

CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 1st Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, May 30, 2019**
Meeting Time: **10:30 AM**

1. 10:30 AM - 11:15 AM: Amendment to a Site Plan for Bradley Commons (Phase II), Assessor's Map 27, Lot 4, zoned CBD-General, and located at 575-577 Central Avenue. (Changes include site layout, utilities & grading for a 10-unit condominium building). (P14-34A)



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P19-35

Application Type: Site Plan Review
Applicant(s): Mac's Convenience Stores, LLC
Owner(s): Mac's Convenience Stores, LLC
Location: 30 Dover Point Road (Tax Map K, Lot 19C)
Date: May 16, 2019

INTENT: To construct a 5,375 total sq.ft. building with a convenience store and vehicle refueling and recharging station.

UNITS PROPOSED: N/A

AGENDA ITEM #: 1

ACREAGE: 2.38 acre (103,673 sq. ft.)

ZONING DISTRICT: R-12/B-3/ETP

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Commercial

SURROUNDING LAND USE: Residential, Commercial

ZBA ACTION: Special Exception Z18-18

PERMITS REQUIRED: CUP for Wetlands buffer

WAIVERS REQUESTED: N/A

ATTENDANCE:

Members:

Donna Benton, Planning
Elena Piekut, Zoning
Dave White, Engineering
Sgt. Marn Speidel, Police
Dan Barufaldi, Economic Development
Jim Maxfield, Inspection Services
Frank Torr, Planning Board

Others:

Steve Haight, Engineer
Chris Parker, Planning
FX Bruton, Attorney

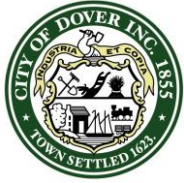
Approval of 5/02/2019 Meeting Minutes

D.White moved to approve the minutes of May 02, 2019. F.Torr seconded. Vote: U/A

PLAN REVIEW:

Planning:

- LLA needs to be finalized and approved separately
- LLA needs application and fees
- Water and Sewer Investment Fees will be collected
- Impact Fees will be collected at CO
- If wetland were re-delineation, update information
- Revise plan set to:
 - Note Planning number P19-35
 - Replace term “gas station” or “gasoline station” or similar with “vehicle refueling and recharging station”
 - Remove any reference to the expired site plan
 - Correct map and lot ID
 - Sheet 3
 - Note 4 indicates 3 lots, just use the final lot
 - Confirm note 5 is the final area calculation
 - Confirm deed in note 6 is correct
 - Ensure all notes are readable
 - Revise note 38 regarding development of K-26 to eliminate reference to K-19A, and note that if non-residential is developed on K-26 and the easement is used, the site plan will need to be amended to remove the fence, and adjust the landscaping
 - Sheet 5, add numbers to the notes
 - Add owner's signatures
 - Add professional signatures and stamps
 - Eliminate Dover Point Road driveway, which is in conflict with 149-14 C (4) and 149-14 H (1). This was noted by all members.
 - Group discussed 2 waivers for to allow right out.
 - Alter locations of driveways on Pointe Place, to either merge into one entrance that is 32' wide, or have 155' (149-14 H (1)) between the two and are no more than 24' wide (149-14 C (5))
 - Relocate the dumpster 90 degrees to eliminate the need for second driveway on Pointe Place
 - Extend the trees/shrubs along Pointe Place
 - Provide turning template for delivery trucks
 - Add note about tying into Dover GIS
 - Landscape plan does not meet current requirements (tree caliper, spacing, shrubbery)
 - Eliminate the signage from the rendering
 - Add the landscaping to streetscape
 - Indicate the height of the canopy, provide narrative that it meets 149-14.L
 - Include a legible lighting plan



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P19-35

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Applicant(s): Mac's Convenience Stores, LLC
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Location: 30 Dover Point Road (Tax Map K, Lot 19C)
Date: May 16, 2019

- Note digital signage is not allowed
- Provide Plan Review Fee for impervious surface
- Show screening for transformer
- Revise intersection of Point Place and Dover Point Road to show roundabout
- Work with COAST to include a bus shelter in the area
- Sign easement for K-19 violates sign ordinance - remove
- Revise drainage so that it heads towards the cul-de-sac area, where easement will be conveyed and reduce/eliminate buffer encroachments
- Revise floor plan and site plan to match
- Note purpose 12'x34' concrete pad, if required, screen
- Parking and loading zone seem to conflict
- Details for dumpster screening and site plan conflict
- Remove snow storage from rain garden
- Add public transit as part of the traffic study
- Provide common site plan notes 7, 15, 16 and 36

Engineering Comments:

- Need to provide additional ROW or easement area for roundabout at intersection with Dover Point Road, on Pointe Place
 - This can be credit towards impact fees
- Extend sidewalk up Dover Point Road to meet crosswalk for roundabout
- Design the roundabout as your fair share contribution towards the intersection improvements
- City should retain the cul de sac and grant easement for stormwater

Police Department Comments:

- Revise the plan to:

- Sheet 5: reciprocal easement refers to notes 30, 31 but these are actually notes 37, 38
- Add note that crosswalks across the mouth of Pointe Place driveway(s) will be privately maintained
- Traffic signals or roundabout at Dover Point / Pointe Place intersection must be constructed concurrently with this project, either by applicant or by others.
- Revise parking stall note on sheet 5 to remove max size

Fire/Inspections Comments:

- Revised the plans:
 - Sheet 5-clarify the location of van accessible sign R7-8b
 - Sheet 10-minimum access aisle is 8' wide with an 8' parking space.
 - Sheet 7-indicates suppression line entering the front of the building. Note: suppression line shall enter the building through the floor. Clarify location on submitted architectural drawings
 - Correct that a BP required for retaining walls over 4' not 6' as noted
- Elevation plans shall include dimensions.

Economic Development:

- Confirm the colors on the renderings accurate
- List the building materials on the plans

Planning Board Comments:

- Remove snow storage from rain garden
- Eliminate Dover Point driveway and restripe Dover Point for longer stacking lane
- Note removal of utility pole at intersection
- Provide detail on the fencing

Next Steps:

Work with Staff on revising the site layout, come back for a second TRC.

Sgt. Speidel moved to adjourn. D.White seconded. Vote: U/A



City of Dover, New Hampshire
APPLICATION FOR EXTENSIONS OF/ AMENDMENTS
TO/ WAIVERS FOR AN APPROVED PLAN

RECEIVED [revised June 30, 2014]

~~Planning Office~~

~~MAY 23 2019~~

Office Use Only

Amount Paid:

Date/Time Received:

Dover, New Hampshire

APPLICANT INFORMATION

Name of Applicant: The Housing Partnership Telephone # 603-766-3125

Address of Applicant: PO Box 466, Portsmouth, NH, 038 E-Mail marty@housingpartnership.org

Project Name: Bradley Commons Phase 2 Project Location: 18 Park Street

Planning File Number: P 14-34 Date of Original Approval September 25, 2014

File Type: Conditional Use _____ Site Plan Review x Subdivision _____

EXTENSION INFORMATION (*Note: notification of abutters required for first time extensions under Sec. 149-9.B and Sec. 155-24.B only*)

Extension type requested (check one): ☐ Sec. 149-8.A ☐ Sec. 149-9.B ☐ Sec. 155-14.A ☐ Sec. 155-24.B

Current deadline date: _____ Number of Extensions Previously granted by Board _____

Reason(s) for extension/comments (*attach additional sheets as needed*): _____

AMENDMENT INFORMATION

Condition(s) or portion of plan to be amended: Reduce Building Size, Rev. Electric, Address Access

Reason(s) for amendment/comments (attach additional sheets as needed): See Accompanying Letter

WAIVER INFORMATION

Site Review/Subdivision Regulations section(s) to be waived: _____

Justification for waiver request(s) (attach additional sheets as needed): _____

SIGNATURES

I/We hereby submit this application to the Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: Ken Date: 5/23/19

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

**EXTENSIONS OF/ AMENDMENTS TO/ WAIVERS FOR AN APPROVED
PLAN
LIST OF ABUTTERS**

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	MAILING ADDRESS

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS



AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS
200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

16 May, 2019

Mr. Christopher Parker, AICP
Director, Dover Planning Department
288 Central Avenue
Dover, NH 03820

RE: Amended Site Plan, Bradley Commons (Phase II), 577 Central Avenue

Dear Mr. Parker:

We hereby submit, on behalf of The Housing Partnership, the attached Amended Site Plans at the above-mentioned site for your consideration. The submission herewith was a part of the final Park Street Building Design and Bidding process; it is essentially the Overall Approved Site Plan with a narrower view to show only Phase II construction. Minor changes are:

- Cover Sheet: The "Site Location" was shifted and the Plan Intent updated.
- Sheet C1: The area of view was shifted and the features updated.
- Sheet C2: The area of view was shifted, the dumpster area was updated based on the Phase I revised sizing and construction and parking was adjusted accordingly (total count remains the same), a transformer behind the building was added (eliminated the overhead / pole mounted connection to the front), car bumper stops were added in the parking level, the building size was revised due to code issues / construction at property line (proposed building smaller), a secondary egress was added to the rear of the building, the three front entrances were combined into one and the ramp / stair was revised.
- Sheet DM: The area of view was shifted and the notations of work adjusted.
- Sheet L1: The area of view was shifted and the plant design adjusted to the new building.
- Sheets D1 and D2: Details were revised to only ones applicable to Phase II.

We are available to meet with you or City Staff should you have any questions or concerns. We look forward to your approval of the submitted material.

Sincerely,

John R. Chagnon, PE, LLS

Attachments:
Revised Plans

BRADLEY COMMONS PHASE II

AMENDED SITE PLAN

18 PARK STREET

DOVER, NEW HAMPSHIRE

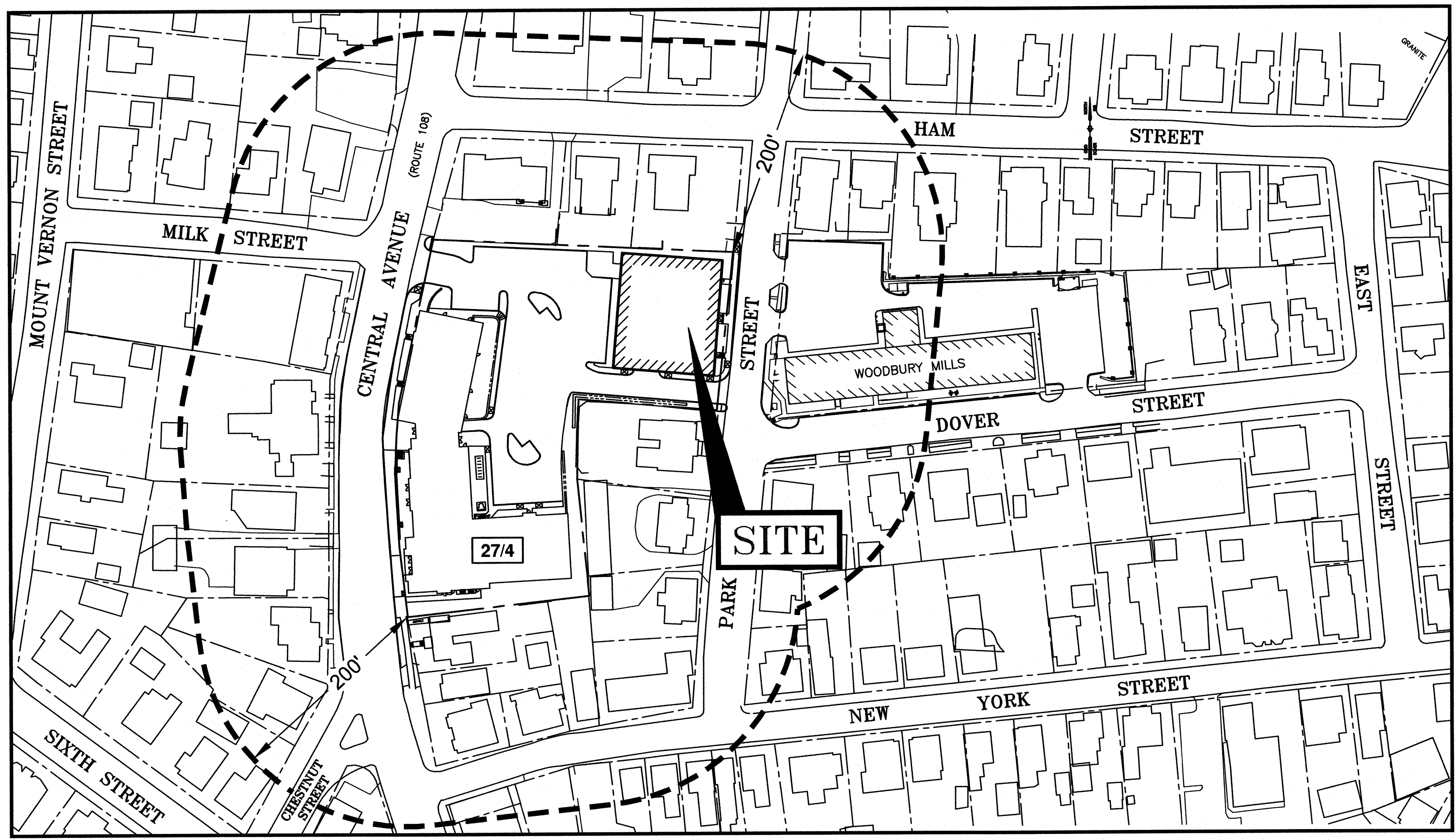
PERMIT PLANS

OWNER/APPLICANT:
THE HOUSING PARTNERSHIP
P.O. BOX 466
PORTSMOUTH, N.H. 03802
Tel (603) 766-3131
Fax (603) 431-3627

CIVIL ENGINEER & LAND SURVEYORS:
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

ARCHITECT:
LASSEL ARCHITECTS PA
370 MAIN STREET
SOUTH BERWICK, ME 03908-370
Tel (207) 384-2049
Fax (207) 384-4860

LANDSCAPE ARCHITECT:
WOODBURN & COMPANY
LANDSCAPE ARCHITECTURE, LLC
103 KENT PLACE
NEWMARKET, N.H. 03857
TEL (603) 659-5949
FAX (603) 659-5939



INDEX OF SHEETS

- C1 - EXISTING CONDITIONS PLAN
- C2 - SITE PLAN
- DM - DEMOLITION PLAN
- L1 - LANDSCAPING PLAN
- D1 & D2 - DETAILS

NEIGHBORHOOD PLAN

SCALE: 1" = 80'

PLAN INTENT

- THE INTENT OF THIS SITE PLAN SET IS TO SHOW THE CONSTRUCTION OF BRADLEY COMMONS PHASE II BUILDING AT 18 PARK STREET - 10 RESIDENTIAL UNITS. THIS PLAN SET IS AN AMENDMENT TO BRADLEY COMMONS OVERALL SITE PLAN DATED: DECEMBER 8, 2014

TOWN SUBMISSION SET 5-16-19

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
SCRD	STRAFFORD COUNTY
	REGISTRY OF DEEDS
	MAP 11/LOT 21
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
IR SET	IRON ROD SET
DH FND	DRILL HOLE FOUND
DH SET	DRILL HOLE SET
	GRANITE BOUND w/IRON ROD FOUND
	CONCRETE BOUND TO BE SET
FM	FORCE MAIN
S	SEWER PIPE
SL	SEWER LATERAL
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
WS	WATER SERVICE
UTC	UNDERGROUND TELEPHONE/CABLE TV
VGC	UNDERGROUND ELECTRIC
	OVERHEAD UTILITY WIRES
	EDGE OF PAVEMENT (EP)
	VERTICAL GRANITE CURB
	EXTRUDED CONCRETE CURB
100	CONTOUR
97+3	SPOT ELEVATION
	UTILITY POLE (w/ GUY)
	TELEPHONE PEDESTAL
	CABLE TV PEDESTAL
	TRANSFORMER ON CONCRETE PAD
	SECTOR CABINET (ELECTRIC)
	SERVICE ENCLOSURE (ELECTRIC)
	SHUT OFF VALVE (WATER/GAS)
	GATE VALVE
	HYDRANT
	THRUST BLOCK
	CATCH BASIN
	SEWER MANHOLE
	DRAIN MANHOLE
	TELEPHONE MANHOLE
	TEST BORING
	TEST PIT
	LANDSCAPED AREA
	ASBESTOS CEMENT PIPE
	DUCTILE IRON PIPE
	POLYVINYL CHLORIDE PIPE
	HIGH DENSITY POLYETHYLENE PIPE
	REINFORCED CONCRETE PIPE
	COPPER PIPE
	CEMENT LINED CAST IRON PIPE
	CAST IRON PIPE
	LIQUIFIED PETROLEUM GAS
	HYDRANT
	CENTERLINE
	EDGE OF PAVEMENT
	ELEVATION
	FINISHED FLOOR
	INVERT
	TEMPORARY BENCH MARK
	TYPICAL
	TO BE DETERMINED
	TO BE REMOVED
	SQUARE FEET

BRADLEY COMMONS PHASE II
AMENDED SITE PLAN
18 PARK STREET
DOVER, N.H.

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 11 MARCH 2019

OWNER:

5.16.19
DATE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

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NOTES:

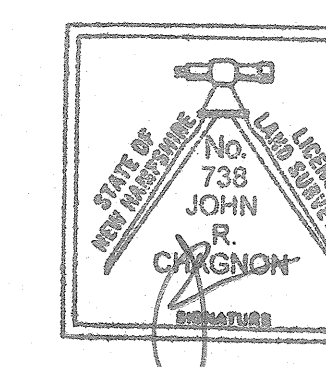
- 1) PARCEL IS SHOWN ON THE CITY OF DOVER ASSESSOR'S MAP 27 AS LOTS 4.
- 2) OWNER OF RECORD:
THE HOUSING PARTNERSHIP
P.O. BOX 466
PORTSMOUTH, N.H. 03802
4392/267
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANELS 33017C0310D AND 33017C0330D. EFFECTIVE MAY 17, 2005.
- 4) EXISTING LOT AREA:
78,562 S.F. / 1.8035 ACRES

LAND AREA PHASE I: 32,342 S.F.

LAND AREA PHASE II: 13,304 S.F.
- 5) PARCELS ARE LOCATED IN THE GENERAL SUB-DISTRICT OF THE CENTRAL BUSINESS DISTRICT.
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON A PORTION OF THE LOT
- 7) SEE DEVELOPMENT AGREEMENT RECORDED AT SCRD BOOK 4424, PAGE 607.
- 8) VERTICAL DATUM: MEAN SEA LEVEL - CITY OF DOVER DATUM.
- 9) BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY AMBIT ENGINEERING IN MARCH OF 2014, AND JULY OF 2018.
HORIZONTAL DATUM: DOVER GIS. CLOSURE GREATER THAN 1:10,000.
- 10) PARCELS ARE SERVED BY MUNICIPAL WATER AND SEWER.

**BRADLEY COMMONS
PHASE II
AMENDED SITE PLANS
18 PARK STREET
DOVER, NEW HAMPSHIRE**

NO.	DESCRIPTION	DATE
1	UPDATED EXISTING CONDITIONS	2/4/19
0	ISSUED FOR APPROVAL	7/19/18
REVISIONS		

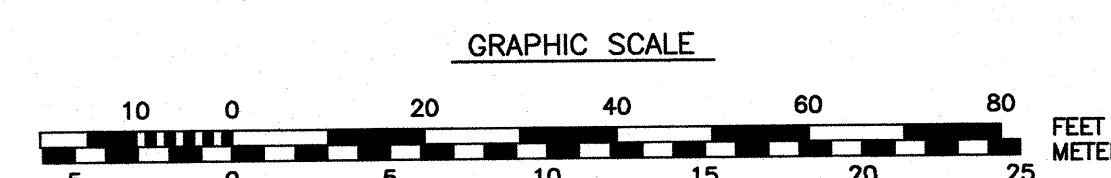
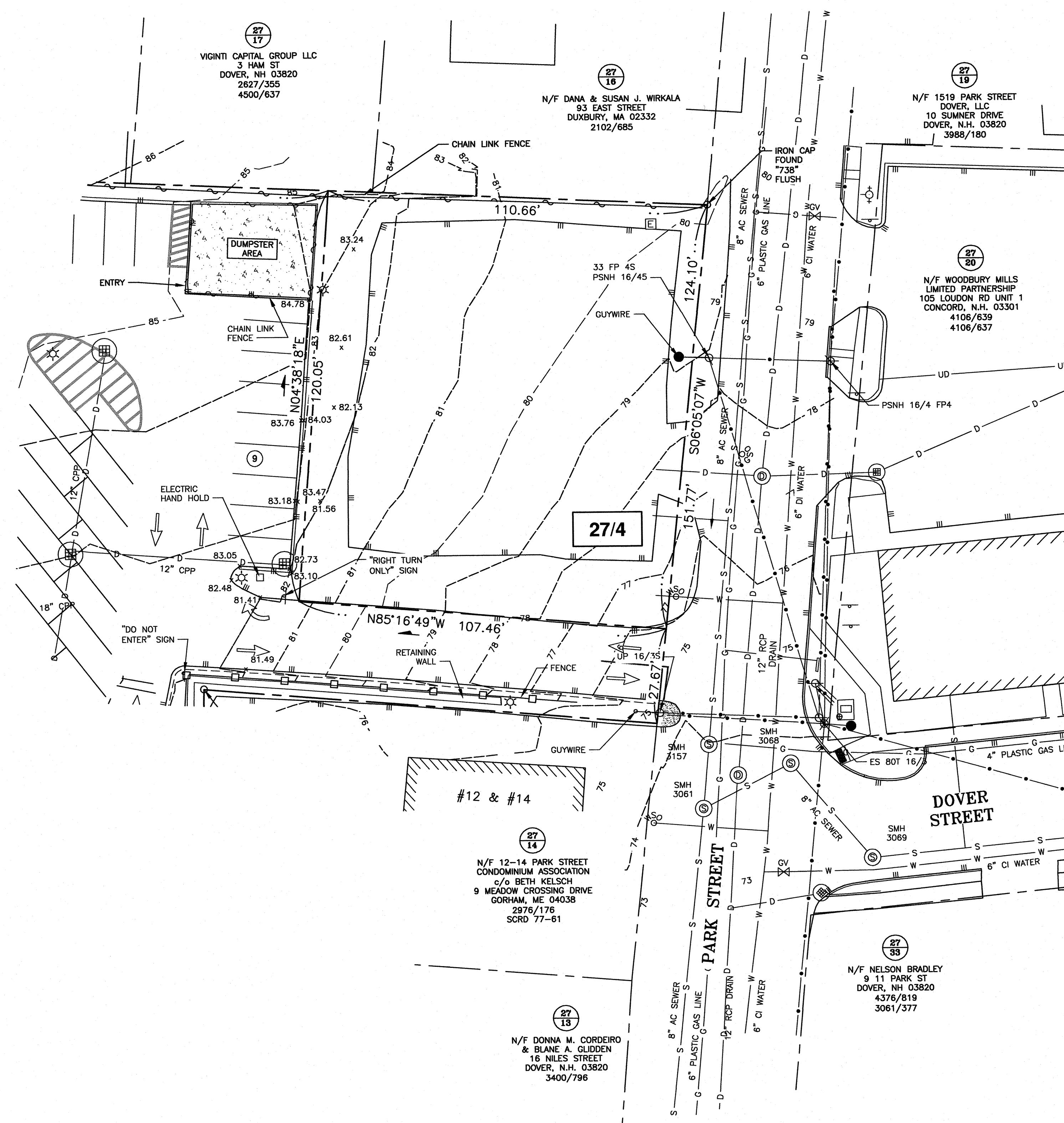
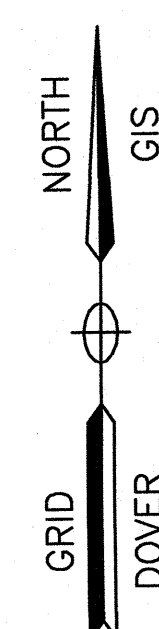


SCALE: 1" = 20'

JULY 2018

**EXISTING CONDITIONS
PLAN**

C1



OWNER:

SIGNATURE

5.16.19
DATE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road, Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

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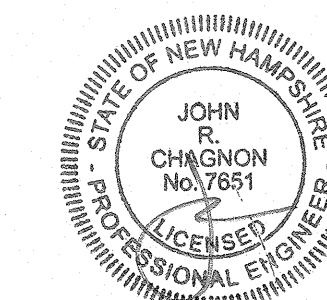
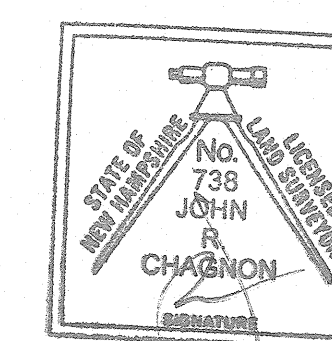
LAND AREA PHASE I: 32,342 S.F.

LAND AREA PHASE II: 13,304 S.F.
- 5) PARCELS ARE LOCATED IN THE GENERAL SUB-DISTRICT OF THE CENTRAL
BUSINESS DISTRICT.
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE LAYOUT, UTILITIES AND
GRADING FOR A TEN UNIT CONDOMINIUM BUILDING.
- 7) SEE DEVELOPMENT AGREEMENT RECORDED AT SCRD BOOK 4424, PAGE 607.
- 8) VERTICAL DATUM: MEAN SEA LEVEL - CITY OF DOVER DATUM.
- 9) BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY AMBIT ENGINEERING IN
MARCH OF 2014.
HORIZONTAL DATUM: DOVER GIS. CLOSURE GREATER THAN 1:10,000.
- 10) PARCELS ARE SERVED BY MUNICIPAL WATER AND SEWER.
- 11) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE
(1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY
EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 12) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE
EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY
ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE
CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT
ONCE TO THE DESIGN ENGINEER.
- 13) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN
ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3,
EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER
2008).
- 14) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED
CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 15) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS
OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF DOVER
DEPARTMENT OF PUBLIC WORKS.
- 16) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF DOVER
DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 17) THE SITE IS A CONDOMINIUM. THE BRADLEY COMMONS II TENANTS WILL
SHARE THE DUMPSTER ALREADY IN PLACE FOR THE OTHER CONDO OWNERS.
CONTAINER(S) SIZE AND FREQUENCY OF PICK UP WILL BE MANAGED BY THE
CONDOMINIUM ASSOCIATION PROPERTY MANAGER ON DEMAND.
- 18) CONSTRUCTION WORK HOURS SHALL BE LIMITED TO MONDAY THROUGH FRIDAY FROM
7 A.M. TO 6 P.M. AND SATURDAY FROM 8 A.M. TO 5 P.M. NO SUNDAY WORK IS
ALLOWED.

BRADLEY COMMONS PHASE II AMENDED SITE PLANS 18 PARK STREET DOVER, NEW HAMPSHIRE

NO.	DESCRIPTION	DATE
4	WATER SERVICES, NOTE 18	5/16/19
3	WHEEL STOPS	4/29/18
2	PARKING, NOTE 17	3/11/19
1	BUILDING	2/4/19
0	ISSUED FOR APPROVAL	7/19/18

REVISIONS

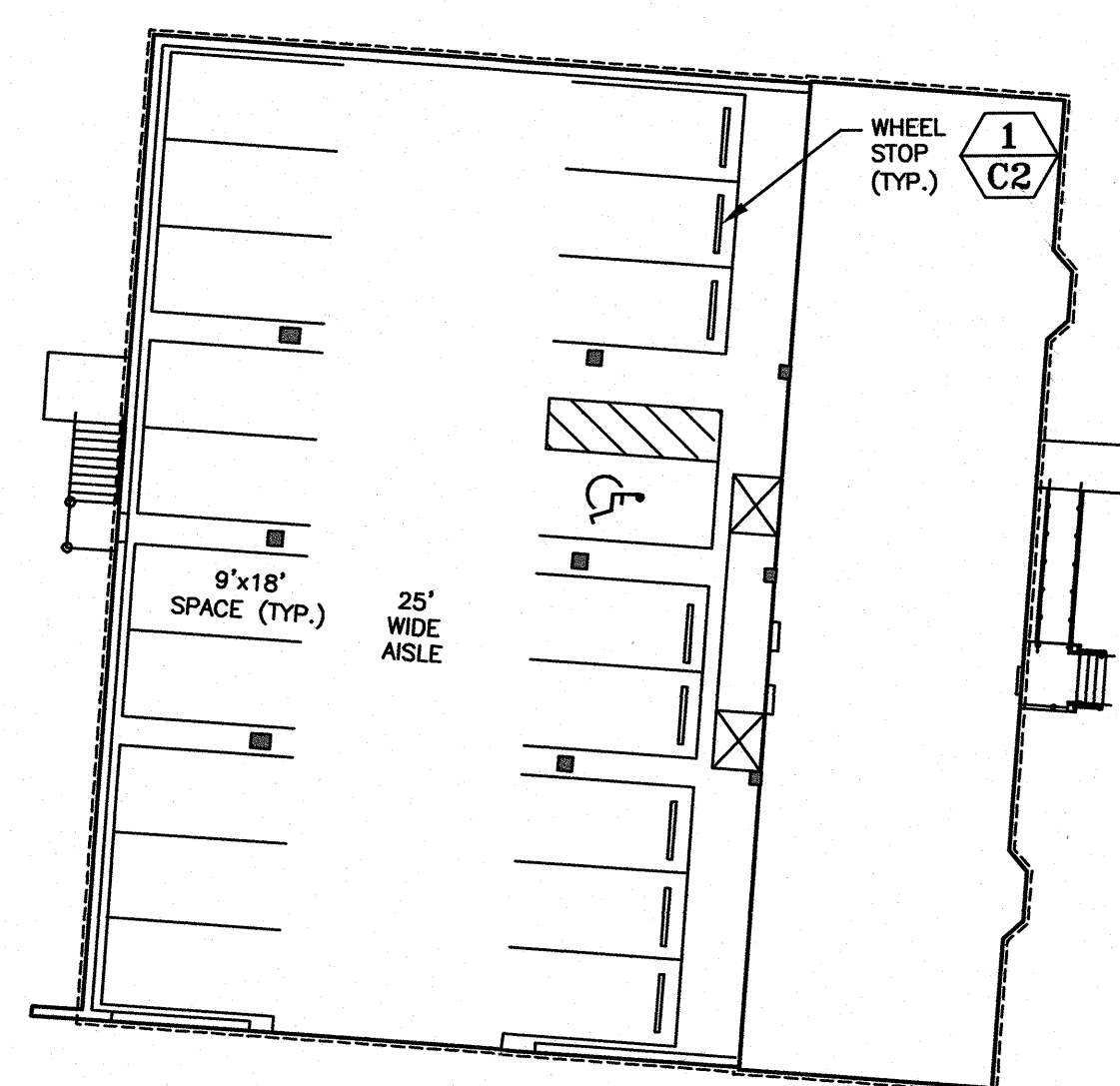
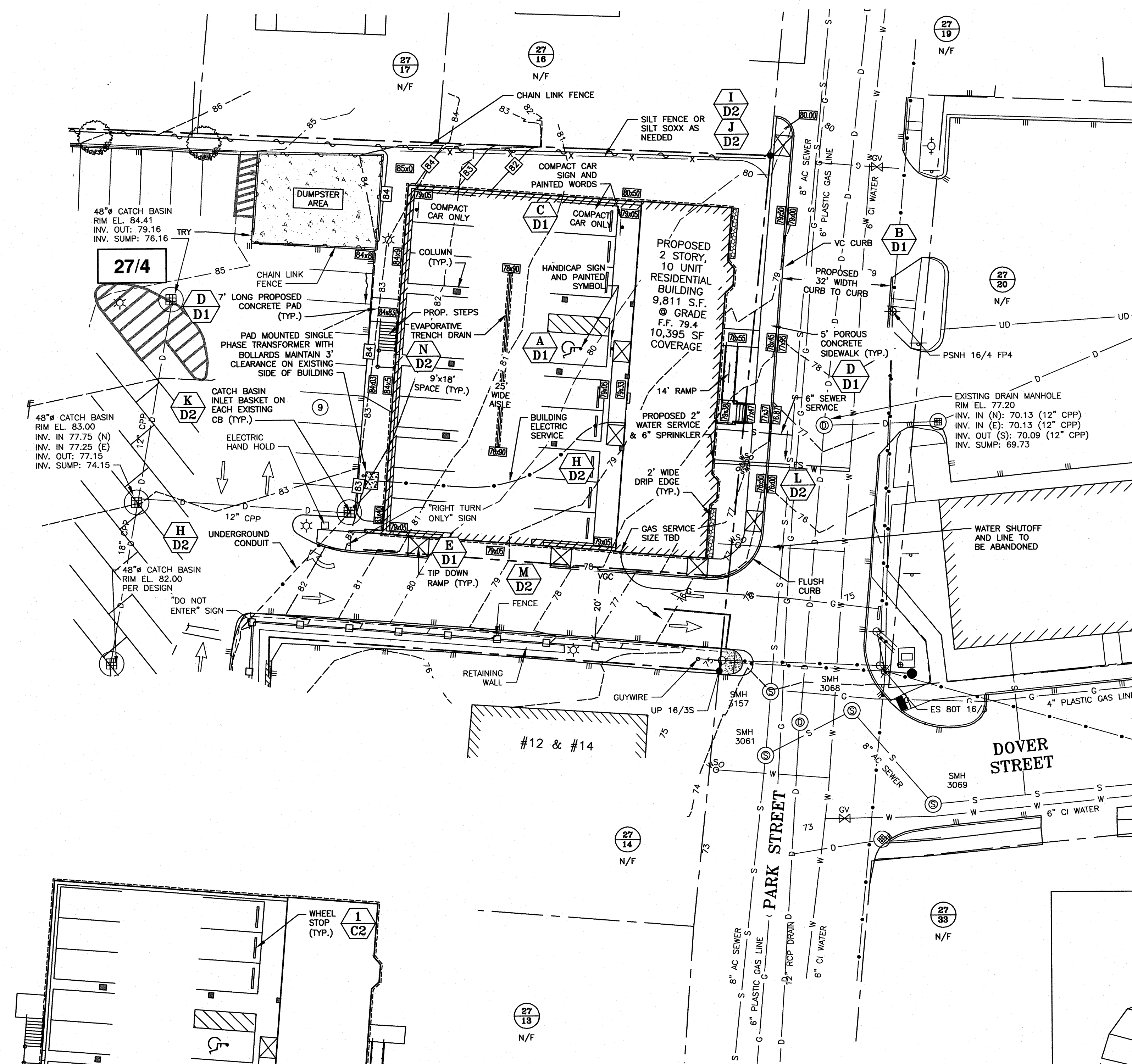
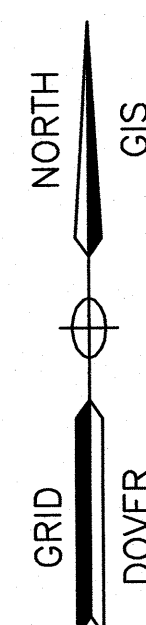


SCALE: 1" = 20'

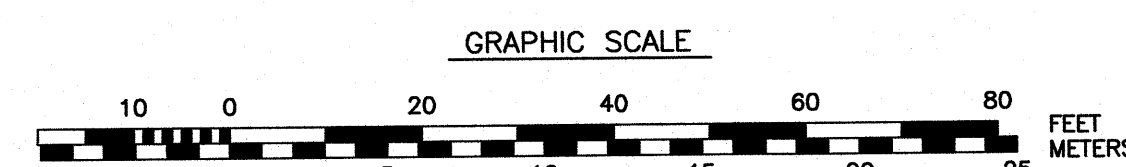
JULY 2018

SITE PLAN

C2



PARKING AREA DETAIL
SCALE: 1"=20'



OWNER:

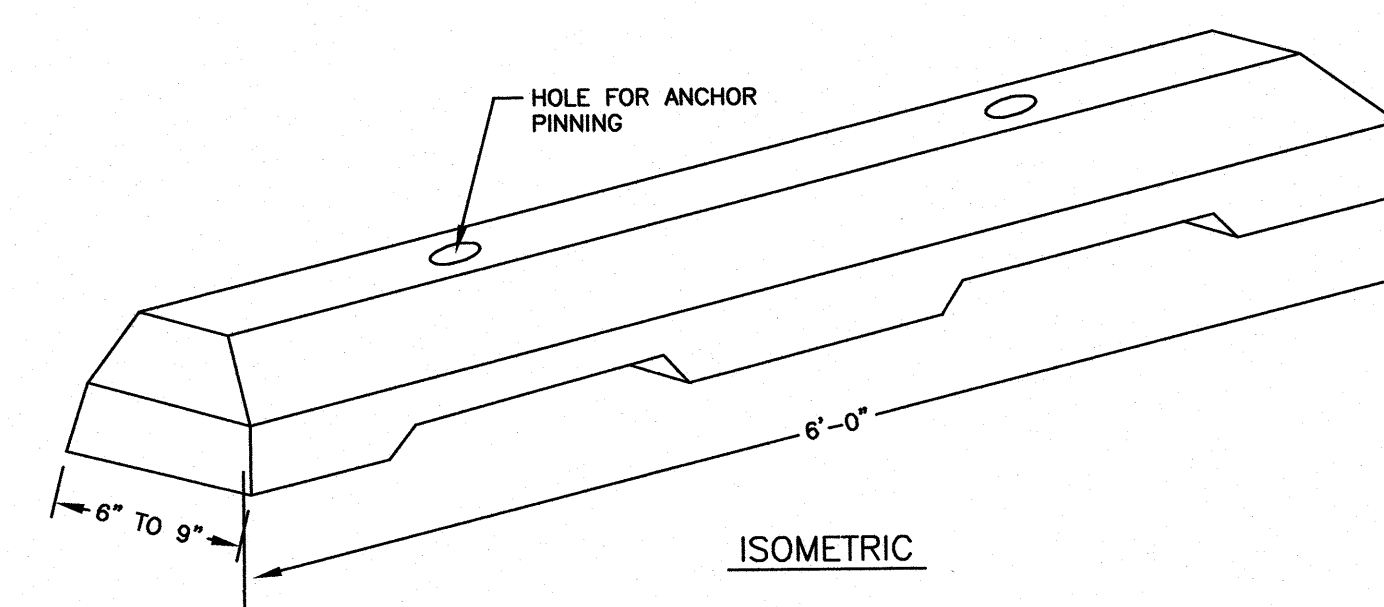
Signature

SIGNATURE

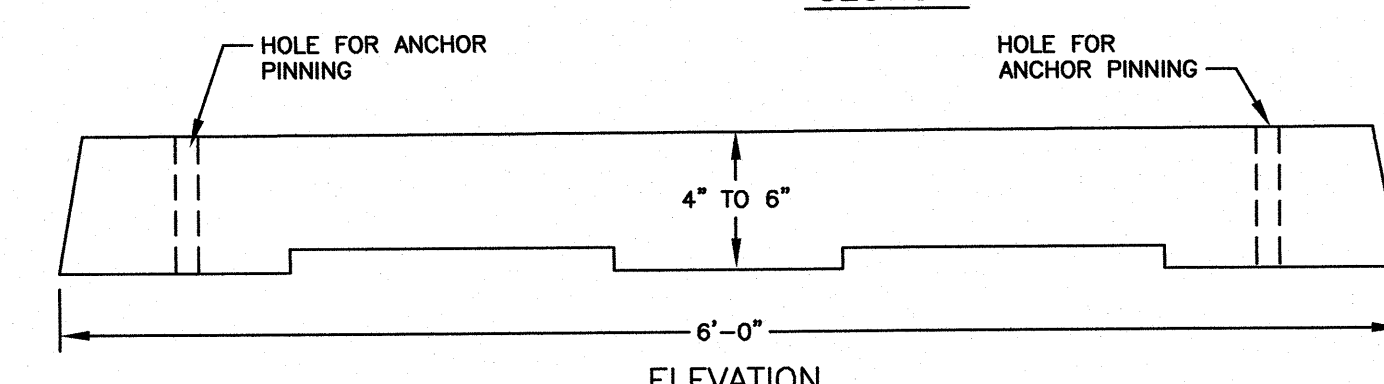
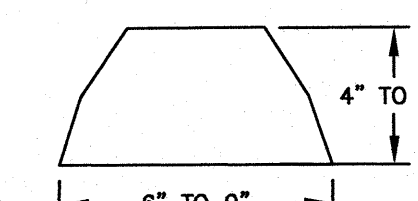
5.16.19
DATE

UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION
CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT
LINED DUCTILE IRON PIPE.
- 5) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 6) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES
THROUGHOUT CONSTRUCTION.
- 7) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET
THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND
SEWER SERVICES.
- 8) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL
ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL
CODES.
- 9) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE
COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 10) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF
WORK TO FINISH GRADE.
- 11) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE
PULLING CABLES.
- 12) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED
PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF
ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF
PROJECT.
- 13) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES,
FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT
NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF
UTILITIES COMPLETE AND OPERATIONAL.
- 14) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION
FOR NATURAL GAS SERVICES.
- 15) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE
PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH
MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT
ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 16) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH
FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO
REMAIN.
- 17) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF
PORTSMOUTH.
- 18) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF DOVER.
- 19) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 20) SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED
SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT
ELECTRICAL ENGINEER IN COORDINATION WITH THE SITE CIVIL ENGINEER.



- NOTES:
1. WHEELSTOPS SHALL BE CONCRETE, RUBBER,
PLASTIC OR OTHER APPROVED MATERIAL.
2. SEE SITE PLAN FOR LOCATIONS.



1
C2

WHEELSTOP DETAIL

NTS



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

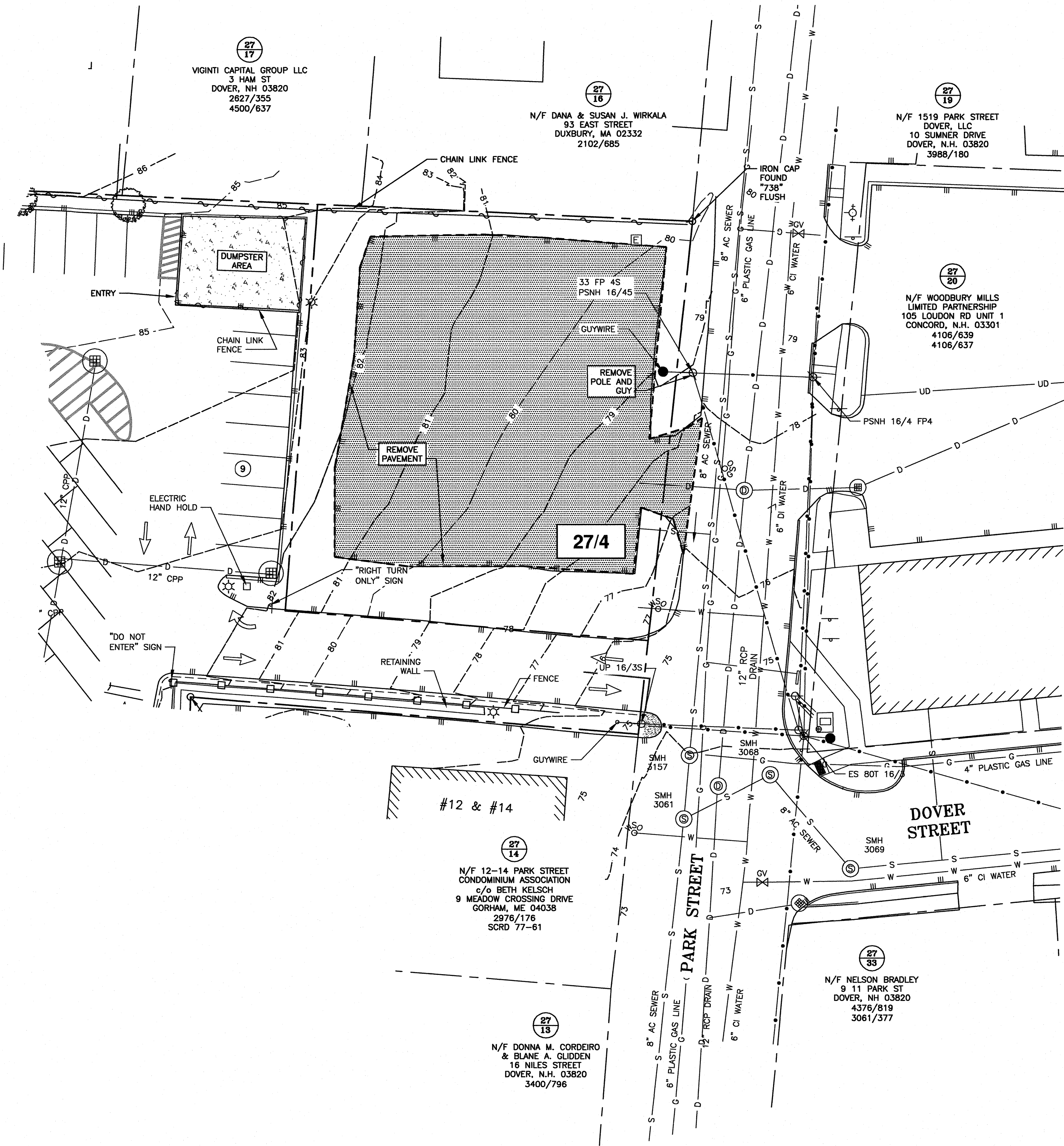
200 Griffin Road, Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

DEMOLITION NOTES

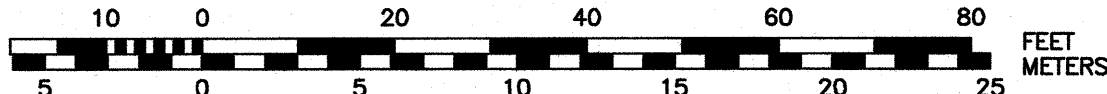
- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE, AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.
- I) ALL WORK WITHIN THE CITY OF DOVER RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



OWNER:

SIGNATURE: *[Signature]* DATE: 5-16-19

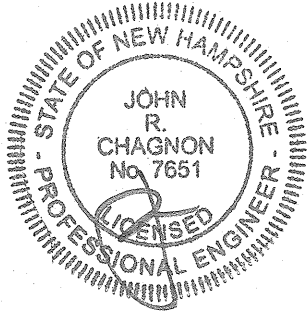
GRAPHIC SCALE

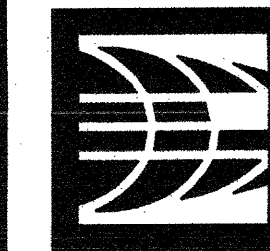


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**DEMOLITION
PLAN**

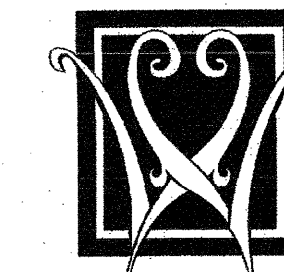
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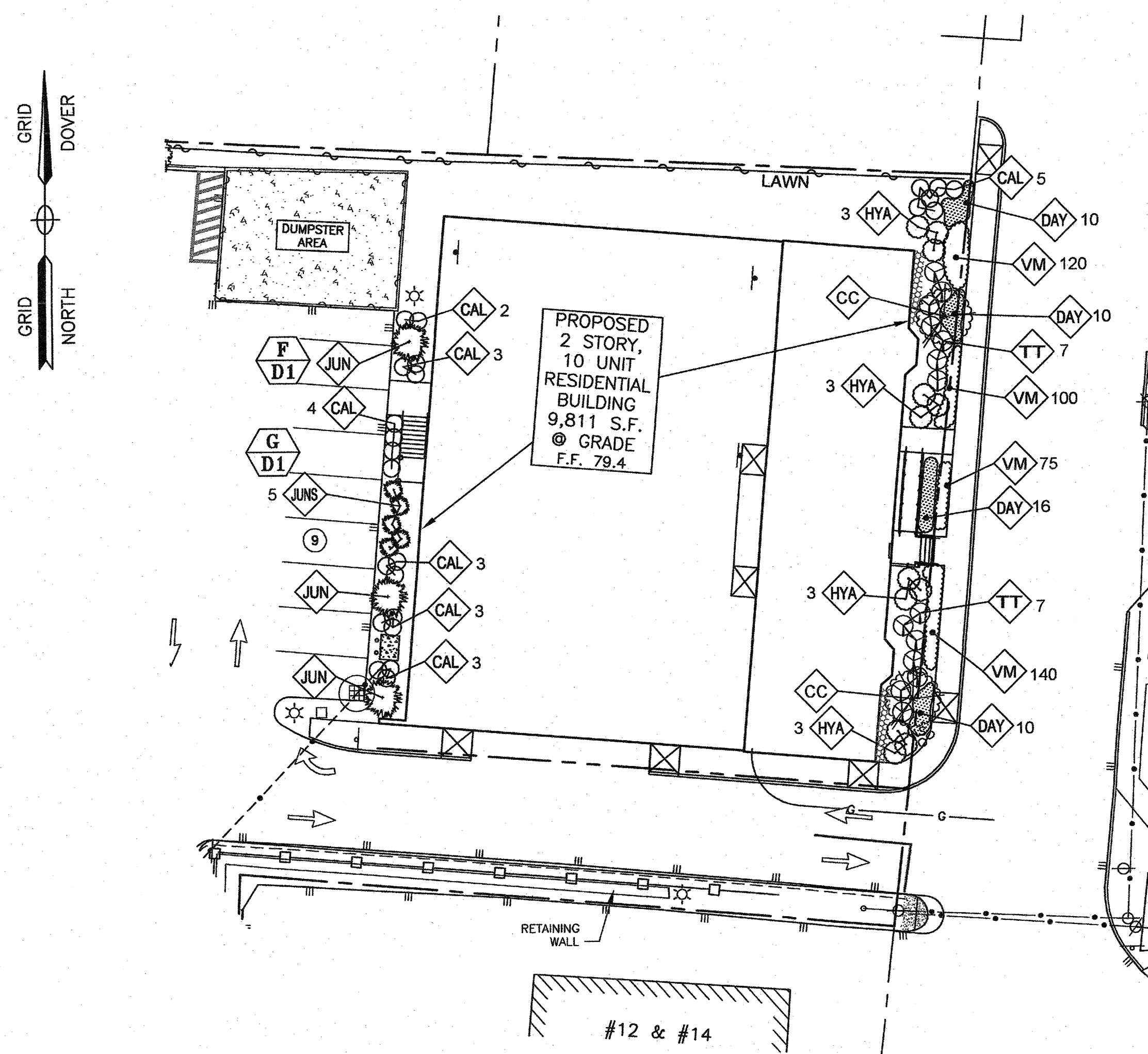


**WOODBURN
& COMPANY**

Landscape Architecture, LLC
103 Kent Place
Newmarket, NH 03857
Ph. 603-659-5949 Fax 603-659-5939

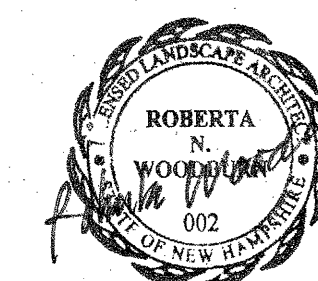
Plant List

TREES					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
CC	<i>Cornus Mas</i>	Cornelian Cherry	2	2.5-3" cal	B&B
SHRUBS, GROUNDCOVERS & PERENNIALS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
CAL	<i>Calamagrostis acutifolia</i> 'Karl Foerster'	Feather Reed Grass	24	1 gal	
DAY	<i>Heimerocallis</i> 'Happy Returns'	Happy Returns Daylily	46	1 gal	
HYA	<i>Hydrangea a.</i> 'Annabelle'	Annabelle Hydrangea	12	5 gal	
JUN	<i>Juniperus chinensis</i> 'Mountbatten'	Mountbatten Juniper	3	6-7' Ht	B&B
JUNS	<i>Juniperus chinensis</i> 'Seagreen'	Seagreen Juniper	5	3' Ht	B&B
VM	<i>Vinca minor</i>	Bowles	9	50/flat	
TT	<i>Taxus media</i> 'Tauntonii'	Tauntonii Yew	14	2-2.5' ht.	B&B



LANDSCAPE NOTES:

- DESIGN IS BASED ON DRAWINGS BY AMBIT ENGINEERING, INC. DATED JULY 2018 REVISED 2/4/19 AND MAY REQUIRE ADJUSTMENT DUE TO ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES DURING CONSTRUCTION AND SHALL TAKE ALL MEANS NECESSARY TO STABILIZE AND PROTECT SLOPES FROM EROSION.
- EROSION CONTROL SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- EROSION CONTROL TO CONSIST OF SILT SOXX OR SILT FENCE SHALL BE STAKED IN PLACE BETWEEN THE WORK AND WATER BODIES, WETLANDS AND/OR DRAINAGE WAYS PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LAYOUT AND GRADES AND INFORM THE LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE OF ANY DISCREPANCIES OR CHANGES IN LAYOUT AND/OR GRADE RELATIONSHIPS PRIOR TO CONSTRUCTION.
- TREES TO REMAIN WITHIN THE CONSTRUCTION ZONE SHALL BE PROTECTED FROM DAMAGE FOR THE DURATION OF THE PROJECT BY SNOW FENCE OR OTHER SUITABLE MEANS OF PROTECTION TO BE APPROVED BY LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE. DO NOT FILL OR MULCH ON THE TRUNK FLARE. DO NOT DISTURB ROOTS. SNOW FENCE SHALL BE LOCATED AT LEAST 15 FEET FROM TRUNKS OF TREES IN ALL DIRECTIONS.
- THIS PLAN IS FOR REVIEW PURPOSES ONLY, NOT FOR CONSTRUCTION. CONSTRUCTION DOCUMENTS WILL BE PROVIDED UPON REQUEST.
- LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL UTILITIES WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO CONSTRUCTION. CALL DIGSAFE AT 1-888-344-7233.
- THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS AND LISTED THEREON. ALL PLANTS SHALL BE NURSERY-GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. PLANTS SHALL CONFORM TO THE BOTANICAL NAMES AND STANDARDS OF SIZE, CULTURE, AND QUALITY FOR THE HIGHEST GRADES AND STANDARDS AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD OF NURSERY STOCK, AMERICAN STANDARDS INSTITUTE, INC. 230 SOUTHERN BUILDING, WASHINGTON, D.C. 20005.
- ALL PLANTS SHALL BE LEGIBLY TAGGED WITH PROPER BOTANICAL NAME.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR NOT LESS THAN ONE YEAR FROM TIME OF ACCEPTANCE.
- OWNER OR OWNER'S REPRESENTATIVE WILL INSPECT PLANTS UPON DELIVERY FOR CONFORMITY TO SPECIFICATION REQUIREMENTS. SUCH APPROVAL SHALL NOT AFFECT THE RIGHT OF INSPECTION AND REJECTION DURING THE PROGRESS OF THE WORK. THE OWNER RESERVES THE RIGHT TO INSPECT AND/OR SELECT ALL TREES AT THE PLACE OF GROWTH AND RESERVES THE RIGHT TO APPROVE A REPRESENTATIVE SAMPLE OF EACH TYPE OF SHRUB, HERBACEOUS PERENNIAL, ANNUAL, AND GROUND COVER AT THE PLACE OF GROWTH. SUCH SAMPLE WILL SERVE AS A MINIMUM STANDARD FOR ALL PLANTS OF THE SAME SPECIES USED IN THIS WORK.
- NO SUBSTITUTIONS OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE FOR ANY REASON.
- ALL LANDSCAPING SHALL BE PROVIDED WITH EITHER OF THE FOLLOWING:
 - AN UNDERGROUND SPRINKLING SYSTEM
 - AN OUTSIDE HOSE ATTACHMENT WITHIN 150 FEET
- ALL IRRIGATION VALVE BOXES SHALL BE LOCATED WITHIN PLANTING BED AREAS.
- MAINTAINING IRRIGATION HEADS IS THE RESPONSIBILITY OF THE OWNER ALONE.
- CONTRACTOR SHALL PROVIDE A PRICE FOR IRRIGATING ALL NEWLY LANDSCAPED AREAS AND RESETTling OF ANY EXISTING IRRIGATION THAT WILL BE DISTURBED DURING PLANTING. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN FOR REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE WHEN AWARDED THE PROJECT.
- TREES, GROUND COVER, AND SHRUB BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH ONE-YEAR-OLD, WELL-COMPOSTED, SHREDDED NATIVE BARK NOT LONGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOODCHIPS AND SAWDUST. MULCH FOR FERNS AND HERBACEOUS PERENNIALS SHALL BE NO LONGER THAN 1" IN LENGTH. TREES IN LAWN AREAS SHALL BE MULCHED IN A 5' DIAMETER MIN. SAUCER.
- ALL PLANTINGS SHALL BE MAINTAINED FOR GOOD HEALTH AND APPEARANCE FOR THE LIFE OF THE PROJECT.
- ALL DISTURBED AREAS WILL BE DRESSED WITH 6" OF TOPSOIL AND PLANTED AS NOTED ON THE PLANS OR SEEDED EXCEPT PLANT BEDS. PLANT BEDS SHALL BE PREPARED TO A DEPTH OF 12" WITH 75% LOAM AND 25% COMPOST.
- OWNER'S SOLELY RESPONSIBLE FOR MAINTAINING VISION LINES PERTAINING TO VEGETATION GROWTH.
- OWNER IS SOLELY RESPONSIBLE FOR SITE MAINTENANCE.



**BRADLEY COMMONS
PHASE II
AMENDED SITE PLANS
18 PARK STREET
DOVER, NEW HAMPSHIRE**

NO.	DESCRIPTION	DATE
2	REVISED LANDSCAPE NOTES	3/11/19
1	BUILDING AND LANDSCAPING	2/4/19
0	ISSUED FOR APPROVAL	7/20/18

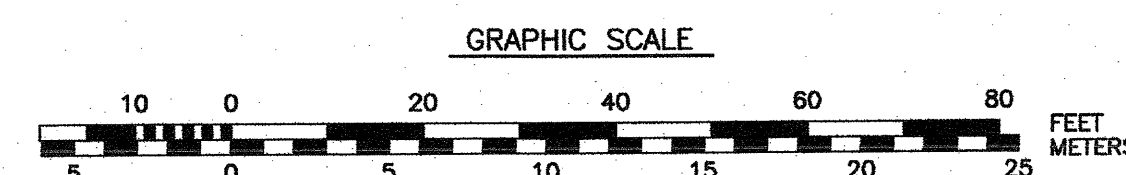
SCALE: 1" = 20' JULY 2018

LANDSCAPING PLAN

L1

OWNER:

SIGNATURE:  DATE: 5.16.19



EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

INSTALL SILT FENCES AND HAY BALE BARRIERS NECESSARY TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION PRIOR TO ANY EARTH MOVING ACTIVITIES.

CUT AND REMOVE ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND OTHER DEBRIS AND RUBBISH AS REQUIRED.

PERFORM DEMOLITION. CONSTRUCT CONSTRUCTION ENTRANCE, DRAINAGE STRUCTURES, AND SUBGRADES. INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS SHOWN ON THE PLANS.

CONSTRUCT UTILITIES, BUILDING AND INTERIOR PAVEMENT AREAS.

LOAM AND SEED REMAINING DISTURBED AREAS IN ACCORDANCE WITH VEGETATIVE PRACTICE AND GENERAL CONSTRUCTION NOTES.

MAINTAIN DISTURBED AREAS IN ACCORDANCE WITH MAINTENANCE AND PROTECTION NOTES.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE".

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

SILT FENCES SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) AS WELL AS POROUS PAVING AREAS, WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS. CONSTRUCT SILT FENCE AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED BY GRINDING OR FILL IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT EXCEED 8 INCHES IN THICKNESS.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY FOLLOWING FINISHED GRADING.

AT NO TIME SHALL ANY DISTURBED AREA REMAIN UNSTABILIZED FOR LONGER THAN THIRTY DAYS. ALL AREAS WHERE CONSTRUCTION IS NOT COMPLETE WITHIN THIRTY DAYS OF THE INITIAL DISTURBANCE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREeping RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	
SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)		
CREeping RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS: MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

PERENNIAL RYE:	0.7 LBS/1,000 S.F.
MULCH:	1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEED, BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

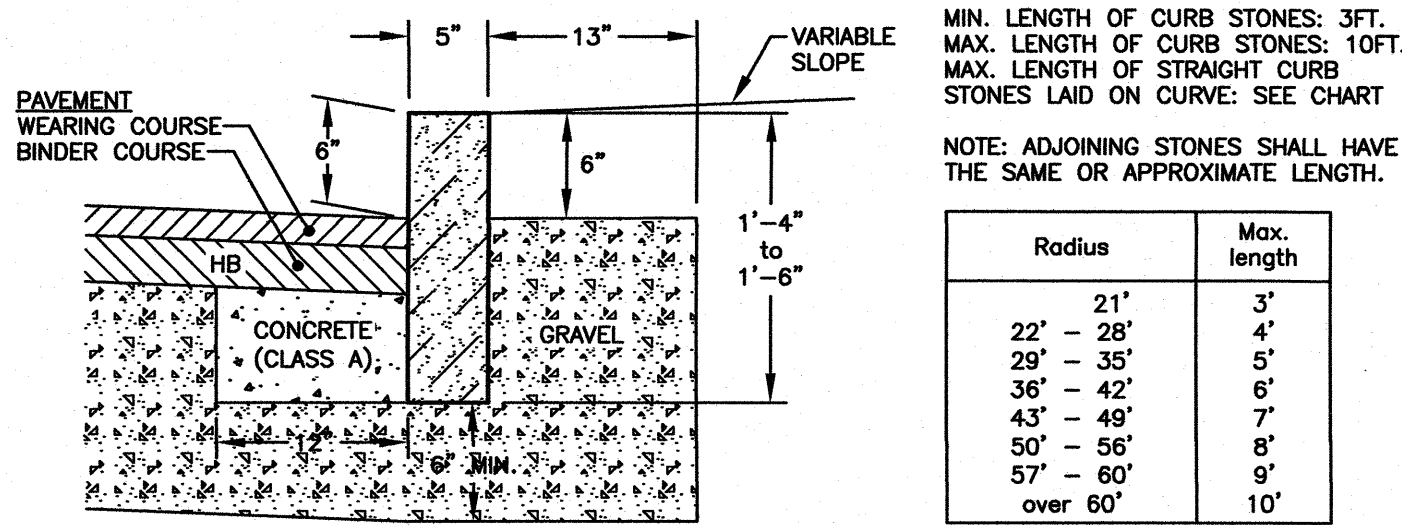
TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEED, AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

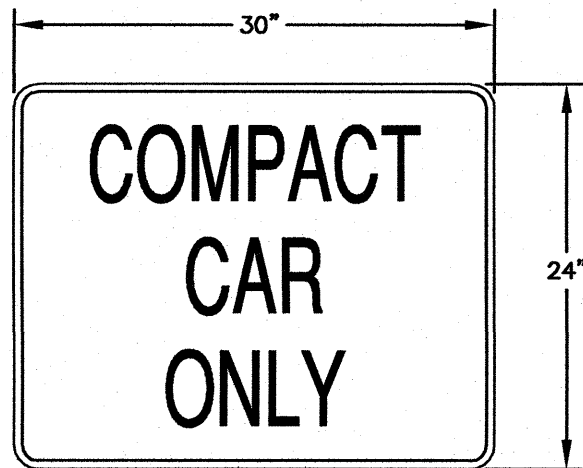
THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

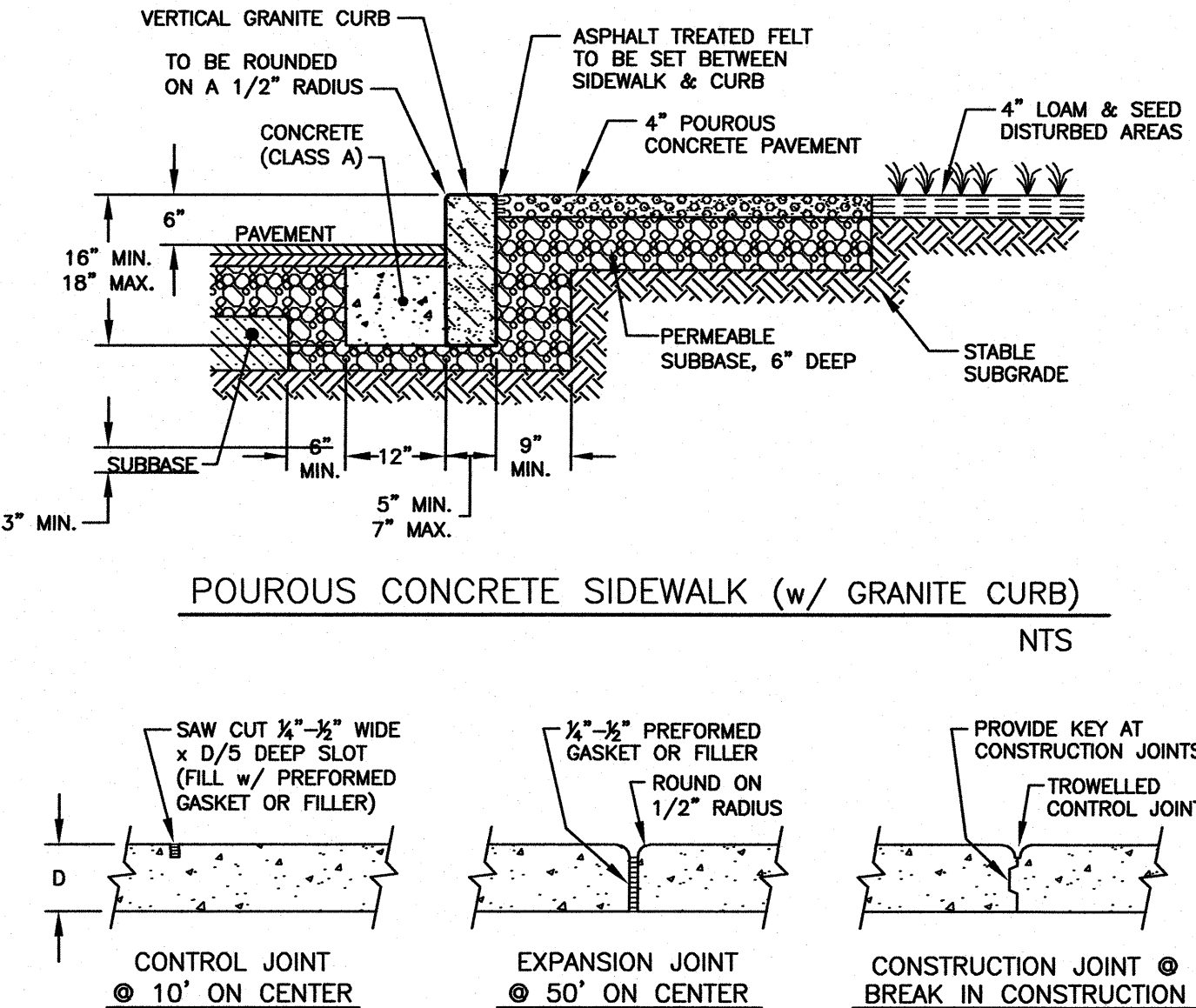
SILT FENCING SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED.



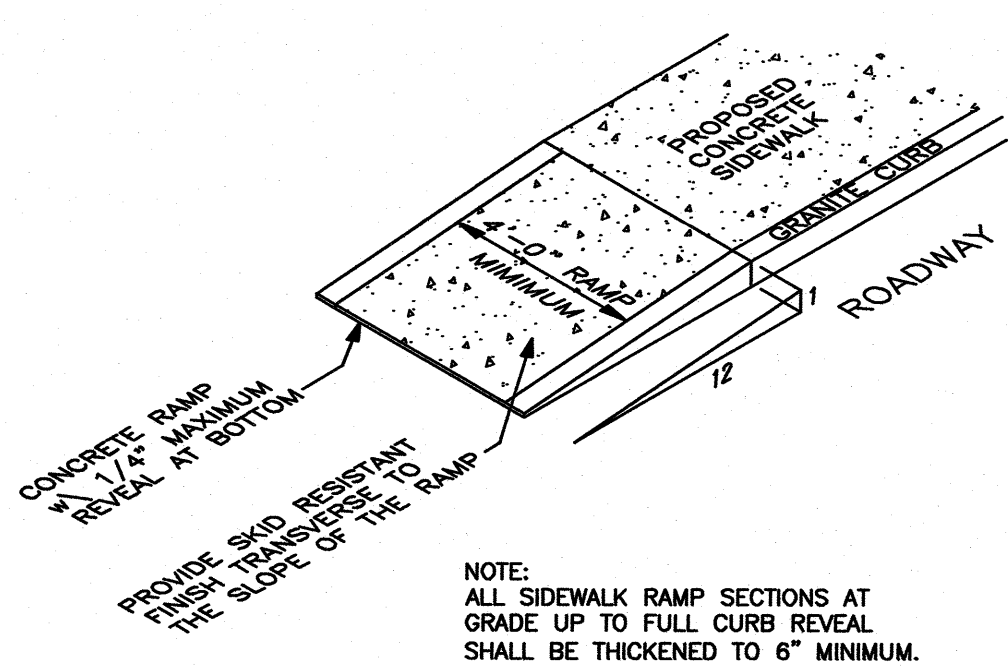
B VERTICAL GRANITE CURBING DETAILS NTS



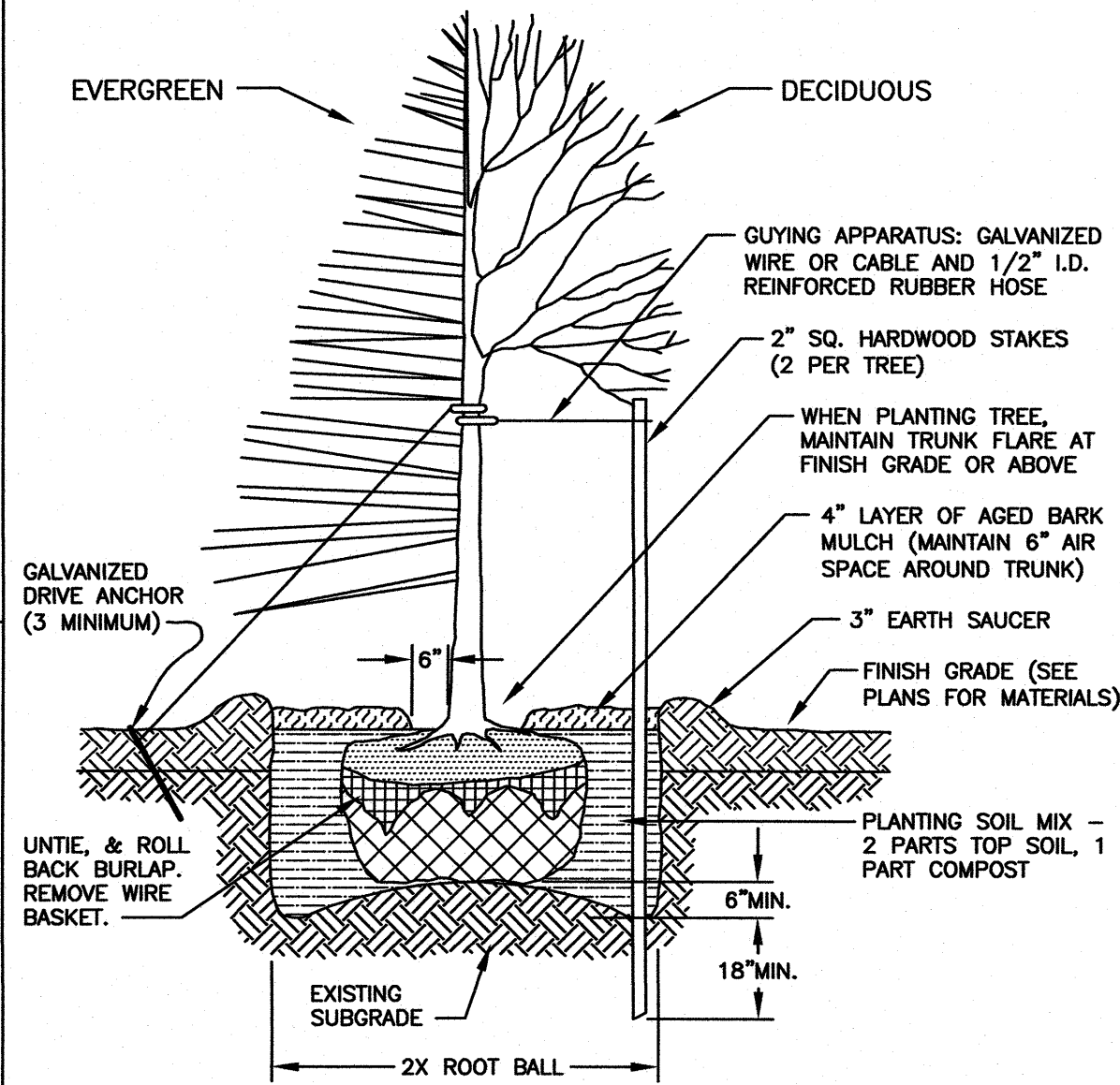
C 30" x 24" COMPACT CAR ONLY SIGN NTS



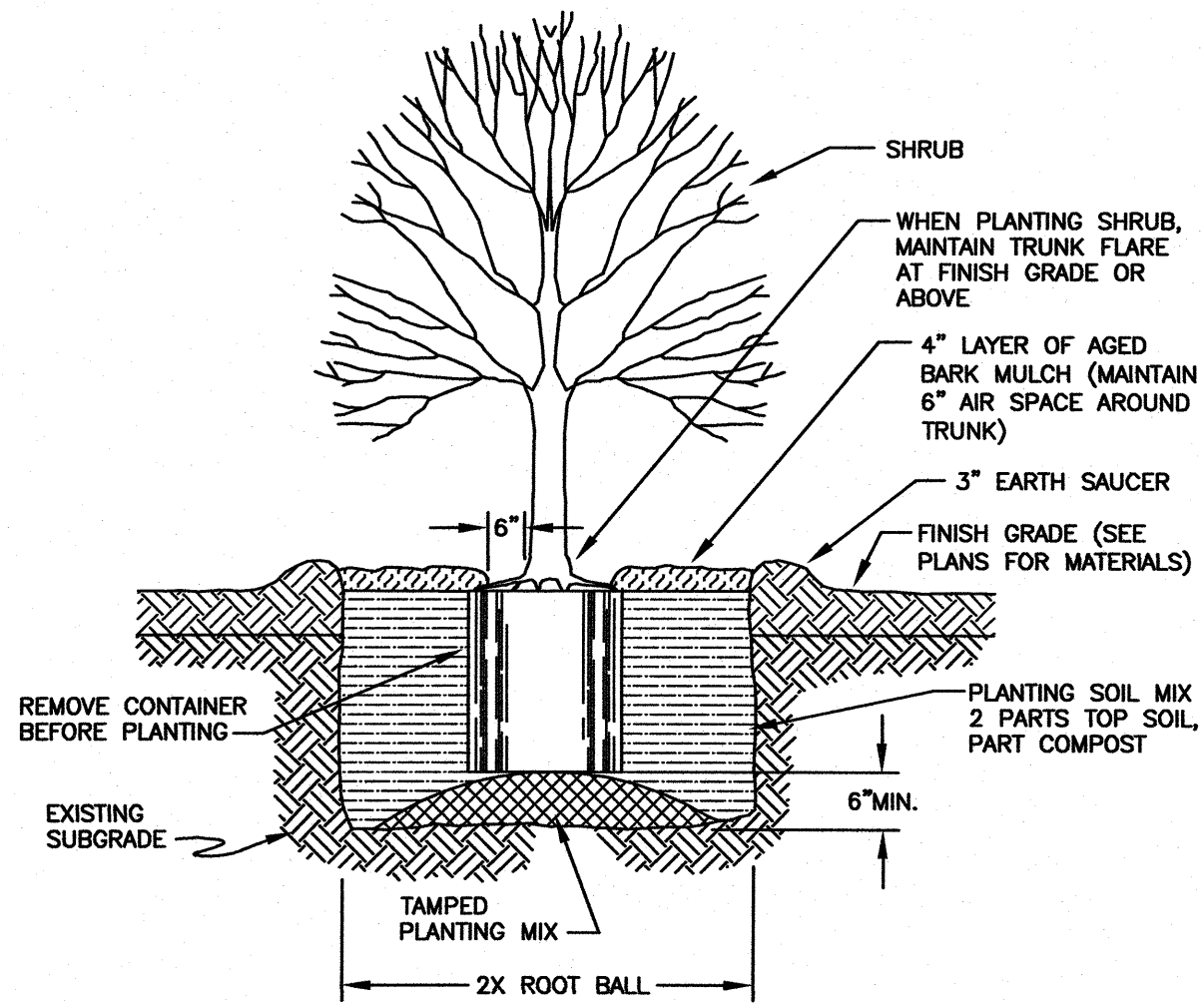
D CONCRETE WALK DETAILS NTS



E TYPICAL SIDEWALK TIP DOWN NTS



F TREE PLANTING DETAIL NTS



G SHRUB PLANTING DETAIL NTS



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NOTES:

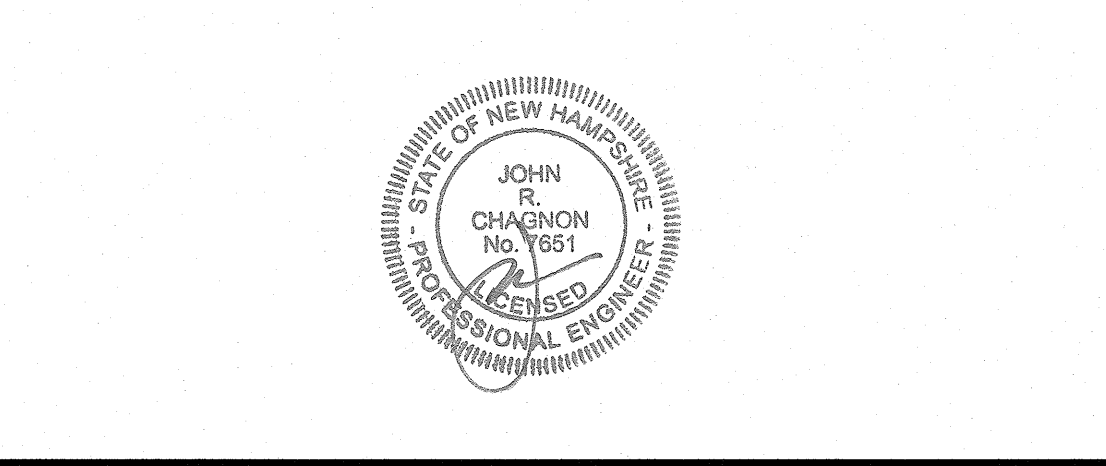
1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

AMENDED SITE PLANS
BRADLEY COMMONS
PHASE II
577 CENTRAL AVENUE
DOVER, NEW HAMPSHIRE

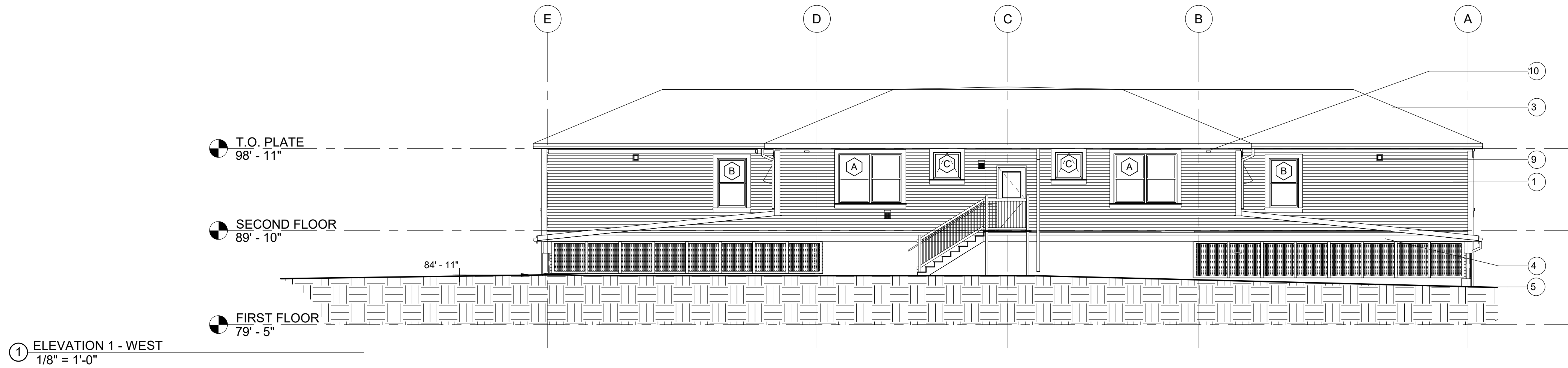
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0	ISSUED FOR APPROVAL	7/20/18



SCALE: AS NOTED JULY 2018

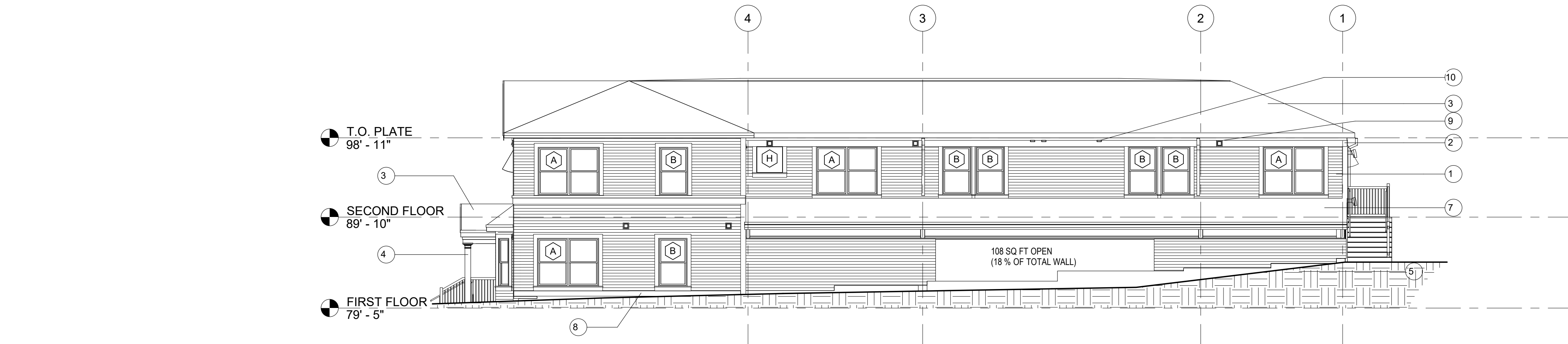
DETAILS D1

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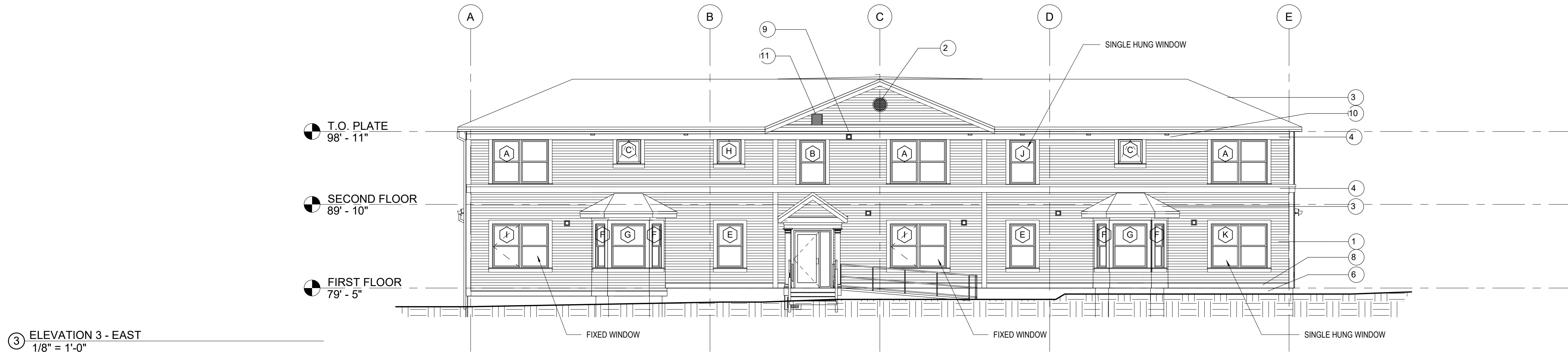


1 ELEVATION 1 - WEST
1/8" = 1'-0"

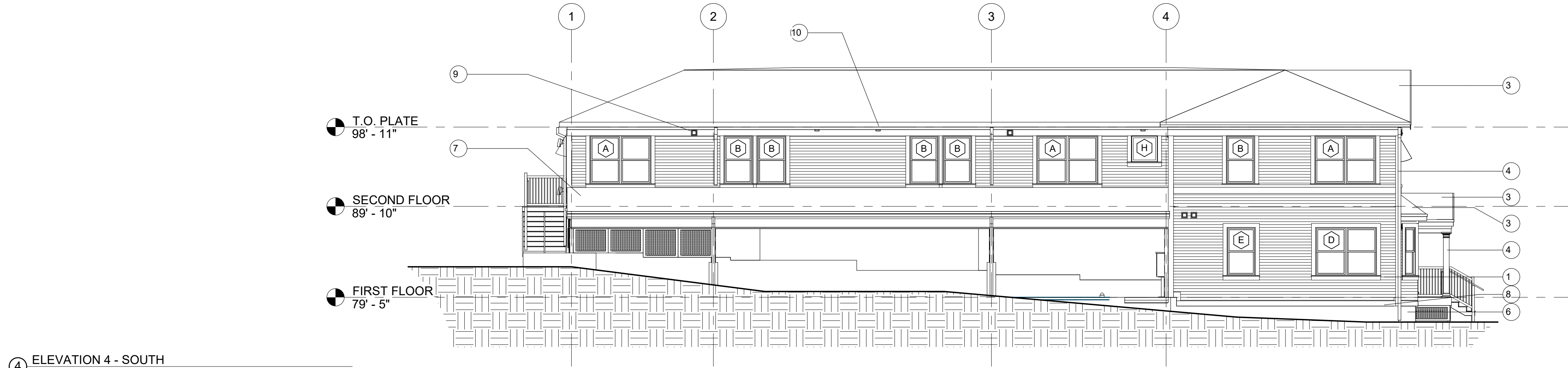
- ELEVATION NOTE KEY
- 1 HARDI CLAP SIDING ON DRAINAGE BUILDING WRAP
 - 2 22" DIA ROUND GABLE VENT
 - 3 ASPHALT SHINGLE ROOFING
 - 4 PVC TRIM
 - 5 CONCRETE
 - 6 METAL FLASHING OVER XPS INSULATION
 - 7 METAL STANDING SEAM ROOFING
 - 8 PVC WATER TABLE
 - 9 ERV VENT (ENVIRONMENTAL OPENING)
 - 10 SOFFIT EXHAUST VENT
 - 11 DRYER MAKE UP AIR LOUVER



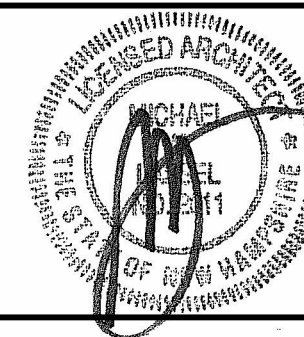
2 ELEVATION 2 - NORTH
1/8" = 1'-0"



3 ELEVATION 3 - EAST
1/8" = 1'-0"



4 ELEVATION 4 - SOUTH
1/8" = 1'-0"



THE HOUSING PARTNERSHIP
767 ISLINGTON STREET
PORTSMOUTH, NH 03802
(603) 431 3620

BRADLEY COMMONS II
MULTI-FAMILY HOUSING

577 CENTRAL AVE. DOVER, NH

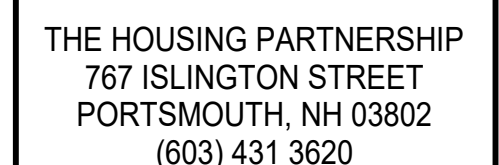
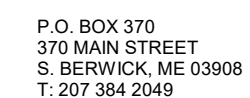
REVISIONS:

NO.	DESCRIPTION
1	CODE REVIEW

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"	DRAWN BY: Author
DATE: 3-15-2019	CHECKED BY: Checker
REF NAME: Z:\FILES\CURRENT\17_10 Bradley Commons 2\10.4 Drawings\10.4 REV\TBC Phase 2.rvt	

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BRADLEY COMMONS II

MULTI-FAMILY HOUSING

577 CENTRAL AVE. DOVER, NH

REVISIONS:

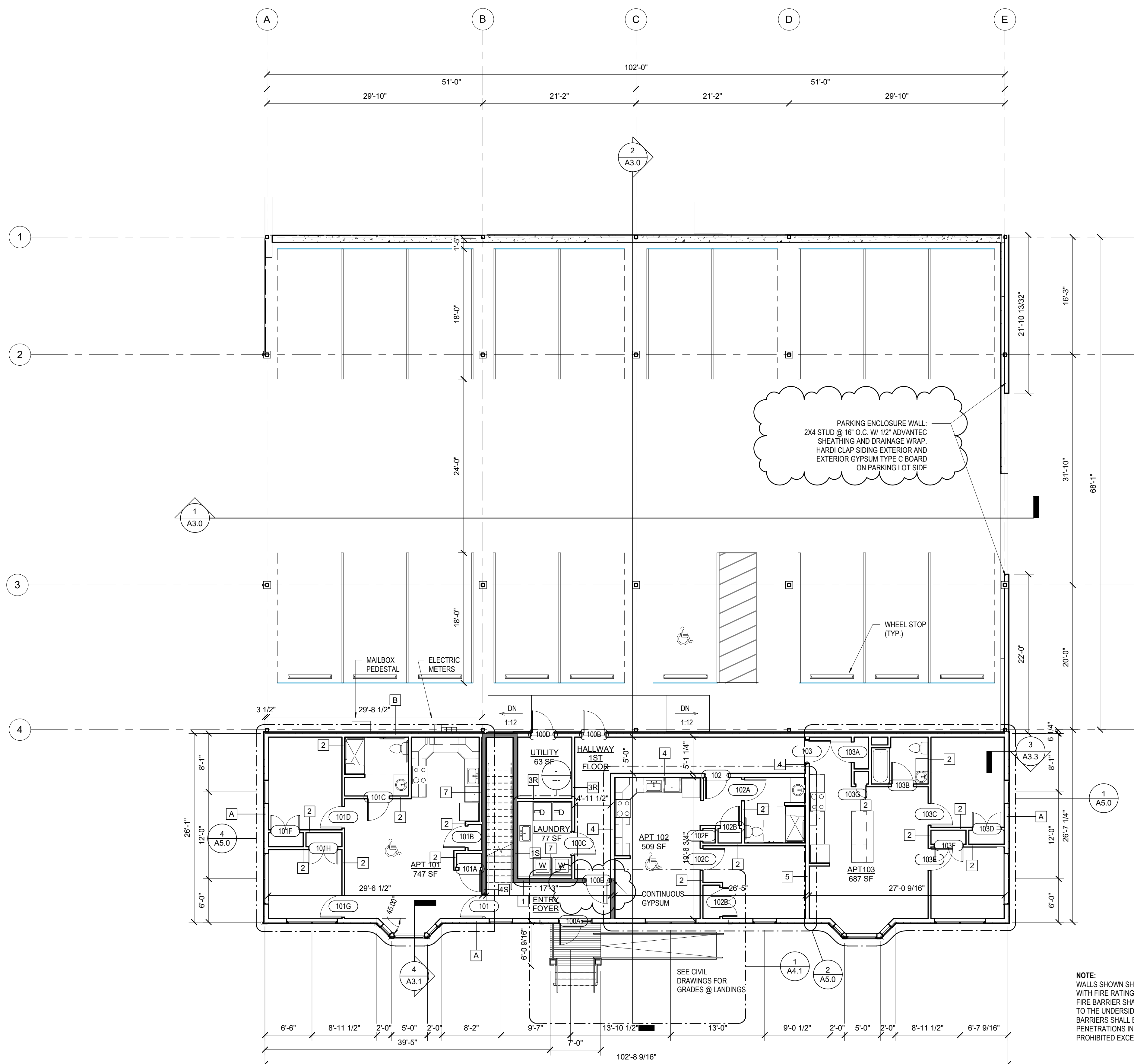
1	CODE REVIEW

FIRST FLOOR PLAN

SCALE:	DRAWN BY:
As indicated	Author
DATE:	CHECKED BY:
3-15-2019	Checker
REF NAME:	
Z:\FILES CURRENT\17.10 Bradley Commons	

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NOTE:
WALLS SHOWN SHADED INDICATE FIRE BARRIER
WITH FIRE RATING INDICATED ON WALL TYPE.
FIRE BARRIER SHALL EXTEND FROM THE TOP OF THE FOUNDATION
TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING ABOVE. FIRE
BARRIERS SHALL BE CONTINUOUS THROUGH CONCEALED SPACES.
PENETRATIONS INTO OR THROUGH INTERIOR EXIT STAIRWAYS ARE
PROHIBITED EXCEPT FOR PERMITTED SERVICES SERVING THE STAIRWAY

① FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL PLAN NOTES

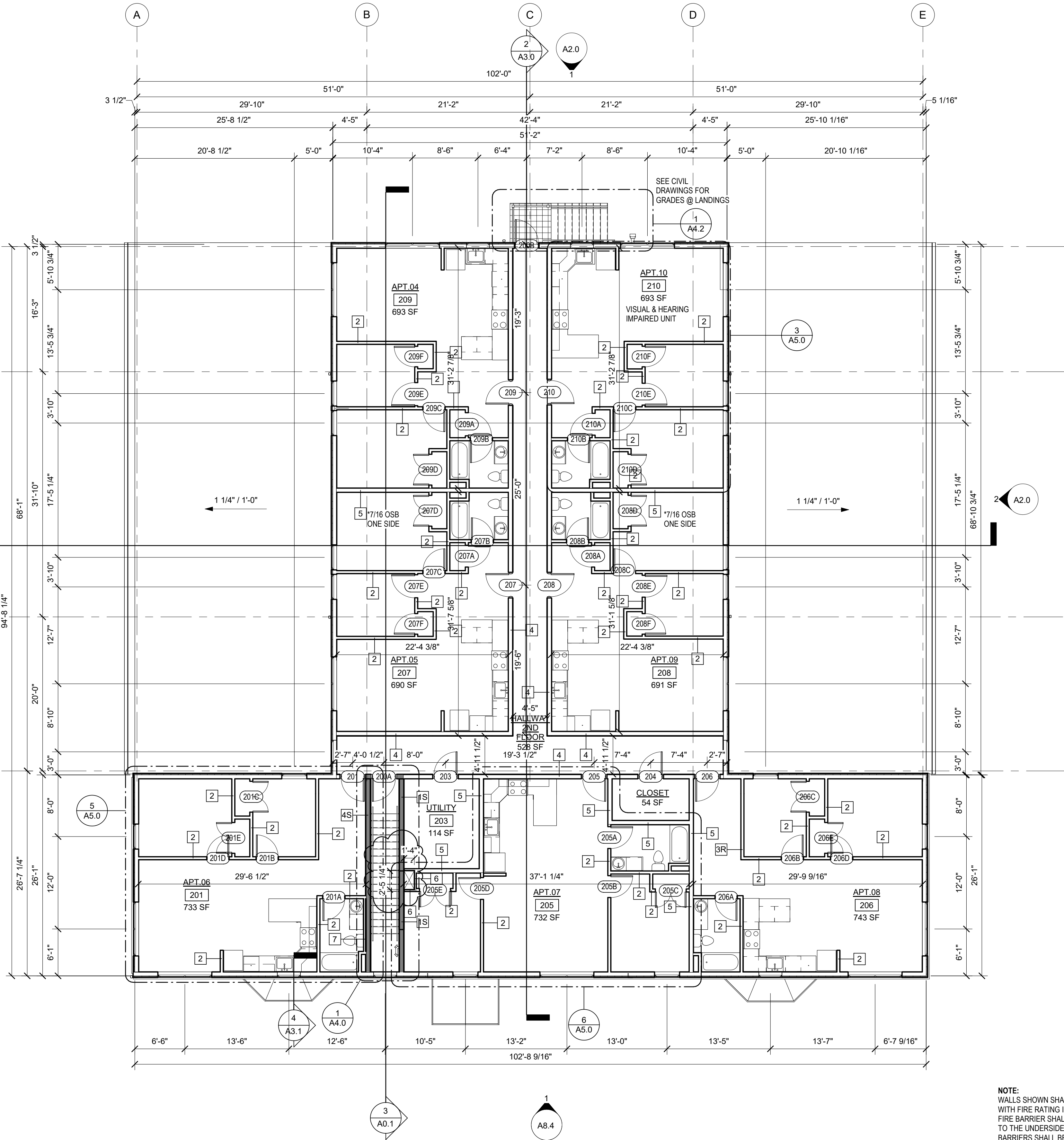
1. BUILDING TO BE FULLY SPRINKLED ACCORDING TO NFPA 13 GUIDELINES.
2. REFER TO SHEET A02 FOR WALL TYPES.
3. ELECTRICAL, PLUMBING, AND MECHANICAL SUBCONTRACTORS SHALL MEET ALL STATE AND OTHER REQUIRED CODES AND SHALL PROVIDE ALL DOCUMENTATION REQUIRED.
4. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 6" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
5. REFERENCE TO SPECIFICATIONS AND FINISH SCHEDULE FOR TYPE OF PAINT FINISHES, METAL FINISHES, CEMENT FINISHES, WEATHER AND SOUND SEALANTS.
6. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.
7. GLASS DOORS, ADJACENT PANELS, AND ALL GLAZED OPENINGS WITH $\geq 18"$ OF THE FLOOR SHALL BE GLASS APPROVED OF IMPACT HAZARD.
8. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SOUND RATED WALLS SHALL BE SEPARATED HORIZONTALLY BY A MINIMUM OF 24" BACKS AND SIDES OF BOXES TO BE SEALED WITH 1/2" RESILIENT SEALANT AND BACKED WITH 2" MINERAL FIBER INSULATION COWT. GYPSUM BOARD DRYWALL BACKING FOR CERAMIC TILE SHALL BE WATER RESISTANT PANELS OR EQUAL. MOISTURE RESISTANT GWB TO BE USED FOR ANY NEW WALLS/CEILING IN BATHROOMS.
9. ALL INSULATION NOTED ON PLANS SHALL BE NON-COMBUSTIBLE AND MAINTAIN THERMAL/MOISTURE PROTECTION AS NOTED IN THE SPECIFICATIONS.
10. FOR CABINETS/RY LAYOUT, REFER TO INTERIOR ELEVATION SHEETS. FIELD VERIFY ALL DIMENSIONS.
12. INSTALL 2" RIGID INSULATION BELOW ALL EXTERIOR SLABS AT ENTRY DOORS.
14. REFER TO ELEVATIONS FOR EXTERIOR WINDOW TYPES.
15. PROVIDE SEMI-RECESSED FIRE EXTINGUISHERS AT A MINIMUM OF EVERY 15' AND ONE WITHIN 30' PROXIMITY OF ALL EXITS.
16. COORDINATE FRAMING AT ALL FIXTURES (I.E. TOILETS, SINKS, ETC.) ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
17. ALL LAND DRAININGS TO MATCH WIDTH OF STAIR. FIELD VERIFY.
18. ARCHITECTURAL DRAWINGS: OBTAIN ARCHITECT'S SPECIFIC APPROVAL PRIOR TO DEVIATING FROM THE DRAWINGS. FOLLOW THE TRADE PRACTICES AND ENGINEERS FOR THE ITEMS NOT SPECIFICALLY DETAILED AND INDICATED.
19. DRAWINGS ARE NOT TO BE CALLED FOR INFORMATION.
20. MAINTAIN A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AT THE JOB SITE.
21. FILL ALL SPACES BETWEEN PIPES, ELECTRICAL CONDUIT, DUCTWORK, ETC. WHERE THEY PENETRATE THE WALLS AS REQUIRED.
22. ALL NEW PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE DECK/STRUCTURE ABOVE.
23. FOR ALL RATED PARTITIONS PROVIDE FIRE SAFING AND SEALANT AT THE ROOF DECK TO PREVENT THE PASSAGE OF SMOKE. THE FIRE SAFING MUST MAINTAIN A MINIMUM RATING OF THE PARTITION.
24. ALL FIRE AND SMOKE PARTITIONS ARE TO EXTEND TO THE UNDERSIDE OF THE FLOOR OR ROOF DECK ABOVE. SEE PARTITION TYPES FOR MORE INFORMATION.
25. ALL NOTES AND DIMENSIONS DESIGNATED AS TYPICAL APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
26. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
27. THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODE REQUIREMENTS OF THE STATE AND LOCAL AUTHORITIES AND SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, FEES, AND INSPECTIONS.
28. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK BEING CUT AND PATCHED TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK. PROVIDE ADEQUATE PROTECTION OF OTHER WORK DURING CUTTING AND PATCHING TO PREVENT DAMAGE. CUT WORK BY METHODS LEAST LIKELY TO DAMAGE WORK TO BE RETAINED AND WORK ADJACENT.
29. ALL DIMENSIONS SHALL BE VERIFIED AT THE JOB BY THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR. THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
30. ANCHORING OF WOOD TO STRUCTURAL MEMBERS, MASONRY, OR CONCRETE SHALL BE, IN GENERAL, WITH STRAIN ANCHORS MORTARED OR CAST IN PLACE, OR POWER DRIVEN ANCHORS, SPACED AS REQUIRED BY CODE AND MANUFACTURER. FILL ANY MASONRY VOIDS WITH MORTAR OR CONCRETE WHERE ANCHORS OCCUR.
31. PROVIDE LINTELS OF ADEQUATE SIZE FOR ANY OPENINGS NOT SPECIFICALLY INDICATED INCLUDING DUCTWORK, PIPES, LOUVERS, GRILLS, DAMPERS, ETC.
32. IN ANY ROOM IN WHICH PLUMBING, HEATING, OR ELECTRICAL ALTERATIONS ARE MADE, THE GENERAL CONTRACTOR SHALL MAKE PROPER REPAIRS TO OTHER BUILDING ITEMS AFFECTED, I.E. FLOORS, WALLS, CEILINGS, BASE, CHAIR RAIL, TRIM, ETC.
33. COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, ACCESS PANELS, GRILLS, LOUVERS, CONNECTORS, CABINET UNIT HEADERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
34. SIZE AND LOCATION OF ALL FLOOR, WALL, OR ROOF OPENINGS TO BE VERIFIED WITH TRADE AFFECTED BEFORE PROCEEDING WITH WORK.
35. IF A CONFLICT ARISE BETWEEN CONTRACT DOCUMENTS AS TO THE QUANTITY OR QUALITY OF WORK REQUIRED, THE MOST STRINGENT CONDITION SHALL BE APPLICABLE. NOTIFY ARCHITECT IMMEDIATELY OF DISAGREEMENT.
36. ALL GYPSUM WALLBOARD SHALL BE 5/8" TYPE X, U.N.O. TYP.
37. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WALL SCHEDULES, EXTENDING TO THE UNDERSIDE OF THE DECK ABOVE WITH ALL MECHANICAL, PLUMBING, AND ELECTRICAL COMPONENTS, INCLUDING DUCTWORK, SPRINKLERS, DATA, ETC.
38. THE GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL COORDINATE WITH ALARM, SPRINKLER, AND SECURITY SYSTEM PROVIDERS, TYP.
39. PROVIDE POWER, DATA, AND VOICE AND ASSOCIATED GROMMETS TO ALL COUNTERTOP AREAS AS REQUIRED BY THE OWNER.

Room Schedule NOV 2018	
Name	Area

APT103	687 SF
APT 101	747 SF
APT 102	509 SF
APT.04	693 SF
APT.05	690 SF
APT.06	733 SF
APT.07	732 SF
APT.08	743 SF
APT.09	691 SF
APT.10	693 SF
ENTRY FOYER	158 SF
HALLWAY 1ST FLOOR	231 SF
HALLWAY 2ND FLOOR	528 SF
LAUNDRY	77 SF
UTILITY	63 SF
UTILITY	114 SF

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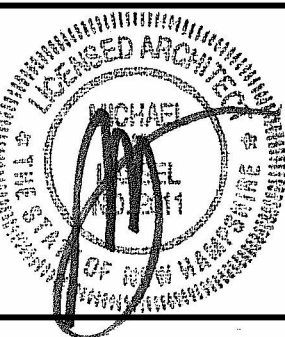
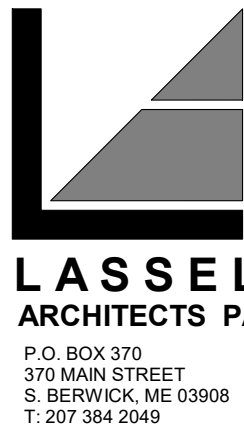
1 SECOND FLOOR PLAN
1/8" = 1'-0"



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- GENERAL PLAN NOTES
- BUILDING TO BE FULLY SPRINKLED ACCORDING TO NFPA 13 GUIDELINES.
 - REFER TO SHEET A0.2 FOR WALL TYPES.
 - ELECTRICAL, PLUMBING, AND MECHANICAL SUBCONTRACTORS SHALL MEET ALL STATE AND OTHER REQUIRED CODES AND SHALL PROVIDE ALL DOCUMENTATION REQUIRED.
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BRADLEY COMMONS II
MULTI-FAMILY HOUSING

577 CENTRAL AVE. DOVER, NH

REVISIONS:

1	CODE REVIEW

SECOND FLOOR PLAN

SCALE: As indicated	DRAWN BY: Author
DATE: 3-15-2019	CHECKED BY: Checker
REF NAME: Z:\FILES CURRENT\1710 Bradley Commons 210.0 Drawings\10.4 REV\TBC Phase 2.rvt	

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