



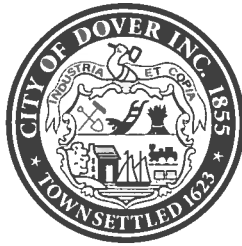
CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 1st Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, October 17, 2019**
Meeting Time: **10:30 AM**

1. 10:30 AM - 11:15 AM: Site Review for City of Dover-Community Services, (Owner: City of Dover), Assessor's Map 18, Lot 1, zoned R-12, and located at 145 Court Street. (Proposal is to construct a 12,000 s.f. building and 36 parking spaces for use by the City of Dover Facility, Grounds and Cemeteries Division.) (P19-73)

CHRISTOPHER G. PARKER, AICP
Assistant City Manager
Planning & Strategic Initiatives
c.parker@dover.nh.gov



288 Central Avenue
Dover, New Hampshire 03820-4169
(603) 516-6008
Fax: (603) 516-6049
www.dover.nh.gov

City of Dover, New Hampshire

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

INSTRUCTIONS TO APPLICANTS TO THE DOVER PLANNING BOARD

**IMPORTANT: PLEASE READ ALL INSTRUCTIONS CAREFULLY BEFORE
FILLING OUT ATTACHED APPLICATION.
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED FOR REVIEW.**

Dear Applicant:

This will serve to briefly inform you regarding the process to have the Dover Planning Board (the Board) review a land use application. Please refer to the NH Statutes on Land Use and Regulation the Dover Code, and our Developer's Handbook for more specific information.

The Board primarily reviews 5 types of applications:

1. **Site Plans** - A site plan is a professionally rendered drawing which delineates the proposed development of a site. This plan is required for non-residential development, creation of multi-family residential structures, and for extensions of parking lots and alteration of an acre or more of land. These plans require meeting with the Technical Review Committee before Planning Board review.
2. **Subdivisions** - A subdivision is the division of the lot, tract, or parcel of land into two (2) or more lots, plats, sites or other divisions of land for the purpose, whether immediate or future, of sale, rent, lease or building development. It includes re-subdivision and, when appropriate to the context, relates to the process of subdividing or to the land or territory subdivided. Major subdivision plans (4+) require meeting with the Technical Review Committee before Planning Board review.
3. **Lot Line Adjustments** - A lot line adjustment alters the size of two (2) or more lots, but does not create a new buildable lot.
4. **Conditional Use Permits** - A conditional use permit is required for any alteration of wetlands, wetland buffers or work within the City's conservation district. Additionally, a conditional use permit could be issued as to offer relief in the Central Business District, for plans in the Residential Mixed Use Overlay District, or parking relief. Environmental Conditional Use Permits are acted on after Conservation Commission review.
5. **Excavation Permits** - NH RSA Chapter 155-E grants municipalities the authority to regulate earth excavations within their borders. This authority rests with the Planning Board.

The Board cannot and will not review applications that do not meet zoning requirements. **Please review the need to apply to the Zoning Board of Adjustment prior to applying to the Board.**

Professional agents will prepare your application; however, you may represent yourself or authorize, in writing, someone else to represent you before the Planning Board.

In most cases, the first step would be to appear before the Technical Review Committee, to apply, eight (8) folded copies of the site plan with scale of not less than 1"=50' or 1"=100' for larger site plans, and a PDF, need to be provided, along with payment of plan review fees. These meetings occur on Thursday, and materials and payment must be submitted three (3) weeks prior to meeting. Meetings are scheduled, upon receipt of completed applications with the full checklist and payment.

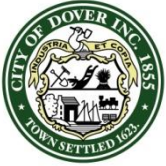
The next step would be to provide, two weeks prior to Planning Board, the final plan sets (three (3) full size and twelve (12) half size (11x 17), folded, copies of the plan), and 15 copies, and a PDF, of all supporting materials, including response to TRC comments. Please print all materials on both sides of paper.

For projects not appearing before the Technical Review Committee, Plan Review Fees are due along with three (3) full size and twelve (12) half size (11x17), folded, copies of the plan set and 15 copies, plus a PDF, of plans and materials, 3 weeks prior to the Planning Board meeting. Please print all materials on both sides of paper.

Staff will generate an abutter list, and Abutter/Notice Fees will be invoiced. They are due 28 hours prior to Planning Board. If they are not paid, the application will not be heard.

Once an item is placed upon an agenda the following process is used:

- The Board will hold a public hearing on your application at a regularly scheduled meeting
 - Typically the second or fourth Tuesday of the Month.
- Public notice of the hearing will be posted at the City Clerk's office and the Planning Department office and printed in the newspaper.
- Certified letters will be mailed to you and to all abutters at least ten days before the date of the hearing.
- 28 hours prior to the meeting, abutter/notice fees must be paid
- At the meeting
 - Staff will introduce your project
 - You and all other parties will be invited to appear in person or by agent or counsel to present your application.
 - Your project will be pre-loaded onto a laptop for review by the Board and public
 - The Board may ask clarifying questions
 - The Board will vote to accept jurisdiction on the application
 - If accepted:
 - The Board will hold a public hearing
 - The Board may ask additional questions
 - The Board will deliberate on your application
 - Typically decisions are made the night of the presentation, but an application may be tabled
 - After deliberation, a decision will be made.
 - You will be sent a notice of the decision.



City of Dover, New Hampshire SITE REVIEW APPLICATION

[Revision Date: June 4, 2019]

Office Use Only

Project #: _____

Date Received: _____

Amount Paid: _____

Time Received: _____

APPLICANT AND OWNER INFORMATION

Name of Applicant: City of Dover - Community Services Telephone # 603-516-6450

Address of Applicant: 271 Mast Road Dover NH 03820

E-Mail Address: s.cartabona@doover.nh.gov

Name of Property Owner (if different from applicant): _____ Telephone # _____

Address of Property Owner: _____

PROPERTY INFORMATION

Address of Property: To Be Determined (Court Street)

Assessor's Map # 18 Lot(s) # 1

Zoning District(s) R12 Overlay District(s) _____

Size of Parcel: _____ sq. ft. 41 +/- ac. Property Deed: Book _____ Page: _____

Existing Use of Property: cemetery

SITE PLAN INFORMATION

Describe Proposed Use: Facilities Ground Cemetery administrative office / warehouse

Area of Parcel to be Developed: 110,000 sq. ft.

If Multi-family Residential, Specify Number of Units & Buildings Proposed: n/a

Number of Parking Spaces: Existing 0 Proposed 30 +/-

Highway Access (check where applicable): ☒ City Street _____ ☐ State Highway _____

Number of Employees Total: 12-15 In Maximum Shift: 15-20

Disposition of Parcel:

Building Footprint 12,000 sq. ft.

Total Building Area 12,000 +/- sq. ft.

Paved Area 66,000 +/- sq. ft.

Building Setbacks:

Front Yard 15-125 ft.

Rear Yard 30-250+ ft.

Side Yard: Right 175 ft. Left 250+ ft.

City Water? ☒ Yes ☐ No How far is city water from the property? 100' +/-
City Sewer? ☒ Yes ☐ No How far is city sewer from the property? 100' +/-

BUILDING INFORMATION

Type of Building to be Built: Metal building
Height of Building: see sheet A-3 Finished Floor Elevation: TBD
Number of Seats (where applicable) n/a
Estimated value of construction: \$1,800,000 Refuse removal: Public/Private (circle one)

WAIVER REQUESTS

Site Review Regulations section(s) to be waived: _____

Justification for waiver request(s) (*attach additional sheets as needed*):

SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) Civil Consultants
Address PO Box 100 South Berwick ME 03908 Telephone #: 207-389-2550
Professional License #: 9920 E-mail address: geoff@civcon.com

ENGINEER INFORMATION

Name of Engineer and Company (Licensed in N.H.) Geoff Aleva PE Civil Consultants
Address PO Box 100 South Berwick ME 03908 Telephone #: 207-389-2550
Professional License #: _____ E-mail address: geoff@civcon.com

ARCHITECT INFORMATION

Name of Architect and Company (Licensed in N.H.) William Davis - Port One Architects Inc.
Address 959 Islington Street Portsmouth, NH Telephone #: 603-436-8891

Professional License #: 01579 E-mail address: emullen@portonearchitects.com

LANDSCAPE ARCHITECT INFORMATION

Name of Landscape Architect and Company (Licensed in N.H.) Not Applicable

Address _____ Telephone #: _____

Professional License #: _____ E-mail address: _____

SOIL SCIENTIST INFORMATION

Name of Soil Scientist and Company (Licensed in N.H.) Highland Soil Services

Address Somersworth, NH Telephone #: _____

Professional License #: _____ E-mail address: _____

CONSERVATION EASEMENT HOLDER

Name of Easement Holder: _____ Telephone # _____

Address Easement Holder: Not applicable

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. Furthermore, I/we submit that the existing conditions sheet of the plan represents the lot in question, and that no alteration of the site shall take place during Planning Board review up to and including the pre-construction meeting. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: _____ Date: _____

Signature of Applicant (*if different from owner*): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: _____

AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY

I, and my successors, hereby the City of Dover or its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: _____

Signature of Applicant (*if different from owner*): _____ Date: _____

CERTIFICATION OF FEES

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board. Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner: _____ Date: _____

Signature of Applicant (*if different from owner*): _____ Date: _____



City of Dover, New Hampshire SITE PLAN REVIEW SUBMISSION CHECKLIST

[Revision Date: June 4, 2019]

This site plan review checklist, as required by Chapter 149-6-B(2), should be completed by the applicant. It is intended to assist the applicant in the planning process of preparing a Site Plan Review application for Planning Board action. The size of the project will determine the types of information required for review, therefore, a **pre-application conference** with the Planning Department to determine the list of items that must be completed is strongly encouraged.

The first step would be to appear before the Technical Review Committee, to apply, eight (8) folded copies of the site plan with scale of not less than 1"=50' or 1"=100' for larger site plans, need to be provided, along with payment of plan review fees.

Two weeks prior to Planning Board, three (3) full size and twelve (12) half size (11x17), folded, copies of the plan set and materials, including response to TRC comments, will be due. Abutter/Notice Fees will be invoiced and need to be paid 28 hours prior to the Planning Board meeting.

The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan Review Regulations for full details.

APPLICANT: City of Dover File Number: _____

PROJECT TITLE: Facilities Grounds Building - City of Dover

PROPERTY LOCATION: 145 Court Street Tax Map: 18 Lot: 1

	Where/How Provided	Reviewed
1. Completed and signed Application form	hand delivered	
2. Plan Review Fees are provided	not applicable	
3. Electronic copy of the engineered/surveyed plan layout	hand delivered	
4. Electronic copy of supplementary materials and application	hand delivered	
5. Traffic Impact Assessment and Analysis (Standard or Advanced)	not required per DB	
6. Waiver requests to the Site Plan Review Regulations, with written justification	none at this time	
7. Conditional Use Permit applications	none at this time	
8. A colored rendering of the streetscape that will be created along the existing public right-of-way	not required per DB	
9. A colored architectural plan showing all sides of buildings	A-3	
10. Folded copies of site plan w/scale of not less than 1"=50' or 1"=100' for larger site plans, for TRC. Plans shall contain the following items as appropriate:		
Location map at appropriate scale		
Proposed Project name and title and Planning File #	CVR	
Date, north arrow and scale	L-1	
Names of all abutting property owners	NH-1	
Name and address of owners and/or applicants	CVR, NH-1	
Signature & stamp of NH licensed land surveyor and/or engineer	on final plans	
Zoning District boundaries, including any special or overlay districts	CVR, NH-1	
Location of Conservation District areas	not applicable	
Location, names and widths of existing and proposed streets, including pavement widths, grades, curbs and crosswalks	CVR, NH-1, L-1	
Location and widths of existing & proposed easements & right of ways	L-1	
Location and width of existing and proposed access/egress ways	L-1	

	Explain How Provided	Reviewed
Depict pedestrian walkways and accessible access	shown on future plans	
Existing and proposed property lines with dimensions and bearings tied into Dover's Geographic Information System coordinate system	NH-1, L-1	
Existing and proposed topographic information at two foot intervals	L-1	
Existing and proposed buildings and structure locations	L-1	
Minimum building setbacks or build to lines on all lots	L-1	
Location and size of existing and proposed electric, telephone, gas cable and other underground utilities	L-1, L-2, L-3	
Existing and proposed water lines and fire hydrants, including materials and capacity needed	L-1, L-3	
Location and materials of sanitary sewage facilities within project site and projected additional peak hour sewer load	L-1, L-3	
Existing and proposed stormwater lines and facilities	to be determined	
Lighting plan depicting all existing and proposed exterior light fixtures and a lighting level analysis for parking lots	to be determined	
Location of Flood Hazard Zone	n/a	
Location of all bodies of water and watercourses	TBD	
Location of wetlands and buffers	TBD	
Neighborhood plan with aerial underlay showing how project relates to abutting uses within the plan set	NH-1	
Existing natural features and/or significant vegetation on property	L-1	
Depict existing contours up to 100 ft. beyond project limits	L-1	
Landscape plan depicting existing and proposed landscaping, prepared by a licensed Professional Landscape Architect	not required, per DB	
Location of parking layout delineating spaces and arrangement; note addressing maximum required spaces	L-1	
Location, material and size of existing and proposed pavement area	L-1, L-2	
Location of proposed fire lanes	TBD	
Specify finished floor elevations of buildings	TBD	
Location of solid waste disposal facilities (dumpster, pad and screening, etc.), including required screening	L-1, L-2	
Depict all service, storage, loading bays and utility areas	L-1	
All applicable Dover Common Site Plan notes	L-1	
11. Additional Information if appropriate		
Stormwater Management Plan depicting the existing & proposed storm drainage system and engineered drainage analysis	TBD	
Stormwater Management System Operation and Maintenance Plan	TBD	
Letter to Serve from Public and Private Utilities	TBD	
Erosion and Sedimentation Control Plan	L-1, L-4	
Landscape Operation and Maintenance Plan	n/a	
Proposed restrictive covenants or homeowners association documents	n/a	
Dates and permit numbers of all required state and federal permits	to be added to plans at later date	
If wetland buffer, indicate placards locations, as applicable	TBD	
Depict test boring locations, groundwater elevations and soil profiles and/or soils types call-outs	to be provided under separate cover	
Location of proposed drive-in facilities	n/a	
Provide additional exhibits/technical data determined appropriate by the Planning Board or its staff as required	TBD	

REVIEWED BY: _____ DATE _____ TRC DATE _____

PLANNING BOARD FEE SCHEDULE

(Revised May 14, 2019)

Below are the fees associated with plan review. Please complete the information below and provide payment with your application submittal. **Plan review fees shall be paid prior to technical review committee (TRC) being scheduled.** For plans not requiring TRC review, **fees are due 21 days prior** to the Planning Board meeting. Staff will coordinate abutter/notice fees, which will be invoiced and must be paid 28 hours before the Planning Board meeting for an application to be heard. Fees shall be paid by cash or check made payable to "City of Dover."

A. Plan Review Fees

1. Application fee for the following (SELECT ALL THAT APPLY):

- | | |
|---|-------------------|
| ☐ SUBDIVISION \$150.00 x # _____ new lots created= | \$ _____ |
| ☐ LOT LINE ADJUSTMENT \$100.00 X # of lots involved= | \$ _____ |
| ☐ TRANSFER OF DEVELOPMENT RIGHTS Application fee \$150.00= | \$ _____ |
| ☐ SITE REVIEW – RESIDENTIAL \$100.00 x # _____ per dwelling unit= | \$ _____ |
| ☒ SITE REVIEW – NON-RESIDENTIAL (not to exceed \$10,000) | |
| o New construction \$.15 sq. ft. x # <u>12000</u> sq. ft.= | \$ <u>1800.00</u> |
| o Additions (new floor space) \$.10 per sq. ft. x # _____ sq. ft.= | \$ _____ |
| ☐ MOTEL/HOTEL \$35.00 x # _____ per lodging unit= | \$ _____ |
| ☐ CHANGE OF USE (not to exceed \$5,000) | |
| o Existing floor spaces \$.10 per sq. ft. x # _____ sq. ft. = | \$ _____ |
| ☐ CONDITIONAL USE PERMIT \$150.00 x # _____ per application= | \$ _____ |
| ☐ GRAVEL PIT/ EXCAVATIONS | |
| o Application fee \$50.00= | \$ _____ |
| o Permit fee \$75.00= | \$ _____ |
| ☐ EXTENSIONS OF/AMENDMENTS TO/WAIVERS FOR AN APPROVED PLAN
\$50.00 x # _____ per hour of review (3 hour minimum)= | \$ _____ |
| ☐ REQUEST FOR REZONING Application fee \$150.00= | \$ _____ |
| ☐ DRIVEWAY WAIVER Application fee \$100.00= | \$ _____ |
| SUB TOTAL= | \$ _____ |

AND

- | | |
|---|-------------------|
| 2. IMPERVIOUS PAVED AREA (for new development or additions to existing parking lots (not to exceed \$10,000) \$.07 sq. ft. x # <u>66000</u> = | \$ <u>4620.00</u> |
|---|-------------------|

TOTAL PLAN REVIEW FEE= \$ 6420.00

B. Abutter Notification/Mailing Labels - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will need to review the list and provide to this office the engineer, architect, licensed land surveyor (LLS), licensed landscape architect (LLA) and/or soil scientist whose professional seal appears on the plan with names and addresses for notices.

- | | |
|---|------------------|
| ☒ Applicant & Owner, engineer, architect, LLS, LLA and/or soil scientist | |
| o Certified letters fee # <u>5</u> of x \$8.00= | \$ <u>40.00</u> |
| ☒ Certified letters fee: # of abutters <u>36</u> X \$8.00= | \$ <u>288.00</u> |
| ☐ First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X \$1.00= | \$ _____ |
| ☒ Creating/Printing Abutter Labels in triplicate per sheet <u>1</u> x \$10.00= | \$ <u>10.00</u> |

SUB TOTAL= \$ _____

C. Foster's newspaper public notice fee

\$ 80.00
TOTAL NOTICE FEE= \$ 418.00

The above amount must be paid 28 hours prior to the Planning Board meeting, to be heard.

CITY OF DOVER PLANNING DEPARTMENT
Revised June 4, 2019

APPLICANT: _____ FILE NUMBER: _____

List of Common Site Plan Notes

The following list of commonly required notes is intended to be used as a guide to applicants and should not be construed as a comprehensive note requirement list for all projects. A preapplication conference with the Planning Department is suggested to help determine the actual notes that may be required.

1. The intent of this plan is to *(describe the purpose of the plan)*.
2. Owners of Record are: Name
Street address
Municipality, State, Zip Code

Authorized Signature
3. The parcel(s) is *(are)* shown as Lot No. _____, Map _____ of the City of Dover Tax Assessor's Maps.
4. The subject parcel(s) contains _____ acres or _____ sq. ft. area of land.
5. Title reference for the project parcel(s) is the Strafford County Registry of Deeds, Book No. _____, Page No. _____.
6. Reference Plans: *(List all reference plans and their SCRD #)*
7. All applicable right-of-way, conservation, slope, construction, power line, cross travel, or other easements shall be referenced in a note.
8. Zoning dimensional and density requirements are as follows:

Required:

Provided:

- a. Zoning district _____ sub-district _____
- b. Minimum lot size: _____ acres (sq. ft.)
- c. Minimum lot frontage: _____ ft.
- d. Minimum yard setbacks/build-to-lines:
Front _____ ft.
Side _____ ft.
Rear _____ ft.
Abut-a-street _____ ft.
- e. Maximum/minimum lot coverage _____ %
- f. Minimum/maximum bldg. height _____ ft./stories

This property falls within the following zoning overlay districts: *(List districts)*

9. List any variances or special exceptions granted by the Zoning Board of Adjustment or Conditional Use Permits granted by the Planning Board for the proposed use or structure, including the case number and date of decision and any conditions.
10. Property line information has been obtained from a survey performed by *(surveyor)* on *(date)* with an error not greater than 1 in 10,000 *(or has been obtained from _____ Plan, prepared by (surveyor))*.
11. Subject parcel is *(is not)* located within a Federally designated flood hazard area (Community panel number 33017C0xxxD, Effective Date: September 30, 2015).
12. Wetlands were delineated by _____, Certified Wetlands Scientist, Certification Number _____, in accordance with Chapter 170-27.1 of the Zoning Ordinance, on _____, 20____.
13. As-built plans of the subdivision shall be submitted on paper and in digital format AutoCAD DWG, AutoCAD DXF or ESRI format to the City of Dover Engineer's Office upon completion of project if a street is proposed for City acceptance. As-built plans shall be prepared and certified correct by a L.L.S. or P.E. Digital files shall be geo-referenced to New Hampshire State Plane Coordinates NAD83 and shall be expressed in feet.
14. The installation of electric power, cable television and telephone lines shall be underground throughout the site for which development is proposed.
15. The subject parcel(s) is (are) served by municipal water and sewer *(or is served by on-site well and septic system)*.
16. All construction shall conform with the State of New Hampshire Department of Transportation (NHDOT) "Standard Specifications for Road and Bridge Construction" and with the City of Dover Community Services Regulations and standard specification for construction. The more stringent specification shall apply.
17. All erosion control notes shall include provisions for construction sequencing, temporary erosion control measures, and permanent standards such as loam spread rate for disturbed areas, rates of lime, type and rates for fertilizer, and seed and mulch mixture with rates of application.
18. The limits of construction disturbance that are located in or within the 50 ft. of Conservation and Wetland Districts shall be staked, flagged and clearly identified prior any earth disturbing activity occurs.
19. All treatment swales to be constructed shall have sod bottoms.
20. A letter of credit for the cost of revegetating all disturbed areas on the site shall be submitted, and the approved construction sign installed prior to any earth disturbing activity occurs.
21. A pre-construction conference with the developer, the design engineer, the earthwork contractor and the City Engineer shall occur prior to any earth disturbing activity.
22. Site Construction hours shall be limited to Monday-Friday 7 AM-6 PM, Saturday and Sunday 9 AM-4 PM. Hours of construction must be documented on a site construction sign along with the contact information for the general contractor. Said signage must be located and approved by the City Engineer or Assistant City Manager.

23. Building addresses (including apt/unit numbers if applicable) shall be assigned by the Building Official at the time of issuance of a building permit.
24. The proposed use for the site (structure) is _____. (More specific uses are encouraged, such as single family, duplex, multi-family, restaurant, hotel, doctor's office, etc. Should more than one use be proposed, an indication of the percentage of each use is suggested.)
25. The following federal and state permits have been issued for the subject property: (*List permit type, number and date of issuance.*)
26. Commercial vehicle route during construction shall conform to Dover City Code or be coordinated with the Community Services Director.
27. Any retaining wall taller than four feet (4') requires issuance of a building permit from Inspection Services.
28. Any fence taller than six feet (6') requires the issuance of a building permit from Inspection Services.
29. Applicant shall complete Land Use Development Tracking Form, most recently revised version, utilizing the online Pollution Tracking and Accounting Pilot Project (PTAPP) portal.
<https://www.unh.edu/unhsc/ptapp>
30. The owner of record shall record at the Registry of Deeds documentation sufficient to provide notice to all persons/entities that may acquire any property subject to the requirements and responsibilities described in the approved STORMWATER Management Plan. The notice shall comply with the applicable requirements for recording contained in RSA 477 and 478. The notice need not set forth the requirements at length, so long as it is sufficient to provide notice to prospective purchasers to the requirements for maintenance and reporting.
31. Fire department access road(s) shall be installed and maintained to support the imposed loads of fire apparatus in all weather conditions at all times.
32. The maximum parking space calculation is _____ (broken down) and _____ spaces are provided.
33. Exterior lighting shall be cut-off type fixtures per Chapter 149-14-E and shall provide lighting directed on-site only.
34. Topographic survey performed by _____ on (*dates*).
35. Elevations are based on U.S.G.S. datum. (**or** Elevations depicted are based on information obtained from the City Engineer's Office and was derived from coordinates for control stations _____ and _____. These coordinates have not been adjusted to 1983 datum).
36. A security system shall be installed as required by Chapter 58, Article I, section 58-2 of the Code of the City of Dover. (*If a business establishment or multi-family dwelling contained in a new, altered or repaired structure*)
37. Approved backflow preventers shall be provided for both fire and domestic water lines.
38. The (*existing or proposed*) structure shall be served by a sprinkler system as required by Chapter 109- 30 of the Code of the City of Dover and the adopted State of NH Building and Fire Codes.

- 39. Sprinkler connections must be flushed in accordance with NFPA 24 and a Contractor’s Material and Test Certificate for Underground Piping form must be completed and approved by Inspection Services prior to connection of the backflow device.
- 40. Fire department connection(s) shall be located on the street side of the building per NFPA 13. Access to the FDC shall maintain a clear and unobstructed path at all times.
- 41. The site layout is designed in compliance with applicable accessibility regulations. The proposed structure will be also be designed in accordance with applicable accessibility regulations. (i.e. IBC, ANSI-117.1) and NH RSA 155-A:5.

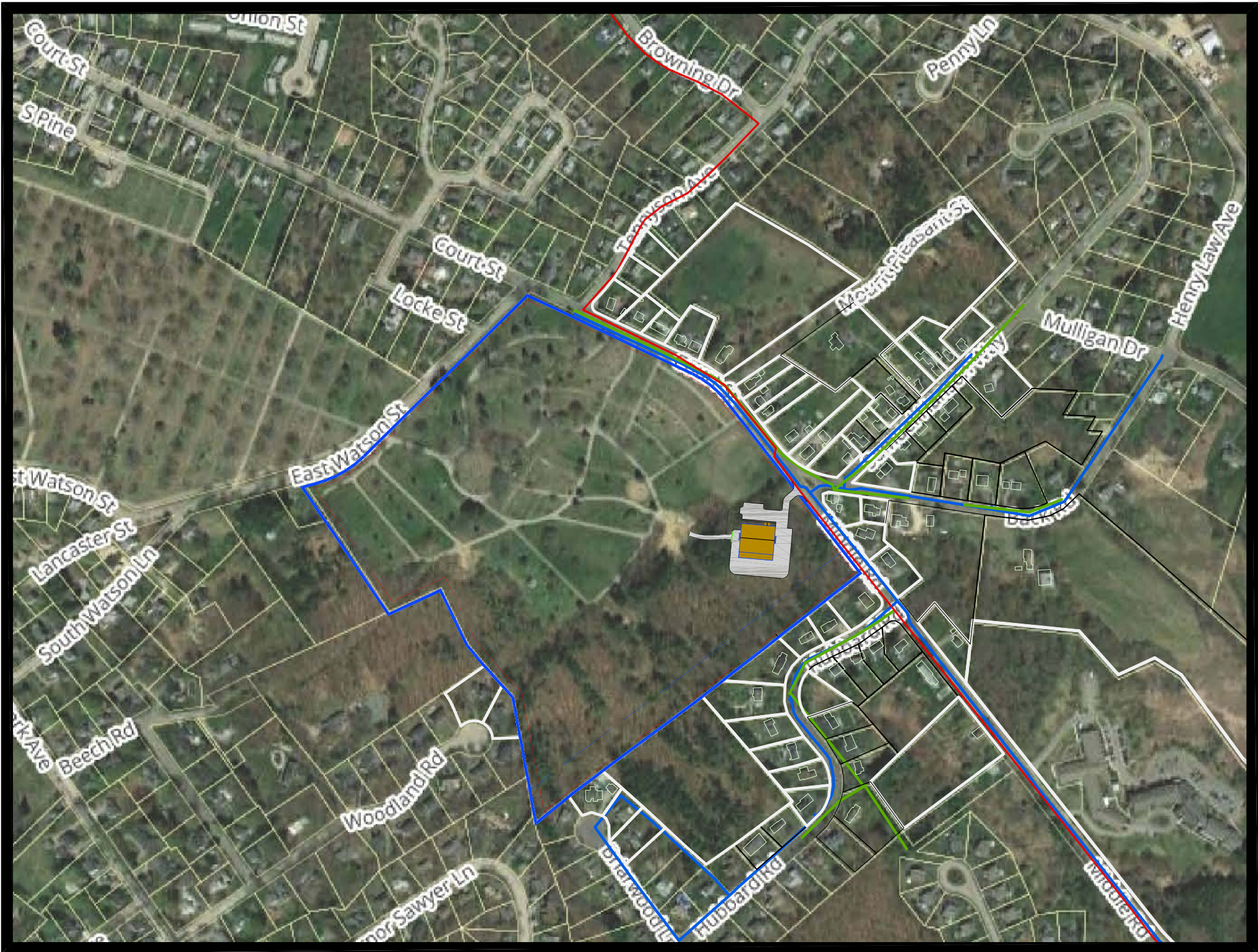
REMARKS:

SITE PLAN
CITY OF DOVER
MAINTENANCE AND CEMETERY BUILDING
MIDDLE STREET
DOVER, NEW HAMPSHIRE

PLAN INDEX:

- L-1 PROPOSED SITE PLAN
- L-2 CONSTRUCTION DETAILS
- L-3 CONSTRUCTION DETAILS
- L-4 PROJECT NOTES
- NH-1 NEIGHBORHOOD PLAN
- A-1 OVERALL BUILDING FLOOR PLAN
- A-2 MEZZANINE FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS & BLDG SECTIONS

PREPARED FOR:
CITY OF DOVER
FACILITIES, GROUNDS, AND CEMETERY DIVISION
288 CENTRAL AVENUE
DOVER, NH 03820



LOCUS AERIAL IMAGE
NTS

GENERAL NOTES:

- 1. THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A NEW MAINTENANCE BUILDING AND ASSOCIATED SITE IMPROVEMENTS.
- 2. THE FOLLOWING LOCAL, STATE AND/OR FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT: CITY OF DOVER.
- 3. VARIANCE/SPECIAL EXCEPTIONS GRANTED BY THE CITY OF DOVER ZONING BOARD OF ADJUSTMENT: NONE REQUIRED
- 4. A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON SITE AND APPROVED CONSTRUCTION SIGN SHALL BE IN PLACE PRIOR TO AND EARTH DISTURBING ACTIVITY OCCURS.
- 5. A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 6. A STORMWATER POLLUTION PREVENTION PLAN (SWPP) IS REQUIRED FOR THIS PROJECT. THE SWPP MUST INCLUDE THE APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE SITE. PARTIES RESPONSIBLE FOR DEVELOPING THE SWPP SHOULD REFER TO THE EPA NPDES CONSTRUCTION GENERAL PERMITS NOTICE OF INTENT FOR A COMPLETE OUTLINE OR REQUIRED ELEMENTS. THESE PLANS AND THE STORMWATER MANAGEMENT SYSTEM INSPECTION & MAINTENANCE PLAN PREPARED FOR THIS PROJECT MAY BE UTILIZED IN FULFILLING THE REQUIREMENTS
- 7. UPON COMPLETION OF CONSTRUCTION, THE OWNER SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH THE STORMWATER MANAGEMENT SYSTEM INSPECTION & MAINTENANCE PLAN AND THE REPORTING REQUIREMENTS CONTAINED THEREIN.
- 8. PURSUANT TO THE CITY OF DOVER ORDINANCE AND APPROVALS ASSOCIATED WITH THIS WORK , CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY – FRIDAY 7:00AM –6:00PM AND SATURDAY 9:00AM – 4:00PM. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE SHALL BE LOCATED AND APPROVED BY THE CITY ENGINEER OR DIRECTOR OF PLANNING AND ASSISTANT CITY MANAGER.
- 9. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON REPRODUCIBLE MYLAR MEDIUM AND IN DIGITAL DXF FORMAT ON A DISK TO THE CITY ENGINEER'S OFFICE UPON COMPLETION OF THE PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A P.E. OR L.L.S.

SUBMISSION TIMELINE:

10/3/19 TRC SUBMISSION

OWNER:
CITY OF DOVER
288 CENTRAL AVENUE
DOVER, NH 03820

SITE CIVIL ENGINEER:
CIVIL CONSULTANTS
P.O. BOX 100
293 MAIN STREET
SOUTH BERWICK, ME 03908

DESIGN BUILDER:
CARENO CONSTRUCTION COMPANY, LLC
270 WEST ROAD– SUITE 4A
PORTSMOUTH, NH 03801

ARCHITECT:
PORT ONE ARCHITECTS
959 ISLINGTON STREET
PORTSMOUTH, NH 03801

WETLANDS/SOIL SCIENTIST:
HIGHLAND SOIL SERVICES
75 PROSPECT STREET
SOMERSWORTH, NH 03878

OWNER:
CITY OF DOVER
288 CENTRAL AVENUE
DOVER, NH 03820

OWNER SIGNATURE

DESIGN DEVELOPMENT

OWNER:
CITY OF DOVER, NH
Facilities, Grounds & Cemetery Div.
City of Dover
288 Central Ave.
Dover, NH

DESIGN BUILDER:
Careno Construction Company, LLC
Design Build / Construction Managers / General Contractors
270 West Road - Suite 4A
Portsmouth, NH 03801
p. 603.436.1006 f. 603.436.6020
e. build@carenoconstruction.com

ARCHITECT:
PORT ONE ARCHITECTS
959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

CIVIL CONSULTANTS
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

REVISION HISTORY:
DATE ISSUANCE

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PROJECT NAME:
Facilities, Grounds & Cemetery Building

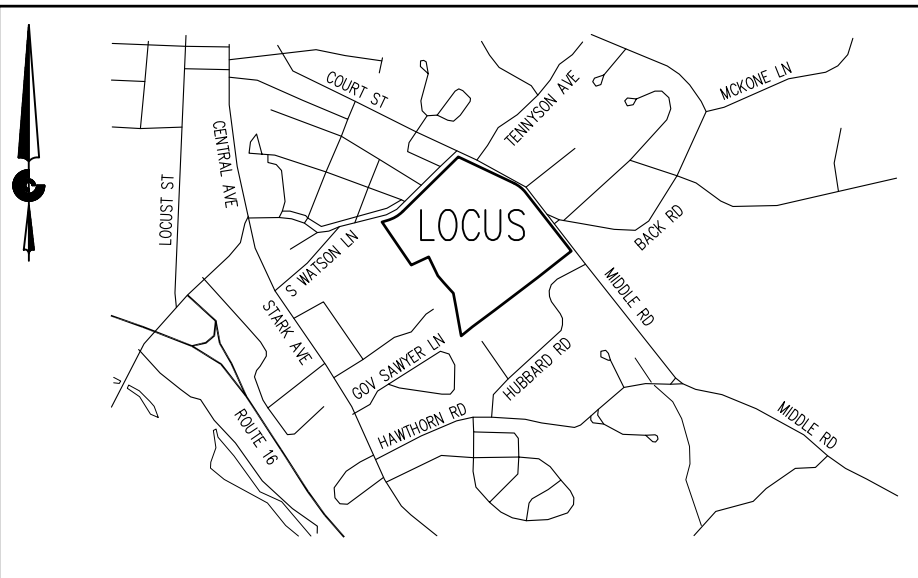
DRAWING TITLE:
COVER SHEET

PROJECT No.:
CC1927800

DATE:
10/3/2019

DRAWING SCALE:

SHEET NUMBER:
CVR



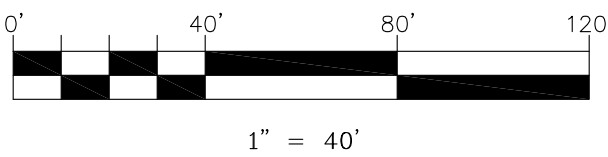
LOCATION PLAN
(NOT TO SCALE)

SITE PLAN NOTES:

- THE INTENT OF THIS PLAN IS TO CONSTRUCT A 12,000 SF BUILDING FOR USE BY THE CITY OF DOVER, FACILITY, GROUNDS AND CEMETERIES DIVISION. WORK INCLUDES SITE IMPROVEMENTS FOR PUBLIC ACCESS AND EQUIPMENT STORAGE.
- INFORMATION DEPICTED HEREON IS BASED ON DATA OBTAINED FROM TOPOGRAPHIC SURVEY PERFORMED BY CIVIL CONSULTANTS, SOUTH BERWICK, MAINE, ON 9-30-19 AND 10-2-19 AND THE DOVER OFFICE OF GIS.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DIGSAFE AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. WATER AND SEWER CONNECTION LOCATIONS ARE NOT EXACT.
- ASSESSOR'S INFORMATION:
CITY OF DOVER ASSESSOR'S MAP 18 LOT 1
- RECORD OWNER:
CITY OF DOVER
288 CENTRAL AVE
DOVER, NH 03820
- DEED REFERENCE:
S.C.R.D. UNKNOWN
- ZONING INFORMATION:
RESIDENTIAL DISTRICT R-12 (MEDIUM DENSITY)

REQUIRED	PROVIDED
MINIMUM LOT SIZE: 12,000 SF	>12,000 SF
MINIMUM STREET FRONTAGE: 100'	>100'
FRONT SETBACK: 15'	120'
REAR SETBACK: 30'	250+'
SIDE SETBACK: 15'	220'
MAXIMUM BUILDING HEIGHT: 35'	27.5'
MAXIMUM LOT COVERAGE: 30%	<30%
- THE PORTION OF THE PARCEL BEING SUBDIVIDED IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF DOVER, COMMUNITY PANEL NUMBER 33017C0340E, EFFECTIVE SEPTEMBER 30, 2015. ZONE X IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN".
- PROPERTY LINES ARE APPROXIMATE BASED ON GIS AND TAX MAP INFORMATION AND LIMITED MONUMENTATION FOUND DURING FIELD SURVEY.
- LOCUS PARCEL CONTAINS 41.24 ACRES MORE OR LESS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT DIGSAFE (1-888-344-7233) FOR LOCATION OF ALL EXISTING UTILITIES.
- THE SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DIGSAFE AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. WATER AND SEWER CONNECTION LOCATIONS ARE NOT EXACT.
- THE BUILDING WILL BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM CONFORMING TO THE REQUIREMENTS OF NFPA 13. FINAL SIZE AND LOCATION OF WATER SERVICE REQUIRED IS TO BE DETERMINED BY DESIGN OF THE FIRE PROTECTION SYSTEM.
- THE SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24, AND A CONTRACTORS MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING MUST BE COMPLETED.
- THE BUILDING WILL BE SERVED BY EXISTING CITY WATER AND SEWER SERVICES.
- REQUIRED PARKING: 12,000 S.F. BUILDING = 36 SPACES
PROVIDED PARKING: 21 SPACES (2 H.C.)
15 EMPLOYEE SPACES
- ALL PAVEMENT STRIPING TO BE 4" WHITE PAINT.
- AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE CITY OF DOVER ENGINEERS OFFICE UPON COMPLETION OF THE PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
- EXTERIOR BUILDING LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- A SECURITY SYSTEM SHALL BE INSTALLED AS REQUIRED BY CHAPTER 58, ARTICLE 1, SECTION 58-2 OF THE CODE OF THE CITY OF DOVER.
- ALL NEW ON-SITE UTILITIES TO BE INSTALLED UNDERGROUND.
- FINAL CONNECTION AND SERVICE DETAILS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY CODE ENFORCEMENT PRIOR TO INSTALLATION.

GRAPHIC SCALE



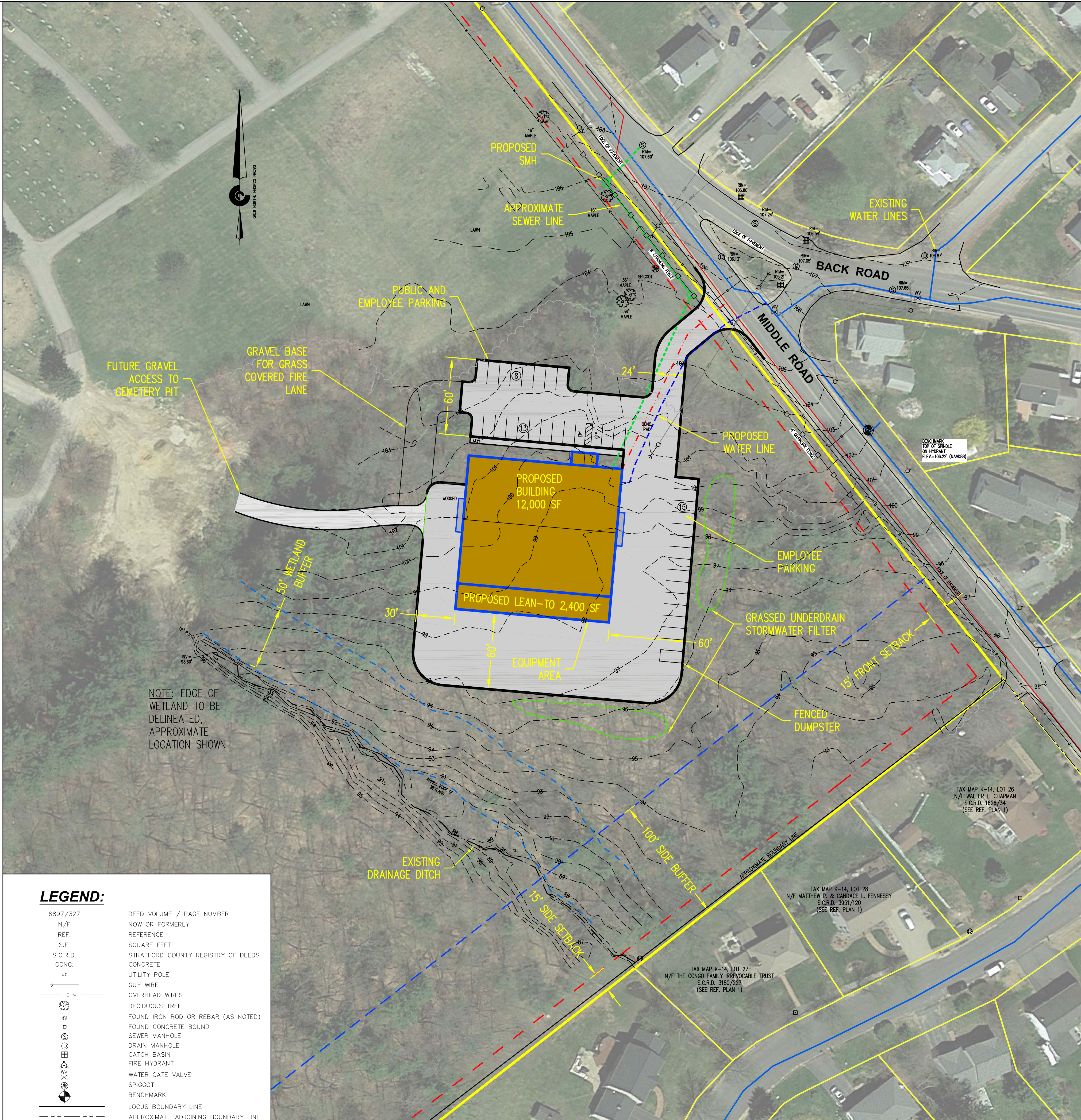
SITE PLAN NOTES:

- ALL APPLICABLE RIGHT-OF-WAY, CONSERVATION, SLOPE, CONSTRUCTION, POWER LINE, CROSS TRAVEL, OR OTHER EASEMENTS SHALL BE REFERENCED IN A NOTE.
- AT THIS TIME NO VARIANCES OR SPECIAL EXCEPTIONS HAVE BEEN SOUGHT FOR THE PROPOSED USE OR STRUCTURE.
- ADJACENT PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY CIVIL CONSULTANTS OF FOUND MONUMENTATION COMBINED WITH INFORMATION PROVIDED BY THE CITY OF DOVER.
- SUBJECT PARCEL IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA (COMMUNITY PANEL NUMBER 33017C0340E, EFFECTIVE DATE: SEPTEMBER 30, 2015).
- WETLANDS TO BE DELINEATED BY HIGHLAND SOIL SERVICES, CERTIFIED WETLANDS SCIENTIST, LOCATIONS WILL BE INDICATED ON REVISED PLANS.
- AS-BUILT PLANS OF THE SUBDIVISION SHALL BE SUBMITTED ON PAPER AND IN DIGITAL FORMAT AUTOCAD DWG, AUTOCAD DXF OR ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT IF A STREET IS PROPOSED FOR CITY ACCEPTANCE. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
- THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED.
- ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE CITY OF DOVER COMMUNITY SERVICES REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- THE LIMITS OF CONSTRUCTION DISTURBANCE THAT ARE LOCATED IN OR WITHIN THE 50 FT. OF CONSERVATION AND WETLAND DISTRICTS SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR ANY EARTH DISTURBING ACTIVITY OCCURS.
- ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
- A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED, AND THE APPROVED CONSTRUCTION SIGN INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
- A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM, SATURDAY AND SUNDAY 9 AM-4 PM. HOURS OF CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR ASSISTANT CITY MANAGER.
- BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- THE SITE DEVELOPMENT WILL REQUIRE A NHDES ALTERATION OF TERRAIN PERMIT.
- ANY RETAINING WALL TALLER THAN FOUR FEET (4') REQUIRES ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.
- ANY FENCE TALLER THAN SIX FEET (6') REQUIRES THE ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.
- APPLICANT SHALL COMPLETE LAND USE DEVELOPMENT TRACKING FORM, MOST RECENTLY REVISED VERSION, UTILIZING THE ONLINE POLLUTION TRACKING AND ACCOUNTING PILOT PROJECT (PTAPP) PORTAL. [HTTPS://WWW.UNH.EDU/UNHSC/PTAPP](https://www.unh.edu/unhsc/ptapp)
- THE OWNER OF RECORD SHALL RECORD AT THE REGISTRY OF DEEDS DOCUMENTATION SUFFICIENT TO PROVIDE NOTICE TO ALL PERSONS/ENTITIES THAT MAY ACQUIRE ANY PROPERTY SUBJECT TO THE REQUIREMENTS AND RESPONSIBILITIES DESCRIBED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE NOTICE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR RECORDING CONTAINED IN RSA 477 AND 478. THE NOTICE NEED NOT SET FORTH THE REQUIREMENTS AT LENGTH, SO LONG AS IT IS SUFFICIENT TO PROVIDE NOTICE TO PROSPECTIVE PURCHASERS TO THE REQUIREMENTS FOR MAINTENANCE AND REPORTING.
- ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- APPROVED BACKFLOW PREVENTERS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
- FIRE DEPARTMENT CONNECTION SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13. ACCESS TO THE FDC SHALL MAINTAIN A CLEAR AND UNOBSTRUCTED PATH AT ALL TIMES.

THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL BE ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. (I.E. IBC, ANSI-117.1) AND NH RSA 155-A:5.

LEGEND:

6897/327	DEED VOLUME / PAGE NUMBER
N/F.	NOW OR FORMERLY
REF.	REFERENCE
S.F.	SQUARE FEET
S.C.R.D.	STRAFFORD COUNTY REGISTRY OF DEEDS
CONC.	CONCRETE
α	UTILITY POLE
→	GUY WIRE
○	OVERHEAD WIRES
○	DECIDUOUS TREE
○	FOUND IRON ROD OR REBAR (AS NOTED)
○	FOUND CONCRETE BOUND
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	CATCH BASIN
○	FIRE HYDRANT
○	WATER GATE VALVE
○	SPIGOT
○	BENCHMARK
---	LOCUS BOUNDARY LINE
---	APPROXIMATE ADJOINING BOUNDARY LINE
---	CENTERLINE OF STREAM CHANNEL
---	TREELINE



OWNER:

CITY OF DOVER, NH
Facilities, Grounds & Cemetery Div.
City of Dover
288 Central Ave.
Dover, NH

DESIGN BUILDER:

Careno Construction Company, LLC
Design Build / Construction Managers / General Contractors
270 West Road - Suite 4A
Portsmouth, NH 03801
p. 603.436.1006 f. 603.436.6020
e. build@carenoconstruction.com

ARCHITECT:

PORTONE ARCHITECTS
959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

CIVIL CONSULTANTS

Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-364-2550
www.civcon.com

REVISION HISTORY:

#	DATE	ISSUANCE

SEAL:

USE DISCLAIMER:

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PROJECT NAME:

Facilities, Grounds & Cemetery Building

DRAWING TITLE:

SITE PLAN

PROJECT No.:

CC1927800

DATE:

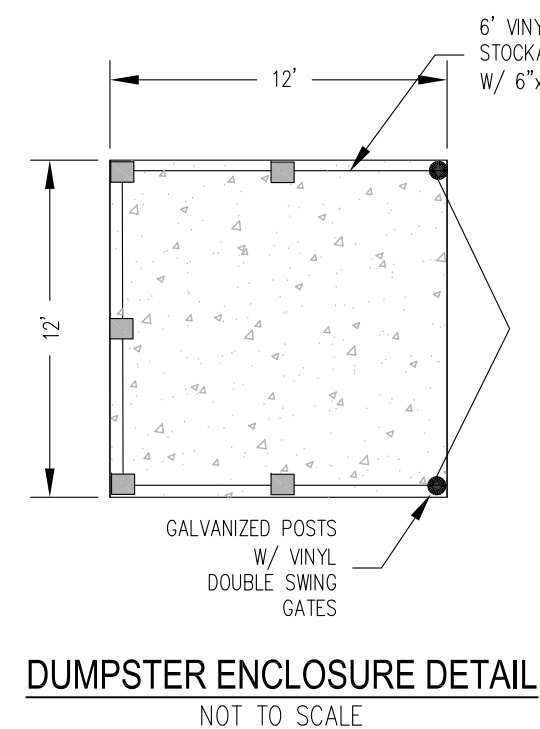
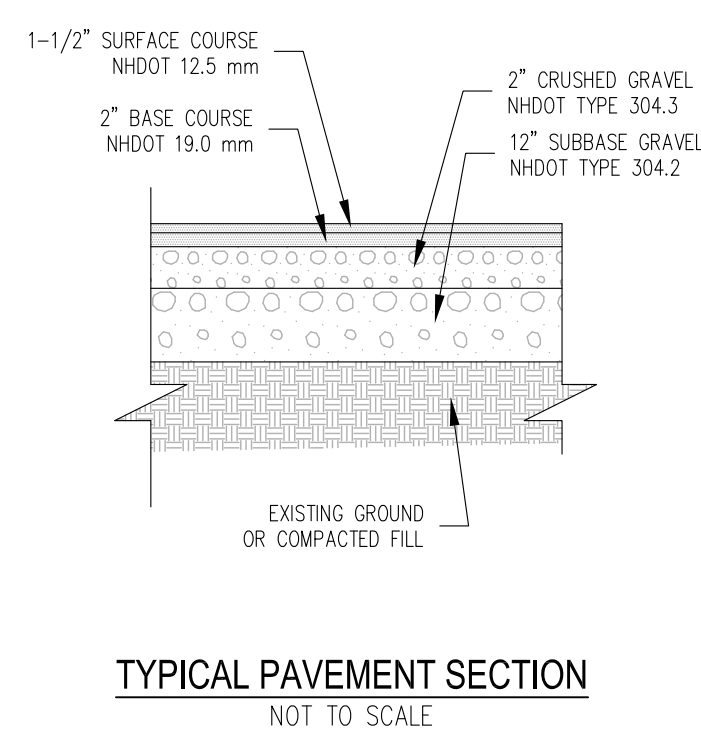
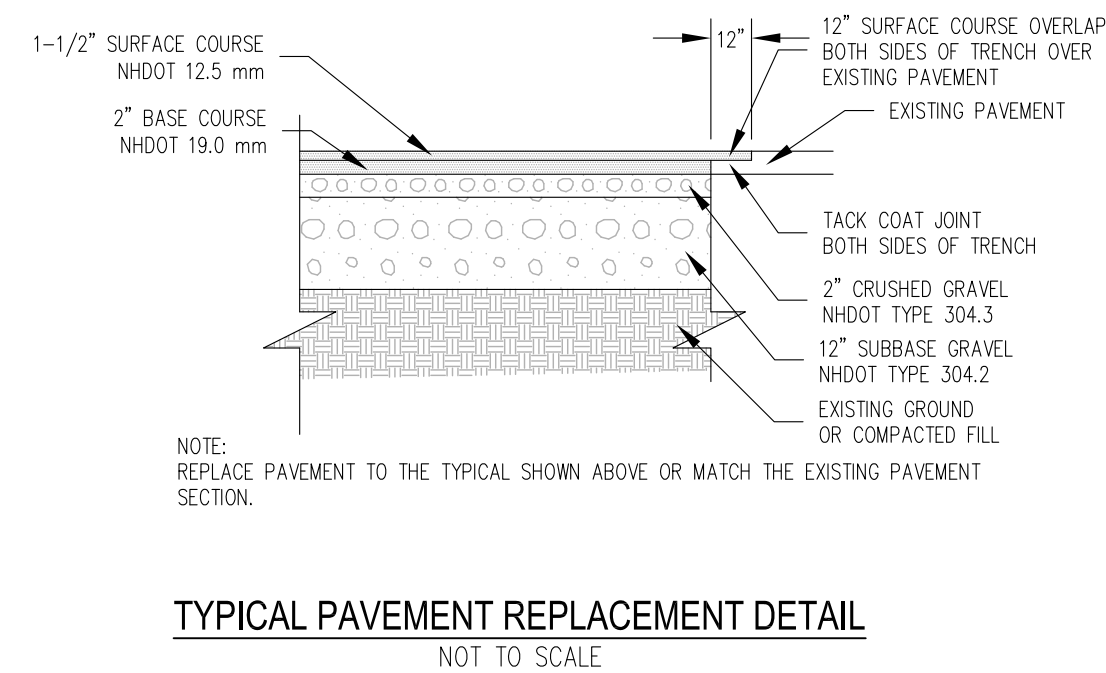
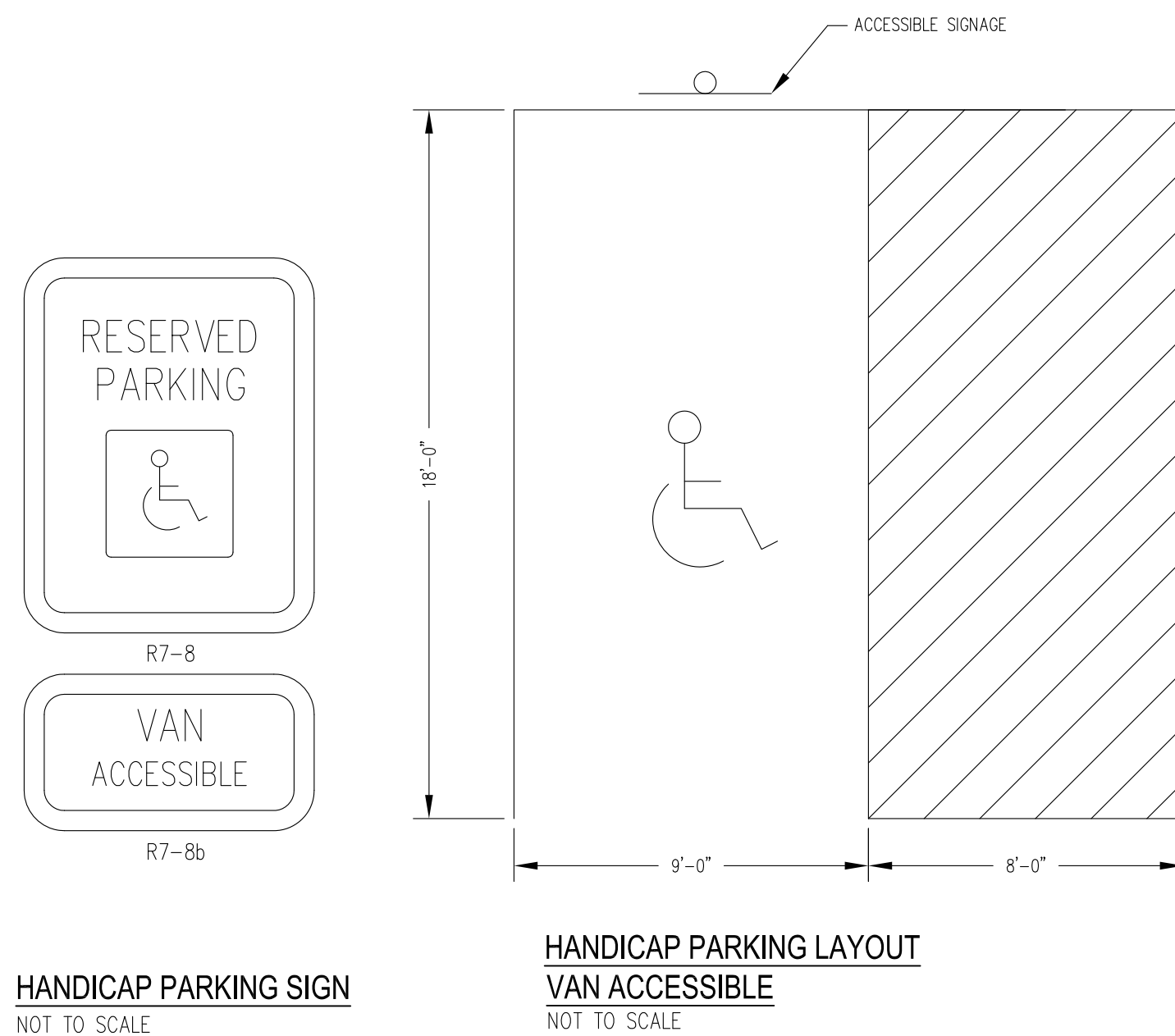
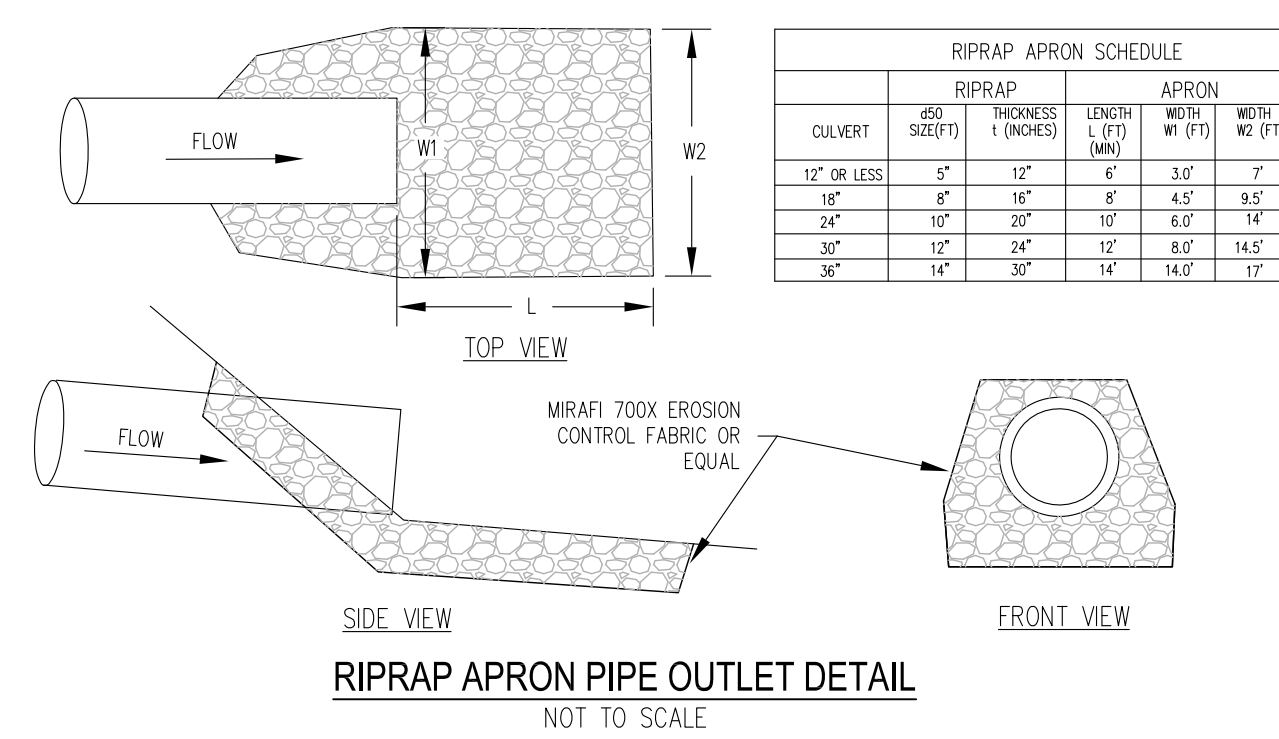
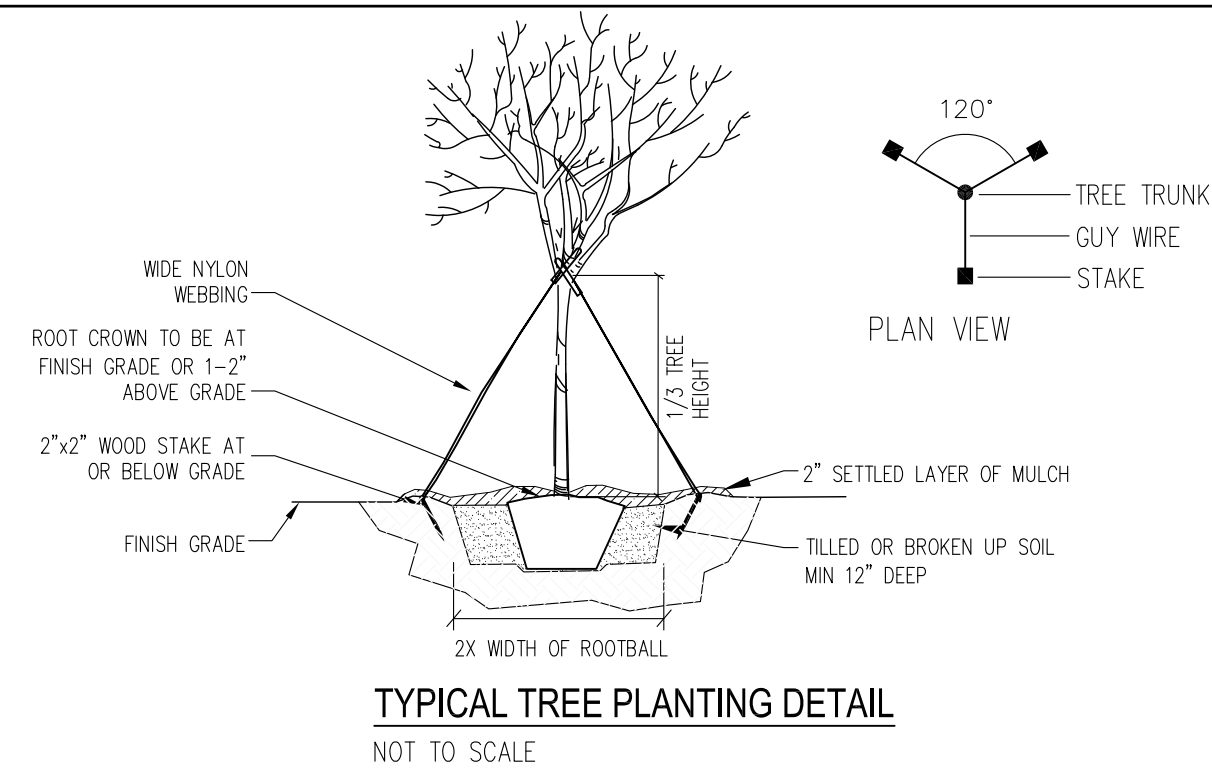
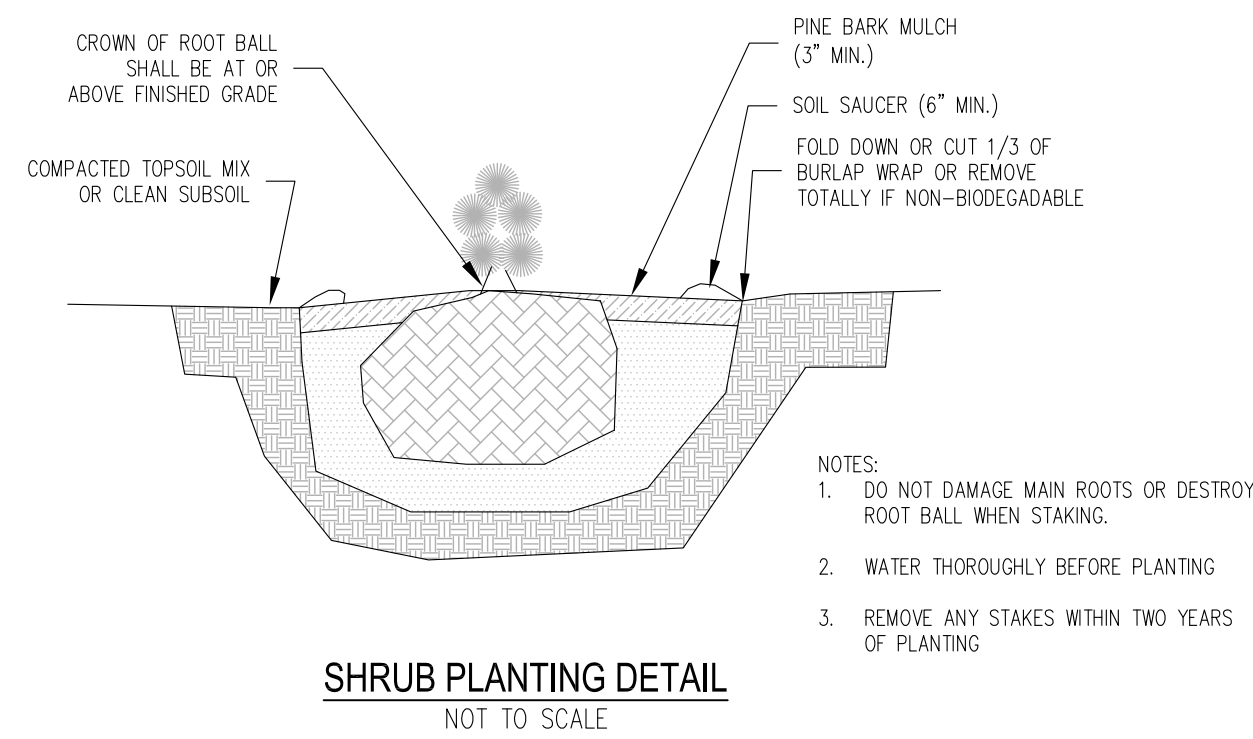
10/3/2019

DRAWING SCALE:

SHEET NUMBER:

DESIGN DEVELOPMENT

L-1



- ## EROSION AND SEDIMENT CONTROL PRACTICES

1. NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
2. DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
3. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) BALE PER 500 SQUARE FEET (1-2 TONS PER ACRE).
4. IF MULCH IS LIKELY TO BE REMOVED DUE TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
5. IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLY GULLEY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING OF BANKS, SILT FENCES, STANDING BAILS AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
6. MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
7. PERMANENT RE-VEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRECLUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.
8. LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:

GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)
FERTILIZER, 10-10-10 OF EQUIVALENT: 600 LBS./ACRE
(14 LBS./1000 S.F.)

FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON NOR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL USED BY VEGETATIVE GROWTH.

SEEDING MIXTURE AND SCHEDULE:

SPREAD TOPSOIL UNIFORMLY 6" DEEP OVER AREAS TO BE RECLAIMED. THE FOLLOWING SEED MIXTURE SHALL BE USED:

LAWNS:	
KENTUCKY BLUEGRASS	0.46 LBS./1000 S.F.
CREeping RED FESCUE	0.46 LBS./1000 S.F.
PERENNIAL RYE GRASS	0.11 LBS./1000 S.F.
TOTAL	1.03 LBS./1000 S.F.

APPLY LIME AND FERTILIZER AS SPECIFIED UNDER THE EROSION AND SEDIMENTATION CONTROL NOTES. WORK INTO THE TOP (4) INCHES OF SOIL PRIOR TO SEEDING. AFTER SEEDING, APPLY MULCH AS SPECIFIED, ON FLAT AREAS AND NOT EXPOSED TO WIND, THE MULCH WILL BE ANCHORED BY WETTING DOWN. IN OTHER AREAS, JUTE NETTING SHALL BE USED FOR ANCHORAGE. THE ABOVE SEEDING SCHEDULE IS APPLICABLE IF SEEDING DURING THE GROWING SEASON (APRIL 15 TO JUNE 15 AND AUGUST 30 TO SEPTEMBER 30). BETWEEN JUNE 15 AND AUGUST 30, SEEDING WILL BE DELAYED UNTIL AUGUST 30, IF SOIL IS DISTURBED BETWEEN OCTOBER 1 AND NOVEMBER 1, DELAY SEEDING UNTIL NOVEMBER 1. AFTER NOVEMBER 1 AND BEFORE A SNOW COVER FORMS, THE SAME PROCEDURE WILL BE FOLLOWED EXCEPT THE SEED RATE WILL BE DOUBLED. AFTER SNOW COVER AND BEFORE APRIL 15, SEEDING WILL BE DELAYED UNTIL APRIL 15. HAY MULCH WILL BE APPLIED AT A RATE OF 150 LBS./1000 SQUARE FEET. THIS MULCH WILL BE ANCHORED BY NON-ASPHALTIC TACKIFIER SPRAYED ON LAWNS AND JUTE NETTING IN DRAINAGE WAYS AND OTHER AREAS.

OWNER

CITY OF DOVER, NH
Facilities, Grounds & Cemetery Div.
City of Dover
288 Central Ave.
Dover, NH

DESIGN BUILDER

 **Careno Construction Company, LLC**
Design Build / Construction Managers / General Contractors

270 West Road - Suite 4A
Portsmouth, NH 03801
p. 603.436.1006 f. 603.436.6020
c. build@carenoconstruction.com

ARCHITECT:

PORT ONE ARCHITECTS
959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

CIVIL CONSULTANTS



CIVILCON
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civilcon.com

REVISION HISTORY:

[illegible]

SEAL:

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PROJECT NAME

Facilities, Grounds & Cemetery Building

DRAWING TITLE:

CONSTRUCTION DETAILS

PROJECT No.:	CC1927800
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DATE: 10/3/2019

DRAWING SCALE

SHEET NUMBER:

L-2

DESIGN DEVELOPMENT

MAINTENANCE PROCEDURES

THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR INITIAL AND LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AT THIS SITE. NOTE: FOR THE PURPOSES OF THESE PROCEDURES, A MAJOR STORM EVENT IS CLASSIFIED AS A RAINFALL EXCEEDING 3.0 INCHES. A SIGNIFICANT RAINFALL IS 1/2" IN A 24 HOUR PERIOD.

MAINTENANCE LOG

THE RESPONSIBLE PARTY SHALL ESTABLISH A MAINTENANCE LOG/PLAN FOR USE IN RECORDING MAINTENANCE ACTIVITIES. AS A MINIMUM, THE LOG SHALL INCLUDE THE DATE(S) OF ACTIVITIES, WHO PERFORMED THE DUTIES, WHAT WAS DONE (I.E. LOOKED AT DETENTION BERMS, CLEANED DROP INLETS, ETC.), THE RESULTS OF THE ACTIVITY (I.E. ALL STRUCTURES WERE IN GOOD SHAPE, OR, POND #44 NEEDS TO BE REPAIRED), IF ANY ITEM NEEDS TO BE REPAIRED, A FOLLOW-UP ENTRY SHALL SHOW THE DATE THAT REPAIRS WERE COMPLETED.

DETENTION BASINS (INITIAL AND LONG TERM)

MAINTENANCE IS NECESSARY IF DETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. THE RESPONSIBLE PARTY SHALL DESIGNATE AN INDIVIDUAL (OR COMPANY) TO MAINTAIN THE STRUCTURES AND THE BASIN AREA.

- THE FOLLOWING MAINTENANCE SCHEDULE ARE ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN:
1. EMBANKMENT – EMBANKMENTS SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
 2. VEGETATION – THE VEGETATED AREAS OF STRUCTURE DEVICES SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
 3. INLETS – PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
 4. OUTLETS – PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
 5. SEDIMENT – SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED.
 6. SAFETY INSPECTIONS – ALL BERMS OVER 2' IN HEIGHT SHALL BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER EVERY 5 YEARS. THE DESIGNATED INDIVIDUAL SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.

LAND GRADING AND SLOPE STABILIZATION

ALL SLOPES SHOULD BE CHECKED PERIODICALLY TO SEE THAT VEGETATION IS IN GOOD CONDITION. ANY RILLS OR DAMAGE FROM EROSION AND ANIMAL BURROWING SHOULD BE REPAIRED IMMEDIATELY TO AVOID FURTHER DAMAGE. IF SEEPS DEVELOP ON THE SLOPES, THE AREA SHOULD BE EVALUATED TO DETERMINE IF THE SEEP WILL CAUSE AN UNSTABLE CONDITION. SUBSURFACE DRAINS OR GRAVEL MULCHING MAY BE REQUIRED TO SOLVE SEEP PROBLEMS. DIVERSIONS, BERMS, AND WATERWAYS IN THE LAND GRADING AREA SHOULD BE CHECKED TO SEE THAT THEY ARE FUNCTIONING PROPERLY. PROBLEMS FOUND DURING THE INSPECTIONS SHOULD BE REPAIRED. SLOPES AND ASSOCIATED PRACTICES UTILIZING VEGETATION SHOULD BE LIMED AND FERTILIZED AS NECESSARY TO KEEP THE VEGETATION HEALTHY. ENCROACHMENT OF UNDESIRABLE VEGETATION SUCH AS WEEDS AND WOODY GROWTH THAT IS NOT PLANNED SHOULD BE CONTROLLED TO AVOID PROBLEMS OF BANK STABILITY IN THE FUTURE.

LEVEL SPREADER

LEVEL SPREADERS SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THAT THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY SEDIMENT ACCUMULATION SHOULD BE REMOVED. DAMAGE SHOULD BE REPAIRED AND RE-VEGETATED. THE VEGETATION SHOULD BE MOWED OCCASIONALLY TO CONTROL WEEDS AND THE ENCROACHMENT OF WOODY VEGETATION. CLIPPINGS SHOULD BE REMOVED AND DISPOSED OF OUTSIDE THE SPREADER AND AWAY FROM THE OUTLET AREA. FERTILIZATION SHOULD BE DONE AS NECESSARY TO KEEP THE VEGETATION HEALTHY AND DENSE.

OUTLET PROTECTION

OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

ROCK RIPRAP (INITIAL & LONG TERM)

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS. IF DAMAGE HAS OCCURED, REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

STORM DRAIN INLET PROTECTION

ALL STRUCTURES SHALL BE INSPECTED AFTER SIGNIFICANT RAIN EVENTS AND REPAIRED AS NEEDED.

SEDIMENT SHALL BE REMOVED AND THE STORM DRAIN SEDIMENT BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

ALL CATCH BASINS AND STORM DRAIN INLETS SHALL BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED.

STRAW OR HAY BALE BARRIER, SILT FENCE AND FILTER BERM

HAY BALE BARRIERS, SILT FENCES AND FILTER BERMS SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED.

SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

FILTER BERMS SHOULD BE RESHAPED AS NEEDED.

SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

TEMPORARY CHECK DAMS

REGULAR INSPECTIONS MUST BE MADE TO ENSURE THAT THE CENTER OF THE CHECK DAM IS LOWER THAN THE EDGES. EROSION CAUSED BY HIGH FLOWS AROUND THE EDGES OF THE CHECK DAM MUST BE CORRECTED. IF EVIDENCE OF SILTATION IN THE WATER IS APPARENT DOWNSTREAM OF THE CHECK DAM, THE CHECK DAM MUST BE INSPECTED AND ADJUSTED.

CHECK DAMS MUST BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT MUST BE REMOVED WHEN IT REACHES ONE HALF THE ORIGINAL HEIGHT OF BEFORE.

IF IT POSSIBLE, LEAVE THE CHECK DAM IN PLACE PERMANENTLY. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS MUST BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. IF A CHECK DAM MUST BE REMOVED FROM A GRASS LINED DITCH, WAIT UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED REMOVAL.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)

EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL AND REDISTRIBUTED ON SITE IN A STABLE MANNER AND THE ENTRANCE RECONSTRUCTED. THE CONTRACTOR SHALL SWEEP OR WASH PAVEMENT AT EXITS, WHICH HAVE EXPERIENCED MUD-TRACKING ONTO THE PAVEMENT OR TRAVELED WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

CULVERTS

CULVERTS MUST BE MAINTAINED BY KEEPING INLETS, TRASH GUARDS, AND COLLECTION BOXES AND STRUCTURES CLEAN AND FREE OF MATERIALS THAT CAN REDUCE THE FLOW. ALL LEAKS SHALL BE REPAIRED TO ENSURE PROPER FUNCTIONING OF THE CULVERT. ANIMAL GUARDS MUST BE INSPECTED AND MAINTAINED IN PROPER WORKING ORDER.

ROAD DITCH TURN OUT

AFTER CONSTRUCTION, DITCH TURNOUTS SHALL BE CAREFULLY INSPECTED AND REPAIRED IF SIGNS OF CHANNELIZATION APPEAR. IT WILL BE NECESSARY TO REMOVE SEDIMENT FROM THE DITCH TURNOUT TRENCH WHEN THE SWALE IS FULL AND THE STRUCTURE IS NO LONGER FUNCTIONING PROPERLY.

VEGETATED SWALE

TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION, HOWEVER, IT SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.

THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

OVERWINTER CONSTRUCTION

MAINE EROSION AND SEDIMENT CONTROL BMP (3/2003)

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. A COVER OF EROSION CONTROL MIX PERFORMS THE BEST.

ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION, MUST BE BE INSTALLED. THESE MAY BE DEPENDENT UPON SITE AND WEATHER CONDITIONS AND THE ACTUAL SITE SIZE. TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION, CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED.

1. NATURAL RESOURCES PROTECTION

ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCE, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH AN EROSION CONTROL COVER.

DURING WINTER CONSTRUCTION, A DOUBLE ROW OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

2. SEDIMENT BARRIERS

DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

3. MULCHING

ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75 LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS.

MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THOUGH THE MULCH. BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACKING OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

4. SOIL STOCKPILES

STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

5. SEEDING

BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS NOVEMBER 1ST AND THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED.

DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4' OF LOAM AND SEED AT AN APPLICATION RATE OF 5LBS/1,000 S.F. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

OVERWINTER STABILIZATION

MAINE EROSION AND SEDIMENT CONTROL BMP (3/2003)

1. STABILIZATION OF DITCHES AND CHANNELS

ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER MUST BE TAKEN.

SOD LINING: A DITCH OR CHANNEL MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

STONE LINING: A DITCH OR CHANNEL MUST BE LINED WITH STONE RIPRAP BY NOVEMBER 15. A REGISTERED PROFESSIONAL ENGINEER MUST DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

2. STABILIZATION OF DISTURBED SLOPES

ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET FOLLOWED BY INSTALLATION OF EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR STONE RIPRAP AS DESCRIBED IN THE FOLLOWING STANDARDS.

SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAT 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STONE RIPRAP: PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER TO BE INSTALLED BENEATH THE RIPRAP.

3. STABILIZATION OF DISTURBED SOILS

TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75-LBS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR OVERWINTER PROTECTION AS FOLLOWS.

MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150-LBS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

MAINTENANCE

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION.

FOLLOWING THE TEMPORARY AND OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR BARE SPOTS. AN ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

STABILIZATION SCHEDULE BEFORE WINTER

SEPTEMBER 15 ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED. ALL SLOPES MUST BE STABILIZED. SEEDED AND MULCHED. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE STABILIZED WITH MULCH OR AN EROSION CONTROL BLANKET.

OCTOBER 1 IF THE SLOPE IS STABILIZED WITH AN EROSION CONTROL BLANKET AND SEEDED. ALL DISTURBED AREAS TO BE PROTECTED WITH ANNUAL GRASS MUST BE SEEDED AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET AND MULCHED.

NOVEMBER 15 ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED. SLOPES THAT ARE COVERED WITH RIPRAP MUST BE CONSTRUCTED BY THIS DATE.

DECEMBER 1 ALL DISTURBED AREAS WHERE GROWTH OF VEGETATION FAILS TO BE AT LEAST THREE INCHES TALL OR AT LEAST 75% OF THE DISTURBED SOIL IS COVERED VEGETATION, MUST BE PROTECTED FOR OVER-WINTER. NOTE: THE DATES GIVEN ARE FOR PROJECTS IN SOUTH-CENTRAL MAINE.

PROJECT MAINTENANCE ITEMS:

THE DEVICES THAT WILL REQUIRE MAINTENANCE FOR THIS PROJECT ARE:

DESCRIPTION

THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE CITY OF DOVER FACILITIES, GROUNDS AND CEMETERY BUILDING.

PROJECT NAME AND LOCATION

CITY OF DOVER
FACILITIES, GROUNDS AND CEMETERY BUILDING
MIDDLE ROAD
DOVER, NH 03820

CONSTRUCTION SEQUENCE:

THE GENERAL SEQUENCE OF EVENTS FOR THE DEVELOPMENT OF THE SITE WILL BE AS FOLLOWS:

1. PRIOR TO COMMENCING ANY OPERATION ON THE SITE:
 - a.) A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED.
 - b.) INSTALL TEMPORARY EROSION CONTROL DEVICES (SILT FENCE AND/OR HAY BALE BARRIER) AS INDICATED.
2. CLEAR AND GRUB SITE AS REQUIRED. UPON GRUBBING OF THE FIRST 100' OF ROADWAY, THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED.
3. CONSTRUCT STORMWATER CONTROL STRUCTURES. ADEQUATE SEDIMENTATION CONTROL SHALL BE EMPLOYED TO PROTECT THE STORMWATER CONTROL STRUCTURES UNTIL STABILIZATION.
4. STRAW BALE CATCH BASIN STRUCTURES TO BE MAINTAINED AT ALL CATCH BASINS UNTIL VEGETATION IS ESTABLISHED.
5. UTILITY AND BUILDING CONSTRUCTION SHALL PROCEED IN CONJUNCTION WITH LOT DEVELOPMENT.
6. SHAPE, LOAM AND SEED SIDE SLOPES, DRAINAGE SWALES AND ANY DISTURBED AREAS.
7. AFTER GRASS HAS BEEN ESTABLISHED ON DISTURBED AREAS, CLEAN, REPAIR AND RESEED AS REQUIRED.
8. INSTALL SURFACE PAVEMENT.
9. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE TOWN STANDARDS. INSPECTION SHALL BE REQUIRED DURING CONSTRUCTION.

OWNER:

CITY OF DOVER, NH

Facilities, Grounds & Cemetery Div.

City of Dover
280 Central Ave.
Dover, NH

DESIGN BUILDER:

 **Careno Construction Company, LLC**
Design Build / Construction Managers / General Contractors

270 West Road - Suite 4A

Portsmouth, NH 03801

p. 603.436.1006 f. 603.436.6020

e. build@carenococonstruction.com

ARCHITECT:

 **PORT ONE** ARCHITECTS

959 Islington Street
Portsmouth, NH 03801

603.436.8891

info@portonearchitects.com

CIVIL CONSULTANTS

Engineers

Planners

Surveyors

P.O. Box 100

South Berwick

Maine

03908

207-364-2550

www.civcon.com



REVISION HISTORY:

#	DATE	ISSUANCE

SEAL:

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PROJECT NAME:

**Facilities, Grounds &
Cemetery Building**

DRAWING TITLE:

**MAINTENANCE
NOTES**

PROJECT No.: CC1927800

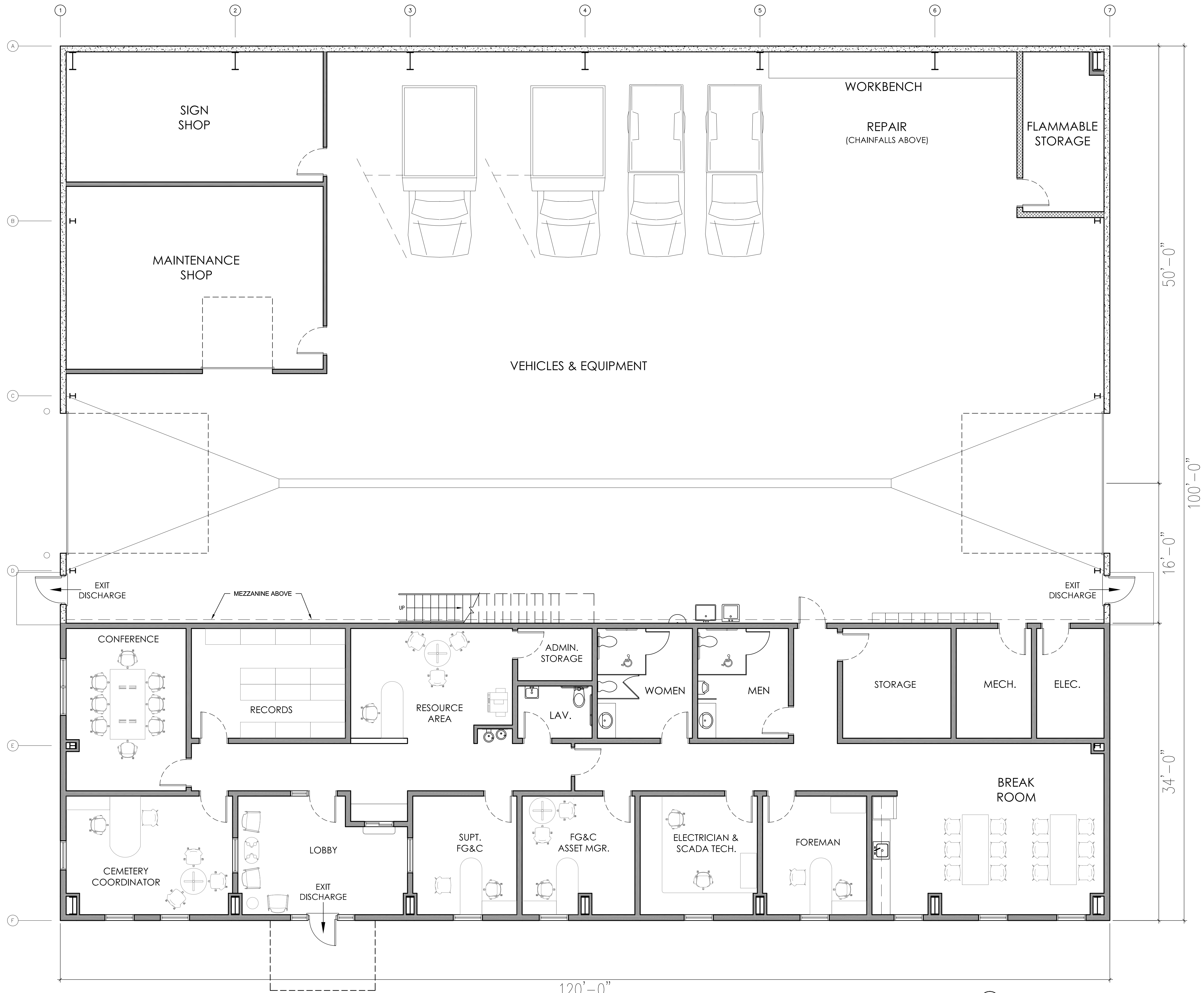
DATE: 10/3/2019

DRAWING SCALE:

SHEET NUMBER:

DESIGN DEVELOPMENT

L-4



OWNER:
CITY OF DOVER, NH
Facilities, Grounds & Cemetery Div.
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280 Central Ave.
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DESIGN BUILDER:
Careno Construction Company, LLC
Design Build / Construction Managers / General Contractors
270 West Road - Suite 4A
Portsmouth, NH 03801
p: 603.436.1306 f: 603.436.6020
e: build@carenoconstruction.com

ARCHITECT:
PORTONE ARCHITECTS
959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

CIVIL / STRUCTURAL ENGINEER:
CIVIL CONSULTANTS
Engineers - Planners - Surveyors
293 Main Street
South Berwick, ME

REVISION HISTORY:

#	DATE	ISSUANCE

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LOCUS MAP:

PROJECT NAME:
Facilities, Grounds & Cemetery Building

DRAWING TITLE:
OVERALL BUILDING FLOOR PLAN

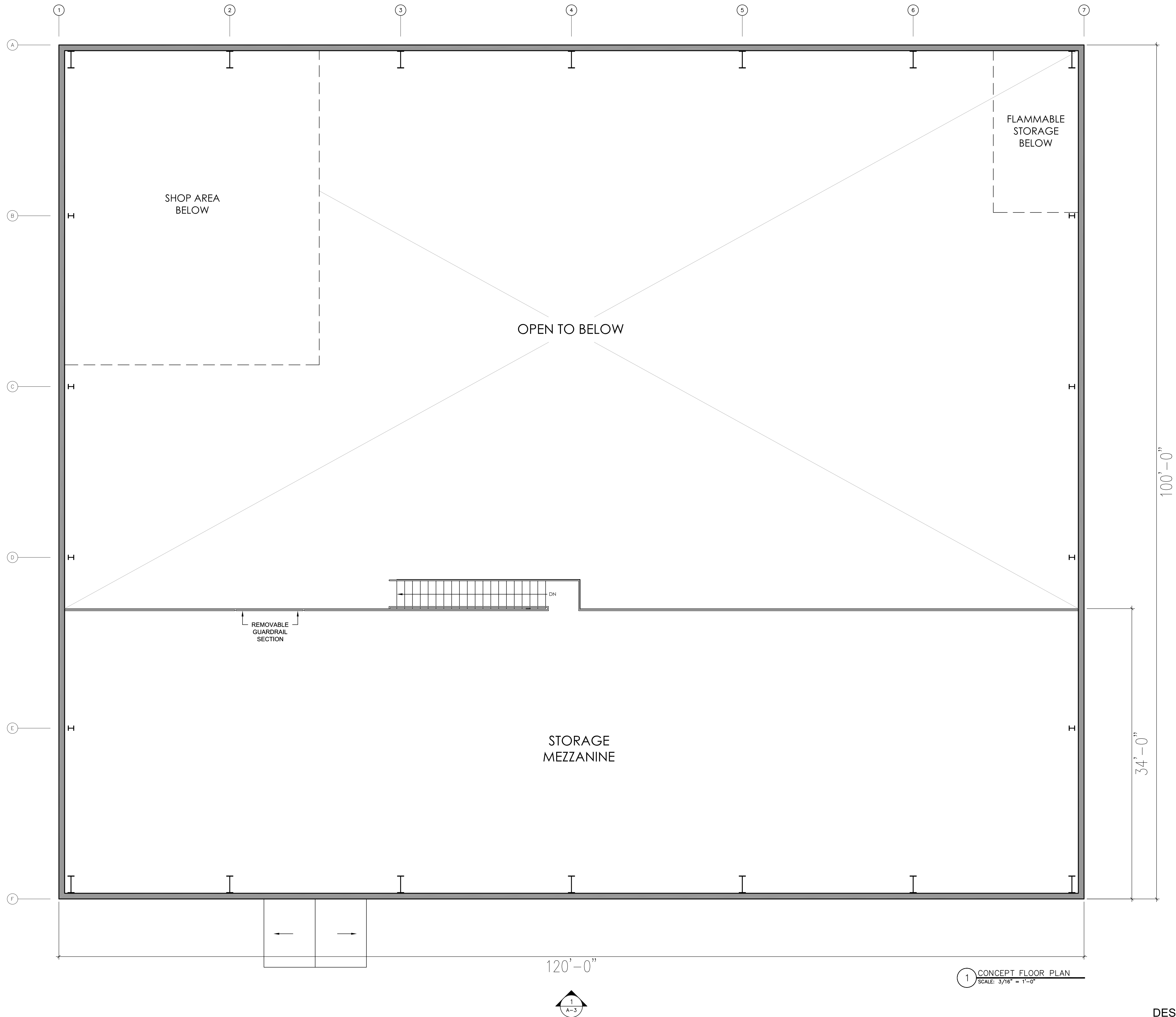
PROJECT No.:
-

DATE:
OCT. 3, 2019

DRAWING SCALE:

SHEET NUMBER:
A-1

1 BUILDING FLOOR PLAN
SCALE: 3/16" = 1'-0"



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270 West Road - Suite 4A
Portsmouth, NH 03801
p: 603.436.1006 f: 603.436.6020
e: build@carenoconstruction.com

ARCHITECT:
PORTONE ARCHITECTS
959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

CIVIL / STRUCTURAL ENGINEER:
CIVIL CONSULTANTS
Engineers - Planners - Surveyors
293 Main Street
South Berwick, ME

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SEAL:

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LOCUS MAP:

PROJECT NAME:
Facilities, Grounds & Cemetery Building

DRAWING TITLE:
MEZZANINE FLOOR PLAN

PROJECT No.:
-

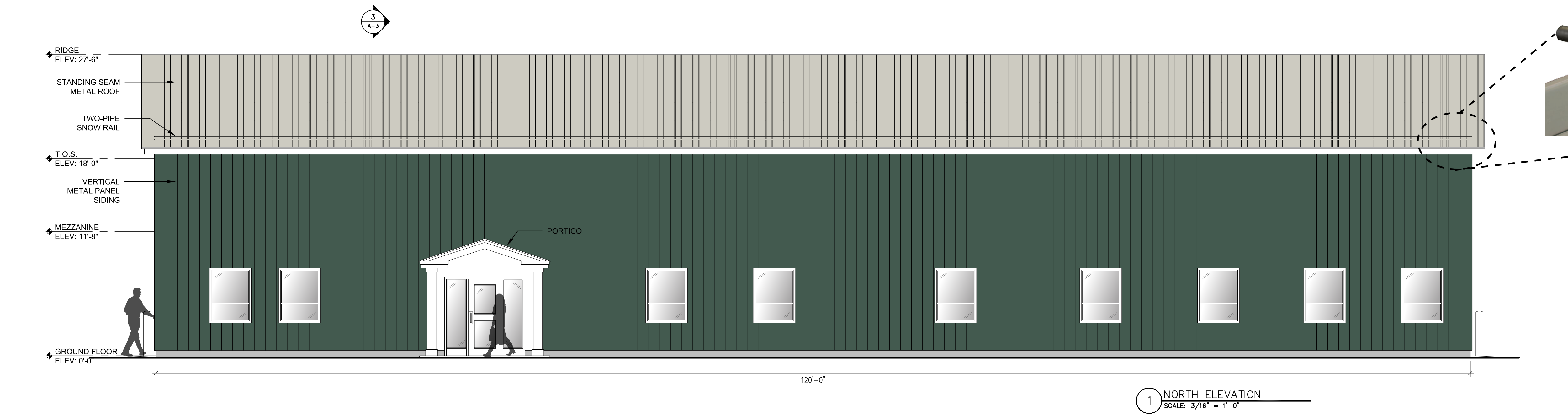
DATE:
OCT. 3, 2019

DRAWING SCALE:

SHEET NUMBER:
A-2

1 CONCEPT FLOOR PLAN
SCALE: 3/16" = 1'-0"

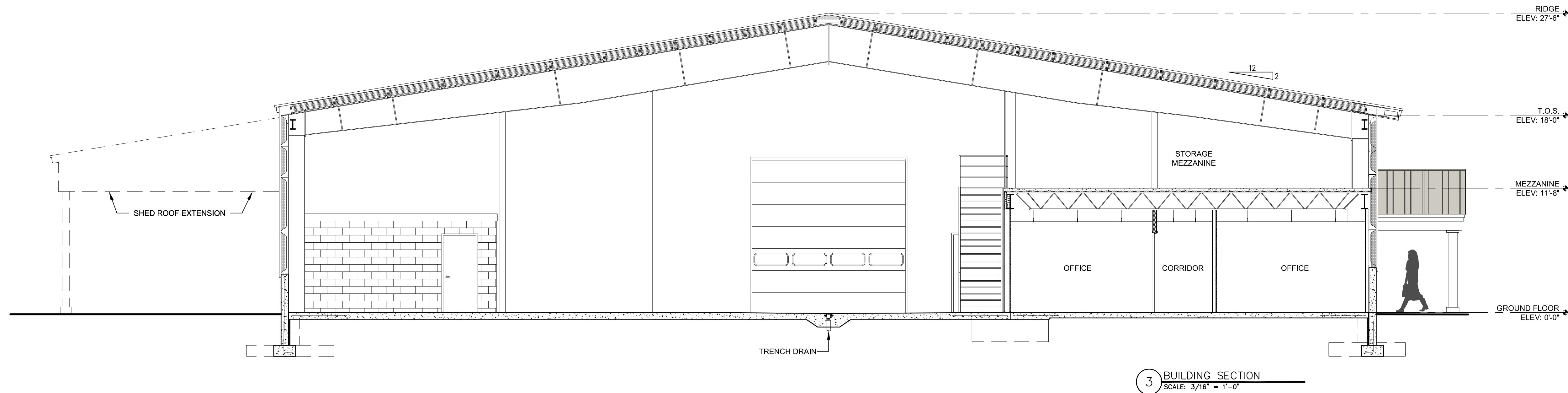
DESIGN DEVELOPMENT



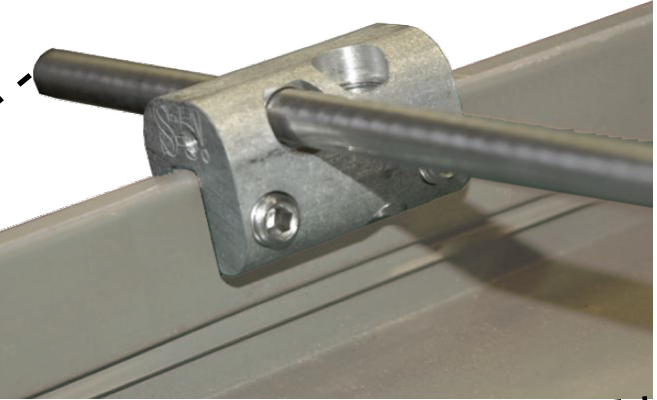
1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 BUILDING SECTION
SCALE: 3/16" = 1'-0"



OWNER:
CITY OF DOVER, NH
Facilities, Grounds & Cemetery Div.
City of Dover
288 Central Ave.
Dover, NH

DESIGN BUILDER:
Careno Construction Company, LLC
Design Build / Construction Managers / General Contractors
270 West Road - Suite 4A
Portsmouth, NH 03801
p. 603.436.1006 f. 603.436.6020
c. build@carenoconstruction.com

ARCHITECT:
PORTONE ARCHITECTS
959 Islington Street
Portsmouth, NH 03801
603.436.8891
info@portonearchitects.com

CIVIL / STRUCTURAL ENGINEER:
CIVIL CONSULTANTS
Engineers - Planners - Surveyors
293 Main Street
South Berwick, ME

REVISION HISTORY:

#	DATE	ISSUANCE

SEAL:

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LOCUS MAP:

PROJECT NAME:
Facilities, Grounds & Cemetery Building

DRAWING TITLE:
EXTERIOR ELEVATIONS & BUILDING SECTION

PROJECT NO.:
-

DATE:
OCT. 3, 2019

DRAWING SCALE:

SHEET NUMBER:
A-3