightwell	Not permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Permitted
Height of Building	
Principal Building	5 story max, 3 story min
Outbuilding/Accessory	Not permitted

*CUP (170-20B) may be used to adjust standards.

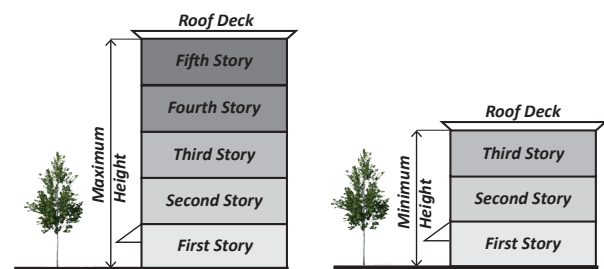
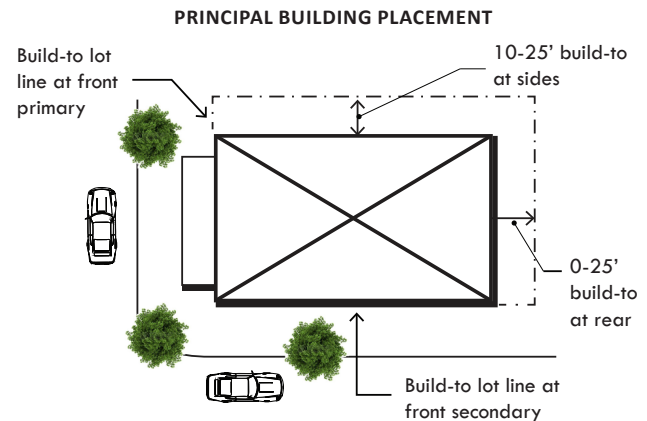
PARKING LOCATION STANDARDS (SEE 149-14)

New construction resulting in additional square footage, or an increase in residential units, must comply with parking standards for the new portion of the building only.

PERMITTED USES*

Use	
Residential	Permitted but not on Ground Floor, except as existing use
Lodging	Permitted
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Permitted
Retail/Personal Services	Permitted
Industrial	Not permitted
Civic	Permitted
Drive-Thru Services	Not permitted
Other	Via Conditional Use Permit

*CUP (170-20B) may be used to adjust standards.



SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	1 sf per lf of frontage- area may be increased if mill motif is adhere to
Sign Type	
Freestanding	Not permitted
Projecting	Permitted- 10 ft. min. above sidewalk, 25 ft. max height, 24 sq. ft. max.
Wall/Awning	Permitted- 40 sq. ft. max.
Temporary	Permitted per- 170-32.Q (1)

ARCHITECTURAL STANDARDS*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

Ground Floor standards:

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- No more than 80% of any street façade shall be for parking.
- The use of ground floor exterior lighting on the building should offer a feeling of warm security and increase safety for pedestrians without being overwhelming.

Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Building design shall enhance the pedestrian environment and streetscape.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Solar/Green Roof Standard:
 - All buildings must be solar ready
 - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

Optional standards include:

- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.

**CUP (170-20B) may be used to adjust standards.*

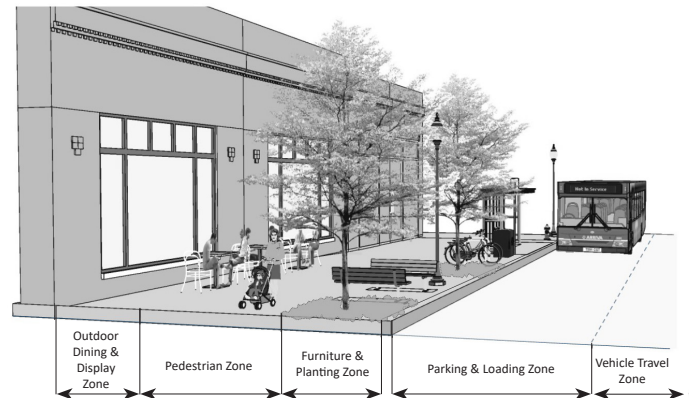
STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in transportation oriented, mixed use areas of the CBD accommodate pedestrians and bicyclists and facilitate alternative transportation travel. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and be maintained to ensure 5 feet wide walkways.
- Projects shall be designed to maintain and enhance, the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall, at a minimum, be provided as follows:
 - 1 bench for every 75 feet of frontage.
 - At least 1 waste bin at each block corner.
 - At least 1 bike rack per project plus 10% of the parking spaces provided for bike storage.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).

**CUP (170-20B) may be used to adjust standards.*

STREETSCAPE ELEMENTS



ADULT BOOKSTORE, VIDEO STORE, OR CABARET

These uses are subject to the following conditions:

- An Adult Bookstore, Video Store or Cabaret shall be at least 500 feet from a parcel of land containing an existing residential use.
- An Adult Bookstore, Video Store or Cabaret shall be at least 1000 feet from a parcel of land containing a school, church, community park or public recreational area.
- No adult Bookstore, Video Store or Cabaret shall be permitted within 1000 ft. of an existing similar use.
- The proposed use shall comply with all other state statutes, and city ordinances and codes.

CBD Downtown Gateway Sub-District

The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted ____, Amended ____).



STATEMENT OF PURPOSE

A gateway is an area that marks a transition point where you move from one existing condition to another. In terms of land use, Gateways generally indicate transition points from a less developed area (the highway, the rural landscape, etc.) to a more formal, densely developed urban core (multi-story buildings, civic buildings, etc.). In Dover the primary Downtown Gateways (Central Avenue north and south of the downtown core, Broadway, and Portland Avenue) are generally dominated by commercial activity, with buildings of a lower height than those located downtown. Some residual residential activity occurs occasionally as stand-alone buildings, but frequently residential activity is located above ground floor commercial uses. A modest distance between the building and the street exists, with a fair amount of landscaping.

DIMENSIONAL REGULATIONS*

Principal Building	
Lot Size	N/A
Lot Coverage	50%
Frontage Build-Out	60% min.
Front Primary BUILD TO LINE	5 ft. min - 20 ft. max
Front Secondary BUILD TO LINE	5 ft. min - 20 ft. max
Side Setback	5 ft. min
Rear Setback	0 ft. min
Outbuilding	
Front Setback	20 ft. min + bldg. setback
Side Setback	5 ft. min
Rear Setback	10 ft. min
Private Frontages	
Common Yard	Permitted
Porch and Fence	Permitted
Terrace/Lightwell	Permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Not permitted
Height of Building	
Principal Building	4 story max, 2 story min
Outbuilding/Accessory	2 story max

*CUP (170-20B) may be used to adjust standards.

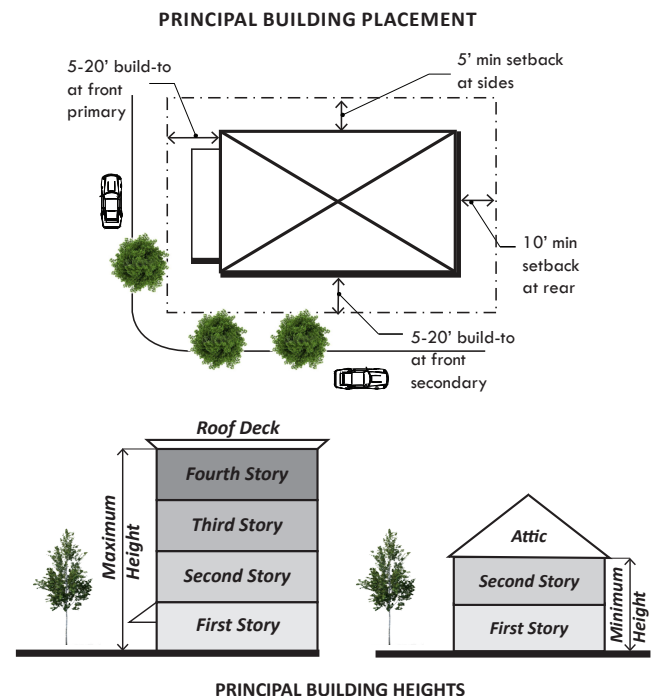
PARKING LOCATION STANDARDS (SEE 149-14)

New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

PERMITTED USES*

Use	
Residential	Permitted; density allowed at 5,000 sf. per unit, 10 units max
Lodging	Permitted, up to 12 rooms, 13+ rooms if Arch. Standards are followed
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Permitted
Retail/Personal Services	Permitted
Industrial	Permitted on Broadway via CUP
Civic	Permitted
Drive-Thru Services	Not Permitted
Other	Via Conditional Use Permit

*CUP (170-20B) may be used to adjust standards.



SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	24 sf
Sign Type	
Freestanding	Permitted- 16 ft. max ht. or to bottom of second floor window sills (whichever is lowest)
Projecting	Permitted- 10 ft. min. above sidewalk, 25 ft. max height, 24 sq. ft. max.
Wall/Awning	Permitted
Temporary	Permitted per- 170-32.Q (1)

ARCHITECTURAL STANDARDS*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

Ground Floor standards:

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- Residential uses permitted.
- The use of ground floor exterior lighting on the building should offer a feeling of warm security and increase safety to pedestrians without being overwhelming.

Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Building design shall enhance the pedestrian environment and streetscape.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Use of architectural details and changes in depth are included on building elevations to increase visual interest and scale.
- Garages shall not face the street.
- Solar/Green Roof Standard:
 - All buildings must be solar ready
 - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

Optional standards include:

- Use of elements that accentuate and/or provide coverage at the entry such as canopy, porch, recessed entry, etc. are encouraged.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.
- Public art is encouraged.

**CUP (170-20B) may be used to adjust standards.*

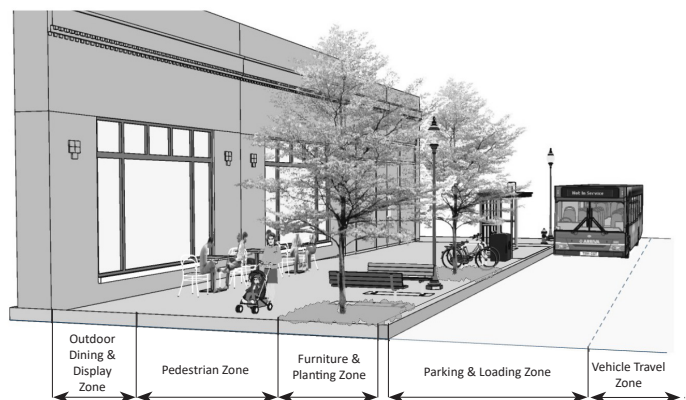
STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in mixed use areas of the CBD have a relationship with adjacent buildings, accommodate pedestrians and bicyclists, and are compatible with the character of Dover's neighborhoods. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and maintained to ensure 5' wide walkway.
- Projects shall be designed to maintain and enhance, the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall be provided as follows:
 - 1 bench for every 75 feet of frontage.
 - At least 1 waste bin at each block corner.
 - 1 bike rack per non-residential project.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).

**CUP (170-20B) may be used to adjust standards.*

STREETSCAPE ELEMENTS



CBD Mixed Use Sub-District

The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted __, Amended __).



STATEMENT OF PURPOSE

This is an area in transition. Once the homes of the mills' managers and the community's professionals and successful merchants, shipbuilders, sea captains, and others, these stately Victorian buildings are a tribute to Dover's financial success during the height of the mill economy. These elegant structures lend grace to the community. While some of the existing buildings remain as single family residences, others are being converted to apartments and offices. As new structures replace older ones, they should follow the setback and massing of earlier structures. Residences in these newer buildings should be restricted to upper levels. Landscaping is an important element of this district, in both the public and private arenas.

DIMENSIONAL REGULATIONS*

Principal Building	
Lot Size	N/A
Minimum Lot Coverage	50%
Frontage Build-Out	60% min.
Front Primary BUILD TO LINE	5 ft. min - 20 ft. max
Front Secondary BUILD TO LINE	5 ft. min - 20 ft. max
Side Setback	5 ft. min - 20 ft. max
Rear Setback	10 ft. min - 20 ft. max
Outbuilding	
Front Setback	20 ft. min
Side Setback	5 ft. min
Rear Setback	5 ft. min
Private Frontages	
Common Yard	Permitted
Porch and Fence	Permitted
Terrace/Lightwell	Permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Not permitted
Height of Building	
Principal Building	3 story max, 2 story min
Outbuilding/Accessory	2 story max

*CUP (170-20B) may be used to adjust standards.

PARKING LOCATION STANDARDS (SEE 149-14)

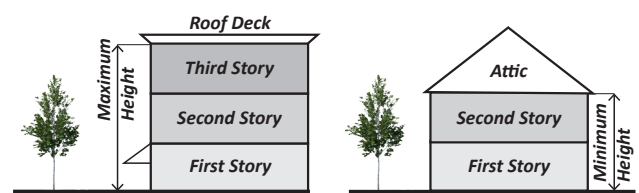
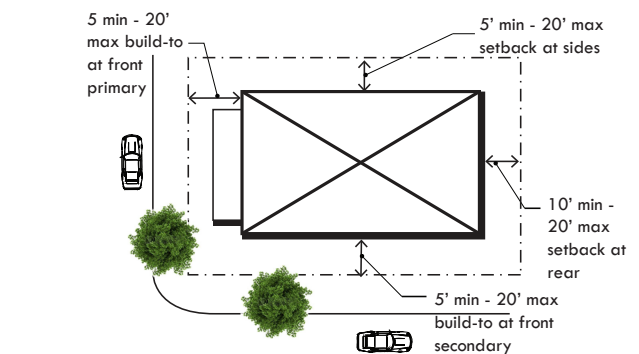
New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

PERMITTED USES*

Use	
Residential	Permitted, but not on GROUND FLOOR except in existing STRUCTURES; density allowed at 5,000 sf. per unit, 10 units max
Lodging	Permitted, up to 12 rooms w/ stays up to 14 days
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Not permitted
Retail/Personal Services	Permitted
Industrial	Not permitted
Civic	Permitted
Drive-Thru Services	Not permitted
Other	Via Conditional Use Permit

*CUP (170-20B) may be used to adjust standards.

PRINCIPAL BUILDING PLACEMENT



PRINCIPAL BUILDING HEIGHTS

SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	12 sf
Sign Type	
Freestanding	Not permitted
Projecting	Not permitted
Wall/Awning	Permitted- area may be increased if Mill Motif is adhered to.
Temporary	Permitted per- 170-32.Q (1)

ARCHITECTURAL STANDARDS*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

Grand Floor standards:

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- The use of ground floor exterior lighting on the building should offer a feeling of warm security and increase safety to pedestrians without being overwhelming.

Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Garages shall not face the street.
- Solar/Green Roof Standard:
 - All buildings must be solar ready
 - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

Optional standards include:

- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Use of elements that accentuate and/or provide coverage at the entry such as canopy, porch, recessed entry, etc. are encouraged.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.

**CUP (170-20B) may be used to adjust standards.*

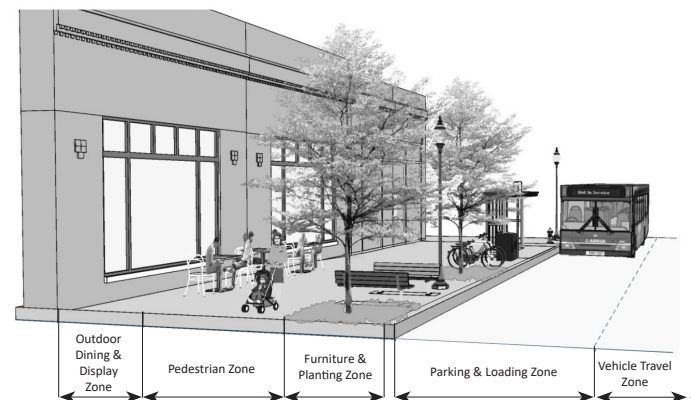
STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in mixed use areas of the CBD have a relationship with adjacent buildings, accommodate pedestrians and bicyclists, and are compatible with the character of Dover's neighborhoods. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground or mulch-only areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas.
- Projects shall be designed to maintain and enhance, the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall, at a minimum, be provided as follows:
 - 1 bench for every 75 feet of frontage.
 - At least 1 waste bin at each block corner.
 - 1 bike rack per non-residential project.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).
- Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area. in front of their buildings and maintain in such a way so that the walkway is cleared.
- Public art is encouraged.

**CUP (170-20B) may be used to adjust standards.*

STREETSCAPE ELEMENTS



CBD Residential Sub-District

The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted ____, Amended ____).



STATEMENT OF PURPOSE

North of the Downtown core are neighborhoods of smaller homes, once the residences of mill employees, shopkeepers, and others for whom the close proximity to the Downtown was an important feature. Smaller in scale than the more ornate homes in the Mixed Use District, many of these buildings still present considerable architectural detailing. Many of them have outbuildings at the rear of the property. The continued use of these areas as residential neighborhoods is important, both to the city's heritage and to achieving the smart growth and low carbon impact goals of the master plan. Where new structures are added, they should mimic the placement, scale, and building materials of the older homes.

DIMENSIONAL REGULATIONS*

Principal Building	
Lot Size	N/A
Minimum Lot Coverage	40%
Minimum Frontage	75 ft.
Frontage Build-Out	40% min.
Front Primary BUILD TO LINE	8 ft. min - 15 ft. max
Front Secondary BUILD TO LINE	8 ft. min - 10 ft. max
Side Setback	10 ft.
Rear Setback	15 ft.
Outbuilding	
Front Setback	20 ft. min + bldg. setback
Side Setback	5 ft. min
Rear Setback	5 ft. min
Private Frontages	
Common Yard	Permitted
Porch and Fence	Permitted
Terrace/Lightwell	Not permitted
Stoop	Permitted
Shopfront/Awning	Not permitted
Gallery	Not permitted
Height of Building	
Principal Building	3 story max, 2 story min
Outbuilding/Accessory	2 story max

*CUP (170-20B) may be used to adjust standards.

PARKING LOCATION STANDARDS (SEE 149-14)

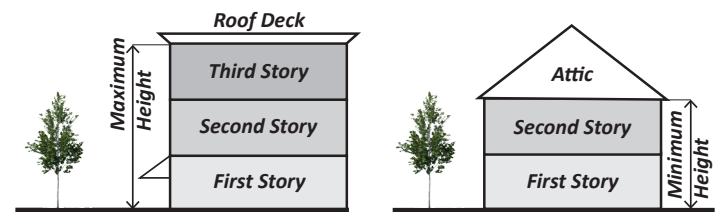
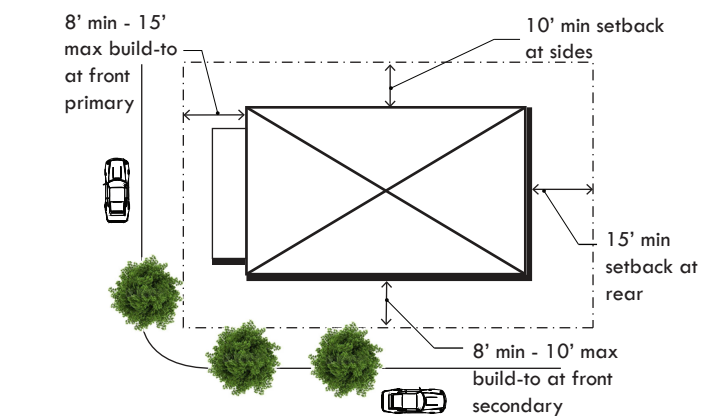
New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

PERMITTED USES*

Use	
Residential	Permitted
Lodging	Permitted, up to 12 rooms w/ stays up to 14 days
Professional Services & Offices	Via Conditional Use Permit
Eating & Drinking Establishments	Not permitted
Retail/Personal Services	Via Conditional Use Permit
Industrial	Not permitted
Civic	Permitted
Other	Via Conditional Use Permit

*CUP (170-20B) may be used to adjust standards.

PRINCIPAL BUILDING PLACEMENT



PRINCIPAL BUILDING HEIGHTS

SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	1
Total area of all signs	16 sf.
Sign Type	
Freestanding	Not permitted
Projecting	Permitted- 10 ft. min above sidewalk, 25 ft. max ht, 24 sf. max size
Wall/Awning	Permitted- 16 ft. max ht, or to bottom of 2nd floor window sills, whichever is lowest
Temporary	Not permitted

ARCHITECTURAL STANDARDS*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

Ground Floor standards:

- No less than 30% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.

Required standards include:

- Building designs shall be harmonious with neighboring structure in terms of mass, width, height, proportion, spacing, and setback.
- Building designs shall consider the quality of the pedestrian environment.
- Garage doors shall be relatively unobtrusive.
- Utility elements shall be screened in an aesthetically pleasing manner.

Optional standards include:

- Desirable materials include wood (clapboard and shakes), brick, stone, and contemporary materials that are harmonious and compatible with the aesthetic of the sub-district and its neighboring structures.
- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.

**CUP (170-20B) may be used to adjust standards.*

STREETSCAPE STANDARDS

Streetscape standards were crafted to ensure streets in residential areas of the CBD are walkable, accommodate pedestrians and bicyclists, and are compatible with the character of Dover's neighborhoods. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be a minimum of 5 feet wide.
- Projects shall be designed to maintain and enhance the quality of pedestrian, bicycle and vehicular facilities, and circulation and safety on affected public streets.
- Lighting and mechanical equipment standards per 170-20(E)(3) (d).
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare or mulch-only ground areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas.
- Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their buildings but maintain them in a way to not block the walkways.

**CUP (170-20B) may be used to adjust standards.*

STREETSCAPE ELEMENTS



CBD General Sub-District

The information included in this table represents the requirements for development in this sub-district, see Section 170-20 for additional requirements (Adopted __, Amended __).



STATEMENT OF PURPOSE

From the late 1700's, when Dover began to shift from a farming community to a manufacturing center, the land and blocks in and around Washington and Main Streets and Central Avenue have been the community's commercial core. Both redevelopment and new development should reflect that 250 year history. A wide array of retail and commercial activity should be encouraged here. Residential activity should be encouraged on the upper floors of buildings. New construction, where needed, should follow the pattern of existing development in terms of building placement, building height, and the use of durable construction materials. Public spaces are important here, and should be encouraged and maintained properly.

DIMENSIONAL REGULATIONS*

Principal Building	
Lot Size	N/A
Lot Coverage	75%
Frontage Build-Out	70% min
Front Primary BUILD TO LINE	(1)
Front Secondary BUILD TO LINE	(1)
Side Setback	0 ft. min - 24 ft. max
Rear Setback	10 ft. min
Outbuilding	
Front Setback	Not permitted
Side Setback	Not permitted
Rear Setback	Not permitted
Private Frontages	
Common Yard	Not permitted
Porch and Fence	Not permitted
Terrace/Lightwell	Not permitted
Stoop	Permitted
Shopfront/Awning	Permitted
Gallery	Permitted
Height of Building	
Principal Building	5 story max, 2 story min
Outbuilding/Accessory	Not permitted

*CUP (170-20B) may be used to adjust standards.

"(1) The property owner shall calculate the average front SETBACKS of all LOTS within the same zone located on the same side of the STREET, two hundred fifty (250) feet in each direction from the center of the front LOT LINE. This front SETBACK dimension shall be considered to be a BUILD TO LINE. STRUCTURES may be constructed within five (5) feet plus or minus of the average. Porches or steps may be located an additional five (5) feet beyond the front façade of the STRUCTURE. Expansions to existing STRUCTURES shall be subject to a minimum SETBACK equal to the calculated average SETBACK minus five (5) feet."

PARKING LOCATION STANDARDS (SEE 149-14)

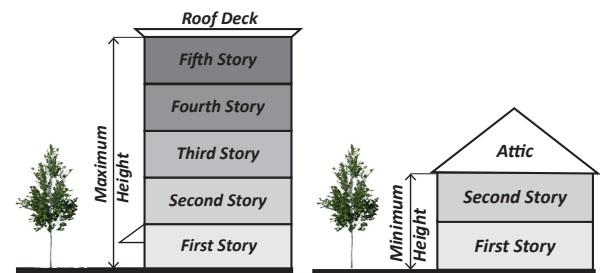
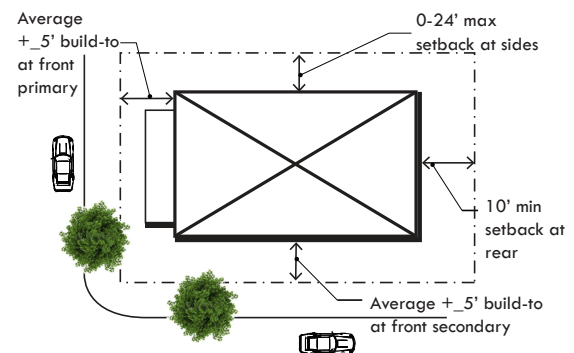
New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

PERMITTED USES*

Use	
Residential	Permitted, but not on GROUND FLOOR except in an existing use
Lodging	Permitted
Professional Services & Offices	Permitted
Eating & Drinking Establishments	Permitted
Retail/Personal Services	Permitted
Industrial	Not permitted
Civic	Permitted
Drive-Thru Services	Not permitted
Other	Via Conditional Use Permit

*CUP (170-20B) may be used to adjust standards.

PRINCIPAL BUILDING PLACEMENT



PRINCIPAL BUILDING HEIGHTS

SIGN REGULATIONS

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	1 sf. per lf. of frontage - area may be increased if Mill Motif is adhered to
Sign Type	
Freestanding	Not permitted
Projecting	Permitted - 10 ft. min above sidewalk, 25 ft. max ht, 24 sf.
Wall/Awning	Permitted, 40 sf. max
Temporary	Permitted per- 170-32.Q (1)

ARCHITECTURAL STANDARDS*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Buildings designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, reflect a consistency found within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single family and multifamily uses. Architectural Standards are not intended to stifle creativity or variety, but produce designs respectful of place and context. **For more information, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

The following **Architectural Standards** must apply for a residential building with 5 units or more and all mixed use/non-residential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

Ground Floor standards:

- No less than 80% of the façade shall be windows.
- A pedestrian entrance shall be required at the street side or front façade.
- For new construction only non-residential uses shall be on the ground floor level.
- Ground floor exterior lighting on the building is encouraged and should offer a feeling of warm security and increased safety to pedestrians without being overwhelming.

Required standards include:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Building design shall enhance the pedestrian environment and streetscape.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Garages shall not face the street.
- Solar/Green Roof Standard:
 - All buildings must be solar ready
 - Commercial and mixed use buildings that are 25,000 sq ft or more must also incorporate solar panels and a green roof on at least 30 percent of the roof area.

Optional standards include:

- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Use of elements that accentuate and/or provide coverage at the entry such as canopy, porch, recessed entry, etc. are encouraged.
- LEED standards or an equivalent standard are encouraged.
- Energy efficient design techniques, LEED standards, or an equivalent standard are encouraged.
- Other integrated green infrastructure elements are encouraged.

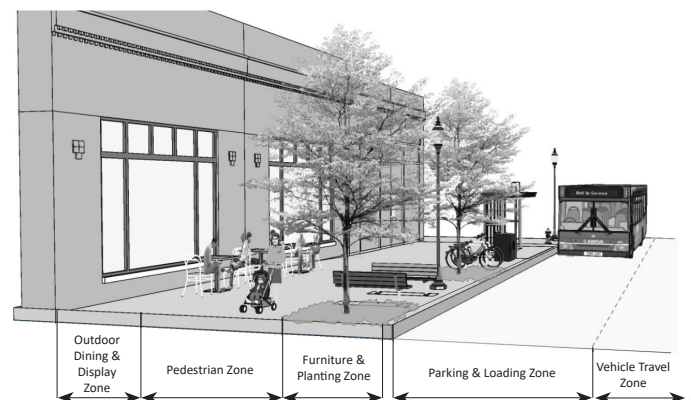
**CUP (170-20B) may be used to adjust standards.*

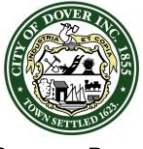
STREETSCAPE STANDARDS

Streetscape standards were crafted to create a vibrant, walkable downtown area that facilitates pedestrian activity. The experience each person will have with the street, the sidewalk, the buildings, and the surrounding environment is what helps define the unique character of a place. All street elements must be consistent with Dover Streetscape and Landscape Standards. **For more information on streetscape standards, please see Section ____ of Dover's CBD Architectural Design Guidelines.**

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate groundcover or shrubs, no bare ground or mulch-only areas permitted. Low Impact Development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas and maintained to ensure 5' wide walkway.
- Projects shall be designed to maintain and enhance the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall be provided as follows:
 - 1 bench for every 75 feet of frontage.
 - At least 1 waste bin at each block corner.
 - 1 bike rack per project.
- Lighting and mechanical equipment standards per 170-20(E)(3)(d).
- Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their buildings.
- Public art is encouraged.

STREETSCAPE ELEMENTS



 CITY OF DOVER	CITY OF DOVER - ORDINANCE	
	Posted: Ordinance Number: O – yyyy.mm.dd - Ordinance Title: Site Review Regulation Amendments Chapter: 149	

1. Chapter 149 of the Code of the City of Dover, entitled Site Review Regulations, is hereby amended by revising 149-14.L “Architectural Design Standards”, by revising follows:

L. Architectural Design Standards

(1) Findings

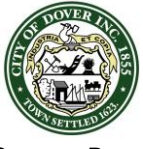
The City of Dover Planning Board finds that:

- (a) Our city contains a historic downtown area, three major thoroughfare business districts, a beautiful rural landscape replete with unique natural and cultural resources, an excellent architectural tradition, a colorful history, and much visual appeal.
- (b) Preserving and enhancing these features is integral to maintaining the character and identity of our community.
- (c) Building designs should embody the traditions of our city and region, consider the quality of the pedestrian environment, and provide aesthetics that enhance the character of our community, improve property values, and quality of life. ~~Building designs which are indifferent to the traditions of our city and region, aggressively seek the attention of passing motorists, do not consider the quality of the pedestrian environment, or are erected at the lowest possible cost without due concern for aesthetics harm the character of our community, depress property values, and impair our quality of life.~~
- (d) While subjectivity and judgment ~~is~~ are invariably part of reviewing architectural designs there are universal principles of good design.
- (e) Well-crafted design standards can promote building design that is functional, economical, attractive, and harmonious. Quality development and sustainable economic development are not mutually exclusive; rather, they are interdependent.

(2) Purpose

The purpose of the Architectural Design Standards is to:

- (a) Provide for high quality architecture that respects UNIVERSAL DESIGN PRINCIPLES, enhances the appearance of Dover, reinforces pedestrian character where appropriate, and is sensitive to neighboring buildings, the broader setting, and natural and cultural resources.

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- (b) Protect and enhance the positive visual qualities of Dover’s downtowns, residential neighborhoods, commercial corridors, industrial parks, and scenic and rural landscapes.
- (c) Encourage design, which is compatible with the TRADITIONAL character of Dover and New England- while being harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- (d) Enhance property values and foster civic pride.
- (e) Minimize potential aesthetic conflicts between residential and NONRESIDENTIAL USES and between single family and multifamily USES.

Adherence to these standards ~~is should not be burdensome and they are~~ not intended to stifle creativity or variety. On the contrary, the standards will likely encourage more thoughtful approaches to building design. There is much flexibility embodied in the guidelines and ~~many~~ numerous ways of meeting the objectives from Dover’s Master Plan. They are intended to ~~It is hoped that they will~~ serve as useful guidelines for design professionals and APPLICANTS seeking to produce quality designs respectful of place and context.

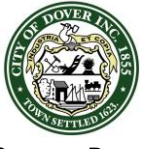
(3) Adoption

This section is adopted pursuant to the City of Dover Master Plan and New Hampshire Revised Statutes Annotated sections 674:21 (Innovative Land USE Controls) and 674:44 (Site PLAN Review Regulations).

(4) Applicability

Architectural design review is required as part of Site PLAN Review process for all NONRESIDENTIAL structures and for all residential structures where the total number of dwelling units in one development, whether in one or more structures, exceeds ~~four~~ five (however, in no event would any single family structures or properties be subject to review). This review includes all new construction, building additions, and alterations to buildings if those alterations would significantly affect the exterior appearance of the building. Design review is required only for building ELEVATIONS and portions of structures that would be visible from a public street or path or from neighboring residential properties. All applicable development must conform to these guidelines as reasonably interpreted and applied by the Planning Board.

Architectural design review is not conducted for routine repair or maintenance of structures, any work on the interior of a building, any existing structures for which no exterior alterations are proposed, and modifications solely for the purpose of providing safe

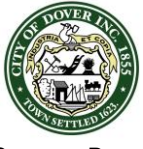
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means of egress or access in order to meet requirements of the Building Code or Life Safety Code. Architectural design review is only conducted in instances found within 149.4 Applicability of the Site Review Regulations.

(5) Various Sections ~~o~~Of the City

Various sections of the City differ from one another in character and in appropriate treatment. The following sections are listed in order, generally, from the most sensitive to the least sensitive sections.

- (a) CBD. This zone encompasses the downtown areas and is highly sensitive because of the importance and challenge of maintaining a pleasing pedestrian environment. This is the Central Business District, which includes the areas along Washington Street from Chestnut Street to Main Street, all of Main Street, and a section of Central Avenue from Sixth Street to Silver Street. As one travels closer to the core areas traditionally the buildings are taller, closer to the sidewalk, built of more substantial materials, and more elaborate in design and detailing.
- (b) CWD. These areas are not as sensitive as existing neighborhoods in which existing residents could be vulnerable to new development over which they have little control. New commercial structures, ~~are not being built~~ in TRADITIONAL neighborhoods. ~~However,~~ this zone is adjacent to the existing downtown core, and should feel as if it is an extension of the CBD district. The architecture of the waterfront areas should encourage the development of marine, history or tourism related land USES and activities, which take advantage of the peculiar characteristics of the waterfront as well as its central location in Dover and its proximity to the historic area.
- (c) B-1, O. These areas are sensitive because some older neighborhoods that are zoned for mixed USE have ~~been harmed~~~~experienced~~ by incompatible multifamily and NONRESIDENTIAL development. These are transitional zones, and as such the new non-residential components should respect the character and nature of the existing residential USES. New development should blend in with the TRADITIONAL character of these neighborhoods in order not to ~~diminish property values~~~~detract from the community~~ and the small SCALE pedestrian nature of these areas.
- (d) B-3, B-4, B-5. It is important to enhance the quality of commercial development along these corridors (such as Routes 9, 108, 4, and 155). All serve as gateways to the city, carry high levels of traffic, and are the most ~~prominent-traveled~~ areas of the city. On the other hand, an intensive automobile oriented and big BOX/small BOX character is already established in many areas. Thus, while we seek to enhance the visual

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experience along these corridors, there are generally fewer sensitive resources vulnerable to this type of development.

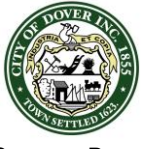
- (e) I-1, I-2, I-4. We seek to enhance the quality of our industrial parks (such as Venture Drive and Industrial Park Road). However, because these are located on dead end streets with almost no incidental traffic and with few vulnerable existing visual resources they are less sensitive.

(6) General Standards

An application is considered to meet the design requirements of the Architectural Design Standards if the Planning Board, in its judgment, determines that the application overall demonstrates reasonable conformity with the Purpose, above, the General Standards, that follow, and Elements of Design in the next subsection. APPLICANTS will be required to submit a narrative explaining how the project meets all of the architectural standards. For those projects within the CBD, conformity with the Design Guidelines will be considered during the review of the project.

- (a) Recognizing that every property, every proposal, and every situation is unique, the Planning Board may waive, or modify any of the standards herein as it reasonably deems appropriate, based upon the individual circumstances of any application. No particular architectural style is stipulated and innovative, contemporary, and distinctive designs are encouraged, provided they are respectful of general design principles and context.
- (b) Buildings should be compatible with TRADITIONAL New England architecture in terms of mass, width, height, proportion, spacing, and setback. They should be articulated to express an architectural identity and ideally will be handsome and dignified.
- (c) While the use of a TRADITIONAL architectural vocabulary (GABLES, PORTICOS, belt COURSES~~courses~~, etc.) is desirable, designers are encouraged to use this vocabulary in an original manner that reads as contemporary.
- (d) It is recognized that many national and regional chain businesses seek to build a standard design across the country or region without regard to local conditions. However, the Planning Board will evaluate all proposed designs for their compatibility with our own local community character and for conformance with the goals of these guidelines. It shall be the obligation of the APPLICANTS to develop designs that are compatible with our community character; the City need not make adjustments to accommodate these template designs.

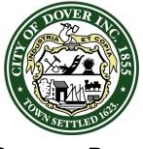
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 CITY OF DOVER	CITY OF DOVER - ORDINANCE	
	Posted: Ordinance Number: O – yyyy.mm.dd - Ordinance Title: Site Review Regulation Amendments Chapter: 149	

- (e) Use of false or partial MANSARD roofs, unconventionally shaped roofs, overly bright colors, disproportionately sized building elements, crudeness of features, or a general plastic feel of the building, is not appropriate.
- (f) Buildings should possess an overall integrity. Architectural details should not give the impression of being tacked on but rather should be integral to the overall design. (For example, use of undersized shutters on a picture window, or installation of an elaborate classical PORTICO or CUPOLA on an otherwise clearly utilitarian big BOX would be discouraged.)
- (g) ~~Generally, the less visible or prominent a structure or FACADE is, the lower the level of standards will be. For example, less strict review is in order for a building located a good distance from the road or for one that is partly obscured by another structure.~~
- (gh) While it cannot be required under these guidelines, the reuse of existing structures that have special architectural, historical, cultural, or contextual value by the ~~Site~~ APPLICANT is strongly encouraged.
- (hi) Modifications and additions to existing buildings should be harmonious with the character of the existing building when the existing building would reasonably be considered to be in general conformance with the goals of these guidelines. When the existing building is not in general conformance with the goals of these guidelines, flexibility shall be provided for modifications and additions that improve conformance with such goals.
- (ij) Building design should blend with other features of the site - signage, landscaping, lighting, fencing, outbuildings, etc. - to the extent practical.
- (jk) ~~Whenever possible, S~~signage on buildings in the CBD district is encouraged to follow the mill motif criteria as set out in the sign ordinance (Chapter 170.32 P).

(7) Elements of Design

Proposed designs should be harmonious with neighboring structures that have a visual relationship with the subject building in terms of mass, width, height, PROPORTION, spacing, setback, and all of the other elements of design discussed below when those neighboring structures would reasonably be considered to be in general conformance with the goals of these guidelines. This is particularly applicable to older buildings located in downtown areas and residential neighborhoods.

 CITY OF DOVER	CITY OF DOVER - ORDINANCE	
	Posted: Ordinance Number: O – yyyy.mm.dd - Ordinance Title: Site Review Regulation Amendments Chapter: 149	

- (a) Siting of building. To the extent practical, structures should be located and configured in a visually harmonious manner in keeping with the terrain and vegetation and dimensional requirements and should not impede publically enjoyed scenic views.

Most buildings are oriented parallel or perpendicular to the street or curved along a street corner like examples within the CBD Design Guidelines demonstrate. This pattern reinforces the streetscape. Buildings should not be oriented at odd angles to the street unless this is already the prevailing pattern in the area or if it is dictated by strong topographic or site considerations.

- (b) SCALE. Every effort should be made to provide an appropriate SCALE to new buildings both in their overall size and in their details.

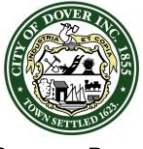
If practical, it is preferred that buildings contain at least two stories. Alternatively, a single story building should have a relatively steep roof or a high PARAPET. It is required in the CBD zone for buildings to be multistory in order to reinforce the SENSE OF ENCLOSURE of the street.

- (c) PROPORTION. Buildings and their details should be well proportioned in accordance with commonly accepted design principles so as to create a sense of order and balance.

- (d) MASSING. Large structures should be broken into smaller masses to provide human SCALE, variation, and depth. These smaller masses should have a strong relationship to one another and, ideally, each smaller mass will have integrity of form. Construction of unadulterated warehouse style big BOXES should generally be avoided (though their USE is of less concern in industrial parks). Blocky multifamily structures within predominantly single and two family neighborhoods are highly inappropriateunfitting.

- (e) Roof. As a design element, the roof has a significant effect on the building's character. The lack of a roof can often promotes a feeling of boxiness or lack of scale. The taller the building, the less necessary-impactfulis a pitched roof is to the sense of human scale in design. Multistory buildings in downtown and mill buildings rarely included a pitched roof.

Incorporation of a moderate slope is preferred. Where flat roofs are used, however, there should be a distinct CORNICE and/or PARAPET to emphasize the top of the building or other features in keeping with the aesthetic strategies of the building toward a sense of human scale and sensitivity to the neighboring context. Extensive areas of visible roof should be broken up with DORMERS, CROSS GABLES, CUPOLAS, chimneys, PARAPETS, BALUSTRADES, and TOWERS.

 CITY OF DOVER	CITY OF DOVER - ORDINANCE	
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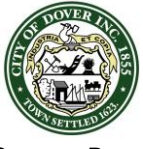
A flat roof may also include an occupiable roof deck if relevant to the design of the building. Roof decks are less visible the higher they are above the street and the further they are set back from the face of the building. However, they can sometimes enhance a streetscape with activity, similar to street furniture. If used at the top of a building, a roof deck will be reviewed by the Planning Board in the same manner as other roof forms noted above for consistency with the goals of these guidelines.

- (f) Building FACADE. Much attention should be given to create an attractive building FACADE. Broad expanses of blank walls are inappropriate. Traditionally, the parts of a FACADE that might be embellished, or at least articulated in some fashion include:
- (i) the horizontal base where the building meets the ground (such as a different treatment for the foundation)
 - (ii) the horizontal top where the building meets the sky (such as a projecting CORNICE with BRACKETS)
 - (iii) a horizontal section in between (such as a belt COURSE) ~~between stories~~
 - (iv) the vertical corners on the left and right sides (such as CORNER BOARDS or QUOINS)
 - (v) vertical articulation along the façade to allow for breaks every 30 or so feet in the middle (such as PILASTERS)
 - (vi) the area around the door/entry (such as a PORTICO)
 - (vii) the areas around the windows (such as window SURROUNDS or LINTELS)

In addition, depth may be created for the FACADE through use of porches, projecting or recessed sections, BAY WINDOWS, or ARCADES.

- (g) FENESTRATION. Windows are an integral part of a building and should be incorporated on front FACADES, and preferably side FACADES to humanize the building. It is desirable that the windows along with the door establish a coherent, orderly pattern and RHYTHM.

It is preferable that windows be vertical in the ratio of height to width or at least “no more squat than square”. (except as described in CBD area, below). Horizontally shaped windows are discouraged. Where horizontal windows are sought, a series of contiguous vertical windows with MULLIONS in between should be used arranged in a horizontal band.

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In pedestrian oriented downtown or waterfront commercial centers, use of large picture type windows for retail USES on the first floor is strongly encouraged. In residential areas and on upper floors of downtown buildings use of multiple panes of glass (or the appearance of multiple panes) rather than picture type windows is preferred.

Shutters, where appropriate, should be sized properly for the window opening (approximately one half the width of the opening.)

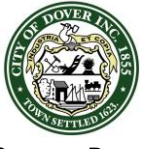
- (h) Entrance. The entrance is an important element in defining a building. Articulation of the entrance is encouraged through use of a PORTICO, canopy, awning, sidelights, SURROUND, or other device.

Generally, there should be an entrance, if not the primary entrance, located on the front FACADE. Use of a usable front porch on residential buildings is strongly encouraged.

- (i) Materials. The use of natural materials or materials that appear natural is preferred. Materials should be high quality and durable. Wood (CLAPBOARD and shakes), brick, stone, fiber reinforced stucco, TEXTURED block, and terra cotta are the preferred materials, although fabricated materials which effectively imitate the character of these materials is acceptable. Conventional vinyl and aluminum siding arranged in a horizontal CLAPBOARD pattern is ~~acceptable but~~ not preferred. Its use is inappropriate in downtown areas. Within the CBD all exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.

Sheet plastic, sheet fiberglass, T-111 plywood, PECKY SHINGLES, simulated brick, and similar materials should not be used. Use of highly reflective plastic or metal surfaces are inappropriate. Use of salvage style brick with multiple colors is discouraged. Prefabricated metal wall PANELS and undressed concrete/cinder block should not be used except in industrial park areas. When these materials are used in industrial park areas it is preferable to minimize the area over which they are used, minimize their use on front FACADES, and to combine their use with other materials, such as installing metal walls over a foundation of TEXTURED block.

- (j) Color. Color of buildings is reviewed for NONRESIDENTIAL property only. Generally, it is preferable to use two or three compatible colors. The main color(s) on a building should generally be nature blending, earth tone, neutral, or pastel in character. Bright colors should be limited to accent areas. High intensity colors, reflective metallic colors, or fluorescent colors should not be used.

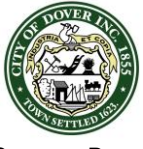
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Subtle colors are appropriate on larger, plain buildings, whereas smaller buildings with more detailing can more effectively incorporate brighter colors.

- (k) Lighting. Use of low key, low intensity wall pack or spot type lighting, or lighting of signage on buildings is appropriate. Use of lighting to highlight the building in a prominent manner, such as brightly illuminated roof fins or neon tube lighting is discouraged. Light fixtures shall be architecturally compatible whether traditional (ie lantern style) or contemporary. It is desired for buildings to offer a feeling of warm security without being overwhelming from the streetscape.

(8) Particular Building Types and Components

- (a) Vehicle Recharging and Refueling Station. Canopies should incorporate features to avoid the sense of a large, hovering mass. A pitched roof or other TRADITIONAL roof form ~~should be used (attractive examples include the Irving Stations in Northwood and Meredith).~~ The FASCIA of the canopy should be short in height, generally not to exceed two feet. It is preferable that COLUMNS be articulated in some manner. All vertical surfaces should be nonreflective and colors should be muted.
- (b) Mini-warehouses/Self Storage Facilities. When these facilities are located on major roads, their design must be very carefully considered. Deep setbacks should be established. The structures should be located perpendicular to the road with no doors facing the road. Use of corrugated metal on the front FACADES is unacceptable. Use of TEXTURED block, brick, wood, or stucco is preferred though flat metal may be acceptable. Colors should be muted. ~~(The facility located on Route 155 is well designed, including the fine selection of colors.)~~
- (c) Garages. Garage doors should be relatively unobtrusive. To the extent practical, doors should be placed on side FACADES not facing the street, doors should be screened from view by landscaping or other structures, or garages should be set back a greater distance from the street. Where the garage is attached to the main building it is preferable for the garage section to be subordinate to the main section by reducing the size and recessing it beyond the main section. Within the CBD, if a garage door must be part of the FACADEs facing the street, the door must blend in and not be the main focal point of the FAÇADE.
- (d) Utility elements. To the extent practical, all utility elements, such as dumpsters, utility meters, and ground mounted air conditioning units, should be screened in an aesthetically pleasing manner and located such that they are not visible from a public way or neighboring residential properties. Utilities shall blend into the surrounding and not be easily identifiable (unless code requires such as fire department connections).

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Above ground storage tanks, with the exception of businesses that sell fuel, should be screened or hidden from view.

- (e) Fences. Use of chain link fences in front or side yards- ~~are typically prohibited~~
~~discouraged~~. When they are used in these areas the chains should be covered in a
colored vinyl (such as dark green) or equivalent. ~~If a fence is used as screening, it must~~
be solid.

(9) Process

APPLICANTS should submit ELEVATION drawings drawn to scale of each pertinent
FACADE. A color board containing actual color samples of exterior finishes, keyed to the
ELEVATIONS and indicating the manufacturers name and color designation should also
be submitted. APPLICANTS should also submit a materials, boards, or samples if
appropriate, such as the type of brick proposed.

Any proposed building illumination must be submitted and approved. No such lighting may
be installed without approval.

ELEVATION drawings must be prepared by a registered-engineer, architect (AIA), or
landscape architect (ASLA). ~~(use of a registered architect is strongly encouraged)~~. The
Planning Board may waive this requirement in the case of smaller structures, less
prominent structures, or as it deems appropriate.

While APPLICANTS are required to meet the standards herein, it is not necessary to
submit waiver requests from any specific design standards herein. It shall be up to the
Planning Board to determine if the overall proposal meets the intent of this section.

At its option, the Planning Board may secure the services of a consulting architect or other
professional to assist in the review of an application. The BOARD may impose reasonable
fees upon an APPLICANT to cover this expense.

As part of the overall site review process the Technical Review Committee, will review
plans for compliance with these standards and report to the Planning Board as to adherence.



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P18-07B

Application Type: Amendment to Major Subdivision with Transfer of Development Rights
Applicant(s): TDAK & Company LLC
Owner(s): TDAK & Company LLC
Location: 99 Sixth Street (Tax Map 35, Lot 57)
Meeting Date: May 14, 2019

INTENT: To amend a previously approved subdivision plat proposing a rain garden design for the already approved subdivision, installing a retaining wall and additional buffer treatments.

LOTS/UNITS PROPOSED: N/A

AGENDA ITEM #: 4-A

FILE: P18-07B

APPLICANT/OWNER: TDAK & Company LLC

LOCATION: 99 Sixth Street (Assessor's Map 35, Lot 57)

ACREAGE: 2.07 acres

ZONING DISTRICT: Medium Density Residential District (R-12)

EXISTING LAND USE: Residential

PROPOSED LAND USE: 4 single family houses under construction and one existing duplex

SURROUNDING LAND USE: Residential – single family, two family and multi-family

ZBA ACTION: Variance - duplex (H79-32)

ATTACHMENTS: Amendment application materials and Subdivision Plan

APPLICATION IS COMPLETE: Yes

NOTICES SENT: Abutter notices were sent by certified mail to all abutters for this meeting

PERMITS REQUIRED: None

WAIVERS REQUESTED: N/A

Summary of Request and Background

The Planning Board previously approved an amendment to change some screening along sides of the property from fencing to arborvitae (P18-07A). The applicant is back to further amend the subdivision with the installation of a 4' high retaining wall on the easterly side of unit 3 and add a landscaped buffer and a 8' white vinyl fence to provide a buffer from unit 3 to abutters as well as to construct a rain garden in the northeast corner of the lot.

Consistency with Land Use Regulations

Chapter 155-15 of the Land Subdivision Regulations of the City Code provides for subdivisions of existing lots.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application, open the public hearing, close the public hearing and vote to approve the amendment to the previously approved subdivision plat with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. All other conditions from P18-07 and P18-07A shall be met.
2. The applicant shall provide a digital version of the amended plat to the Planning Department.
3. Amend the stormwater report to the satisfaction of the City Engineer.
4. The applicant shall revise the plat to:
 - a. Indicate the previous amended arborvitae along the easterly property line an additional 80' southbound to align with the end of the driveway
 - b. Owner shall sign and date amended plat
 - c. PE shall sign and stamp amended plat

99 Sixth Street

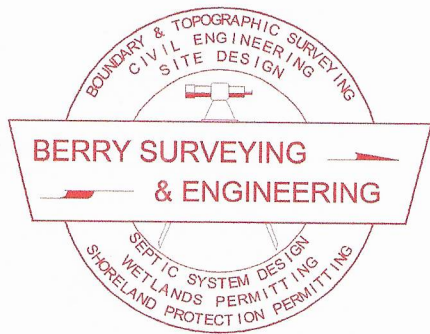
**Property Information**

Property ID 35057-000000
Location 99 SIXTH ST
Owner TDAK & COMPANY LLC
Land Use 911

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Dover, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/16/2018
Data updated Daily



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

May 2, 2019

City of Dover Planning Department
Attn: Donna Benton City Planner
288 Central Ave
Dover, NH 03820

RE: TDAK & Company LLC
Plan Amendment
99 Sixth Street
Dover, NH
Tax Map 35, Lot 57

Mrs. Benton,

On behalf of TDAK & Company LLC (TDAK), Berry Surveying and Engineering (BS&E) submits a plan amendment for review.

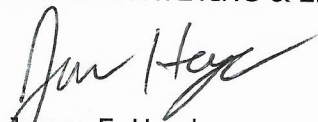
Included in this submittal are the following:

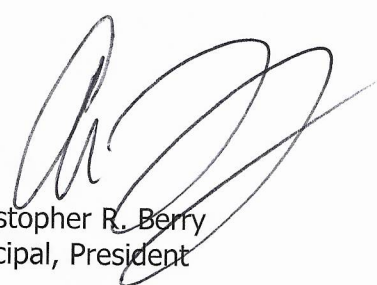
- 15 Half scale copies of the amended plans
- 3 full size copies of the amended plans
- 18 Copies of the narrative
- 18 Copies of the amendment application

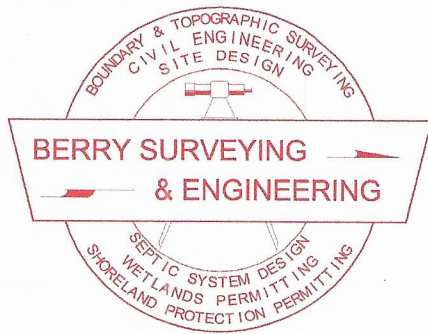
We appreciate your time and consideration to this project.

Respectfully,

BERRY SURVEYING & ENGINEERING


James F. Hayden
Engineering Technician


Christopher R. Berry
Principal, President



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

crberry@metrocast.net

May 1, 2019

City of Dover
Attention: City Planner Donna Benton
288 Central Ave
Dover, NH 03820

Re: TDAK & Company LLC
Plan Amendments
99 Sixth Street
Dover, NH
Tax Map 35, Lot 57

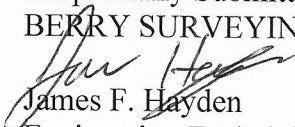
Dear Mrs. Benton,

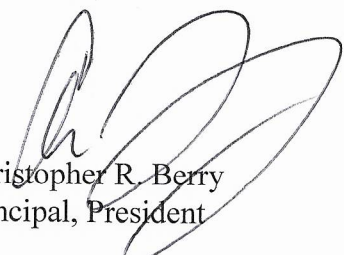
On behalf of our client TDAK & Company LLC. (TDAK), Berry Surveying & Engineering (BS&E) is submitting a proposed rain garden design for the already approved subdivision known as Carmen's Way, installation of a retaining wall and additional buffer treatments.

The Proposal:

The applicant is proposing two plan amendments to the already approved subdivision plan (Dover File # 18-07). The first plan amendment is the installation of a 4 foot high retaining wall on the easterly side of unit 3. The retaining wall is now required because the footprint of unit 3 is a different shape and configuration than anticipated. As part of the installation of the retaining wall, a landscaped buffer and 8' white vinyl fence will also be installed in order to provide a buffer from unit 3 to the abutting parcels. The second plan amendment is for the construction of a rain garden in the northeast corner of the lot. Stormwater flow has changed since the initial construction of the site and a rain garden is needed in the rear of the lot to capture all the runoff coming off the rear slope and re-infiltrate it into the ground. The rain garden is sized so that it can retain up to the 100 year/2 hour storm event, preventing runoff from going onto abutting lots. Please see enclosed plans for further details.

Respectfully Submitted,
BERRY SURVEYING & ENGINEERING


James F. Hayden
Engineering Technician


Christopher R. Berry
Principal, President



City of Dover, New Hampshire
APPLICATION FOR EXTENSIONS OF/ AMENDMENTS
TO/ WAIVERS FOR AN APPROVED PLAN

[Revised June 30, 2014]

Office Use Only Amount Paid: _____ Date/Time Received: _____

APPLICANT INFORMATION

Name of Applicant: TDAK & Company LLC Telephone # 603-235-8469

Address of Applicant: 9 Kelsey Drive, Greenland, NH 03840 E-Mail _____

Project Name: Carmen's Drive Project Location: 99 Sixth Street

Planning File Number: 18-07 Date of Original Approval June 13, 2018

File Type: Conditional Use _____ Site Plan Review _____ Subdivision X (TDR)

EXTENSION INFORMATION (*Note: notification of abutters required for first time extensions under Sec. 149-9.B and Sec. 155-24.B only*)

Extension type requested (*check one*): ___ Sec. 149-8.A ___ Sec. 149-9.B ___ Sec. 155-14.A ___ Sec. 155-24.B

Current deadline date: _____ Number of Extensions Previously granted by Board _____

Reason(s) for extension/comments (*attach additional sheets as needed*): _____

AMENDMENT INFORMATION

Condition(s) or portion of plan to be amended: Portion of plan

Reason(s) for amendment/comments (*attach additional sheets as needed*): Construction of a 4' high retaining wall along a portion of the easterly boundary & the construction of a rain garden in the northeast corner for storm water mitigation. Installation of fencing & buffering along the same.

WAIVER INFORMATION

Site Review/Subdivision Regulations section(s) to be waived: _____

Justification for waiver request(s) (*attach additional sheets as needed*): _____

SIGNATURES

I/We hereby submit this application to the Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

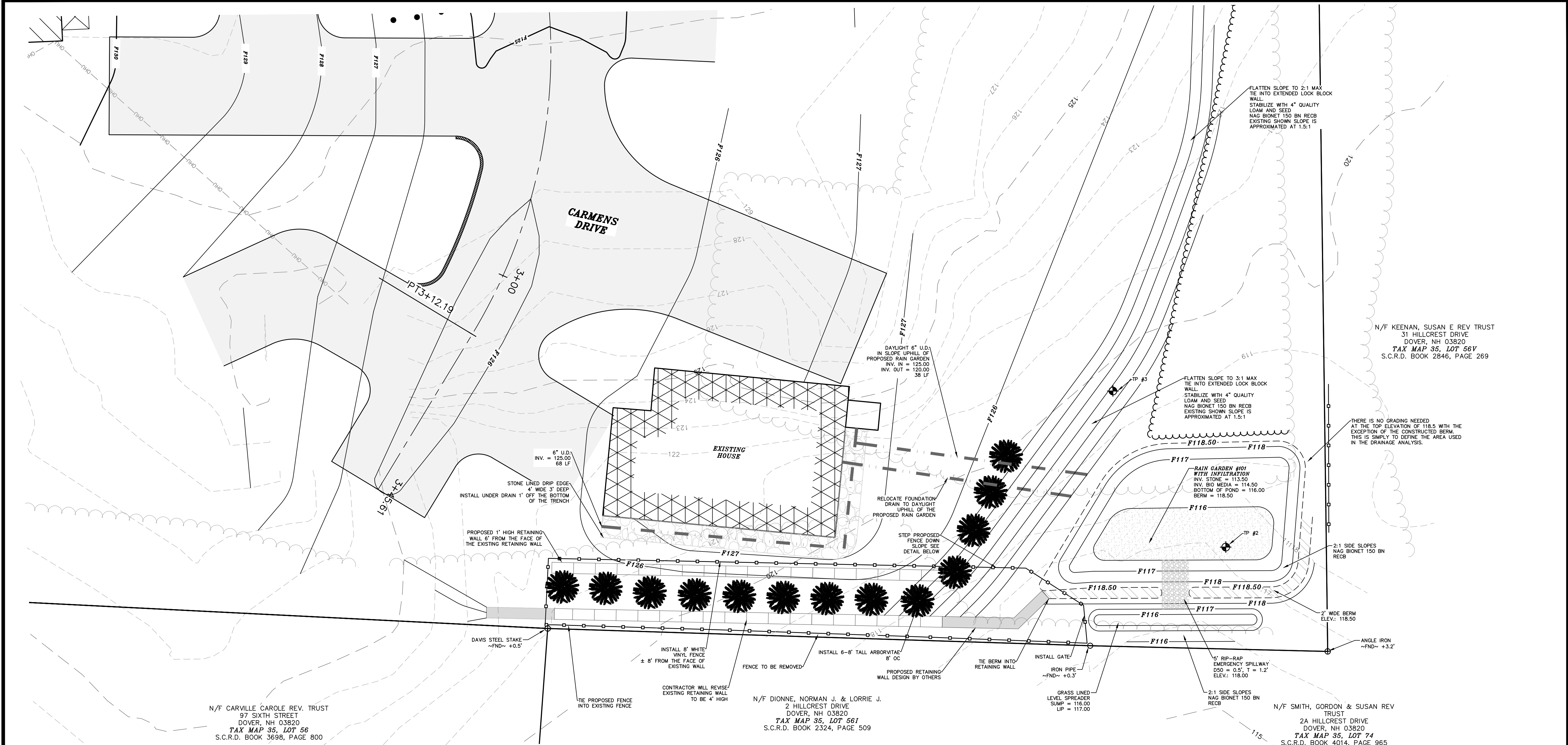
Signature of Property Owner: [Signature] Date: 5-2-19

Signature of Applicant (*if different from owner*): _____ Date: _____

Signature of Agent: [Signature] Date: 5-2-19

P18-07B 99 Sixth Street

Property ID	Location	Owner 1	Owner 2	Owner Address 1	City	State	Zip
34010-000000	102 SIXTH ST	MCHENRY DARLENE		102 SIXTH ST	DOVER	NH	03820
34012-000000	104 SIXTH ST	DUGAN LAUREN B &	DUGAN EDWARD A	104 SIXTH ST	DOVER	NH	03820
34012-A00000	108 SIXTH ST	GINN KATHERINE K		108 SIXTH ST	DOVER	NH	03820
34013-000000	1 6 HILLSIDE DR	PAT PAR INC		385 SIXTH ST	DOVER	NH	03820-5935
34013-A00000	110 SIXTH ST	RUEL PAUL LIFE ESTATE &	MARCOTTE RHONDA AND LOPES TAMARA 50% EA	110 SIXTH ST	DOVER	NH	03820
34013-B00000	112 SIXTH ST	MORRISSEY-SMITH KIMBERLEE J		112 SIXTH ST	DOVER	NH	03820
34013-C00000	114 SIXTH ST	LUNT TERESA J	LUNT BRIAN R	114 SIXTH STREET	DOVER	NH	03820
34013-D00000	102 B SIXTH ST	VERSCHUEREN JAMES TRUSTEE	VERSCHUEREN JAMES REVOCABLE LIVING TRUST	102 B SIXTH ST	DOVER	NH	03820
34014-000000	120 SIXTH ST	FULLER RYAN K &	FULLER STEPHANIE L	120 SIXTH ST	DOVER	NH	03820
35056-000000	97 SIXTH ST	CARVILLE CAROLE A TRUSTEE	CARVILLE CAROLE REVOCABLE TRUST	97 SIXTH STREET	DOVER	NH	03820
35056-001000	2 B HILLCREST DR	CARVILLE CRAIG E	CARVILLE COLLETTE A	2B HILLCREST ST	DOVER	NH	03820
35056-002000	2 C HILLCREST DR	CARVILLE CHARLES R		2C HILLCREST DRIVE	DOVER	NH	03820
35056-H00000	4 HILLCREST DR	SUPPLE GARRETT E &	SUPPLE JEANNE V	4 HILLCREST DRIVE	DOVER	NH	03820
35056-I00000	2 HILLCREST DR	DIONNE NORMAN J	DIONNE LORRIE J	2 HILLCREST DR	DOVER	NH	03820
35056-K00000	29 HILLCREST DR	MURRAY PATRICK M		17 HILLCREST DRIVE	DOVER	NH	03820
35056-R00000	31 HILLCREST DR	KEENAN SUSAN E REV TRUST	KEENAN SUSAN E TRUSTEE	31 HILLCREST DRIVE	DOVER	NH	03820
35056-V00000	HILLCREST DR	KEENAN SUSAN E REV TRUST	KEENAN SUSAN E TRUSTEE	31 HILLCREST DRIVE	DOVER	NH	03820
35058-000000	119 SIXTH ST	BICKFORD SANDRA TRUSTEE	BICKFORD FAMILY REVOCABLE TRUST	119 SIXTH STREET	DOVER	NH	03820
35058-A00000	117 SIXTH ST	REILLY WILLIAM P		117 SIXTH ST	DOVER	NH	03820
35059-A00000	SIXTH ST	MURRAY PATRICK M		29 HILLCREST DR	DOVER	NH	03820
35074-000000	2 A HILLCREST DR	SMITH GORDON & SUSAN TRUSTEES	SMITH GORDON AND SUSAN REVOCABLE TRUST	2A HILLCREST DRIVE	DOVER	NH	03820
		TD&K & COMPANY LLC		9 KELSEY DRIVE	GREENLAND	NH	03840
		BERRY SURVEYING & ENGINEERING	CHRIS BERRY	335 SECOND CROWN PT. RD	BARRINGTON	NH	03825

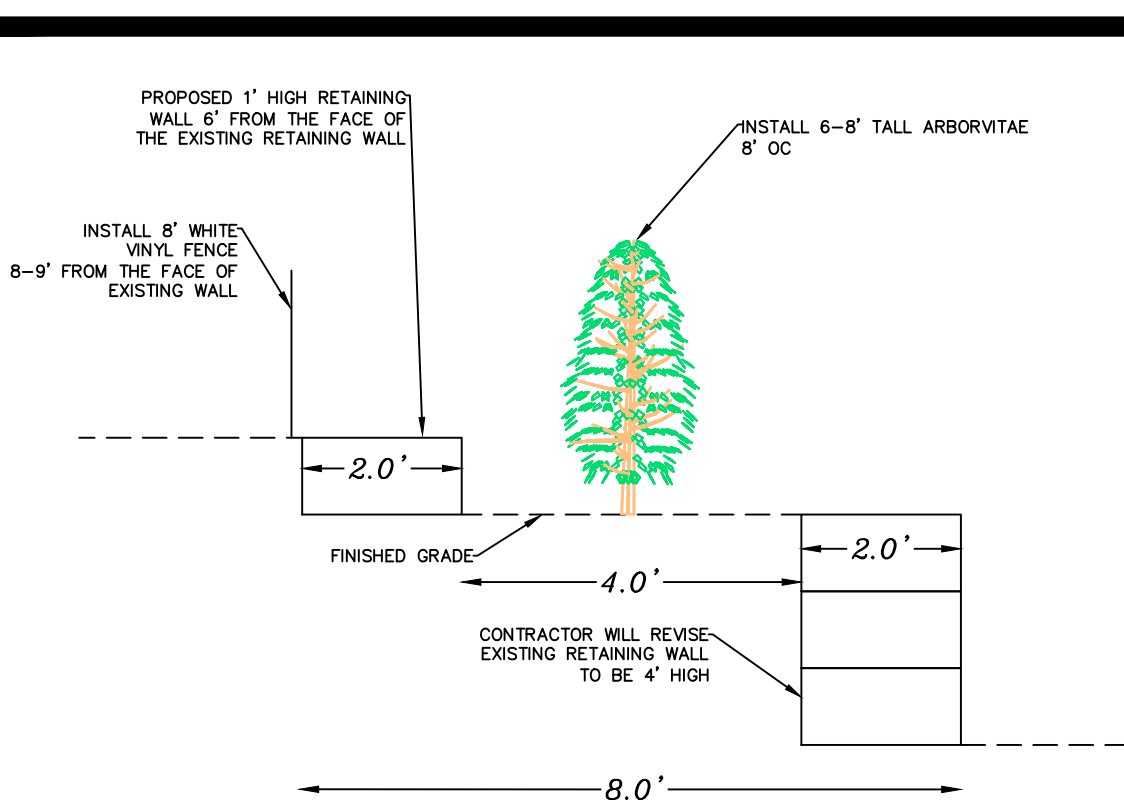
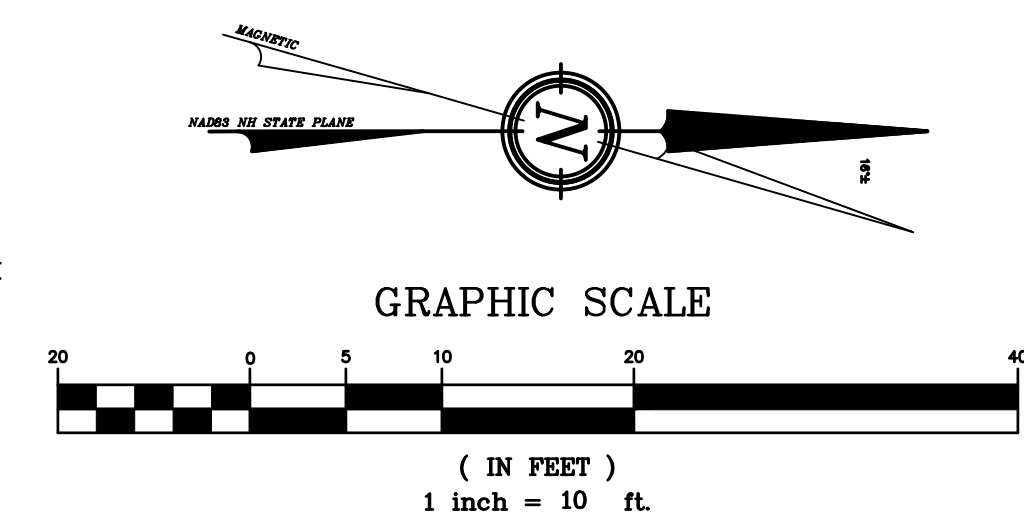


STANDARD CONSTRUCTION NOTES:

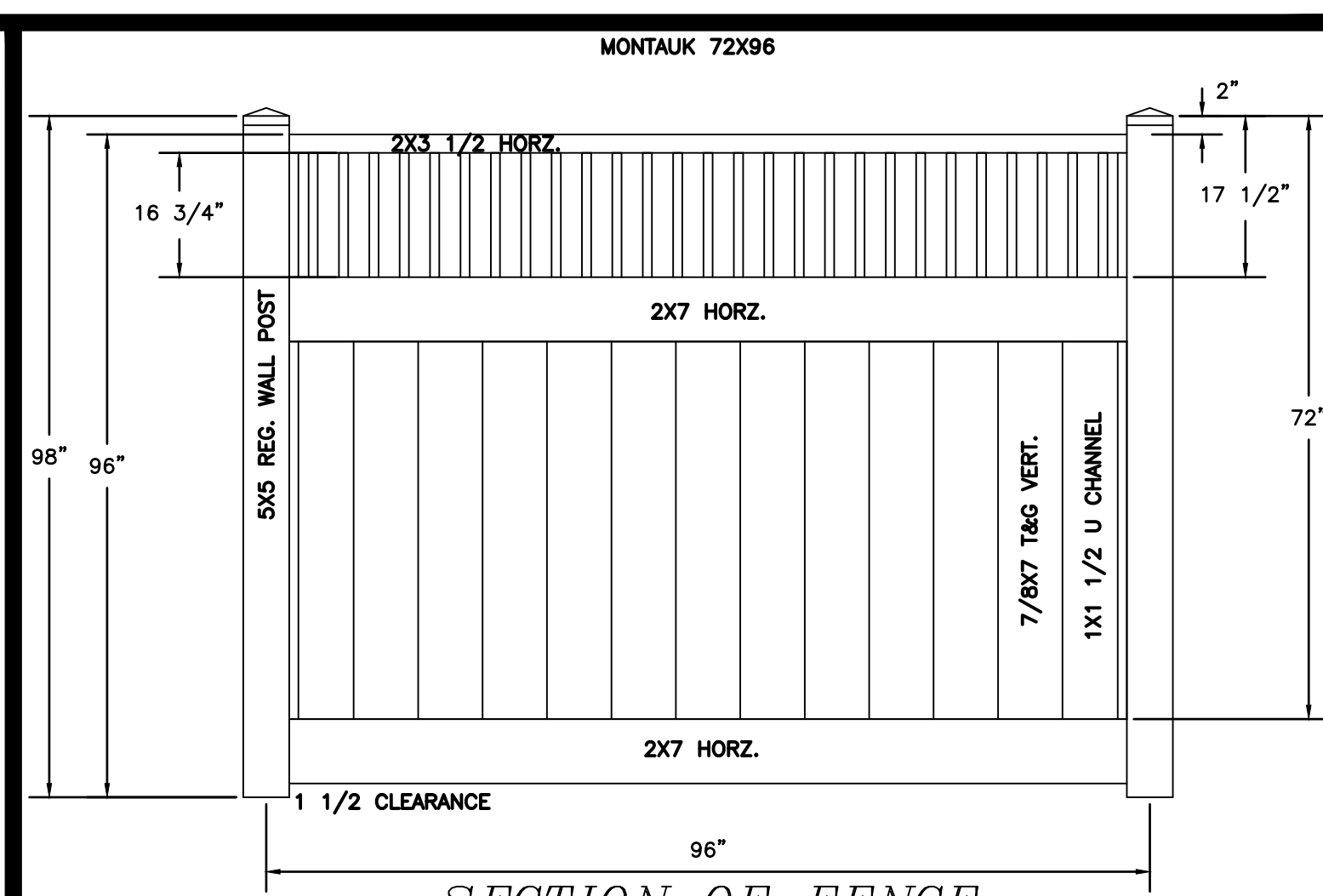
- EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION
- WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R)
- ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH {} SHALL BE THERMOPLASTIC
- ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEEDED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.

STANDARD CONSTRUCTION NOTES CONT:

- COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM WITH CITY OF DOVER CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
- ALL CATCH BASINS SHALL BE PRE-CAST H-20 LOADING AND SHALL BE EQUIPPED WITH DEEP SUMPS (4' MIN.) AND HOODS (SEE DETAILS) HOODS ARE TO BE "THE ELIMINATOR" BY KLEANSTREAM. RIMS ARE TO BE REXUS STYLE AND SHALL BE SET FLUSH WITH FINISH GRADE, UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY DOVER DPW. RIMS ABOVE FINISH GRADE WILL BE NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE U.S.A. MADE.



SECTION OF RETAINING WALL
NOT TO SCALE

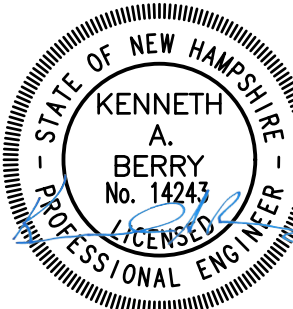


SECTION OF FENCE
NOT TO SCALE

DOVER FILE #P18-07			
#7	#6	REVISION	DATE
5-2-19	4-26-19	REVISE FOR PLAN AMENDMENT #2	
11-19-18	8-25-18	REVISE FENCING TO VEGETATION PER ABUTTERS LETTERS	
8-25-18	6-25-18	REVISED PER CONDITIONS OF APPROVAL	
9-21-18	9-21-18	REVISED PER NOTES AND COMMENTS	
4-16-18	4-16-18	REVISED PER TRC COMMENTS OF 4-9-18	
		DESCRIPTION	

GRADING AND DRAINAGE PLAN
RESIDENTIAL SUBDIVISION REVIEW
LAND OF
TDAK & COMPANY LLC
99 SIXTH STREET
DOVER, N.H.
TAX MAP 35, LOT 57

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 10 FT.
DATE : APRIL 26, 2019
FILE NO. : DB 2017-060



BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*		3/4" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100	1"	100
3/8"	95 - 100	3/4"	90 - 100
# 4	22 - 55	1/2"	15 - 55
# 8	0 - 10	# 10	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

NOTES

- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
- SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANEED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

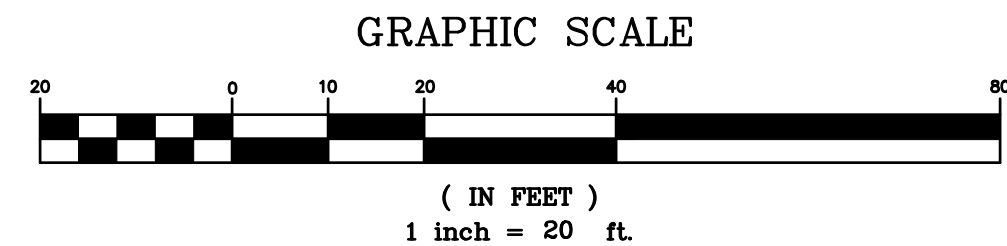
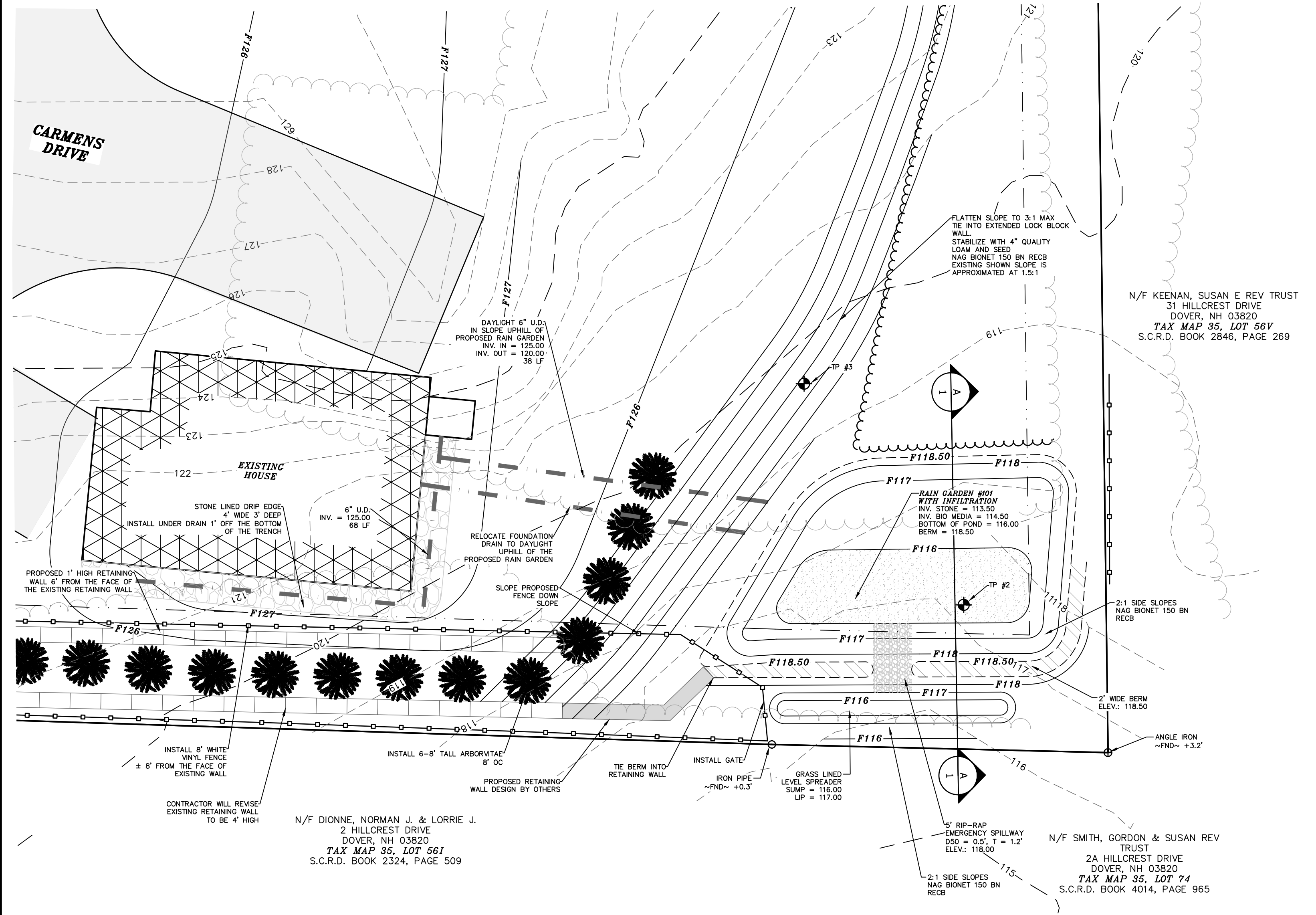
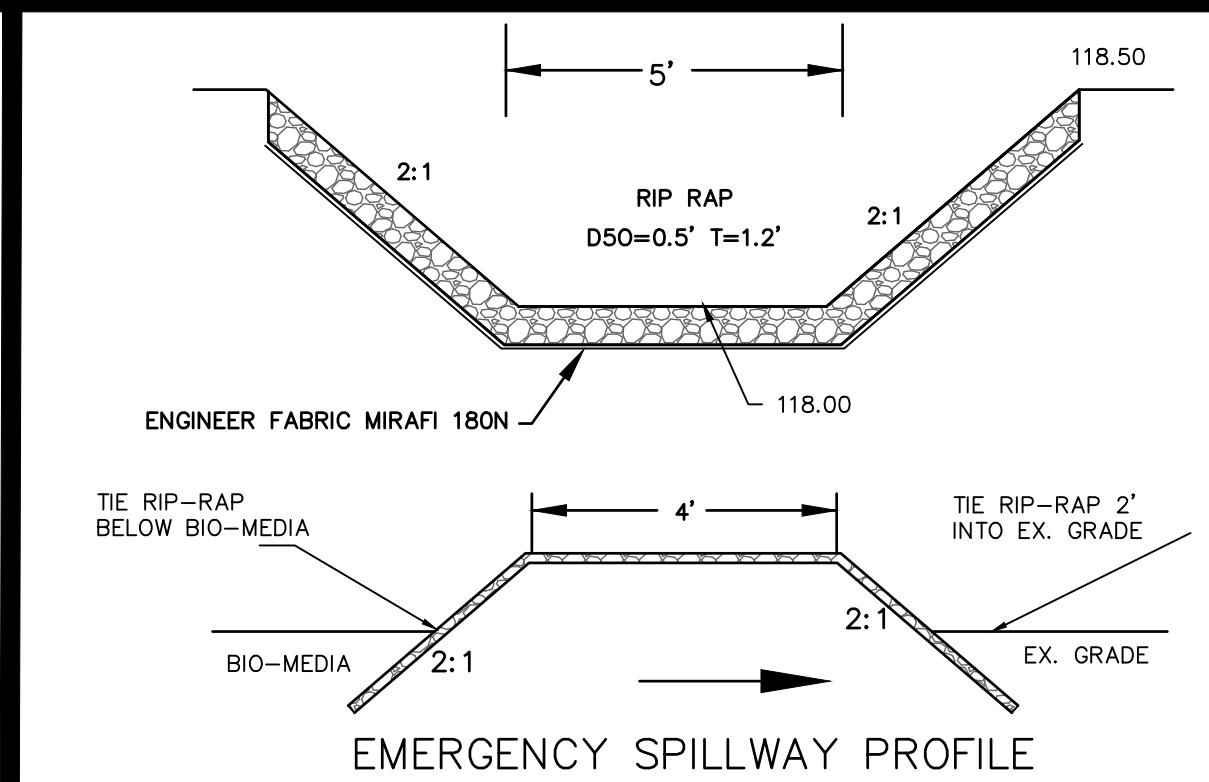
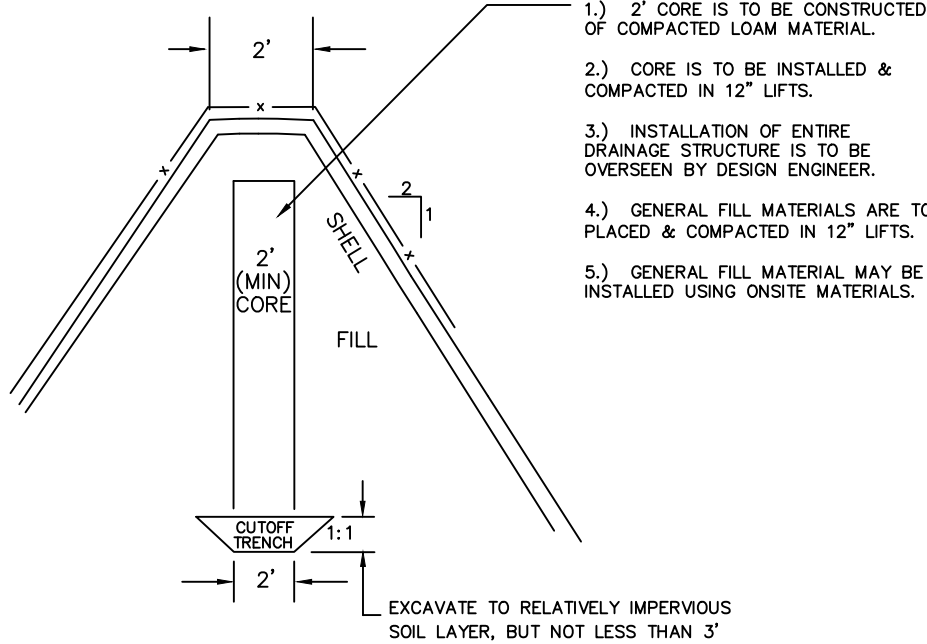
- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

RAIN GARDEN MIX

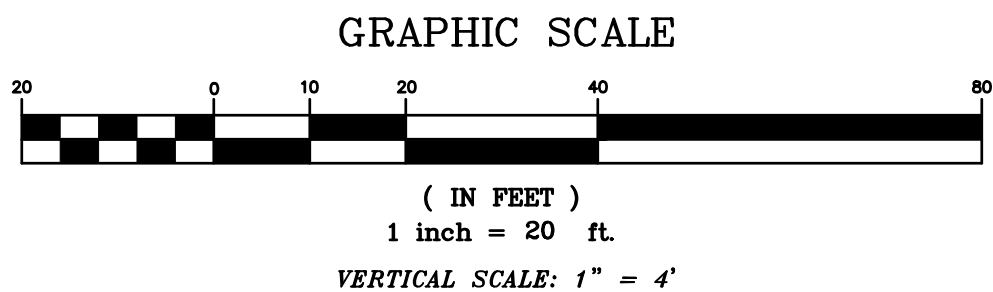
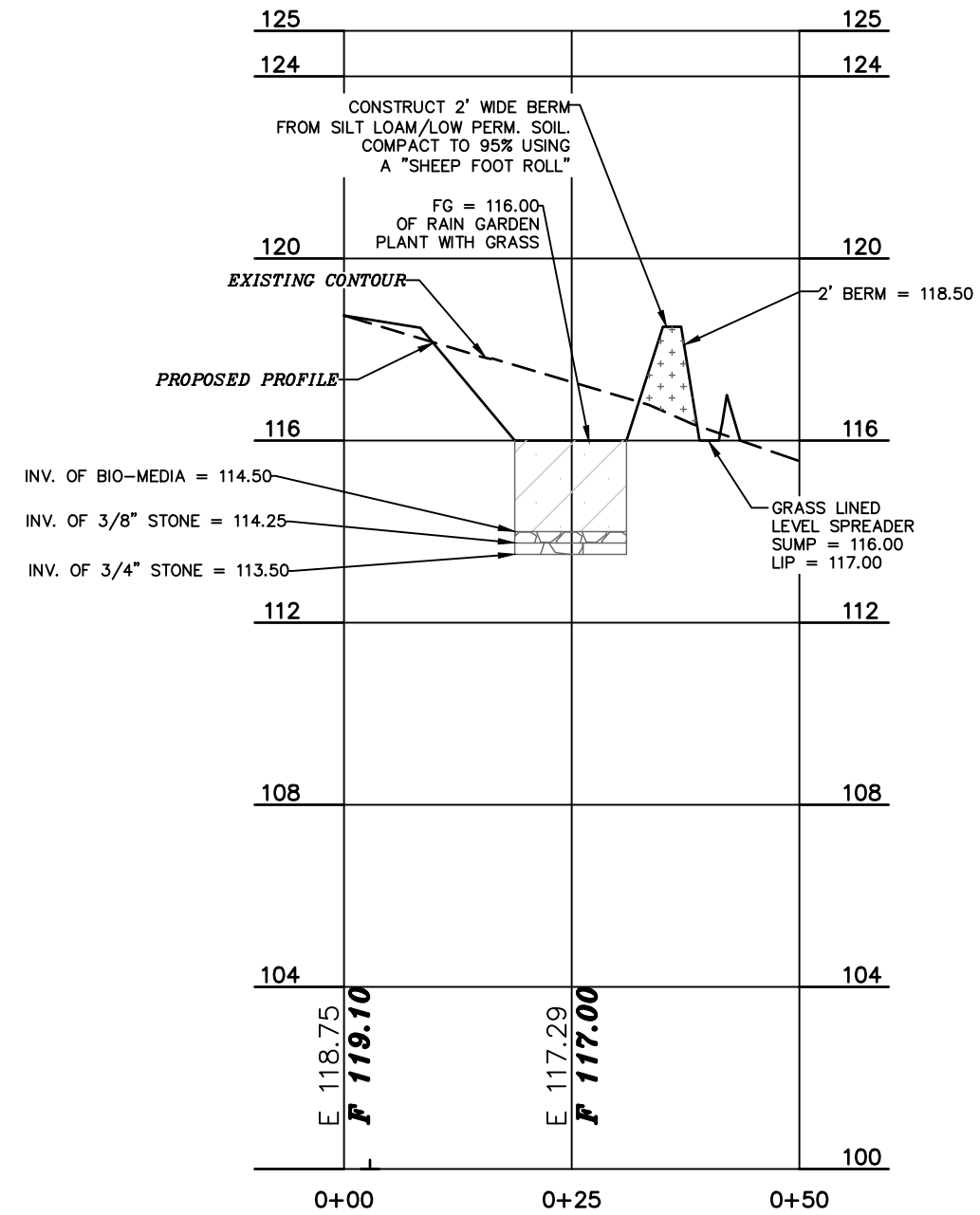
THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITTS MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS; OR APPROVED EQUAL.

LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



PLAN VIEW RAIN GARDEN #101



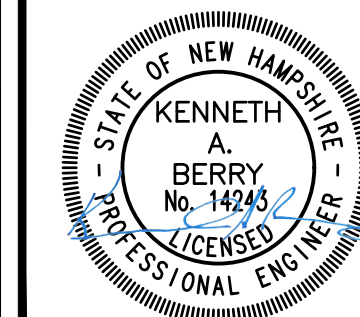
SECTION OF RAIN GARDEN R101

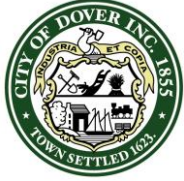
R-101

DOVER FILE #P18-07		REVISION		DATE		DESCRIPTION	
5-2-19	#7	REVISE FOR PLAN AMENDMENT #2					
4-26-19	#6	REVISE LCA AREAS & COMMON SPACE					
11-19-18	#5	REVISE FENCING TO VEGETATION PER ABUTTERS LETTERS					
8-25-18	#4	REVISED PER CONDITIONS OF APPROVAL					
9-23-18	#3	REVISED PER COMMENTS OF 4-9-18					
4-16-18	#2	REVISED PER INDICES WEB APPLICATION					
	#1	REVISED PER TRC COMMENTS OF 4-9-18					

RAIN GARDEN #101		REVISION		DATE		DESCRIPTION	
5-2-19	#7	REVISE FOR PLAN AMENDMENT #2					
4-26-19	#6	REVISE LCA AREAS & COMMON SPACE					
11-19-18	#5	REVISE FENCING TO VEGETATION PER ABUTTERS LETTERS					
8-25-18	#4	REVISED PER CONDITIONS OF APPROVAL					
9-23-18	#3	REVISED PER COMMENTS OF 4-9-18					
4-16-18	#2	REVISED PER INDICES WEB APPLICATION					
	#1	REVISED PER TRC COMMENTS OF 4-9-18					

BERRY SURVEYING & ENGINEERING		REVISION		DATE		DESCRIPTION	
5-2-19	#7	REVISE FOR PLAN AMENDMENT #2					
4-26-19	#6	REVISE LCA AREAS & COMMON SPACE					
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CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P19-38

Application Type: Minor Lot Line Adjustment
Applicant(s): Roger C. Groux
Owner(s): Grouz/Bow Street & 280 Dover Pt. Rd. LLC
Location: Dover Point Road & 278 ½ Dover Point Road (Map L, Lots 106 & 106A)
Meeting Date: May 14, 2019

INTENT: Proposed is to adjust the lot lines between two adjacent parcels.

LOTS/UNITS PROPOSED: N/A

AGENDA ITEM #: 4-B

AREA:	Existing:	Proposed:
L/106:	7.2+/- (314,750+/- s.f)	7.1+/- ac (310,620+/- s.f)
L/106A:	0.57+/- ac (24,936+/- s.f)	0.67+/- ac (29,067+/- s.f)

ZONING DISTRICT: R-20

EXISTING LAND USE: Single Family Home

PROPOSED LAND USE: N/A

SURROUNDING LAND USE: Residential and Piscataqua River

ZBA ACTION: N/A

ATTACHMENTS: Application materials including LLA Plan

APPLICATION IS COMPLETE: Yes

NOTICES SENT: Abutter notices were sent by certified or first class mail to all abutters for this meeting.

PERMITS REQUIRED: N/A

WAIVERS REQUESTED: N/A

Summary of Request and Background

The applicant is proposing to adjust the lot line between the two subject lots moving 0.09 +/- acres or 4,132 s.f. from lot 106 to lot 106A.

Consistency with Land Use Regulations

Chapter 155-18 of the Land Subdivision Regulations of the City Code provides for the adjustment of existing lot lines between two or more lots. This plan is consistent with those regulations. The subject lots access would remain the same without frontage on a public street but through rights as outlined in the applicants narrative dating my 2, 2019. Therefore, staying in the legal nonconforming status.

STAFF RECOMMENDATION:

The Planning Department recommends that the Planning Board accept the application for review, open the public hearing, and vote to approve the minor lot line adjustment with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The applicant shall provide the Planning Department with a digital version of the final plat which includes the two smaller lots providing access to correct the City's tax maps.
2. The applicant work with the Assessing office to assign lot IDs to those lots and separate tax cards.
3. The applicant shall revise the plat to:
 - a. Add Planning file number P19-38
 - b. Add signature and stamp of LLS
 - c. Add owners' signatures

Dover Point Road

**Property Information**

Property ID L0106-000000
Location 278 1/2 DOVER POINT RD
Owner GROUX ROGER C
Land Use 101

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Dover, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 5/3/2019
Data updated Daily



City of Dover, New Hampshire
MINOR LOT LINE ADJUSTMENT APPLICATION

[Revision Date: May 18, 2017]

RECEIVED
Planning Office

Office Use Only

Project #:

P19-38

Date Received:

APR 23 2019

Amount Paid:

Time Received:

Dover, New Hampshire

APPLICANT INFORMATION

Name of Applicant: Roger C. Groux Telephone # 603-534-0820

Address of Applicant: 278 1/2 Dover Point Road, Dover, NH 03820 (rogergroux1@gmail.com)

FIRST PROPERTY OWNER AND PARCEL INFORMATION

Name of 1st Property Owner (if different from applicant): Groux/Bow Street Telephone # 603-534-0820

Address of 1st Property Owner: 278 1/2 Dover Point Road, Dover, NH 03820

Address of Property: 278 1/2 Dover Point Road

Assessor's Map # L Lot(s) # 106

Property Deed: Book 2178 Page: 84

Zoning District(s) R-20 Overlay District(s) Conservation

Size of Existing Parcel (sq. ft.): 314,750 Size of Proposed Parcel (sq. ft.): 310,620

SECOND PROPERTY OWNER AND PARCEL INFORMATION

Name of 2nd Property Owner (if different from applicant): 280 Dover Pt Rd LLC Telephone # 603-534-0820

Address of 2nd Property Owner: 278 1/2 Dover Point Road, Dover, NH 03820

Address of Property: Dover Point Road

Assessor's Map # L Lot(s) # 106A

Property Deed: Book 3745 Page: 338

Zoning District(s) R-20 Overlay District(s) Conservation

Size of Existing Parcel (sq. ft.): 24,936 Size of Proposed Parcel (sq. ft.): 29,067

[Use additional application form if more than two lots are being adjusted]

SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) David W. Vincent

Address PO Box 1622, Dover, NH 03821 Telephone #: 603-664-5786

d.vincent@

Professional License #: 821

E-mail address: landsurveyingservices.net

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of First Property Owner:  Date: 4/23/2019Signature of Second Property Owner:  Date: 4/23/2019

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 4/23/2019

**CITY OF DOVER MINOR LOT LINE ADJUSTMENT
LIST OF ABUTTERS**

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS
L	106	Roger C. Groux	2781/2Dover Point Road, Dover, NH

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	MAILING ADDRESS
David W. Vincent	Land Surveying Services	PO Box 1622, Dover, NH 03821

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS



City of Dover, New Hampshire LOT LINE ADJUSTMENT SUBMISSION CHECKLIST

[Revision Date: May 15, 2017]

This review checklist is intended to assist the applicant in the planning process of preparing a Subdivision application for Planning Board action. The size of the project will determine the types of information required for review, therefore, a **pre-application conference** with the Planning Department to determine the list of items that must be completed is strongly encouraged.

Fifteen (15), folded, copies of the plan set and materials will be due 3 weeks prior to the Planning Board meeting. Fees will be invoiced and are due 2 weeks prior to Planning Board.

The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision requirements. Please refer to the Subdivision Regulations for full details.

APPLICANT: Roger C. Groux File Number: _____

PROPERTY LOCATION: 278 1/2 Dover Point Road Tax Map: L Lot: 106 & 106A

	Explain How Provided	Reviewed
1. Completed and signed Application form	DELIVERED	
2. Electronic copy of the surveyed plat layout	DELIVERED	
3. Electronic copy of supplementary materials and application	DELIVERED	
4. List of all professional agents to be notified for Planning Board	ON PLAN	
5. Fifteen copies of LLA plan w/scale of not less than 1"=50' or 1"=100' for larger adjustments. Plans shall contain the following items as appropriate:	DELIVERED	
Location map at appropriate scale	ON PLAN	
Planning File #	ON PLAN	
Date, north arrow and scale	ON PLAN	
Names of all abutting property owners	ON PLAN	
Name and address of owners	ON PLAN	
Signature & stamp of NH licensed land surveyor	ON PLAN	
Zoning District boundaries, including any special or overlay districts	ON PLAN	
Location of Conservation District areas	ON PLAN	
Location, names and widths of existing and streets, including pavement widths, grades, curbs and crosswalks	ON PLAN	
Location and widths of existing & proposed easements & right of ways	ON PLAN	
Existing and proposed property lines with dimensions and bearings tied into Dover's Geographic Information System coordinate system	ON PLAN	
Existing and proposed lot areas in square feet	ON PLAN	
Existing and proposed buildings and structure locations	ON PLAN	
Minimum building setbacks or build to lines on all lots	ON PLAN	
Map and lot numbers for existing and proposed lots as assigned by Tax Assessor	ON PLAN	
Location, material and size of existing and proposed permanent monuments	ON PLAN	
All applicable Dover Common Subdivision notes	ON PLAN	

REVIEWED BY: _____ DATE: _____



DAVID W. VINCENT

LAND SURVEYING SERVICES

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SEPTIC SYSTEM DESIGNS • LAND PLANNING
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www.landsurveyingservices.net

PO BOX 1622
DOVER, NH 03821
TEL (603) 664-5786
FAX (603) 664-3274

May 2, 2019

Donna Benton, AICP
City Planner City of Dover
288 Central Avenue
Dover, NH 03820-4169

Re: P19-38 – Lot Line Adjustment - Groux/Bow Street Realty Trust, Dover Point Road

Dear Ms. Benton,

In response to your email request dated May 1, 2019, the following is brief narrative of the proposed lot line adjustment for Mr. Roger Groux. Mr. Groux intends to construct a garage on Lot 106A and the lot size must be increased in order to meet the setbacks. The assessor's card for Lot 106 does not have the correct owner's name. The two deeds which comprise of Lot 106, the correct owner's name is Groux/Bow Street Realty Trust.

The properties involved are depicted as Lots 106 and 106A on assessor's Map L. Lot 106 is comprised of two parcels, the original tract is described in Strafford County Registry of Deeds (SCRD) Book 1709, Page 691 and the second tract was a portion of adjacent Lot 108 that was added to Lot 106 in February 2000 and is described in SCRD Book 2178, Page 84. The original tracts are shown on a lot line adjustment plan approved by the City of Dover in February 2000, see SCRD Plan No. 57-96, copies attached.

During the course of the survey in 1999 it was discovered that the access to Dover Point Road for the lots involved with the lot line adjustment crossed two separate tracts. One of the tracts was purchased by Bow Street Realty Trust in October 1999, described in SCRD Book 2150, Page 4. The other parcel was purchased by Roger C. Groux in May 2001, described in SCRD Book 2337, Page 522, copies enclosed.

The City's assessor's map indicate that the access to Dover Point Road is part of Lot 106. Both Lots 106 and 106A have deeded rights of access over the two tracts providing access to Dover Point Road as described in the enclosed deeds.

Mr. Groux is the trustee or president for all the separate entities involved with this lot line adjustment application as stated in the enclosed deeds. This proposed lot line adjustment does not affect the rights of access to the lots involved.

If you have any other questions or concerns please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'David W. Vincent', written in a cursive style.

David W. Vincent, LLS, PLS
NH Licensed Land Surveyor No. 821
NH Subsurface Septic Designer No. 1413
Maine Professional Land Surveyor No. 2373

Enclosed

cc: Roger Groux (letter only)

Part of Map L / Lot 106

KNOW ALL MEN BY THESE PRESENTS, That **Barbara T. Eves-Elkerton**, single, of 280½ Dover Point Road, Dover, County of Strafford, State of New Hampshire

for consideration paid, grants to **Roger C. Groux, Trustee, / Bow Street Realty Trust**, of 278½ Dover Point Road, Dover, County of Strafford, State of New Hampshire

with warranty covenants

A parcel of land more specifically described as Parcel 106 on a plan of land entitled, "Lot Line Adjustment Plan for Groux/Bow Street Realty Trust and Barbara T. Eves Off Dover Point Road/NH Route 16 County of Strafford, Dover, N.H." drawn by Richard P. Millette and Associates dated July 16, 1993 and approved by the Dover Planning Board on Sept 28, 1993 and recorded at the Strafford County Registry of Deeds as Plan #43-4.

Commencing at a point at a granite bound situate at the Northwestern corner of Parcel 106A as described on the aforementioned plan and thence turning and running S 71° 5' 57" E a distance of 122.27 feet to an iron rod set in the ground; thence turning and running S 12° 17' 34" E a distance of 96.99 feet to an iron rod set in the ground at the edge of a brick patio as depicted on said Plan; thence turning and running S 22° 53' 33" W a distance of 69.22 feet to an iron rod set in the ground at land now or formerly of Dorothy Josselyn; thence turning and running S 75° 20' 22" E along said land now of formerly of Josselyn a distance of 325.19 feet to an iron pin set at the approximate high water mark on the Piscataqua River; thence turning and running along the approximate high water mark on the said Piscataqua River a distance of 187 feet, more or less, to a point on the Southerly boundary of the above-referred to Parcel 106; thence turning and running N 76° 53' 08" W a distance of approximately 10 feet to an iron pin; thence continuing on the same course a distance of 149.33 feet to a point; thence continuing N 73° 14' 47" W a distance of 150 feet to a point; thence continuing N 76° 53' 12" W a distance of 149.21 feet to the granite bound first described above.

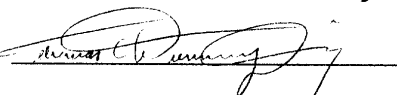
Said conveyance is subject to a 20 foot wide permanent sewer easement to the City of Dover as described in the Strafford County Registry of Deeds in Book 1011, Page 247.

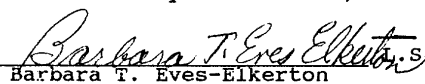
Also confirming (See Strafford County Registry of Deeds - Book 715, Page 416) an unspecified right of way across Parcel 106A for the benefit of Parcel 106 for the purposes of ingress and egress by motor vehicle or by foot to the roadway running from Dover Point Road to Parcel 106A and the right to lay, maintain and repair water pipes for the benefit of Parcel 106 to the water pipe running from Dover Point Road to Parcel 106A.

Reserving unto the Grantor a 20 foot wide sewer easement for the benefit of Parcel 106A centered on the existing sewer service currently serving the existing structure on Parcel 106A running in a Southeasterly direction from the existing structure to the sewer main located at the City of Dover; sewer easement located across land formerly of Parcel 106A now of Parcel 106.

Reserving unto the Grantor an access easement to the Piscataqua River for the benefit of Barbara T. Eves and any member of her immediate family for the duration of the Grantor's life only for as long as Barbara T. Eves has fee title to Parcel 106A. For title reference, see Strafford County Registry of Deeds Book 940, Page 31.

Signed this tenth day of November, 1993.




Barbara T. Eves-Elkerton

State of New Hampshire
ss.:

November 10, 1993

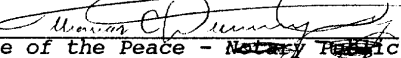
Personally appeared Barbara T. Eves-Elkerton known to me, or satisfactorily proven, to be the person whose name is subscribed to the foregoing instrument and acknowledged that she executed the same for the purposes therein contained.

DEPARTMENT OF REVENUE ADMINISTRATION

REAL ESTATE TRANSFER TAX

XXXX THOUSAND XX5 HUNDRED AND XXX DOLLARS

11-12-93 116507 \$500.00

Before me, 
Justice of the Peace - Notary Public


REGISTER OF DEEDS
STRAFFORD COUNTY

1993 NOV 12 AM 9:27
REGISTER OF DEEDS
STRAFFORD COUNTY

015993

EX 1709 PC 0691

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that ^{L. RLY}~~ROY L.~~ JOSSELYN, a single person, of 564 Central Avenue, Apt. 1, Dover, County of Strafford, State of New Hampshire 03820, for consideration paid, grants to **ROGER GROUX, TRUSTEE OF GROUX/BOW STREET REALTY TRUST**, of 278½ Dover Point Road, Dover, County of Strafford, State of New Hampshire 03820, with **WARRANTY** covenants, the following described premises:

A certain tract of land situated easterly of, but not immediately adjacent to, Dover Point Road in the City of Dover, County of Strafford, State of New Hampshire, being depicted on a plan entitled "Boundary Line Adjustment and Boundary Line Agreement Plan Prepared for Groux/Bow Street Realty Trust, Roy L. Josselyn and Barbara T. Eves-Elkerton of Tax Map L, Lots 106, 106A and 108, Dover Point Road, County of Strafford, Dover, New Hampshire" prepared by David W. Vincent, LLS recorded at Strafford County Registry of Deeds as Plan No. 57-96, being a portion of Lot 106 as shown on said Plan and being more particularly bounded and described as follows:

Beginning at a stone bound to be set in the westerly sideline of Lot 106A; thence running N 60° 05' 16" W a distance of 216.72 feet, more or less, to a stone bound to be set; thence turning and running N 88° 17' 44" W a distance of 266.66 feet, more or less, to a maple tree at the corner of land now or formerly of Signorello and Pike; thence turning and running along said Pike land N 02° 03' 43" E a distance of 99.61 feet, more or less, to an iron rod; thence turning and running N 88° 17' 44" W a distance of 32.08 feet, more or less, to an iron rod; thence turning and running N 00° 00' 40" E a distance of 20.01 feet, more or less, to an iron rod at the corner of land now or formerly of Elkerton; thence running along said Elkerton land N 02° 28' 29" E a distance of 142.98 feet, more or less, to an iron pipe; thence turning and running N 02° 09' 07" E a distance of 50.00 feet, more or less, to an iron pipe at land now or formerly of Demo; thence running along said Demo land N 02° 13' 08" E a distance of 54.99 feet, more or less to an iron pipe; thence continuing along said Demo land N 02° 09' 13" E a distance of 81.74 feet, more or less, to an iron pipe set at land now or formerly of McKenna; thence turning and running along said McKenna land S 88° 13' 41" E a distance of 396.89 feet, more or less, to an iron pipe set at land now or formerly of Londress; thence turning and running along land of said Londress land S 03° 00' 43" W a distance of 159.35 feet,

more or less, to an iron rod set at land now or formerly of Plante; thence turning and running along said Plante land S 02° 58' 41" W a distance of 206.29 feet, more or less, to an iron rod; thence turning and running S 87° 51' 22" E a distance of 172.90 feet, more or less, to an iron rod; thence turning and running S 29° 49' 49" E a distance of 26.58 feet, more or less, to a granite bound; thence turning and running S 33° 16' 29" W a distance of 126.06 feet, more or less, to a granite bound set at the corner of land now or formerly of Eves-Elkerton; thence turning and running N 26° 09' 01" W a distance of 44.14 feet, more or less to an iron rod; thence turning and running S 20° 57' 13" W a distance of 15.00 feet, more or less, to the point of beginning. Containing 4.59 acre, more or less.

Together with any and all rights of access or egress or other easements which the Grantor may have with respect to the above described parcel, including but not limited to those rights in common with others referenced in a Deed from Albert H. Gage to Herbert B. Josselyn and Helen W. Josselyn dated May 17, 1960 recorded at the Strafford County Registry of Deeds in Book 717, at Page 219, subject to the express reservations hereinafter set forth.

The Grantee acknowledges by acceptance of this Deed that in the event the remaining land of the Grantor is developed, then the Grantee or his successors or assigns shall grant to the Grantor, his heirs, administrators, successors and assigns a flowage or drainage easement for the purposes of connecting the drainage ditch running along the boundary between the Groux and Plante property.

The above described parcel of land is conveyed **subject to** rights-of-way and utility easements of record. In the event that the utility lines which service Lot 106A (now or formerly owned by Barbara T. Eves-Elkerton) are relocated, then the Grantor reserves to himself the right to have utility lines run from PSNH pole 1/328A as depicted on said Plan to a utility pole to be placed next to his shed as depicted on said Plan. This utility right shall be personal to Roy L. Josselyn and shall terminate when his title to the land is transferred.

The conveyance of the above-referenced parcel is conveyed **subject to** a utility easement in favor of Lot 106A (currently owned by Barbara T. Eves-Elkerton) such that if the City of Dover Water Department recommends that the water line currently servicing the Eves-Elkerton property be replaced, then the water line shall be relocated onto the land being transferred from the Grantor

to the Grantee.

The Grantor **reserves** to himself, his heirs, administrators, successors and assigns a right of flowage through the culvert as it currently exists and as depicted on said Plan referenced in Notes 6.A.3 and 6.F.3.

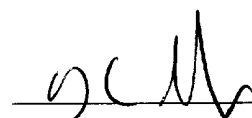
The Grantor **reserves** to himself a temporary right of access across the roadway or wheelway from Dover Point Road to his existing driveway (and no further) which driveway runs easterly of and roughly parallel to land now or formerly of Pike. The Grantor's driveway shall be maintained as it is presently maintained. This temporary right of access shall be personal to the Grantor and his guests and shall terminate at the earlier of October 2004 or at such time as the Grantor conveys title to the land which is serviced by the driveway. The nature and character of the Grantor's use of the right of access shall be consistent with the use conducted prior to the execution of this deed.

Meaning and intending to describe and convey a portion of the premises conveyed to Roy L. Josselyn by deed recorded at Strafford County Registry of Deeds, Book 2147, Page 549.

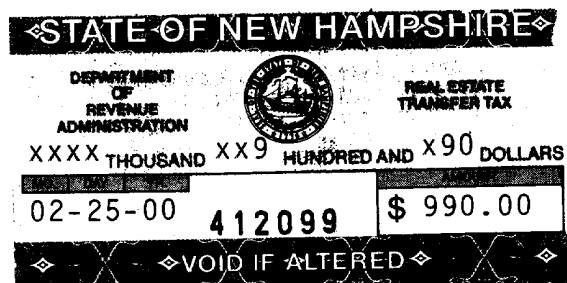
THIS IS NOT HOMESTEAD PROPERTY.

EXECUTED this 25th day of February, 2000.


Witness

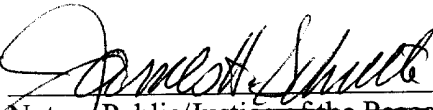

Roy L. Josselyn

BK2178PG0086



STATE OF NEW HAMPSHIRE
COUNTY OF STRAFFORD, ss

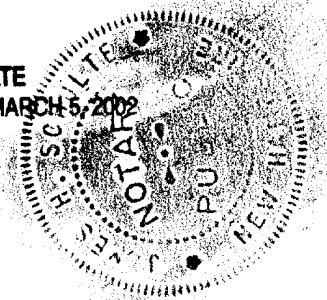
On this 25th day of February, 2000, before me, personally appeared Roy L. Josselyn, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.



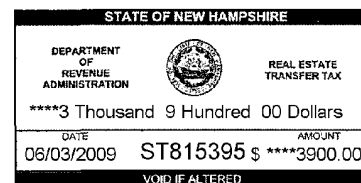
Notary Public/Justice of the Peace
My Commission expires: _____

S:\Groux, Roger\Bow Street Realty Trust\Groux Deed.wpd

JAMES H. SCHULTE
MY COMMISSION EXPIRES MARCH 5, 2002



BK2178PG0087



WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that **BARBARA T. EVES-ELKERTON**, an unmarried widow, of 280 ½ Dover Point Road, Dover, New Hampshire 03820,

for consideration paid, grants to **280 DOVER POINT RD., LLC**, a New Hampshire limited liability company, with a principal business address of 278 ½ Dover Point Road, Dover, New Hampshire 03820,

with **WARRANTY COVENANTS**, the following described premises located at 280 ½ Dover Point Road, Dover, New Hampshire, also identified as Tax Map L, Lot 106A:

A certain tract or parcel of land, with the buildings thereon, located on Dover Point Road, in the City of Dover, County of Strafford and State of New Hampshire, depicted as **Lot 106A** on plan entitled, "Boundary Line Adjustment and Boundary Line Agreement Plan Prepared for Groux/Bow Street Realty Trust, Roy L. Josselyn and Barbara T. Eves-Elkertson Tax Map L, Lots 106, 106A and 108 Dover Point Road County of Strafford Dover, NH," prepared by David W. Vincent, LLS Land Surveying Services, dated December 21, 1999, recorded in the Strafford County Registry of Deeds as Plan No. 57-96, which Lot 106A is more particularly bounded and described as follows in accordance with said Plan:

Beginning at a granite bound at the northwest corner of the land herein described at land now or formerly of Groux/Bow Street Realty Trust; thence S 68° 56' 34" E a distance of 122.27' to an iron rod; thence S 10° 08' 10" E a distance of 96.99' to an iron rod; thence S 25° 02' 56" W a distance of 69.22' to an iron rod; thence N 73° 12' 57" W, all along land of said Trust, a distance of 80.06' to an iron pipe at land now or formerly of Roy L. Josselyn; thence N 64° 33' 24" W a distance of 91.84' an iron pipe; thence N 20°57'13" E, along land of said Josselyn, a distance of 92.00' to a granite bound at land of said Trust; thence continuing N 20°57'13" E a distance of 15.00' to an iron rod; thence N 26°09'01" E, all along land of said Trust, a distance of 44.14'; to said point of beginning, having an area of 24,936 square feet or 0.57 acres, more or less.

Meaning and intending to describe and convey all the rest and remainder, no matter how otherwise described, of the second tract described in the Deed of Arthur L. Eves to Barbara T. Eves (now Barbara T. Eves-Elkertson), dated January 9, 1974, recorded in Strafford County Registry of

Deeds at Book 940, Page 31. Reference is also made to plan of land entitled, "Lot Line Adjustment Plan for Groux/Bow Street Realty Trust and Barbara T. Eves Off Dover Point Road/NH Route 16 County of Strafford, Dover, N.H.," drawn by Richard P. Millette and Associates, dated July 16, 1993 and approved by the Dover Planning Board on September 28, 1993, and recorded at the Strafford County Registry of Deeds Plan #43-4; however, **SEE ALSO** Affidavit of David W. Vincent, LLS recorded prior hereto in said Registry of Deeds.

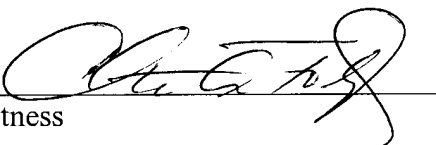
TOGETHER WITH the benefit of the following easements:

- (i) A right of way, in common with others, to access Dover Point Road across the roadway as described in the Deed of Albert H. Gage to Marion B. Story and Sally A. Pew, dated November 8, 1937, recorded in said Registry of Deeds at Book 478, Page 454.
- (ii) A utility easement across Lot 108, as set forth in Deed of Albert H. Gage to Marion B. Story and Sally A. Pew, dated November 8, 1937, recorded in said Registry of Deeds at Book 478, Page 454.
- (iii) The right to add cable TV to the utility easement described in the above-noted Deed at Book 478, Page 454 over Lot 108, and the right to relocate said easement, as noted on said Plan #57-96 (Note #6-D-3).
- (iv) A 20-foot wide sewer easement, across Lot 106, centered on the existing sewer service currently serving the existing structure on Parcel 106A, running in a Southeasterly direction from the existing structure to the sewer main located at the City of Dover, as noted in Deed of Barbara T. Eves-Elkerton to Roger C. Groux, Trustee, dated November 10, 1993, recorded in said Registry of Deeds at Book 1709, Page 0691; see also Note #6-D-5 on said Plan #57-96.

SUBJECT TO an unspecified right of way for the benefit of Lot 106 "for the purpose of ingress and egress by motor vehicle or by foot" to the roadway running from Dover Point Road to Lot 106A and the "right to lay, maintain and repair water pipes" for the benefit of Lot 106 to the water pipe running from Dover Point Road to Parcel 106A, as described in the Deed of Walter L. Cummings and Evelyn B. Cummings to Robert R. Payn and Marjorie R. Payn, dated March 7, 1960, recorded in said Registry of Deeds at Book 715, Page 416; see also Note 6C on said Plan #43-4 and Note #6-C-1 on said Plan #57-96.

Barbara T. Eves-Elkerton, said grantor, hereby releases all rights of homestead and other interests therein.

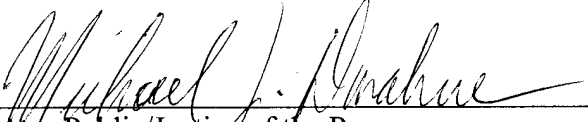
EXECUTED this 3rd day of June, 2009.


Witness


Barbara T. Eves-Elkerton

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM, ss

On this 3rd day of June, 2009, before me, personally appeared Barbara T. Eves-Elkerton, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained.



Notary Public/Justice of the Peace
Printed Name: _____
My Commission expires **MICHAEL J. DONAHUE**
JUSTICE OF THE PEACE
State of New Hampshire
My Commission Expires
October 3, 2012

**Shown as Part of Lot 106
Separate Tract Access to Dover Point Road**

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that I WALTER LEE DAVIS, a married person, of 901 North Church Street, Carsonville, Michigan 48419,

for consideration paid, hereby grant to ROGER C. GROUX, TRUSTEE, BOW STREET REALTY TRUST with an address of 278 ½ Dover Point Road, Dover, County of Strafford, State of Hampshire,

with **Quitclaim Covenants**, any and all interest that the Grantor may have as the sole surviving heir, successor, and/or assign of Albert H. Gage of Dover, County of Strafford, State of New Hampshire to a certain parcel of land situated on the easterly side of the Dover Point Road, Dover, New Hampshire described as follows:

Beginning at a steel stake, at the southwest corner of land formerly of Florence H. Palmer, now or formerly of Elaine M. Plante;

thence S 87°-51'-22" E, a distance of one hundred seventy two and 90/100 feet (172.90), to an iron rod;

thence S 29°-49'-49" E, a distance of twenty six and 58/100 feet (26.58'), across the wheelway leading to the Piscataqua River and all along land of said Plante, to a granite bound at land formerly of Walter L. and Evelyn B. Cummings, now or formerly land of Groux/Bow Street Realty Trust.

thence S 33°-16'-22" W, a distance of one hundred twenty six and 07/100 feet (126.07'), along land of said Groux/Bow Street Realty Trust, to a granite bound at land formerly of Robert R. and Marjorie R. Payn, now or formerly land of Barbara T. Eves-Elkerton and land formerly of Herbert B. and Helen W. Josselyn, now or formerly land of the estate of Dorothy Josselyn.

thence 40°-53'-25" W, a distance of one hundred seventy eight and 48/100 feet (178.48), along land of said Josselyn, to said point of beginning.

Containing 12,700 square feet, more or less.

STATE OF NEW HAMPSHIRE	
DEPARTMENT OF REVENUE ADMINISTRATION	REAL ESTATE TRANSFER TAX
XXXX THOUSAND XXX HUNDRED AND X40 DOLLARS	
10-18-99 399769	\$ 40.00
VOID IF ALTERED	

1999 OCT 18 AM 9:32
REGISTER OF DEEDS
STRAFFORD COUNTY

020170

BK2150PG0004

Also conveying another Parcel of property described as follows:

Beginning at a point, at the southeast corner of land formerly of Florence H. Palmer, now or formerly of Eveline and Stanley Elkerton and land formerly of Herbert B. and Helen W. Josselyn, now or formerly land of the Estate of Dorothy Josselyn:

thence running in a southerly direction, a distance of twenty feet (20'), more or less, across the wheelway or private way leading easterly from Dover Point Road to the Piscataqua River and along land of said Estate of Dorothy Josselyn, to a point at land formerly of Merrill S. and Dorothy G. Huntley, now or formerly land of Evelyn Woods,

thence running in a westerly direction, a distance of sixty eight feet (68'), more or less, along land of said Woods and land formerly of Leo R. and Mary Janelle, now or formerly of Joseph Signorello, to a point at land formerly of Annie B. Gage, now or formerly land of Richard M. Flynn and William A. David;

thence running in a northerly direction, a distance of twenty feet (20'), more or less, across said wheelway or private road, along land of said Flynn and David, to a point a land of said Elkerton;

thence running in an easterly direction, a distance of sixty seven feet (67'), more or less, along land of said Elkerton, to said point of beginning.

Containing 1,350 square feet, more or less.

This conveyance is subject to such rights of way and easements in others as may appear of record.

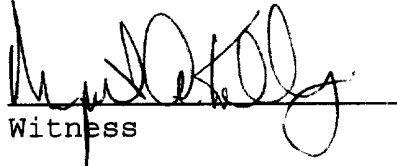
Meaning and intending to describe and convey all my right, title and interest, if any, in the remaining land of Albert H. Gage (Grantee) received by Deed of Albert E.J. Hurd dated January 3, 1920 recorded at Book 391, Page 62 and specifically including the within described premises.

BK2150PG0005

This property is not homestead property.

For Grantors source of title see Affidavit of Walter Lee Davis recorded at the Strafford County Registry of Deeds on near or even date.

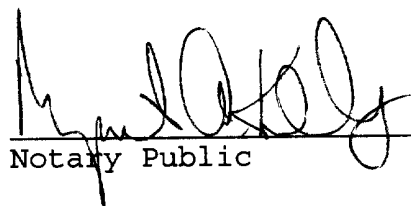
Witness my hand and seal this 12th day of October, 1999.

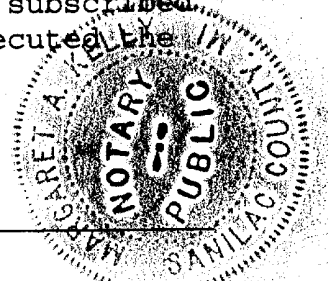

Witness

Walter Lee Davis
Walter Lee Davis

STATE OF Michigan
COUNTY OF Sanilac

On this 12th day of October, 1999, before me, personally appeared Walter Lee Davis, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.


Notary Public



My Commission expires: 12/05/2001

S:\Groux, Roger\Bow Street Realty Trust\Release Deed2.wpd

BK2150PG0006

Shown as Part of Lot 106
Separate Tract Access to Dover Point Road

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that Richard M. Flynn, of Dover, New Hampshire, and William A. David, of 11 Hawthorn Road, Dover, County of Strafford and State of New Hampshire,

for consideration paid, grant to Roger C. Groux, successor, and/or assigns, 278 1/2, Dover Point Road, Dover, NH 03820;

with Quitclaim Covenants, the following described premises:

A certain tract or parcel of land situated in Dover, County of Strafford, State of New Hampshire, on the Easterly side of the Dover Point Road, bounded and described as follows:

Beginning on the Easterly side of the Dover Point Road at the Northwesterly corner of land of Leo R. and Mary Janelle; thence running Easterly by said Janelle land and by land of Merrill L. and Dorothy G. Huntley, a distance of one hundred (100) feet, more or less, to land of Josselyn; thence running Northerly by said Josselyn land a distance of twenty (20) feet, more or less, to land of Sylvia H. Elkerton; thence turning and running Westerly by said Elkerton land a distance of one hundred (100) feet, more or less, to said Dover Point Road; thence turning and running Southerly by said Dover Point Road, a distance of twenty (20) feet, more or less, to the point of beginning.

This conveyance is subject to such rights of way and easements in others as may appear of record.

Hereby conveying all of our right, title and interest in that portion of a wheelway or private way owned by us which wheelway or private way leads Easterly from the Dover Point Road to the premises owned by the grantees herein.

Meaning and intending to describe and convey the same premises conveyed to Richard M. Flynn and William A. David by Warranty Deed of Annie B. Gage, dated May 12, 1966 and recorded in the Strafford County Registry of Deeds at Book 873, Page 498.

Said parcel is conveyed subject to any and all encumbrances of record, as the same may apply to the premises herein described.

THIS IS NOT HOMESTEAD PROPERTY OF THE GRANTORS.

2001 JUL -3 PM 2:25
STRAFFORD COUNTY
REGISTRY OF DEEDS

013164

BK2337PG0522

EXECUTED this 8th day of May, 2001.

Karen E Michael
Witness:

Richard M. Flynn
Richard M. Flynn

Robert Battis
Witness:

William A. David
William A. David

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM, ss

On this 8th day of May, 2001, before me, personally appeared Richard M. Flynn, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

Karen E Michael
Notary Public/Justice of the Peace
Printed Name: KAREN E. MICHAEL
My Commission expires: 9-28-04

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM, ss

On this 8th day of May, 2001, before me, personally appeared William A. David, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

Robert Battis
Notary Public/Justice of the Peace
Printed Name: Robert Battis
My Commission expires: _____

S:\Deed Prep\Flynn and Gage to Groux.wpd

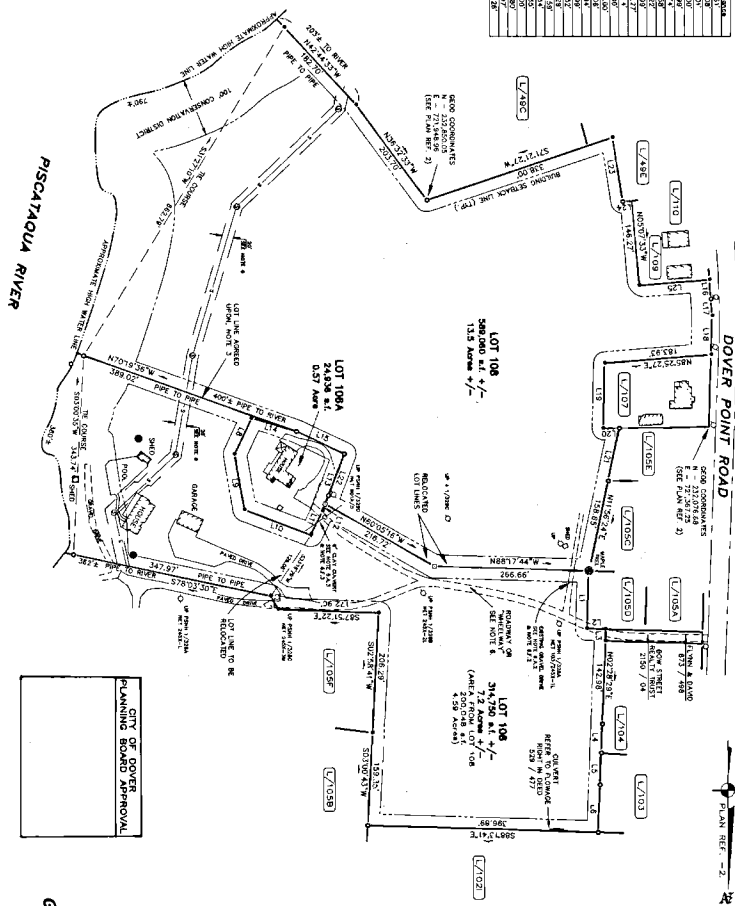
BK2337PG0523

STATE OF NEW HAMPSHIRE	
DEPARTMENT OF REVENUE ADMINISTRATION	REAL ESTATE TRANSFER TAX
***** THOUSAND \$ HUNDRED AND 40 DOLLARS	
MO. DAY YR. 07/03/2001	AMOUNT 490753 \$ *****40.00
VOID IF ALTERED	

[illegible][illegible]

2. "LOT (LAND ADJUSTMENT) PLAN PREPARED FOR THE ESTATE OF DOBSON
KARLSON, 288 COVER POINT ROAD, DOVER, ME., DATED 03/04/99,
PREPARED BY MICHAEL P. GUNY, ASSOC., INC.
ASSOC. SMO PLAN NO. 43-4.

SCH#		ZONING REQUIREMENTS:	
STAFFORD COUNTY RECORDS OF DEEDS		MINIMUM LOT AREA	20,000 S.F.
HIGH PIPE			125'
HOEN ROE		MINIMUM WAD SETBACKS	
FRONT	35'		
REAR	60'		
UTILITY POLE	20'		
TAX MAP/LOT NUMBER	28		
DRAIN MANHOLE			
DRAIN PIPE		MAXIMUM LOT COVERAGE	30%



I CERTIFY THAT THIS PLAN, BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND ON 14 SEPTEMBER AND 19 NOVEMBER 1998, MEET THE MINIMUM REQUIREMENTS FOR ACCURACY AND COMPLETENESS PER THE CITY OF DOWER AND THE PLAN CLOSURE EXCEEDS 1:10,000.

11

SCALE: 1" = 100' DATE: DECEMBER 21, 1999

BOUNDARY LINE ADJUSTMENT and
BOUNDARY LINE AGREEMENT PLAN
PREPARED FOR
GROUX/BOW STREET REALTY TRUST,
ROY L. JOSSELYN
and BARBARA T. EVES-ELKERTON
OF
TAX MAP L, LOTS 106, 106A and 108

COUNTY OF STRAFFORD
DOVER, NH

DAVID W. VINCENT, LL9

5 POWERS DRIVE
BARRINGTON, NH 03825-3350
TEL./FAX (603) 664-5786

8950

001928

00 FEB -7 PM 1:52
REGISTER OF DEEDS
~~STRASBURG COUNTY~~

PLAN 57-96

P19-38 278 1/2 Dover Point Road

Property ID	Location	Owner 1	Owner 2	Owner Address 1	City	State	Zip
L0046-000000	2 PEARSON DR	DAUDELIN SUSAN	DAUDELIN LAURENT	2 PEARSON DRIVE	DOVER	NH	03820
L0047-000000	281 DOVER POINT RD	SILVER-MCADAM PAMELA REVOCABLE TRUST	SILVER-MCADAM PAMELA AND SILVER L TRUSTE	14 PEARSON DRIVE	DOVER	NH	03820
L0048-A00000	283 DOVER POINT RD	CARDINAL SIOBHAN M		283 DOVER POINT RD	DOVER	NH	03820
L0098-000000	262 DOVER POINT RD	GABRIEL MARGARET M TRUSTEE	GABRIEL MARGARET M REVOCABLE TRUST	PO BOX 727	DOVER	NH	03821-0727
L0098-B00000	264 DOVER POINT RD	MORIN RICHARD J & VERNIEL CO-TRUSTEES	MORIN RICHARD J & VERNIEL REVOCABLE TRUS	264 DOVER POINT ROAD	DOVER	NH	03820
L0098-C00000	262 1/2 DOVER POINT RD	WILLS JEFFREY P &	WILLS KAREN L	262 1/2 DOVER POINT RD	DOVER	NH	03820
L0102-000000	272 DOVER POINT RD	LAGRANGE DANIEL F		272 DOVER POINT RD	DOVER	NH	03820
L0102-001000	272 1/2 DOVER POINT RD	MCKENNA JACK M	MCKENNA BETH W	272 1/2 DOVER POINT RD	DOVER	NH	03820
L0103-000000	274 DOVER POINT RD	DEMO LINDA M &	DEMO RONALD G AND VIRGINIA A	274 DOVER POINT ROAD	DOVER	NH	03820
L0104-000000	278 DOVER POINT RD	ELKERTON EVELINE C	ELKERTON STANLEY W	278 DOVER POINT ROAD	DOVER	NH	03820
L0105-A00000	282 DOVER POINT RD	DENISON MASI		PO BOX 2023	DOVER	NH	03820
L0105-B00000	DOVER POINT RD	LONDRES F JEFFREY &	LONDRES CAROLYN L	340 ORDIORNE POINT RD	PORTSMOUTH	NH	03801
L0105-C00000	284 DOVER POINT RD	SIGNORELLO JOSEPH JR & JOHN & MARY & MAF	CROTHERS ANNE AND DANE JULIE	284 DOVER POINT ROAD	DOVER	NH	03820
L0105-D00000	280 DOVER POINT RD	JOHNSON CHRISTOPHER H &	GAGALIS LAUREN E	102 EXETER RD	NORTH HAMPTON	NH	03862-2004
L0105-E00000	286 DOVER POINT RD	GUTIERREZ SMIGIEL FREDERICK J		286 DOVER POINT RD	DOVER	NH	03820
L0105-F00000	280 A DOVER POINT RD	PANASIS CHARLES & PAULA TRUSTEES	PANASIS PAULA J REVOCABLE TRUST	280 A DOVER POINT RD	DOVER	NH	03820
L0106-A00000	280 1/2 DOVER POINT RD	280 DOVER POINT RD LLC	C/O GROUX ROGER	278 1/2 DOVER POINT RD	DOVER	NH	03820
L0108-000000	DOVER POINT RD	JOSSELYN ROY L		281 DOVER POINT RD	DOVER	NH	03820
L0106-000000	278 1/2 DOVER POINT RD	GROUX ROGER C		278-1/2 DOVER POINT RD	DOVER	NH	03820
		LAND SURVEYING SERVICES	DAVID W. VINCENT LLS	P.O. BOX 1622	DOVER	NH	03821-1622

Legend:

L1	See Length Table
SCRD	Strafford County Registry of Deeds
(Typ)	Typical
■	Granite Bound
×	Steel Stake
○	Iron Pipe
●	Iron Rod
⊙	Iron Rod to be Set
⊘	Utility Pole
—	Building Setback

Length Table:

LINE	BEARING	DISTANCE
L1	N03°31'07"E	15.00'
L2	N08°42'55"E	44.14'
L3	S86°22'40"E	122.27'
L4	N06°36'39"W	43.44'
L5	N13°18'22"E	62.02'

Notes:

- The intent of this plan is to relocate the existing lot line between the subject properties.
- Owners of Record are: Lot 106
Groux/Bow Street Realty Trust
c/o Roger Groux, Trustee
278 1/2 Dover Point Road
Dover, NH 03820

Authorized Signature

Lot 106A
280 Dover Point Rd, LLC
c/o Roger Groux
278 1/2 Dover Point Road
Dover, NH 03820

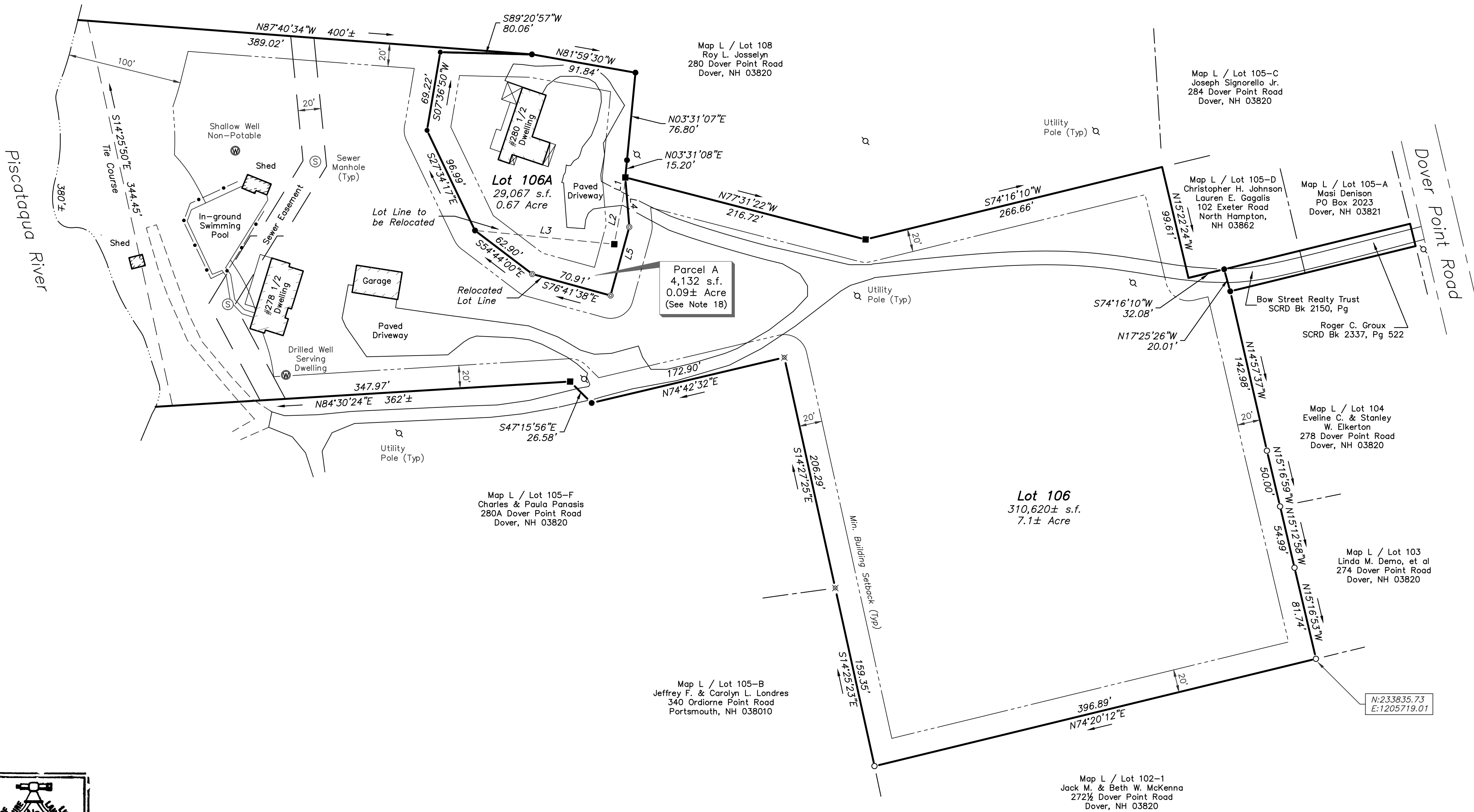
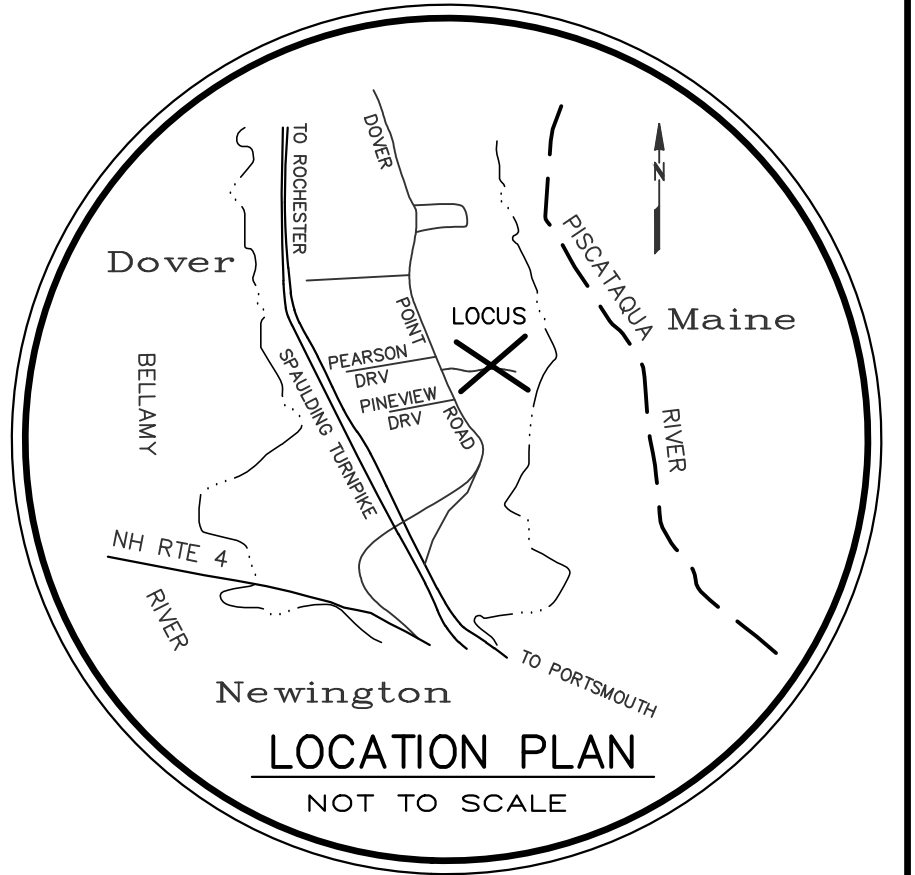
Authorized Signature
- The parcels are shown as Lot No. 106 & 106A, on Map L of the City of Dover Tax Assessor's Maps.
- Existing Lot 106 contains 7.2± acres or 314,750± sq. ft. area of land and Lot 106A contains 0.57± acres or 24,936± sq. ft. area of land.

Proposed Lot 106 contains 7.1± acre or 310,620± sq. ft. area of land and Lot 106A contains 0.67± acres or 29,067± sq. ft. area of land.
- Title reference for the project parcels are the Strafford County Registry of Deeds, Book No. 1709, Page No. 691 & Book No. 2178, Page No. 84 (Lot 106) and Book No. 3745, Page No. 338 (Lot 106A).

- Reference Plan: "Boundary Line Adjustment Boundary Line Agreement Plan for Groux/Bow Street Realty Trust, Roy I. Josselyn & Barbara T. Evas-Elkerton, Dover, NH, dated December 21, 1999, prepared by this office, SCRD Plan No. 57-96.
- Lots are subject to and have the benefit of easements and rights as described SCRD Book No. 1709, Page No. 691, Book No. 2178, Page No. 84, Book No. 3745, Page No. 338 and referenced on the plan in Note 6.
- Zoning dimensional and density requirements are as follows:
a. Zoning district R-20
b. Minimum lot size is 20,000 sq. ft.
c. Minimum lot frontage is 125 ft.
d. Minimum yard setbacks:
Front 20 ft., 35' Max.
Side 20 ft.
Rear 30 ft.
Abut-a-street 20 ft., 35' Max
e. Maximum lot coverage 30%
f. Maximum building height 35 ft.
Outbuildings/Accessory Use
Minimum yard setbacks:
Front 35 ft.*
Side 10 ft.
Rear 10 ft.
Abut-a-street 35 ft.*
*No closer than the principal building or 35' whichever is less
- No variances have been granted for either property regarding this application.
- Property line information has been obtained from an on the ground survey performed by this land surveyor in 1999, with an error of closure not greater than 1 in 10,000.

- A portion of Lot 106 is located within a Federally designated flood hazard area AE at Elevation 8 feet, as depicted on FEMA Community panel number 33017C0340E, Effective Date: September 30, 2015.
- Wetlands were not delineated on these parcels by a Certified Wetlands Scientist.
- Topography depicted is based on the NHDOT Geodetic Control NAVD88 stations 125-100 and 125-0810.
- Basis of bearing is the USA/NAD83-86/New Hampshire State Plane system stations 125-100 and 125-0810 which were used to determine location, orientation and vertical datum.
- Both parcels are currently served by overhead utilities.
- Lot 106 is currently served by a drilled well and municipal sewer. Lot 106A is currently served by municipal water and municipal sewer.
- The existing use for both lots is single family residential.
- Parcel A is to be conveyed from Lot 106 to Lot 106A and is not to be considered a separate lot.
- The licensed land surveyor of this plan does not warranty nor guarantee the location of utilities shown or not shown on this plan. Pursuant to New Hampshire Statute RSA 374, Sections 47-56, the contractor, prior to the commencement of any construction, shall verify the location of all utilities and contact "DigSafe" at 1-800-344-7233 or dial 811.

For Registry of Deeds Purposes



BOUNDARY LINE ADJUSTMENT PLAN

OF PROPERTIES IN THE NAMES OF

GROUX/BOW STREET

REALTY TRUST &

280 DOVER POINT RD. LLC

SHOWN AS

TAX MAP L / LOTS 106 & 106A

LOCATED AT

278-1/2 & 280-1/2 DOVER POINT ROAD

COUNTY OF STRAFFORD

DOVER, NH

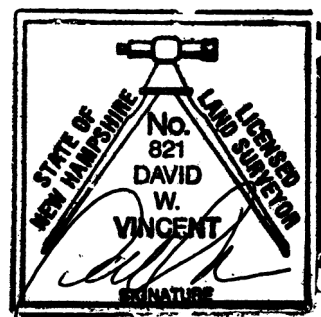


SCALE: 1"= 60' DATE: APRIL 23, 2019

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES

PO BOX 1622
DOVER, NH 03821
TEL: (603) 664-5786

www.landsurveyingservices.net



23 Apr. 2019

David W. Vincent, LLS No. 821

Date

4			
3			
2			
1			
NO.	DATE	DESCRIPTION	BY

DWG NAME: 995011r2

FB: 08/20

P19-XX 9950