



CITY OF DOVER

PLANNING TECHNICAL REVIEW COMMITTEE –AGENDA

Meeting Type: Regular Meeting
Meeting Location: 1st Floor Conference Room – City Hall, Dover NH
Meeting Date: **Thursday, December 19, 2019**
Meeting Time: **10:30 AM**

1. 10:30 AM - 11:15 AM: Site Review for Sojourn Property Management, LLC, Assessor's Map 31, Lots 7 & 8, zoned CBD-Transit Oriented Development Sub-District, and located at 66 Third Street. (Proposal is for a change of use on the second floor where seven commercial units are proposed to be converted to 9 one-bedroom units as well as 1 two-bedroom unit). (P19-61)



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P19-77

Application Type: TRC Review
Applicant(s): Industrial Tower and Wireless, LLC
Owner(s): Industrial Tower and Wireless, LLC
Location: 200 Henry Law (Tax Map K, Lot 1-0-0)
Date: November 21, 2019

INTENT: Proposal is to construct a 150' communications tower and 80'x80' compound with gravel driveway.

Others:
Kevin Fadden, Industrial Tower and Wireless
Kevin Delaney, Industrial Tower and Wireless

LOTS/UNITS PROPOSED:

Communications Tower in addition to Existing Residential and Farm

Approval of 11/14/2019 Meeting Minutes

D. White moved to approve the minutes of November 14, 2019. F. Torr seconded. Vote: U/A

AGENDA ITEM #: 1

ACREAGE: 28.8 for subject parcel.
55. 18 between two parcels

ZONING DISTRICT: R-40

EXISTING LAND USE:
Residential/farm

SURROUNDING LAND USE:
Residential

ZBA ACTION: Z18-07/Z18-22,
ZBA decision to deny variance vacated through settlement out of court. ITW is granted a variance for a new tower on a lot where new facilities are not permitted. See US District Court Agreement for Judgment in Case No. 1:19-cv-00067-PB, filed 10/01/19.

PERMITS REQUIRED: N/A

WAIVERS REQUESTED: N/A

ATTENDANCE:

Members:

Donna Benton, Planning
Sgt. Marn Speidel, Police
Dan Barufaldi, Econ. Development
Frank Torr, Planning Board
Dave White, Engineering
Elena Piekut, Planning/Zoning
James Maxfield, Fire/Inspections

PLAN REVIEW:

Planning Comments:

- Provide copy of easement
- Provide letter to serve and acknowledgment of fall zone from Eversource
- Please revise plan to:
 - o Add owners' signatures and date
 - o Add LLS & PE signature
 - o Add dates and numbers of federal permits
 - o Add Planning file number P19-77
 - o Remove Dover approvals box
 - o Add note referencing Zoning Board cases Z18-07 and Z18-22 and US District Court agreement
 - o Add note regarding lighting provided within and around compound/tower
 - o Public safety impact fee (\$512) will be invoiced
 - o Reference or add abutter information on Sheet 2
 - o Provide rendering of tower (170-22.E(6)(a))
 - o Change fencing to 8' solid vinyl or wood (B.P required)
 - o Add Common Site Plan notes: 9, 10 (or waiver), 12, 13, 14, 15, 16, 17, 20, 21, 22, 25, 26, 28, 29, 31, 34, 40, & 41
 - o Provide responses or otherwise address provisions agreed to: 170-22.D(2)(a), (b), (c) and (g); 170-22.E (Preamble), (3) through (9), 170-22.H and 170-22.I.
 - o On sheet 3:
 - Show existing buildings
 - Indicate screening around equipment outside fenced area

Police Department Comments:

- Add note that snow storage is on-site

Fire/Inspections Comments:

- Add common note regarding year-round site access
- Show truck turning template

Engineering Comments: None

Economic Development Comment:

- Concerned about winter access



CITY OF DOVER

TECHNICAL REVIEW COMMITTEE MINUTES – P19-77

Application Type: TRC Review
Applicant(s): Industrial Tower and Wireless, LLC
Owner(s): Industrial Tower and Wireless, LLC
Location: 200 Henry Law (Tax Map K, Lot 1-0-0)
Date: November 21, 2019

Planning Board Comments:

- Natural buffer is sufficient
- No Sunday construction hours

Next Steps:

Resubmit by December 2nd for
December 10th Planning Board meeting.

Adjournment:

D. White made a motion to adjourn at
11:55 am. Seconded by D. Benton Vote:
U/A.

DRAFT

3
A1

EXISTING OFFICE

EXISTING ENTRY
TO RESTAURANT

NEW ENTRY
DOOR

RATED
VESTIBULE

NEW LIFT WITH
AT GRADE
ACCESS, FIRST
FL, AND
SECOND FL

NEW ENTRY
DOOR

NEW DECK
AT ENTRY

DN

GRADING
AND/OR ADA
COMPLIANT
RAMP WILL BE
REQUIRED TO
ACCESS LIFT
FROM
EXTERIOR

1 Level 1 - Stair option 2
1/8" = 1'-0"

3
A1

13' - 6"

13' - 6"

DN

RATED
VESTIBULE

NEW LIFT WITH
AT GRADE
ACCESS, FIRST
FL, AND
SECOND FL

WINDOWS TO BE
INFILLED WITH 1
HOUR RATED WALL
PARTITION

34' - 6"

2 Level 2 - Stair option 2
1/8" = 1'-0"

3 Section of Stair1
1/8" = 1'-0"

66 THIRD STREET
DOVER, NH

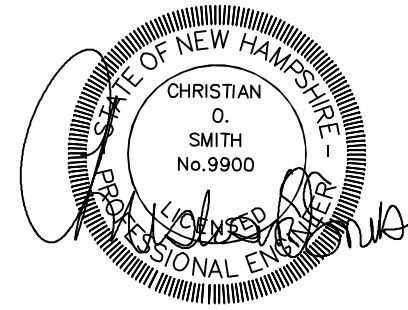
ENTRY STAIR/ LULA OPTION

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

RECEIVED
Planning Office
DEC 03 2019
10/16/2019
1/8" = 1'-0"
A1

RESIDENTIAL APARTMENTS
66 THIRD STREET
DOVER, NH

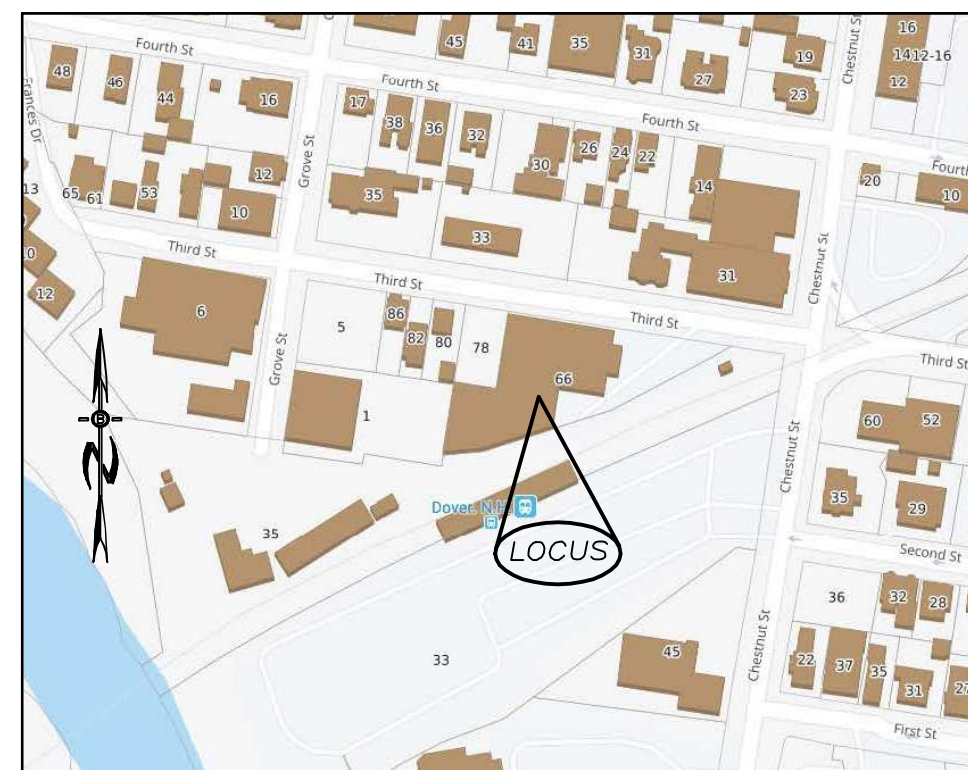
CIVIL ENGINEERS:



LAND SURVEYORS:

McENEANEY SURVEY ASSOCIATES, INC.
24 CHESTNUT STREET
DOVER, NH 03820
1-603-742-0911

LOCATION MAP



INDEX

TITLE SHEET

- | | |
|------|--------------------------|
| 1 | EXISTING CONDITIONS PLAN |
| 2 | PARKING & PAVEMENT PLAN |
| 3 | NEIGHBORHOOD PLAN |
| 4 | STREETSCAPE PLAN |
| 5-13 | ARCHITECTURAL PLANS |

RECORD OWNER/APPLICANT

SOJOURN PROPERTY
MANAGEMENT, LLC
750 EXETER ROAD
HAMPTON, N.H. 03842-1022

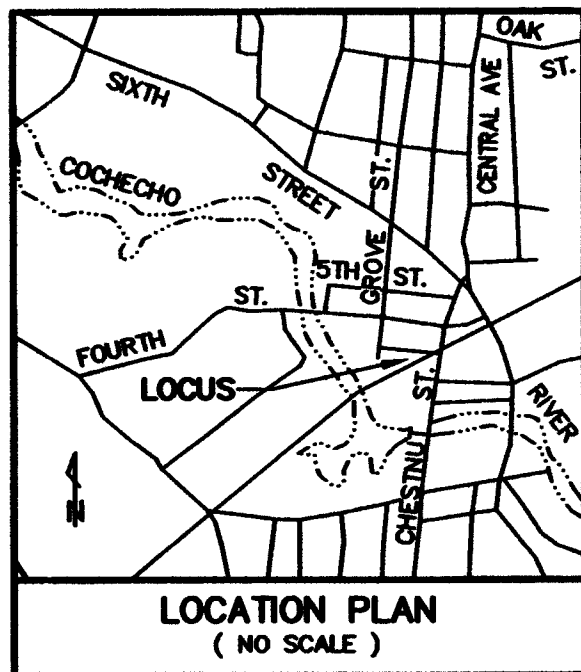
PLAN SET LEGEND

5/8" REBAR		PROPOSED LIGHT POLE	
DRILL HOLE		PROPOSED WALL LIGHT	
CONC. BOUND		PROPOSED PARKING COUNT	
UTILITY POLE		OVERHEAD ELEC. LINE	
DRAIN MANHOLE		FENCING	
SEWER MANHOLE		DRAINAGE LINE	
EXISTING LIGHT POLE		SEWER LINE	
EXISTING CATCH BASIN		GAS LINE	
PROPOSED CATCH BASIN		WATER LINE	
WATER GATE		STONE WALL	
WATER SHUT OFF		TREE LINE	
HYDRANT		ABUT. PROPERTY LINES	
PINES, ETC.		EXIST. PROPERTY LINES	
MAPLES, ETC.		BUILDING SETBACK LINES	
EXIST. SPOT GRADE		EXIST. CONTOUR	
PROP. SPOT GRADE		PROP. CONTOUR	
DOUBLE POST SIGN		SOIL LINES	
SINGLE POST SIGN			

PB CASE #19-61
OWNER'S SIGNATURE:

PLANNNG FILE #P19-61

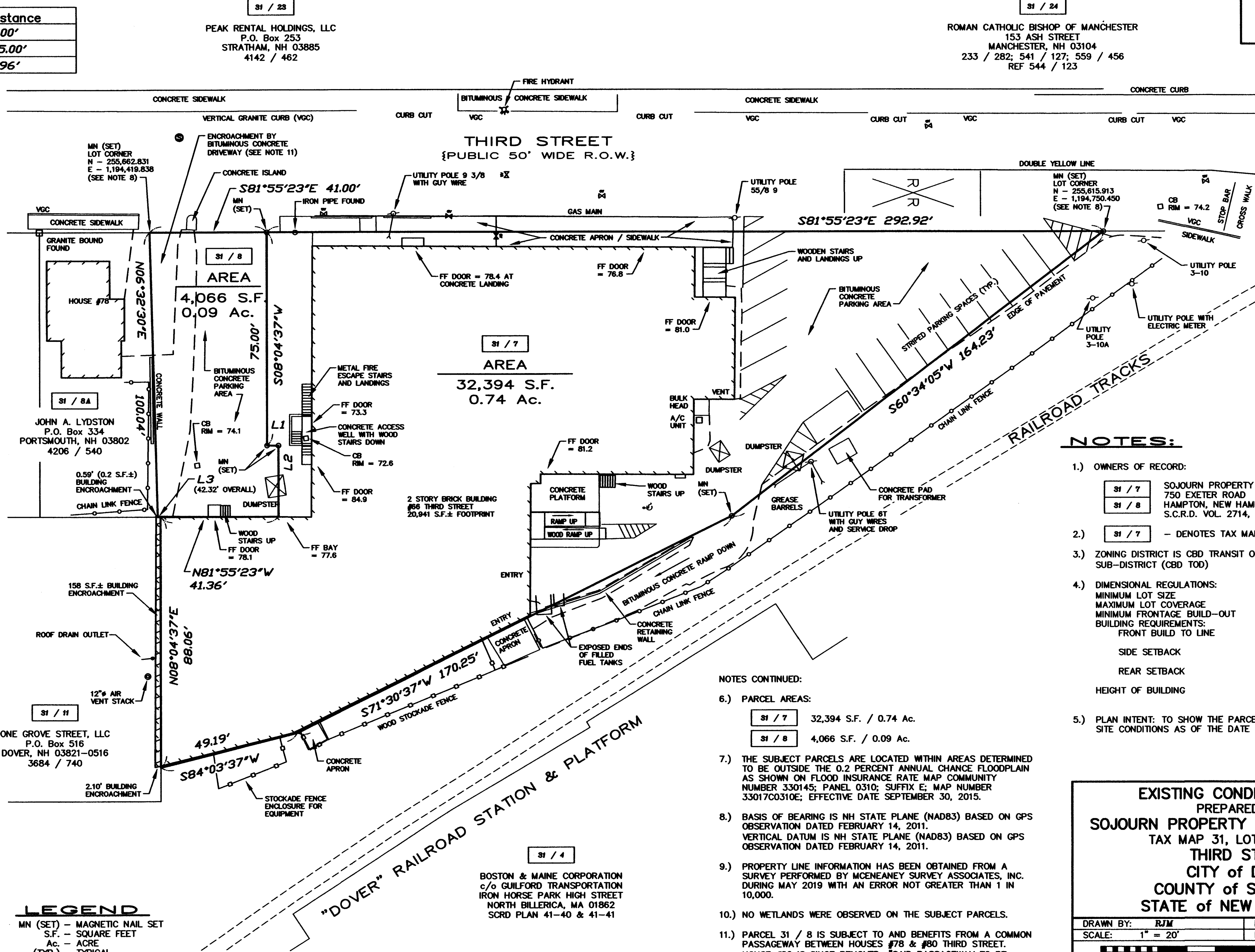
	REVISIONS:	DATE:
1	REVISED PER TRC:	9/3/19
2	REVISED PER TRC REVIEW	11-25-19
3		
4		
5		



No.	Bearing	Distance
L1	S81°55'23"E	4.00'
L2	S08°04'37"W	25.00'
L3	N81°55'23"W	0.96'

REFERENCE PLANS:

- PLAN OF LAND M & M BAKERIES INC., DOVER, NEW HAMPSHIRE. SCALE: 1" = 20'; DATED: DECEMBER 1954; BY: G.L. DAVIS. RECORDED S.C.R.D. POCKET 2, FOLDER 21, PLAN 6.
- PLAN OF HEMON PROPERTY, THIRD STREET, DOVER, N.H. SCALE: 1" = 20'; DATED: SEPTEMBER 1954; BY: G.L. DAVIS & ASSOCIATES. RECORDED S.C.R.D. POCKET 1, FOLDER 5, PLAN 10.
- LAND IN DOVER, NH - BOSTON & MAINE CORPORATION TO FRANK GRIMES. SCALE: 1" = 40'; DATED: OCTOBER 1925; B+M RR VAL. SEC. 2, MAP 65, PCLS 15, 16, 17. RECORDED S.C.R.D. POCKET 7, FOLDER 4, PLAN 30.
- LAND IN DOVER, NH - BOSTON & MAINE CORPORATION TO JOSEPH G. SAWTELLE, JR., CHESTNUT STREET, COUNTY OF STRAFFORD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 30'; DATED: JUNE 1992, REVISED THROUGH 10/01/1992; BY: AMBIT SURVEY. RECORDED S.C.R.D. PLAN 41-40 AND 41-41.
- RIGHT-OF-WAY AND TRACK MAP - BOSTON AND MAINE R.R. - OPERATED BY THE BOSTON AND MAINE R.R. - STATION 3495+77 TO STATION 3545+57 - V2NH/65. SCALE: 1" = 100'; DATED: JUNE 30, 1914, REVISED THROUGH 3-10-2004; BY: OFFICE OF VALUATION ENGINEER, BOSTON, MASS. ON FILE WITH RAILROAD OFFICE, NORTH BILLERICA, MA.
- LOT LINE REVISION PLAN LAND OF BOSTON & MAINE CORPORATION TO ANTHONY CONSENTINO REVOCABLE TRUST, GROVE STREET, DOVER, N.H., TAX MAP 31, LOT 4 & 11. SCALE: 1" = 20'; DATED: JULY 28, 2008, REVISED THROUGH 9-19-08; BY: BERRY SURVEYING & ENGINEERING. RECORDED S.C.R.D. PLAN 95-88.
- SITE PLAN - CONDOMINIUM PLAN IN DOVER, NH SHOWING UNITS 1 AND 2 OF THE 86-88 THIRD STREET CONDOMINIUM AT 86 & 88 THIRD STREET (ASSESSORS MAP 310 LOT 10). SCALE: 1" = 10'; DATED: APRIL 27, 2015; BY: MILLENNIUM ENGINEERING, INC. RECORDED S.C.R.D. PLAN 110-01.
- LOT LINE REVISION FOR 6 GROVE STREET RESIDENCES, LLC & GOTHAM HOLDINGS, LLC, THIRD & GROVE STREET, DOVER, NH, TAX MAP 31, LOT 14 & 4-D-1. SCALE: 1" = 20'; DATED: NOVEMBER 21, 2017, REVISED THROUGH 5/10/18; BY: BERRY SURVEYING & ENGINEERING. RECORDED S.C.R.D. PLAN 116-35.
- LAND OF ANTHONY CONSENTINO, GROVE STREET, DOVER, NH. SCALE: 1" = 20'; DATED: NOVEMBER 1, 1988; BY: BERRY SURVEYING & ENGINEERING. RECORDED S.C.R.D. PLAN 35-129.
- LOT LINE RELOCATION PLAN FOR BOSTON & MAINE CORPORATION TO FIRST NATIONAL BANK OF PORTSMOUTH, THIRD & GROVE STREET, COUNTY OF STRAFFORD, DOVER, N.H. SCALE: 1" = 20'; DATED: NOVEMBER 5, 1993, REVISED THROUGH 3-16-94; BY: RICHARD P. MILLETTE AND ASSOCIATES. RECORDED S.C.R.D. PLAN 44-12.
- LAND IN DOVER, N.H. BOSTON AND MAINE RAILROAD TO M. AND M. BAKERIES, INC. SCALE: 1" = 40'; DATED: AUGUST 1946; BY: B+M ENGINEER OF DESIGN. RECORDED S.C.R.D. POCKET 2, FOLDER 15 PLAN 25.



LEGEND

- MN (SET) - MAGNETIC NAIL SET
- S.F. - SQUARE FEET
- Ac. - ACRE
- (TYP.) - TYPICAL
- ± - MORE OR LESS
- S.C.R.D. - STRAFFORD COUNTY REGISTRY OF DEEDS
- UP - UTILITY POLE
- SMH - SEWER MANHOLE
- N - NORTHING
- E - EASTING
- Ø - DIAMETER
- ⊗ - FIRE HYDRANT
- ⊕ - WATER GATE VALVE
- ⊖ - GAS VALVE
- ♿ - HANDICAP ACCESSIBLE PARKING

NO.	DATE	DESCRIPTION	BY	CHK
REVISIONS				
19-2229		BOUNDARY	19-03	
PROJECT NO		TYPE	FIELDBOOK & PAGES	

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 676:18)
5/10/19
DATE: / KEVIN M. MCNEANEY U.S. #661

NOTES:

- OWNERS OF RECORD:
 - 31 / 7 SOJOURN PROPERTY MANAGEMENT, LLC
750 EXETER ROAD
HAMPTON, NEW HAMPSHIRE 03842-1022
S.C.R.D. VOL. 2714, PAGE 680
 - 31 / 8 - DENOTES TAX MAP AND PARCEL NUMBER.
- ZONING DISTRICT IS CBD TRANSIT ORIENTED DEVELOPMENT SUB-DISTRICT (CBD TOD)
- DIMENSIONAL REGULATIONS:
 - MINIMUM LOT SIZE = N/A
 - MAXIMUM LOT COVERAGE = 75 TO 100 PERCENT
 - MINIMUM FRONTAGE BUILD-OUT = 80 PERCENT
 - BUILDING REQUIREMENTS:
 - FRONT BUILD TO LINE = 0 FEET MINIMUM
 - SIDE SETBACK = 0 FEET MAXIMUM
 - REAR SETBACK = 25 FEET MINIMUM
 - HEIGHT OF BUILDING = 25 FEET MAXIMUM
 - = 3 STORY MINIMUM
 - = 5 STORY MAXIMUM
- PLAN INTENT: TO SHOW THE PARCEL BOUNDARIES AND EXISTING SITE CONDITIONS AS OF THE DATE OF THE SURVEY.

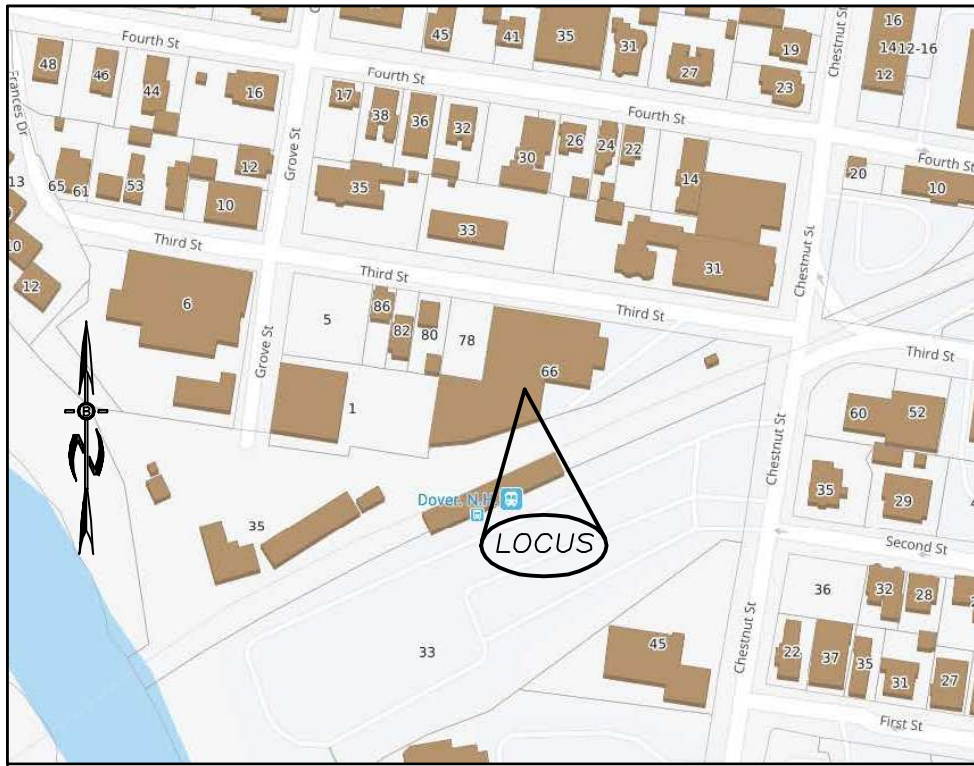
EXISTING CONDITIONS PLAN
PREPARED FOR
SOJOURN PROPERTY MANAGEMENT, LLC
TAX MAP 31, LOT Nos. 7 & 8
THIRD STREET
CITY of DOVER
COUNTY OF STRAFFORD
STATE of NEW HAMPSHIRE

DRAWN BY: RJM FILE: W10 cP2229\2229 NAD-83
SCALE: 1" = 20' DATE: MAY 10, 2019

20 10 0 10 20 40 60 80

P.O. Box 681 - 24 CHESTNUT STREET
DOVER, NH 03820 (603) 742-0911

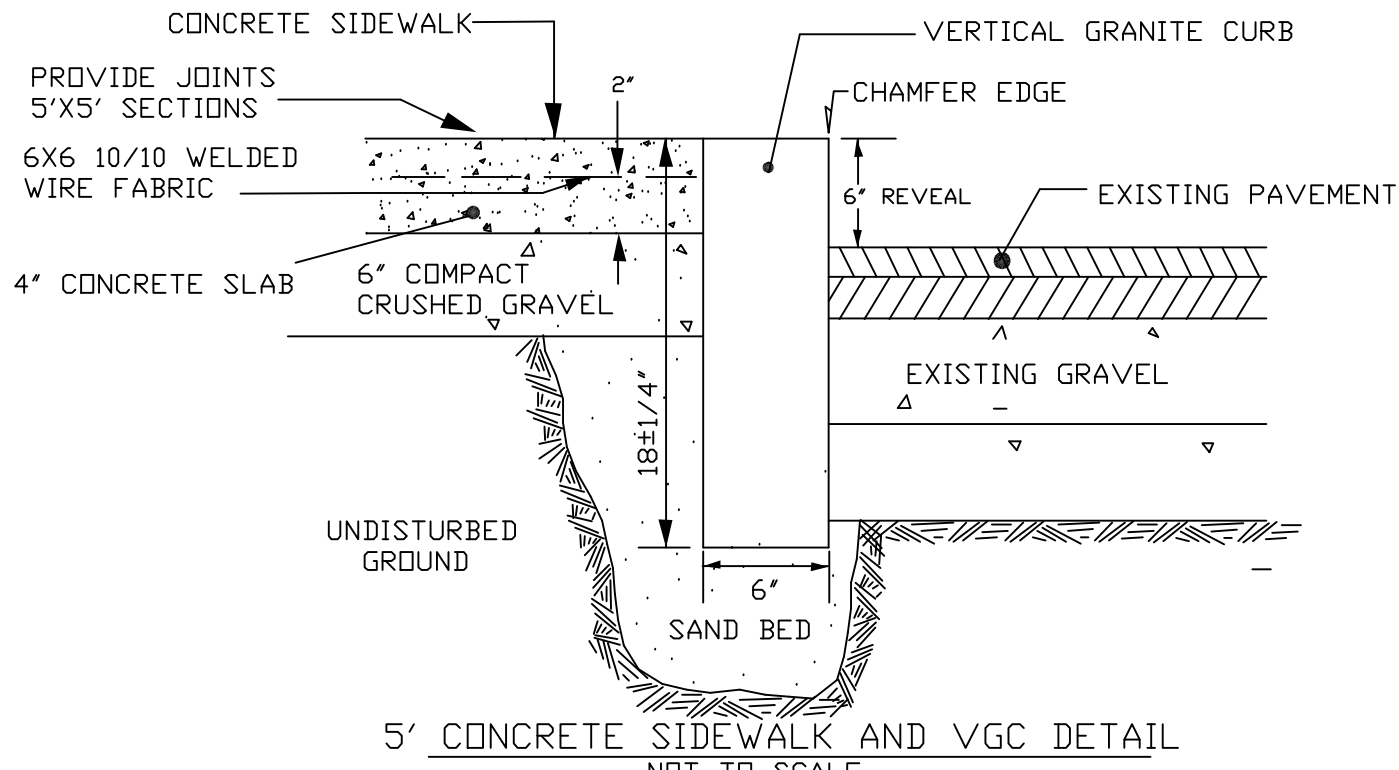
SURVEYING - PLANNING - CONSULTING



LOCATION MAP

PARKING CALCULATIONS:
TOTAL NUMBER OF RES. UNITS = 10 ARTICLE XI
OFF-STREET PARKING AND LOADING 170-44 TO BE MET

TOTAL SPACES EXISTING FOR CURRENT USES = 30
MAXIMUM = 10 NEW RES. UNITS x 1.65 = 17
REDUCTION FOR FORMER USES ON 2ND FLOOR = 5.75
19.25
TOTAL EMPLOYEES FOR COMMERCIAL USES TO REMAIN =
20 +/-
TOTAL SPACES PROVIDED = 23 (PLUS 7 STREET PARKING
STALLS)
GYMNASTICS STUDIO LEASES PARKING AT 5 GROVE ST
FOR EVENTS, ETC. (28 +/- SPACES)



ZONING DISTRICT IS CBD TDD

DIMENSIONAL REGULATIONS:
MINIMUM LOT SIZE
MAXIMUM LOT COVERAGE
MINIMUM FRONTAGE BUILD-OUT
BUILDING REQUIREMENTS:
FRONT BUILD TO LINE

REQUIRED
= N/A
= 75 TO 100 PERCENT
= 80 PERCENT

PROVIDED
= 0.74 AC
= 95%
= 100%

SIDE SETBACK

REAR SETBACK

HEIGHT OF BUILDING

= 0 FEET MINIMUM
= 0 FEET MAXIMUM
= 10 FEET MINIMUM
= 25 FEET MAXIMUM
= 0 FEET MINIMUM
= 25 FEET MAXIMUM
= 3 STORY MINIMUM
= 5 STORY MAXIMUM

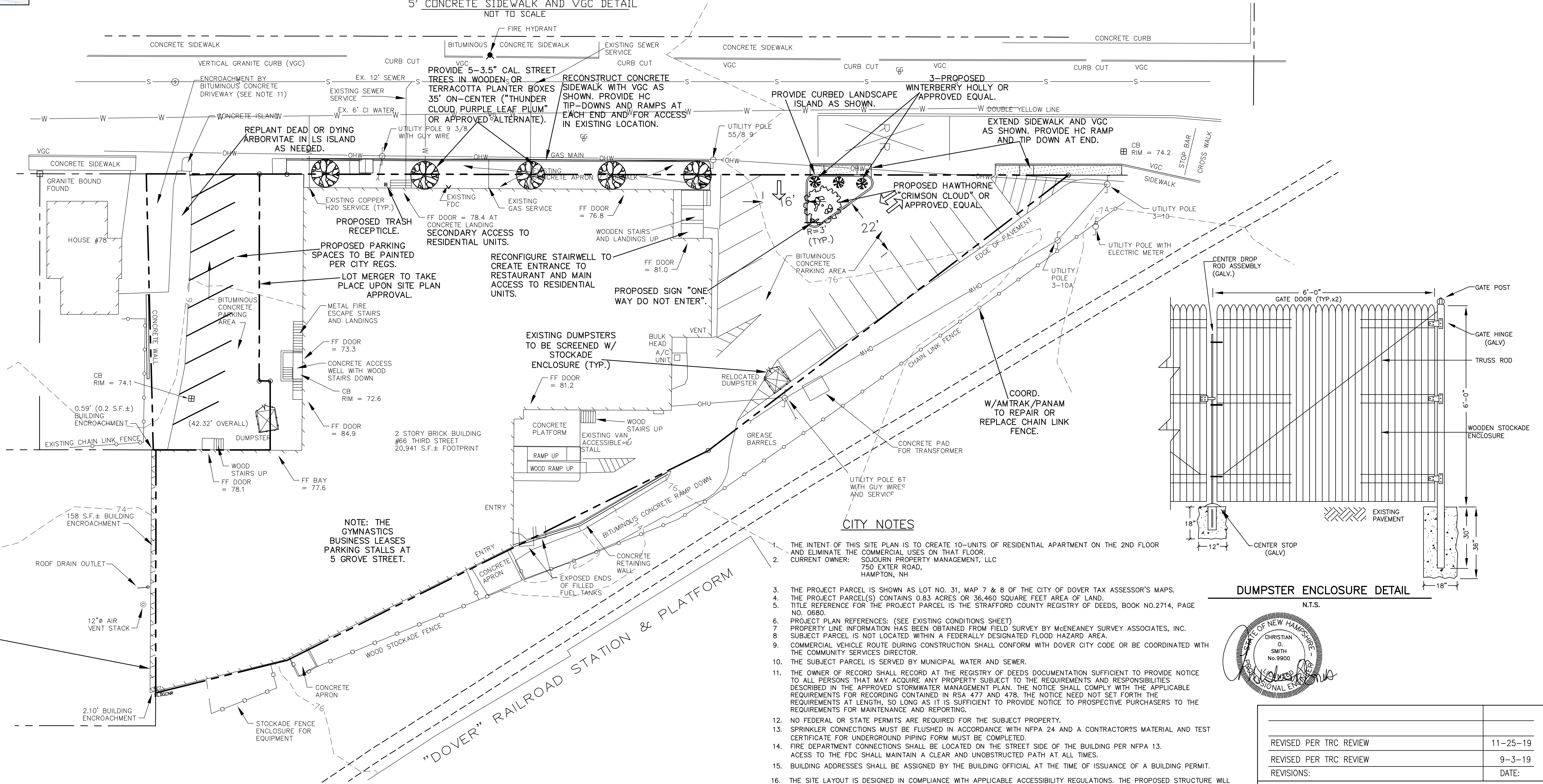
= 5.3'
= 0 FEET
= 0 FEET
= 0 FEET
= 2-STORY

PREPARED FOR:

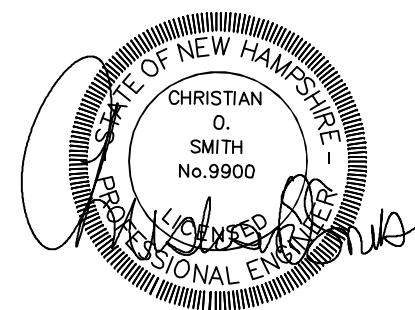
SOJOURN PROPERTY
MANAGEMENT, LLC
750 EXETER ROAD
HAMPTON, N.H. 03842-1022

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



DUMPSTER ENCLOSURE DETAIL
N.T.S.

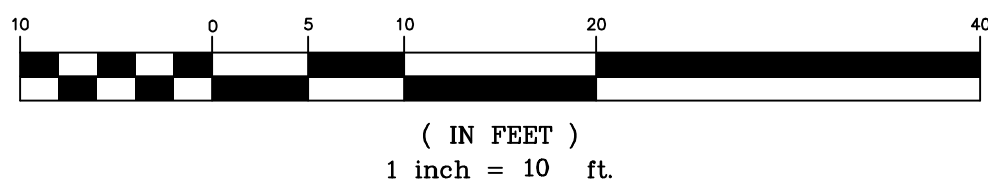


- CITY NOTES**
- THE INTENT OF THIS SITE PLAN IS TO CREATE 10-UNITS OF RESIDENTIAL APARTMENT ON THE 2ND FLOOR AND ELIMINATE THE COMMERCIAL USES ON THAT FLOOR.
 - CURRENT OWNER: SOJOURN PROPERTY MANAGEMENT, LLC
750 EXETER ROAD,
HAMPTON, NH
 - THE PROJECT PARCEL IS SHOWN AS LOT NO. 31, MAP 7 & 8 OF THE CITY OF DOVER TAX ASSESSOR'S MAPS.
 - THE PROJECT PARCEL(S) CONTAINS 0.83 ACRES OR 36,460 SQUARE FEET AREA OF LAND.
 - TITLE REFERENCE FOR THE PROJECT PARCEL IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, BOOK NO.2714, PAGE NO. 0680.
 - PROJECT PLAN REFERENCES: (SEE EXISTING CONDITIONS SHEET)
 - PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM FIELD SURVEY BY M-ENEANEY SURVEY ASSOCIATES, INC.
 - SUBJECT PARCEL IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA.
 - COMMERCIAL VEHICLE ROUTE DURING CONSTRUCTION SHALL CONFORM WITH DOVER CITY CODE OR BE COORDINATED WITH THE COMMUNITY SERVICES DIRECTOR.
 - THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
 - THE OWNER OF RECORD SHALL RECORD AT THE REGISTRY OF DEEDS DOCUMENTATION SUFFICIENT TO PROVIDE NOTICE TO ALL PERSONS THAT MAY ACQUIRE ANY PROPERTY SUBJECT TO THE REQUIREMENTS AND RESPONSIBILITIES DESCRIBED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE NOTICE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR RECORDING CONTAINED IN RSA 477 AND 478. THE NOTICE NEED NOT SET FORTH THE REQUIREMENTS AT LENGTH, SO LONG AS IT IS SUFFICIENT TO PROVIDE NOTICE TO PROSPECTIVE PURCHASERS TO THE REQUIREMENTS FOR MAINTENANCE AND REPORTING.
 - NO FEDERAL OR STATE PERMITS ARE REQUIRED FOR THE SUBJECT PROPERTY.
 - SPRINKLER CONNECTIONS MUST BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND A CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM MUST BE COMPLETED.
 - FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13. ACCESS TO THE FDC SHALL MAINTAIN A CLEAR AND UNOBSTRUCTED PATH AT ALL TIMES.
 - BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
 - THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. (I.E. IBC, ANSI-117.1) AND NH RSA 155-A:5.
 - ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURES WITH RATES OF APPLICATION.
 - A LETTER OF CREDIT FOR THE COST OF REVEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED, AND THE APPROVED CONSTRUCTION SIGN INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
 - SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7 AM-6 PM, AND SATURDAY 9 AM-4 PM. HOURS OF CONSTRUCTION MUST BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR. SAID SIGNAGE MUST BE LOCATED AND APPROVED BY THE CITY ENGINEER OR ASSISTANT CITY MANAGER.
 - A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
 - THE PROPOSED USE FOR THE STRUCTURE IS 10-UNITS OF RESIDENTIAL APARTMENTS (2ND FLOOR), EXISTING PIZZA RESTAURANT, GYMNASTICS STUDIO AND EXISTING COMMERCIAL OFFICES.

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- SPOT GRADE
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- WETLAND BOUNDARY
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

GRAPHIC SCALE



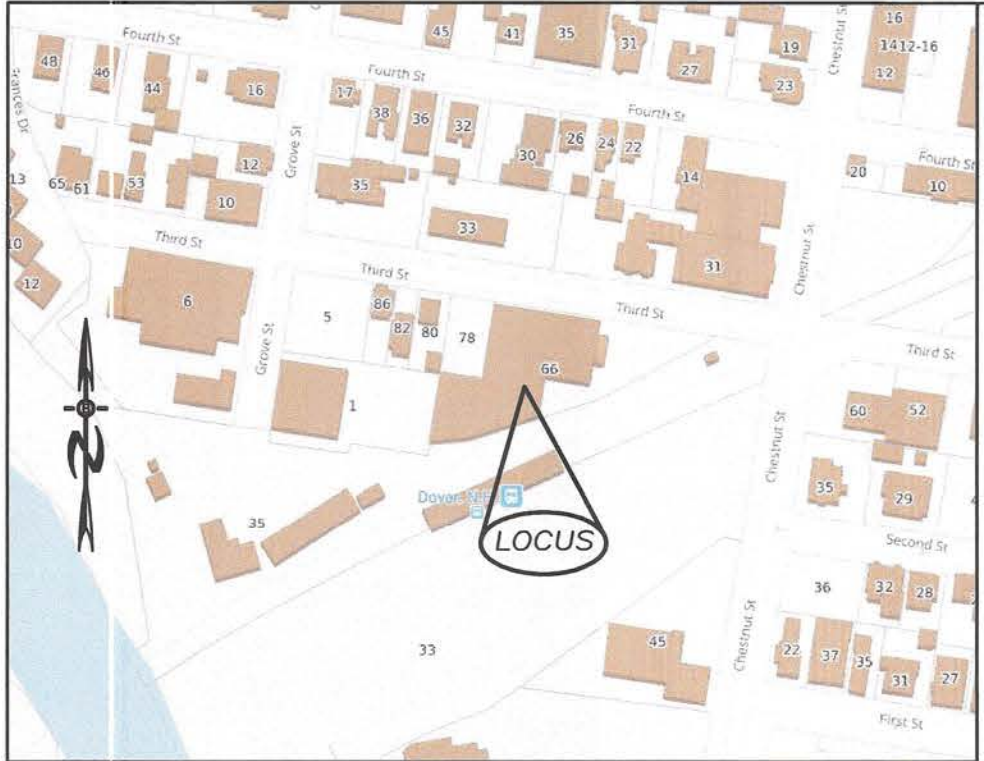
PB CASE #19-61

OWNER'S SIGNATURE:

PARKING & PAVEMENT PLAN

SOJOURN PROPERTY MANAGEMENT, LLC
THIRD STREET
DOVER, NH
TAX MAP 31 LOTS 7 & 8

DATE:	JULY, 2018	SCALE:	1"=10'
PROJ. NO:	NH-1183	SHEET NO.	2 OF 2



LOCATION MAP



ZONING DISTRICT IS CBD TOD

DIMENSIONAL REGULATIONS:

MINIMUM LOT SIZE = N/A

MAXIMUM LOT COVERAGE = 75 TO 100 PERCENT

MINIMUM FRONTAGE BUILD-OUT = 80 PERCENT

BUILDING REQUIREMENTS:

FRONT BUILD TO LINE = 0 FEET MINIMUM

SIDE SETBACK = 0 FEET MAXIMUM

REAR SETBACK = 10 FEET MINIMUM

HEIGHT OF BUILDING = 25 FEET MAXIMUM

FRONT BUILD TO LINE = 0 FEET MINIMUM

SIDE SETBACK = 0 FEET MAXIMUM

REAR SETBACK = 25 FEET MAXIMUM

HEIGHT OF BUILDING = 5 STORY MINIMUM

FRONT BUILD TO LINE = 5 STORY MAXIMUM

PREPARED FOR:

SOJOURN PROPERTY
MANAGEMENT, LLC
750 EXETER ROAD
HAMPTON, N.H. 03842-1022

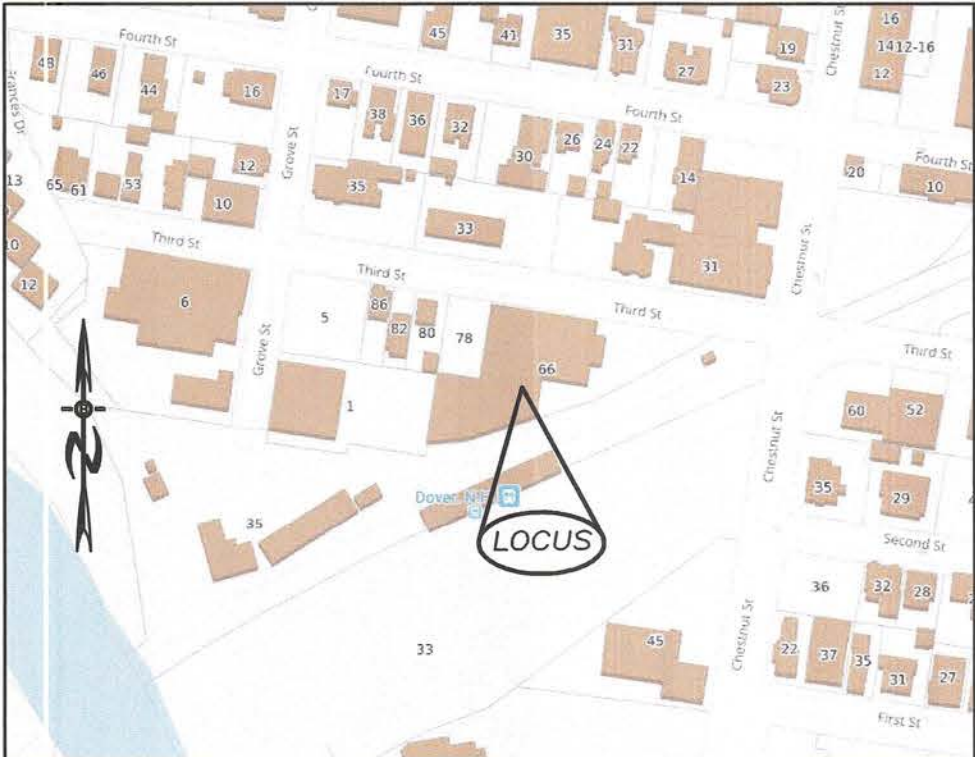
BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

ADJUTING PARCEL INFORMATION

Property ID	Location	Owner 1	Owner Address 1	City	State	Zip
06030-000000	35 SECOND ST	ROSE SANDRA C & SPIELMAN STEVEN B	10 FERN WAY	MADEBURY	NH	03823
06044-000000	60 THIRD ST	WARNEY JAMES & LILIAN TRUST	88 COUNTY FARM ROAD	DOVER	NH	03820
06054-000000	THIRD ST	BUSH LY & MARIE NH	HIGH STREET	NORTH BILLERICA	MA	01862
06054-000000	THIRD ST	IRON HORSE PARK	288 CENTRAL AVE	DOVER	NH	03820
06054-000000	CHESTNUT ST	CITY OF DOVER	288 CENTRAL AVE	DOVER	NH	03820
31004-000000	35 37 CHESTNUT ST	BUSH LY & MARIE NH	HIGH STREET	NORTH BILLERICA	MA	01862
31004-000000	35 37 CHESTNUT ST	IRON HORSE PARK	PO BOX 12913	SHAWNEE MISSION	KS	66203-2913
31004-000000	33 CHESTNUT ST	SPRINT COMMUNICATIONS LLC	3 PENSTOCK WAY	NEWMARKET	NH	03857-4416
31004-000000	33 CHESTNUT ST	COO PROPTAX DEPT	288 CENTRAL AVE	DOVER	NH	03820
31008-000000	80 THIRD ST	CITY OF DOVER	PO BOX 334	PORTSMOUTH	NH	03802
31008-000000	82 84 THIRD ST	LYDSTON JOHN A	82 THIRD STREET	DOVER	NH	03820
31010-000000	86 88 THIRD ST	GRASS ARTHUR	13 COPELAND DR	DOVER	NH	03867
31010-000000	86 THIRD ST	ERNEST 39 HOLDING LLC	13 COPELAND DR	DOVER	NH	03867
31010-000000	86 THIRD ST	ERNEST 39 HOLDING LLC	13 COPELAND DR	ROCHESTER	NH	03867
31011-000000	1 GROVE ST	ONE GROVE STREET LLC	PO BOX 516	DOVER	NH	03821-0516
31012-000000	5 GROVE ST	BRADFORD DAWN REAL ESTATE LLC	PO BOX 405	RAYMOND	NH	03077
31022-000000	35 THIRD ST	ABK REALTY MANAGEMENT LLC	35 THIRD ST	DOVER	NH	03820-3316
31023-000000	33 THIRD ST	PEAK RENTAL HOLDINGS LLC	PO BOX 253	STRATHAM	NH	03885
31024-000000	31 THIRD ST	ROMAN CATHOLIC BISHOP	153 ASH ST	MANCHESTER	NH	03104
31027-000000	14 16 FOURTH ST	FISCHER BRIAN J	423 CENTRAL AV	DOVER	NH	03820-3411
31027-000000	22 FOURTH ST	FISCHER BRIAN J	423 CENTRAL AV	DOVER	NH	03820-3411
31028-000000	24 FOURTH ST	ROWELL ANNE K	13 WILBROD AVE	DOVER	NH	03820-2304
31029-000000	26 FOURTH ST	RICHARDS PAUL & BEVERLY L J TRUST	26 FOURTH STREET	DOVER	NH	03820
31030-000000	28 FOURTH ST	VELAZQUEZ DAVID & VELAZQUEZ RACHEL	28 FOURTH ST	DOVER	NH	03820
31031-000000	30 FOURTH ST	BONDI MICHAEL E & BONDI DENISE A	30 FOURTH ST	DOVER	NH	03820
31032-000000	32 34 FOURTH ST	KIMBALL JAMES C & AHLBERG SONJA E	32 FOURTH ST	DOVER	NH	03820-2922
31034-000000	36 FOURTH ST	DBS HOLDINGS LLC	71 DANIELLE LN	DOVER	NH	03820
31035-000000	38 40 FOURTH ST	REILLY BERNARD R	38 FOURTH ST	DOVER	NH	03820
31037-000000	60 THIRD ST	SOJOURN PROPERTY MANAGEMENT LLC	750 EXETER RD	HAMPTON	NH	03842-1022
31038-000000	78 THIRD ST	SOJOURN PROPERTY MANAGEMENT LLC	750 EXETER RD	HAMPTON	NH	03842-1022

REVISED TO ADD AERIAL UNDELAY:		9-3-19
REVISIONS:		DATE:
NEIGHBORHOOD PLAN		
SOJOURN PROPERTY MANAGEMENT, LLC THIRD STREET DOVER, NH TAX MAP 31 LOT 7		
DATE:	JULY, 2018	SCALE: 1" = 50'
PROJ. NO:	NH-1183	SHEET NO. 1 OF 1



LOCATION MAP

ZONING DISTRICT IS CBD TOD

DIMENSIONAL REGULATIONS:

MINIMUM LOT SIZE = N/A

MAXIMUM LOT COVERAGE = 75 TO 100 PERCENT

MINIMUM FRONTAGE BUILD-OUT = 80 PERCENT

BUILDING REQUIREMENTS:

FRONT BUILD TO LINE = 0 FEET MINIMUM

SIDE SETBACK = 0 FEET MAXIMUM

REAR SETBACK = 10 FEET MINIMUM

HEIGHT OF BUILDING = 25 FEET MAXIMUM

= 0 FEET MINIMUM

= 25 FEET MAXIMUM

= 3 STORY MINIMUM

= 5 STORY MAXIMUM

PREPARED FOR:

SOJOURN PROPERTY
MANAGEMENT, LLC
750 EXETER ROAD
HAMPTON, N.H. 03842-1022

BEALS · ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX. 603-583-4863



VIEW LOOKING EAST



VIEW LOOKING WEST

REVISED PER TRC REVIEW	9-3-19
REVISIONS:	DATE:
STREETSCAPE PLAN	
SOJOURN PROPERTY MANAGEMENT, LLC THIRD STREET DOVER, NH TAX MAP 31 LOT 7	
DATE: JULY. 2018	SCALE: NTS
PROJ. NO: NH-1183	SHEET NO. 1 OF 1

66 THIRD STREET

DOVER, NH

PRICING SET

66 THIRD STREET

DOVER, NH

ARCHITECT:	CIVIL ENGINEER:	STRUCTURAL ENGINEER:	MECHANICAL ENGINEER:	ELECTRICAL ENGINEER:	CONTRACTOR:
McHenry Architecture 4 Market Street Portsmouth, New Hampshire 03801 Phone: (603) 430-0274	TBD Phone:	TBD Phone:	TBD Phone:	TBD Phone:	Diamond Hill Builders 92 Portsmouth Ave, Suite 17 Exeter, NH 03833 Phone: 603-580-5368

ABBREVIATIONS		
A AB ABV ABR ACOUST ACT ADA ADH ADJ AFF AGG AHR ALT ALUM ANOD AP APPROX ARCH ASB ASPH AUTO AV B BD BEL BET BEY BIT BKSP BLDG BLK BLKG BM BOT BPL BR BRCG BRG BRK BRZ BS BSMT BVL BW BYND C CAB CAP CEM CER CI CIP CIPC CG CHNL CJ CK CLG CLO CLOS CLR CMU CNTR COL COMPR CONC CONST CONT CPT CSK CSMT CT CTR CTYD D DBL DEMO DEPT DET DF DIA DIAG DIM DISP DN DR DS DWG E E EA EL ELEC ELEV EMER ENCL EP EQ EQUIP EXG EXH EXP EXPJT EXT	F F FBO FE FEC FIM FJT FL FLEX FLG FLUOR FM FND FO FOC FOS FPRF FR FT FTG FURR G GA GALV GL GLZ GR GT GYP GWB H HC HD HDBO HDR HDW HM HOR HP HR HT HVAC HWD ICF ID ILO IN INCL INS INT IR J JF JMB JST JT K KO L LAB LAM LAV LBL LG LH LL LO LOC LT M MAX MBR MC MECH MEMB MET MFR MIN MIR MISC MO MR MT MTD MTG MTL MULL N NA NAT NIC NO NOM NR NRC NTS	FACE FURNISHED BY OTHERS FLOOR DRAIN FIRE EXTINGUISHER FINISH FACE FINISHED FIXTURE FLOOR FLEXIBLE FLASHING FLUORESCENT FILLED METAL FOUNDATION FACE OF FACE OF CONCRETE FACE OF STUD FIREPROOFING FRAMING FEET FOOTING FURRED GAUGE GALVANIZED GLASS GLAZING GRADE GROUT GYPSUM GYPSUM WALL BOARD HIGH HOLLOW CORE HAND OR HEAD HARDBOARD HEADER HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HEATING/VENTILATING/AIR CONDITIONING HARDWOOD INSULATED CONCRETE FORMS INSIDE DIAMETER IN LIEU OF INCHES INCLUDED INSULATED INTERIOR IMPACT RESISTANT JOINT FILLER JOIST JOINT KITCHEN KNOCKOUT LENGTH LABORATORY LAMINATE LAVATORY LABEL LONG LEFT-HAND LIVE LOAD LOW LOCATION LIGHT MAXIMUM MASTER BEDROOM MEDICINE CABINET MECHANICAL MEMBRANE METAL MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT METAL THRESHOLD MOUNTED MOUNTING MATERIAL OR METAL MULLION NORTH NOT APPLICABLE NATURAL NOT IN CONTRACT NUMBER NOMINAL NOT REQUIRED NOISE REDUCTION COEFFICIENT NOT TO SCALE

MATERIAL KEY	
	CONTINUOUS LUMBER
	NON-CONTINUOUS LUMBER
	BATT INSULATION
	RIGID INSULATION
	SPRAY FOAM CLOSED CELL INSULATION
	CONCRETE MASONRY UNITS
	CONCRETE
	EARTH
	METAL
	GYPSUM, PLASTER, MORTAR, GROUT, ETC.
	PLYWOOD
	FINISHED WOOD
	BRICK
	COURSE GRAVEL
	STONE

ARCHITECTURAL SYMBOLS	
	INTERIOR ELEVATION NO
	SECTION DETAIL NO
	SHEET NO
	DETAIL NO
	FLOOR ELEVATION MARKER
	DOOR NUMBER
	Room name
	WINDOW TYPE
	WALL TYPE
	MATCHLINE REFERENCE

- GENERAL NOTES
- WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO THE STATE, NATIONAL, AND OTHER CODES AND ORDINANCES THAT APPLY TO THIS PROJECT.
 - DO NOT SCALE DRAWINGS OR DIMENSIONS. FOR MISSING DIMENSIONS OR DIMENSIONAL CONFLICTS, CONTACT THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE WORK. BRING ANY DISCREPANCIES IN THESE PLANS TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
 - REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR LOCATIONS OF ALL BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES, AND PADS THAT ARE NOT DIMENSIONED OR SHOWN ON ARCHITECTURAL OF STRUCTURAL DRAWINGS. TYP.
 - STRUCTURAL STEEL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS AND SPECIFICATIONS SHALL BE PROVIDED AND ARE THE RESPONSIBILITY OF THEIR RESPECTIVE SUBCONTRACTORS AND THEIR DESIGN BUILD ENGINEER. DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING UNLESS NOTED OTHERWISE. DIMENSIONS INDICATED AS "CLEAR" SHALL MAINTAIN A CLEAR OPENING WIDTH FROM FACE OF FINISHES DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
 - WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS.
 - ROOM NUMBERS ON PLANS ARE FOR REFERENCE ONLY AND MAY NOT CORRESPOND TO ACTUAL ROOM NUMBERS AT THE SITE. BEFORE PENETRATING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS, OBTAIN APPROVAL FROM THE ARCHITECT.
 - THE LOCATION OF DOOR OPENINGS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT WALL (FACE OF FRAMING TO ROUGH OPENING).
 - PROVIDE BLOCKING BEHIND SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, SHELIVING, CHAIR RAILS, PICTURE RAILS, WOOD TRIM AND BASE, AND OTHER ACCESSORIES WHEN MOUNTED ON STUD WALLS.
 - WHERE WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, TAPE AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTINUOUS. USE METAL TRIM WHERE GYPSUM BOARD INTERSECTS OTHER MATERIALS.
 - PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH PHASING AND WITH THE LOCAL BUILDING COMMISSIONER.
 - DURING THE ENTIRE CONTRACT PERIOD, MAINTAIN THE CONSTRUCTION SITE IN A SECURE, NEAT CLEAN, AND SAFE MANNER.
 - DISPOSE OF AND/OR RECYCLE CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE CONTRACT AND AS INSTRUCTED BY THE OWNER. OBTAIN DISPOSAL PERMITS AS REQUIRED.
 - PROVIDE AND COORDINATE TEMPORARY UTILITY CONNECTIONS WITH THE OWNER.
 - WORK SHALL BE COMPLETED IN COMPLIANCE WITH INDUSTRY STANDARDS AND PERFORMED IN A WORKMANLIKE PROFESSIONAL MANNER.

Sheet List	
Sheet Number	Sheet Name
T1	ABBREVIATIONS, LEGENDS, GENERAL NOTES AND LIST OF DRAWINGS
T2	GENERAL CODE REVIEW
T3	GENERAL SPECIFICATIONS
A100	WALL TYPES AND STANDARDS
A101	SECOND FLOOR REMOVALS PLAN
A102	SECOND FLOOR PLAN
A201	REFLECTED CEILING PLANS
A601	SCHEDULES
A701	INTERIORS

McHENRY
ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire
603.430.0274

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No.	Description	Date

Project Name:
66 THIRD STREET

Drawing Name:
ABBREVIATIONS, LEGENDS, GENERAL NOTES AND LIST OF DRAWINGS

Project number: 18054

Date: 11/20/2018

Drawn by: MB

Checked by: JJ

T1

Scale: As indicated

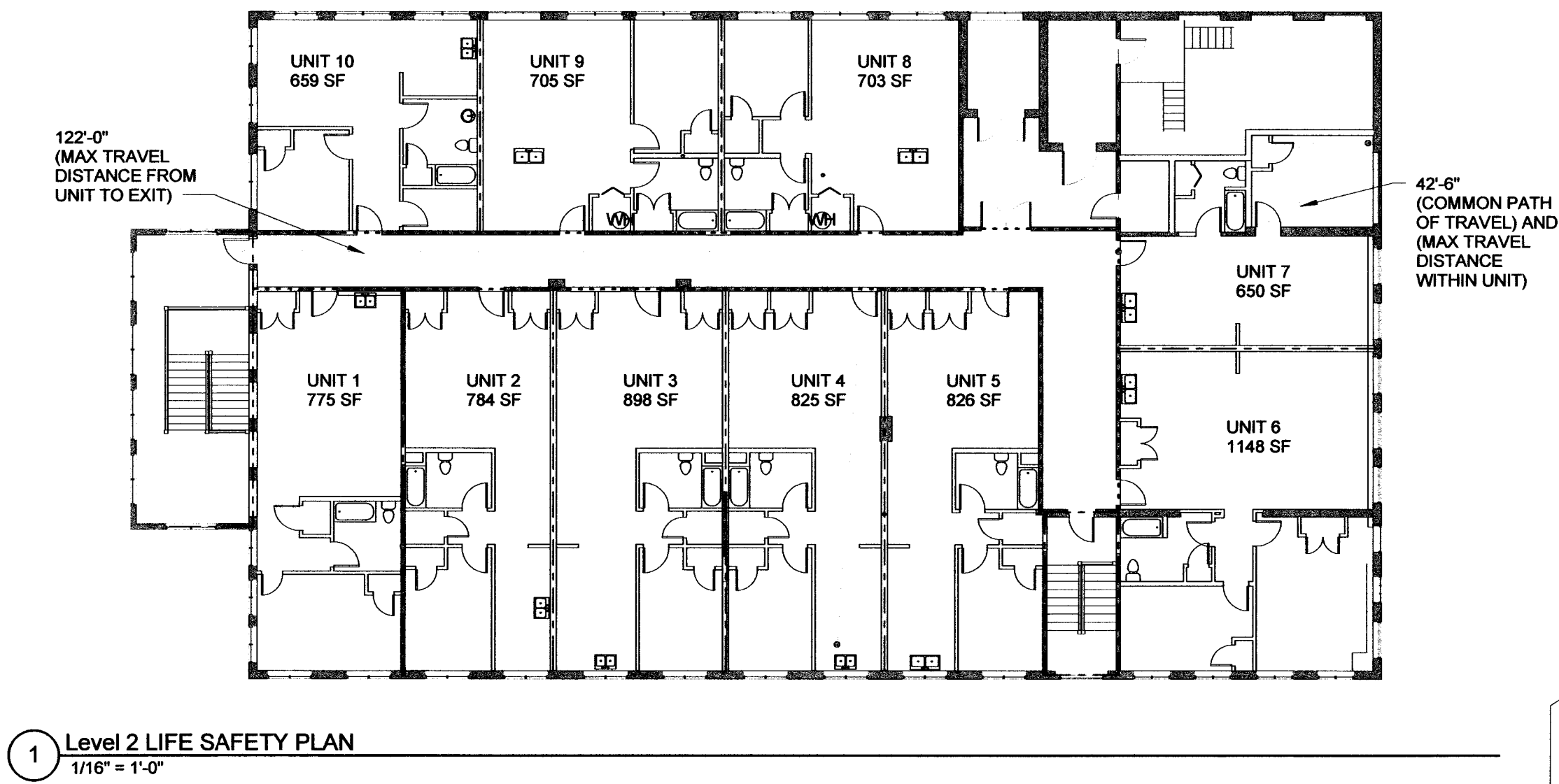
GENERAL CODE COMPLIANCE REVIEW

DOVER, NH

PROJECT DATA:
DESCRIPTION:
ZONING:

STATE BUILDING CODE:	LIFE SAFETY CODE:	STATE ENERGY CODE:	STATE MECHANICAL CODE:	STATE ELECTRICAL CODE:	STATE PLUMBING CODE:	STATE ACCESSIBILITY CODE:
2009 INTERNATIONAL BUILDING CODE (2009 IBC)	2015 NATIONAL FIRE PROTECTION AGENCY (NFPA 101)	2009 INTERNATIONAL ENERGY CONSERVATION CODE (2009 IECC)	2009 INTERNATIONAL MECHANICAL CODE (2009 IMC)	2014 NATIONAL ELECTRICAL CODE (2014 NEC)	2009 INTERNATIONAL PLUMBING CODE (2009 IPC)	THE ARCHITECTURAL BARRIER FREE DESIGN CODE FOR THE STATE OF NH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

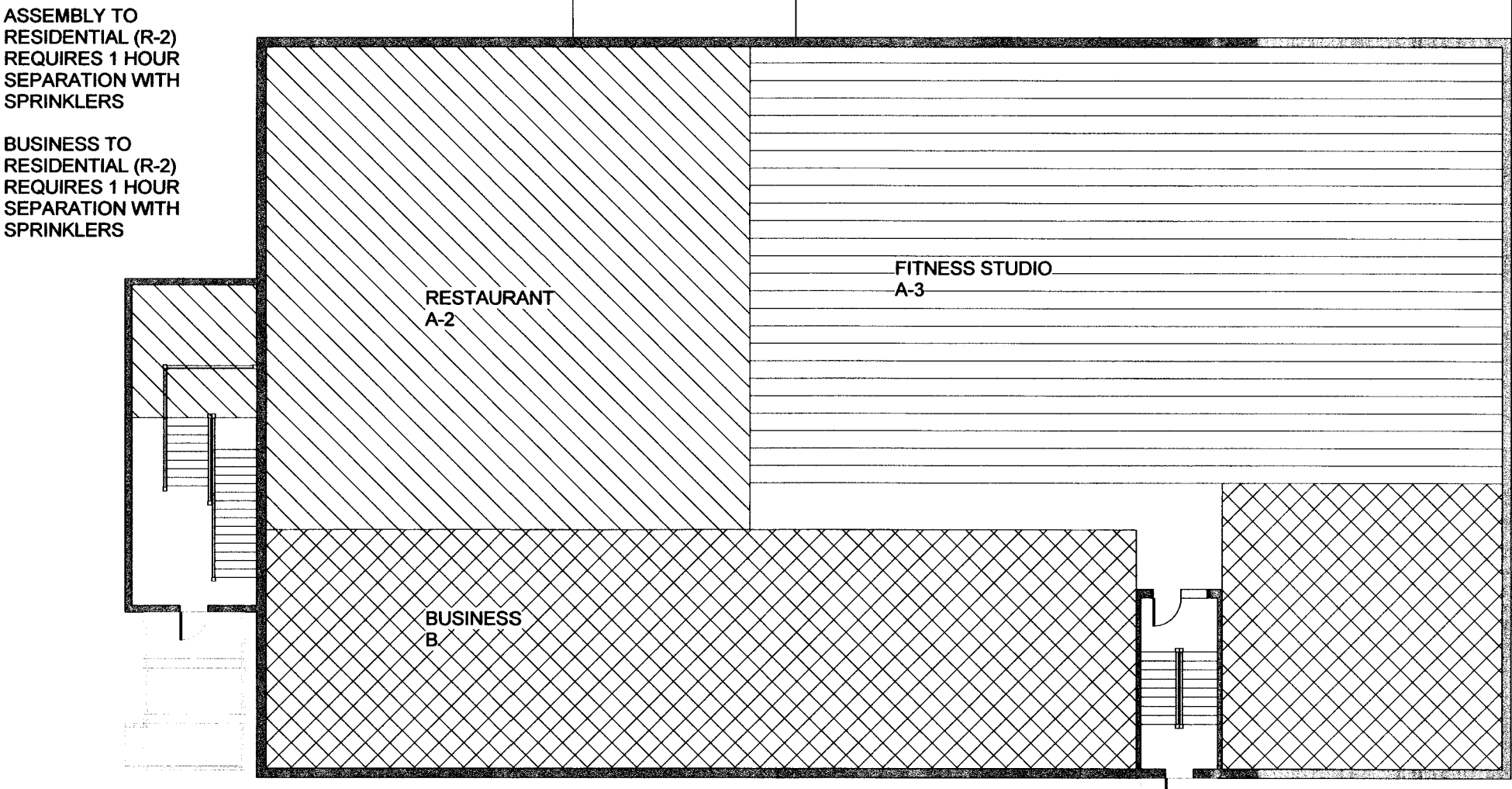
CODE REVIEW	
FIRST FLOOR AREA	21,960 SF
SECOND FLOOR AREA	11,288 SF
PERIMETER	732'-9"
NUMBER OF STORIES ABOVE GRADE	2 STORIES
BUILDING HEIGHT	30'-0" +/-
CONSTRUCTION TYPE	TYPE 5B (SECTION 602.5, IBC 2009)
SPRINKLER SYSTEM	YES (SECTION 903.2.8, IBC 2009) (30.3.5 NFPA 101)
OCCUPANCY USE GROUP	FIRST FLOOR: (A-2) RESTAURANT, (A-3) FITNESS STUDIO, (B) BUSINESS SECOND FLOOR: (R-2) RESIDENTIAL (CHAPTER 3, IBC 2009)
SEPARATED USE	(R-2) REQUIRES 1HR SEPARATION FROM (S-1), (A-2), (A-3), AND (B) (R-2) REQUIRES 1/2 HR FROM (R-2) (TABLE 508.4, IBC 2009)
HEIGHT AND AREA LIMITATIONS	
BASIC HEIGHT LIMITATIONS	1 STORY, 48'-0" (TABLE 503, IBC 2009)
HEIGHT INCREASE	1+1 STORY AND 20'-0" DUE TO AUTOMATIC SPRINKLER (SECTION 504.2, IBC 2009)
ADJUSTED HEIGHT LIMITATIONS	2 STORIES, 60'-0"
BASIC AREA LIMITATIONS	6,000 SF (TABLE 503, IBC 2009)
AREA INCREASE	6,000 X 200% = 12,000 SF DUE TO AUTOMATIC SPRINKLER (SECTION 506.3, IBC 2009)
ADJUSTED AREA LIMITATIONS	6,000 SF + 12,000 SF = 18,000 SF PER FLOOR
MEANS OF EGRESS REQUIREMENTS (NFPA 101)	
OCCUPANT LOAD	2ND FLOOR: [(R-2) 8,248 SF/200 = 41] + [(S-1) 890 SF/300 = 2] = 43 (TABLE 7.3.1.2, NFPA 101)
MINIMUM NUMBER OF EXITS REQUIRED	2 (30.2.4.1, NFPA 101/38.2.4.3, NFPA 101) 2 PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT DOORS	NOT LESS THAN 32" (7.2.1.2.3.2, NFPA 101)/32" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT STAIR	36" MIN. (7.2.2.2.1.2(A), NFPA 101)/48" MIN. PROVIDED
MAXIMUM DEAD END CORRIDOR	(R-2) 50'-0" MAX (TABLE A.7.6, NFPA 101) / NONE PROVIDED
MAXIMUM COMMON PATH OF TRAVEL	(R-2) 125'-0" MAX (TABLE A.7.6, NFPA 101)/42'-6" PROVIDED
MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT	122'-0" MAX (TABLE A.31.1, NFPA 101)/42'-6" PROVIDED
MAXIMUM TRAVEL DISTANCE FROM DWELLING UNIT TO EXIT	200'-0" MAX (TABLE A.31.1, NFPA 101)/78'-8" PROVIDED
MINIMUM CORRIDOR WIDTH	36" (30.2.3.4, NFPA 101)/42" MIN. PROVIDED
MEANS OF EGRESS REQUIREMENTS (IBC 2009)	
OCCUPANT LOAD	2ND FLOOR: [(R-2) 8,248 SF/200 = 41] + [(S-1) 890 SF/300 = 2] = 43 (TABLE 1004.1.1, IBC 2009)
MINIMUM NUMBER OF EXITS REQUIRED	2 (TABLE 1021.1, IBC 2009) / 2 PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT DOORS	32" (1008.1.1, IBC 2009) / 32" MIN. PROVIDED
REQUIRED CLEAR EGRESS WIDTH AT STAIR	36" MIN. (1008.1.1, IBC 2009) / 48" MIN. PROVIDED
MAXIMUM DEAD END CORRIDOR	50'-0" MAX (1018.4.2, IBC 2009) / NONE PROVIDED
COMMON PATH OF TRAVEL	125'-0" MAX (1014.3, IBC 2009) / 42'-6" PROVIDED
MAXIMUM TRAVEL DISTANCE	(R-2) 250'-0" MAX (TABLE 1016.1, IBC 2009) / 122'-0" PROVIDED
MINIMUM CORRIDOR WIDTH	36" (1018.2.2, IBC 2009) / 42" MIN. PROVIDED
FIRE RATINGS	
EXTERIOR BEARING WALLS	TYPE 5B CONSTRUCTION
INTERIOR BEARING WALLS	0 HOUR (TABLE 601, IBC 2009)
NON-BEARING INTERIOR WALLS	0 HOUR (TABLE 601, IBC 2009)
FLOOR CONSTRUCTION	0 HOUR (TABLE 601, IBC 2009)
ROOF CONSTRUCTION	0 HOUR (TABLE 601, IBC 2009)
STRUCTURAL FRAME	0 HOUR (TABLE 601, IBC 2009)
EXIT ENCLOSURES	1 HOUR (1022.1, IBC 2009) / 1 HOUR (912.5.3, IEBC 2009)
SHAFT ENCLOSURES	1 HOUR (TABLE 708.4, IBC 2009)
CORRIDOR SEPARATION	1/2 HOUR (TABLE 1018.1, IBC 2009)
DWELLING UNIT SEPARATION	1/2 HOUR (SECTION 709.3, IBC 2009)
HORIZONTAL SEPARATION	1 HOUR BETWEEN (R-2) / (A-2), (A-3), (B) and 1/2 HOUR BETWEEN (R-2) / (R-2) (SECTION 712.3, IBC 2009)
REQUIRED PLUMBING FIXTURES	
WATER CLOSETS	(TABLE 2902.1, IBC 2009)
LAVATORIES	1 PER DWELLING UNIT
BATH/SHOWER	1 PER DWELLING UNIT
KITCHEN SINK	1 PER DWELLING UNIT
CLOTHES WASHER CONNECTION	1 PER 20 DWELLING UNITS



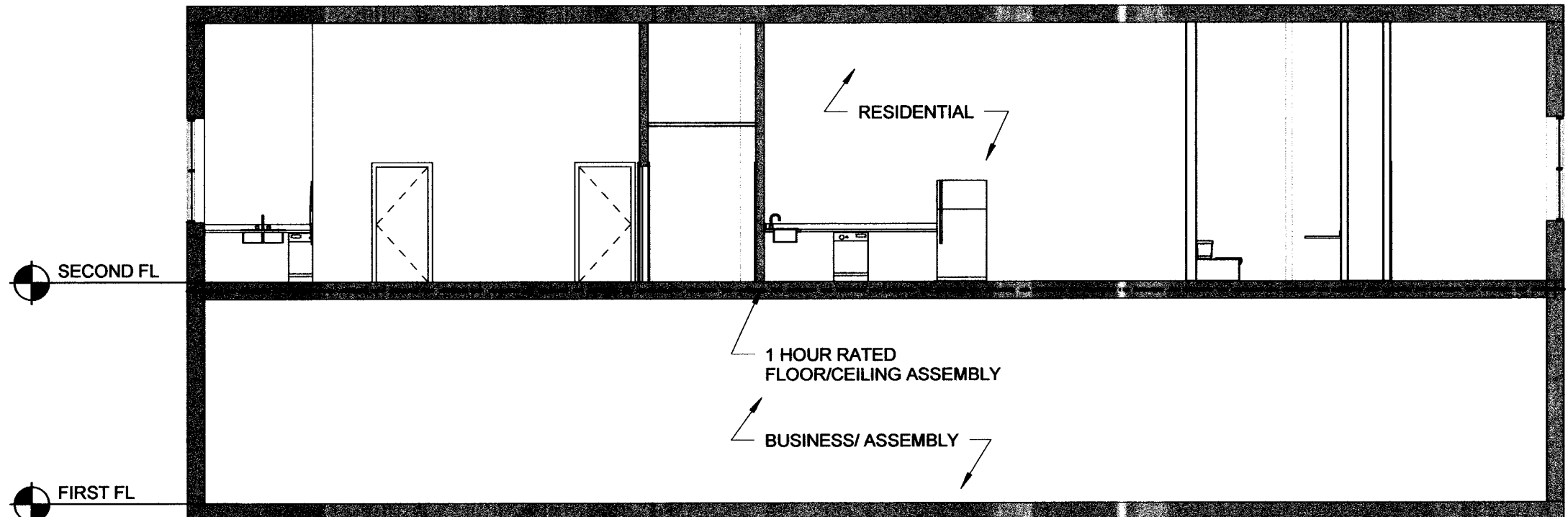
1 Level 2 LIFE SAFETY PLAN
1/16" = 1'-0"

LIFE SAFETY LEGEND	
---	1 HR RATED FIRE PARTITION
----	1 HR RATED FLOOR/CEILING
-----	1 HR RATED EXTERIOR WALL
.....	SMOKE SEPARATION
---	EGRESS

- FIRE SPRINKLER NOTES
- CONTRACTOR TO DESIGN AND PROVIDE NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM. THE DESIGN SHALL INCLUDE DRAWINGS AND ENGINEERING CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN NEW HAMPSHIRE. SYSTEM SHALL MEET ALL STATE AND LOCAL CODES. COORDINATE SYSTEM WITH DESIGN DOCUMENTS.
 -



2 Level 1 LIFE SAFETY PLAN
1/16" = 1'-0"



3 LIFE SAFETY SECTION
1/8" = 1'-0"

66 THIRD STREET
DOVER, NH

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4 Market Street
Portsmouth, New Hampshire
603.430.0274

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No.	Description	Date

Project Name:
66 THIRD STREET

Drawing Name:
GENERAL CODE REVIEW

Project number: 18054
Date: 11/20/2018
Drawn by: MB
Checked by: JJ

T2

Scale: As indicated

DIVISION 1- GENERAL REQUIREMENTS

- A. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS, EQUIPMENT, SHOP SERVICES, AND RELATED ITEMS REQUIRED FOR THE COMPLETE AND PROPER SHAPING OF THE PROJECT WORK IN CONFORMANCE WITH THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE PERFORMED IN A NEAR WORKMANLIKE MANNER, EQUAL TO THE BEST IN SHOP AND FIELD PROCEDURE. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE STATED. THE CONTRACTOR SHALL APPLY SUSTAINABLE BUILDING PRACTICES WHEREVER POSSIBLE.
- B. ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), NFPA LIFE SAFETY CODE, STATE ENERGY CODE, AND ALL OTHER GOVERNING REGULATIONS (CURRENT EDITIONS).
- C. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS, AND SHALL GIVE ALL REQUIRED NOTICES TO PUBLIC AGENCIES.
- D. THE CONTRACTOR SHALL PROVIDE ALL PUBLIC SERVICES REQUIRED BY THE WORK.
- E. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT TAKE MEASUREMENTS OFF THE DRAWINGS WITH A SCALE OR RULER. ANY DISCREPANCIES BETWEEN EITHER THE DRAWINGS, SPECIFICATIONS, AND/OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, AND ANY AFFECTED WORK SHALL NOT PROCEED WITHOUT INSTRUCTIONS FROM THE ARCHITECT. THE ARCHITECT SHALL NOT BE LIABLE FOR ANY UNAUTHORIZED CHANGE TO THE PROJECT DESIGN.
- F. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR SUPERVISING ALL TRADES, COORDINATING THE WORK DONE BY ALL SUBCONTRACTORS, AND EXPEDITING THE WORK AS A WHOLE, INCLUDING EACH TRADE'S REASONABLE OPPORTUNITY FOR THE INSTALLATION OF ITS WORK AND FOR THE STORAGE AND HANDLING OF ITS MATERIALS. THE SUBCONTRACTORS SHALL ALSO PROVIDE FOR ALL CUTTING, PATCHING, AND FITTING THAT MAY BE REQUIRED IN HIS/HER WORK AND SHALL MAKE GOOD AFTER THEM, DOING ALL PATCHING, REPAIRING AND PAINTING NECESSARY TO MATCH ADJACENT SURFACES.
- G. THE CONTRACTOR SHALL PROVIDE ALLOWANCES, WHERE NOTED HEREIN AND NOT OTHERWISE FURNISHED, CONSISTENT WITH THE QUANTITY AND APPLICATION OF THE ITEMS INDICATED, ESTABLISHING EACH IN THE PROPOSAL. ADJUSTMENTS WILL BE MADE TO THE CONTRACT PRICE UPON CALCULATING ANY DIFFERENCES BETWEEN THE ACTUAL MATERIAL COSTS AND THE ALLOWANCES.
- H. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR PRODUCT SELECTION AND APPROVAL BY THE ARCHITECT AND OWNER OF ALL EXTERIOR AND INTERIOR WALL AND FLOOR FINISHES OR PREFINISHED MATERIALS, ROOFING, FINISHES, HARDWARE, SPECIALTIES, EQUIPMENT, FIXTURES, ETC. MAINTENANCE INSTRUCTIONS SHALL BE SUBMITTED AT THE COMPLETION OF THE PROJECT.
- I. THE CONTRACTOR SHALL FULLY AND CONTINUOUSLY PROTECT ALL PARTS OF THE WORK FROM DAMAGE AND VANDALISM, AND SHALL ALSO PROTECT ADJACENT PROPERTIES AGAINST DAMAGE FROM THE CONSTRUCTION PROCESS.
- J. THE CONTRACTOR SHALL CARRY INSURANCE AGAINST CLAIMS UNDER WORKMEN'S COMPENSATION ACTS AND AGAINST ALL OTHER CLAIMS FOR DAMAGE, FOR PERSONAL INJURY OR DEATH, WHICH MAY ARISE FROM THE PROJECT OPERATIONS.
- K. THE OWNER SHALL MAINTAIN FIRE INSURANCE WITH EXTENDED COVERAGE UPON THE ENTIRE STRUCTURE DURING CONSTRUCTION, THE CONTRACTOR BEING THE PAYEE FOR ALL SUCH DAMAGE THE REQUIRES REPAIRING.
- L. THE SUBCONTRACTORS SHALL REGULARLY KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH, REMOVING SAME TO A LEGAL DUMP SITE. ANY SUITABLE MATERIALS SHALL BE TRANSPORTED TO AN AUTHORIZED RECYCLING CENTER. AT THE COMPLETION OF THE WORK, ALL INTERIOR SPACES SHALL BE LEFT BROOM CLEAN AND ALL WINDOWS SHALL BE WASHED.
- M. THE CONTRACTOR GUARANTEES THAT ALL LABOR AND MATERIALS ON THIS PROJECT SHALL BE FREE FROM DEFECTS AND AGREES TO MAKE GOOD AND REPAIR AT NO FURTHER EXPENSE, UPON WRITTEN REQUEST OF THE OWNER, ALL DEFECTS IN THE WORK WITHIN ONE YEAR AFTER FINAL COMPLETION OF THE CONTRACT, EXCEPT THAT ALL ROOFS SHALL BE GUARANTEED FOR A PERIOD OF 5 YEARS AFTER COMPLETION.
- N. THESE GENERAL REQUIREMENTS APPLY TO ALL DIVISIONS OF THE SPECIFICATIONS.

DIVISION 2- SITE WORK

- A. BACKFILLING AND FILLING SHALL BE BANK RUN GRAVEL WITH STONES LIMITED TO 3" MAXIMUM, MADE IN 6" LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY FOR BUILDING AREAS AND UNDER CONCRETE SLABS AND 90% FOR PARKING AREAS. COMPACTION TO 85% IS ALLOWED UNDER LAWN/PLANTING AREAS. REFER TO CIVIL AND STRUCTURAL DWGS FOR MORE INFORMATION.
- B. ROUGH GRADE ALL AREAS INCORPORATED IN THE WORK, TO CONTOURS INDICATED, MINUS PAVING OR PLANTING DEPTHS. FINISH GRADE PLANTING AREAS ADJACENT TO THE NEW WORK WITH 6" TOPSOIL OR LOAM. RESTORE ALL OTHER EXISTING LANDSCAPE AREAS DISTURBED BY THE NEW WORK.
- C. SITE UTILITIES SHALL BE PROVIDED AS REQUIRED, AS INDICATED ON THE PLANS, AND/OR AS NOTED HERE WITHIN. COORDINATE WITH OTHER WORK. COMPLY WITH ALL LOCAL UTILITY REGULATIONS.

DIVISION 3- CONCRETE

- A. FORMWORK SHALL BE CLEAN, TIGHTLY JOINED TOGETHER AND WELL BRACED. TIE RODS WHERE REQUIRED SHALL BE SMOOTH AND OF RECOGNIZED TYPE, THE REMAINS OF WHICH SHALL NOT BE CLOSER THAN 1" TO THE FINISHED SURFACE. ALL FORMS SHALL BE MAINTAINED FOR A MINIMUM OF 24 HOURS AFTER PLACING THE CONCRETE.
- B. REINFORCING BARS SHALL BE GRADE 40 (MIN) DEFORMED, NEW BILLET STEEL MEETING THE REQUIREMENTS OF ASTM A-615. ALL SPLICES SHALL BE LAPPED 30 DIAMETER MIN. REINFORCING FABRIC FOR SLABS SHALL BE 6X6, W1.4XW1.4 E.W.W.M. CONFORMING TO ASTM A-185. ALL REINFORCING SHALL BE ADEQUATELY TIED AND SECURED IN PLACE BEFORE CONCRETE PLACEMENT STARTS. REFER TO STRUCTURAL DRAWINGS.
- C. SET ALL NECESSARY RODS, ANCHOR BOLTS, AND/OR DOWELS AS REQUIRED TO THE TOGETHER THIS AND/OR OTHER EXISTING WORK. PROVIDE FOR PENETRATIONS IN THE CONCRETE AS REQUIRED BY THE WORK OF OTHER TRADES. ALL PIPES WHICH MUST PASS THROUGH CONCRETE FOUNDATIONS SHALL HAVE SLEEVES PROVIDED IN THE WALLS ABOVE THE FOOTINGS. STEP FOOTINGS DOWN IF NECESSARY. PROVIDE PREFORMED JOINT FILLERS WHERE INDICATED.
- D. INSTALL VAPOR BARRIERS AND INSULATION, AS PROVIDED UNDER OTHER DIVISIONS OF THIS SPECIFICATION, WHERE INDICATED ON THE DRAWINGS. COORDINATE WITH OTHER WORK.
- E. REFER TO STRUCTURAL DWGS FOR CONCRETE MIX REQUIREMENTS. NO ADMIXTURES ARE PERMITTED EXCEPT BY APPROVAL OF THE ARCHITECT.
- F. DRAIN ALL PONDING WATER AWAY FROM CONCRETE POURS THROUGH SIDE CHANNELS TO A SUMP AREA. DO NOT PUMP WATER DIRECTLY FROM THE FORMWORK OR ELSEWHERE WHILE CONCRETE IS BEING PLACED. DO NOT PLACE CONCRETE IN TEMPERATURES OF 40 DEGREES FAHRENHEIT OR LESS. DO NOT USE SALT TO THAW ICE.
- G. CONCRETE SHALL BE PLACED UNDER DIRECT SUPERVISION OF THE CONTRACTOR AND SHALL NOT BE WATERED FOR SPEED OF FLOW. CONCRETE SHALL BE CONSTANTLY RODDED DURING PLACING TO PREVENT HONEYCOMBING AND THOROUGHLY WORKED AROUND ALL BOXES OR OTHER OBSTRUCTIONS IN THE FORMS. INTERNAL VIBRATORS MAY BE USED TO SECURE DENSE, UNIFORM CONCRETE. THE PLACING SHALL BE ONE CONTINUOUS UNINTERRUPTED PROCESS WITH CONCRETE DEPOSITED AS CLOSE TO THE AREA OF USE AS POSSIBLE. AVOID PUSHING CONCRETE ALONG FORMS AND SEPARATING AGGREGATE.
- H. STEEL TROWEL ALL INTERIOR SLAB FLOORS TO A DENSE, SMOOTH SURFACE, AND A TRUE LEVEL PLAN WITH A TOLERANCE OF 1/4" VARIATION IN TEN FEET (MAX), EXCEPT AS NOTED OTHERWISE. SAW CUT CONTROL JOINTS AT 20 FEET O.C. MAX.
- I. MOISTURE CURE CONCRETE FOR A MINIMUM 7 DAYS OR APPLY A SPRAY ON CURING AGENT IMMEDIATELY AFTER FORMS ARE REMOVED.

DIVISION 4- MASONRY

- A. ALL FACE BRICK IS NOTED ON THE DRAWINGS AND SHALL BE INSTALLED AS RECOMMENDED BY THE BRICK INSTITUTE OF AMERICA FOR THE APPLICATIONS SHOWN.
- B. EXPOSED MASONRY WORK SHALL BE THOROUGHLY WASHED AND CLEANED WITH CLEAR WATER AND FIBER BRUSH TO REMOVE MORTAR STAINS, DIRT, ETC.
- C. PROVIDE FLASHING AS REQUIRED.

DIVISION 5- METALS

- A. REFER TO STRUCTURAL DRAWINGS FOR ALL STEEL LAYOUTS AND SIZES.

DIVISION 6- CARPENTRY

- A. ALL GENERAL FRAMING LUMBER SHALL BE NO. 2 OR BETTER, SPRUCE, PINE, FIR (SOUTHERN), SURFACED FOUR SIDES, GRADED AND MARKED IN ACCORDANCE WITH THE NORTHEASTERN LUMBER MANUFACTURER'S ASSOCIATION. MAXIMUM MOISTURE CONTENT SHALL BE 19%. SEE THE DRAWINGS FOR FRAMING MEMBERS' SIZES AND MINIMUM ALLOWABLE STRESSES:
- EXTREME FIBER IN BENDING, $F_b = 750 \text{ PSI}$
TENSION PARALLEL TO GRAIN, $F_t = 325 \text{ PSI}$
COMPRESSION PARALLEL TO GRAIN, $F_c = 975 \text{ PSI}$
MODULUS OF ELASTICITY, $E = 1,100,000 \text{ PSI}$
- B. ALL PLYWOOD SHALL MEET THE PROVISIONS OF U.S. PRODUCT STANDARD PS 1 (LATEST EDITION) AND SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION PERFORMANCE STANDARDS. EACH SHEET OF PLYWOOD SHALL BE STAMPED WITH THE GRADE INFORMATION APPROPRIATE TO THE INTENDED APPLICATION. PARTICLE OR FLAKE BOARD WILL NOT BE ACCEPTED. ALL LUMBER MATERIAL, EXPOSED TO THE WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- D. PROVIDE ALL ROUGH HARDWARE INCLUDING NAILS, SCREWS, FRAMING ANCHORS, HANGERS, CLIPS AND OTHER RELATED ITEMS TO COMPLETE THE WORK. FRAMING ANCHORS AND JOIST HANGERS SHALL BE OF 18 GA. GALVANIZED STEEL MIN. INSTALLED WITH HANGER NAILS AND COMPLY WITH IBC STANDARDS. PROVIDE ALUMINUM PLY-CLIPS AND ALL UNBLOCKED EDGES OF ROOF SHEATHING, TWO PER BAY MIN.
- E. ROUGH CARPENTRY AND FRAMING STANDARDS, EXCEPT AS NOTED OTHERWISE, SHALL COMPLY WITH THE "MANUAL OF HOUSE FRAMING" BY THE NATIONAL FOREST PRODUCTS ASSOCIATION, INCLUDING FASTENINGS, FIRE STOPPING, BRACING, ANCHORAGES, BRIDGING, ETC. ALL SUCH WORK SHALL BE LAID OUT AS INDICATED ON THE DRAWINGS AND SHALL BE ACCURATELY CUT AND TIGHTLY FITTED AS NECESSITATED BY CONDITIONS ENCOUNTERED. ROUGH OPENING DIMENSIONS FOR ALL PREFABRICATED COMPONENTS SHALL BE VERIFIED BY THE CONTRACTOR FROM MANUFACTURER'S LITERATURE. ALL WORK SHALL BE PLUMBED, LEVELED, AND SECURED WITH SUFFICIENT NAILS, SPIKES, BOLTS, ETC. TO ENSURE RIGIDITY. PROVIDE BLOCKING REQUIRED BY THE WORK OF OTHER TRADES. PLYWOOD SUBFLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE APA GLUED FLOOR SYSTEM.
- F. FURNISH LABOR AND MATERIALS TO PROPERLY CLOSE UP ALL OPENINGS DURING THE PROGRESS OF THE WORK. TEMPORARY DOORS MAY BE PROVIDED WITH PADLOCK WHICH CAN BE CLOSED AND SECURED WHEN THE BUILDING IS VACANT.
- G. ALL NEW EXTERIOR SIDING AND/OR INTERIOR PANELING AND TRIM SHALL BE AS NOTED ON THE DRAWINGS.
- H. ALL NEW FINISH CARPENTRY AND MILLWORK SHALL BE AS NOTED ON THE DRAWINGS AND SHAPED, JOINED, AND INSTALLED IN ACCORDANCE WITH THE QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE, "CUSTOM GRADE".
- I. CLEAN WOODWORK AND FILL NAIL HOLES IN PREPARATION FOR THE REQUIRED FINISHES. WHERE WOODWORK IS TO RECEIVE A TRANSPARENT FINISH, USE FILLER MATERIAL MATCHING WOOD FIBER. ALL WORK SHALL BE MACHINE OR HAND SANDPAPERED SO AS TO REMOVE ALL MARKS LEFT BY MACHINE DRESSING AND OTHER ROUGHNESS, AND SHALL BE LEFT IN PROPER CONDITION OR PAINTING.

DIVISION 7- THERMAL AND MOISTURE PROTECTION

- A. PROVIDE SELF ADHERING SHEET MEMBRANE WATERPROOFING SYSTEM ON EXTERIOR OF ALL NEW BASEMENT FOUNDATION WALLS. INSTALL AND PROTECT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- B. PROVIDE 6 MIL POLYETHYLENE SHEET VAPOR BARRIER CONTINUOUSLY, OVER COMPACTED FILL, UNDER NEW CONCRETE FLOOR SLABS ON GRADE, LAP ALL JOINTS 6" MIN. AND TAPE. PROTECT AGAINST PUNCTURE.
- C. PROVIDE NON-WOVEN POLYESTER AIR INFILTRATION BARRIER OVER ALL NEW EXTERIOR SHEATHING PRIOR TO INSTALLING SIDING. LAP ALL JOINTS 6 MIN.
- D. PROVIDE INSULATION TYPE AND THICKNESS AS NOTED ON THE DRAWINGS.
- E. PROVIDE A COMPLETE WEATHERTIGHT AND SECURE ROOFING SYSTEM AS NOTED ON THE DRAWINGS WITH ALL REQUIRED ACCESSORIES, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. NOTIFY THE ARCHITECTS OF ANY CONDITIONS WHICH MIGHT COMPROMISE THE INTEGRITY OF THE ROOFING WORK. PROVIDE 36" WIDE SELF ADHERING MEMBRANE UNDERLAYMENT AT ALL EAVES, VALLEYS, WALL TO ROOF INTERSECTIONS, ETC. AS RECOMMENDED BY THE MANUFACTURER. COLOR OF SHINGLES TO BE SELECTED BY THE ARCHITECT.
- F. ALL REQUIRED STEP, BASE, AND CAP FLASHINGS, COPINGS, ETC. SHALL BE FABRICATED FROM 0.32" ALUMINUM OR 16 OX. C.R. COPPER TO SHAPES AS RECOMMENDED BY THE SMACNA MANUAL. PROVIDE AT ROOF AND FRAME WALL CONDITIONS.
- G. PROVIDE ATTIC VENTILATION PER CODE WITH DEVICES AS INDICATED ON THE DRAWINGS.
- H. PROVIDE ALL CAULKING AND SEALANTS NECESSARY TO FILL ALL EXTERIOR AND INTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS. INSTALL BACKER ROD MATERIAL WHERE REQUIRED.

DIVISION 8- DOORS AND WINDOWS

- A. PROVIDE ALL NEW DOORS AND RELATED HARDWARE OF TYPES AND SIZES AS INDICATED ON THE DRAWINGS. APPLY SEALER TO ALL SURFACES, EDGES, MORTICES, ETC. OF ALL WOOD DOORS.
- B. HARDWARE DESIGN SHALL BE AS APPROVED BY THE OWNER AND THE ARCHITECT. PROVIDE ALL HARDWARE NECESSARY FOR THE PROPER OPERATION OF ALL WORK ON THIS PROJECT. REFER TO THE DRAWINGS FOR HARDWARE FUNCTIONS. CONFIRM DOOR KEYING AND SECURITY WITH THE OWNER.
- C. PROVIDE COMPLETE WEATHERSTRIPPING FOR ALL NEW EXTERIOR DOORS OF NEOPRENE BULB/ ALUMINUM STRIP AT HEAD AND JAMBS AND VINYL SWEEP/ ALUMINUM STRIP AT BOTTOM.
- D. PROVIDE ALL NEW WINDOWS AND GLASS TYPES AS INDICATED ON THE DRAWINGS, COMPLETE WITH ALL STANDARD HARDWARE AND NOTED OPTIONS, CONFIRM TEMPERED GLASS LOCATIONS BEFORE ORDERING. INSTALL ALL DOORS AND WINDOWS IN ACCORDANCE WITH NWMA GUIDELINES, MANUFACTURER'S RECOMMENDATIONS, AND AS DETAILED. PROVIDE METAL DRIP CAPS AT HEADS AND FABRIC FLASHING AT JAMBS AND SILLS OF ALL EXTERIOR DOOR AND WINDOW FRAMES.

DIVISION 9- FINISHES

- A. PROVIDE STANDARD TYPE 5/8" TYPE 'X' GYPSUM WALLBOARD ON ALL INTERIOR WALLS AND CEILINGS. INCLUDE IN THE WORK ALL NECESSARY ACCESSORIES AND JOINT FINISHING SYSTEMS TO PROVIDE A FLAT, SMOOTH SURFACE, FREE OF DEFECTS AND COMPLYING WITH THE APPLICABLE REQUIREMENTS OF GA-216-85 "APPLICATION AND FINISHING OF GYPSUM BOARD" BY THE GYPSUM ASSOCIATION.
- B. PREPARE SURFACES TO BE PAINTED OR OTHERWISE FINISHED, BY FILLING VOIDS, SANDING AND CLEANING. APPLY FINISHES, AS INDICATED, TO INTERIOR AND EXTERIOR SURFACES USING ONLY NATIONALLY KNOWN OR OWNER APPROVED PRODUCTS. STORE IN A SAFE, SECURE MANNER. ALL PAINTED SURFACES SHALL RECEIVE AT LEAST TWO FINISH COATS OVER A PRIME COAT. COLOR AND FINISH TYPES SHALL BE SELECTED BY OWNER AND THE ARCHITECT.
- C. SHEET VINYL AND/OR VINYL TILE FLOORING SHALL BE AS SELECTED BY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL PROVIDE UNDERLAYMENTS AND FURNISH AND INSTALL ALL MATERIALS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE RESILIENT FLOORING MANUFACTURER'S RECOMMENDATIONS.
- D. CERAMIC TILE SHALL BE AS SELECTED BY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE WORK IN ACCORDANCE WITH THE TILE COUNCIL OF AMERICA, INC. RECOMMENDATIONS FOR EACH APPLICATION INDICATED. PROVIDE CEMENTITIOUS BACKER BOARD FOR TILE WORK ON ALL SHOWER WALLS. ALL NEW WOOD FLOORING SHALL BE AS NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL WORK FLOORING IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE. FINISH TYPES SHALL BE AS SELECTED BY THE OWNER AND ARCHITECT.
- F. PROTECT ALL NEW AND EXISTING FINISHED SURFACES AGAINST DAMAGE WHILE WORK ON THIS PROJECT IS PROGRESSING OR UNCOMPLETED.

DIVISION 10- SPECIALTIES

- A. ALL TOILET ACCESSORIES, MEDICINE CABINETS, MIRRORS, AND ANY OTHER EQUIPMENT AS INDICATED ON THE DRAWINGS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR FOLLOWING OWNER AND ARCHITECT APPROVAL.

DIVISION 11- EQUIPMENT

- A. COUNTERS AND CABINETS ARE TO BE MANUFACTURED UNITS OF AWI QUALITY AS SELECTED BY THE OWNER AND ARCHITECT. ALL CASEWORK SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR, COMPLETE WITH ALL STANDARD HARDWARE.

DIVISION 12- FURNISHINGS- NIC

DIVISION 13- SPECIAL CONSTRUCTION- NIC

DIVISION 14- CONVEYING SYSTEMS- NIC

DIVISION 15- MECHANICAL

- A. ALL PLUMBING, HEATING, AND VENTILATING MATERIALS AND INSTALLATIONS SHALL CONFORM TO THE NATIONAL PLUMBING AND MECHANICAL CODES AND OTHER APPLICABLE CODES AND ORDINANCES. COORDINATE WITH OTHER WORK.
- B. EXTEND HOT AND COLD WATER SUPPLY AND WASTE WATER PLUMBING SYSTEMS AS INDICATED ON THE DRAWINGS OR AS REQUIRED TO MEET THE INTENT, INCLUDING PLUMBING FIXTURES, FITTINGS, ACCESSORIES, AND RELATED EQUIPMENT. PIPING RUNS AND RISER LAYOUTS SHALL BE DETERMINED BY THE CONTRACTOR. NEW PLUMBING FIXTURES AND FAUCETS SHALL BE APPROVED BY THE OWNER. ALL FIXTURES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- D. EXTEND HEATING SYSTEM AS INDICATED ON THE DRAWINGS OR AS REQUIRED TO MEET THE INTENT, INCLUDING HEATING DISTRIBUTION, CONTROLS, ACCESSORIES, AND RELATED EQUIPMENT. THE CONTRACTOR SHALL CALCULATE HEAT LOSS, BTU REQUIREMENTS AND EQUIPMENT SIZING IN ACCORDANCE WITH ASHRAE STANDARDS. SUBMIT SYSTEM DESIGN CHANGES AND EQUIPMENT CUTS TO THE OWNER AND ENGINEER FOR APPROVAL.
- E. PROVIDE EXTRUDED FOAM PIPE INSULATION FOR ANY LINES THAT WILL BE LOCATED IN UNHEATED SPACES.

DIVISION 16- ELECTRICAL

- A. ALL ELECTRICAL MATERIALS SHALL CONFORM TO THE STANDARDS OF UNDERWRITER LABORATORIES, INC. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES AND ORDINANCES. COORDINATE WITH OTHER WORK.
- B. EXTEND EXISTING ELECTRICAL POWER AND LIGHTING SYSTEMS AS INDICATED ON THE DRAWINGS OR REQUIRED TO MEET THE INTENT, INCLUDING PANEL BOARDS, FIXTURES, RECEPTACLES, SWITCHES, WIRING, ACCESSORIES, AND RELATED EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CIRCUITING, CONDUIT AND/OR CONDUCTOR RUNS, JUNCTION POINTS, ETC. NEW LIGHTING FIXTURES, NOT OTHERWISE SPECIFIED, SHALL BE AS SELECTED BY THE OWNER AND ARCHITECT. ALL FIXTURES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- D. PROVIDE SMOKE DETECTOR SYSTEM AND CO2 DETECTORS IN ALL BEDROOMS, 110V INTERCONNECTED ON REQUIRED CIRCUIT, IN ACCORDANCE WITH NFPA 101.

66 THIRD STREET

DOVER, NH

McHENRY
ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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No.	Description	Date

Project Name:
66 THIRD STREET

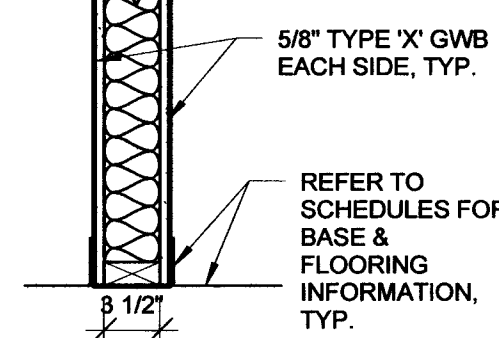
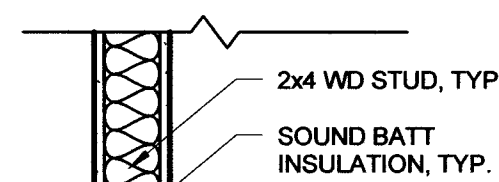
Drawing Name:
GENERAL
SPECIFICATIONS

Project number: 18054
Date: 11/20/2018
Drawn by: MB
Checked by: JJ

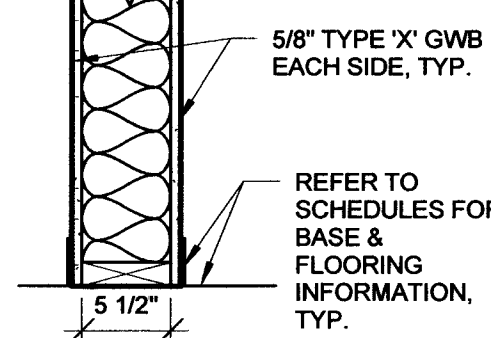
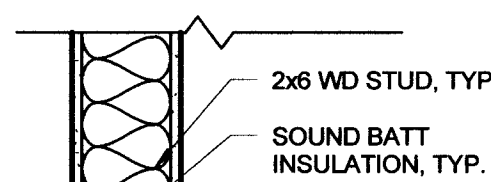
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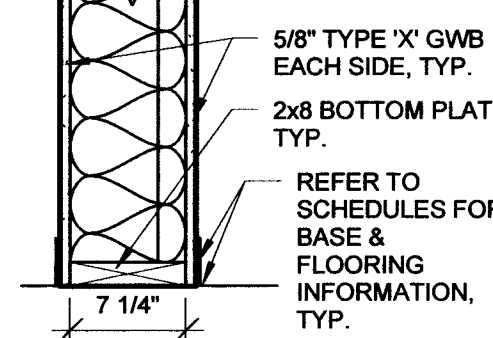
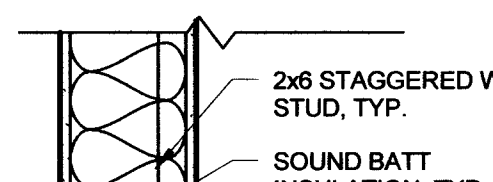
WALL TYPES



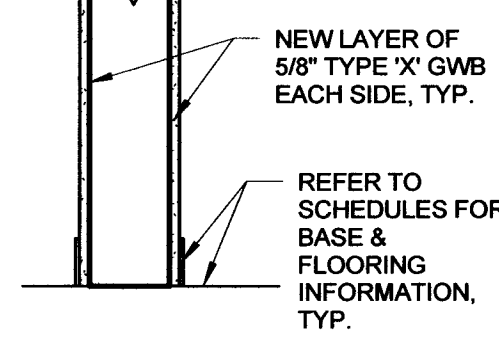
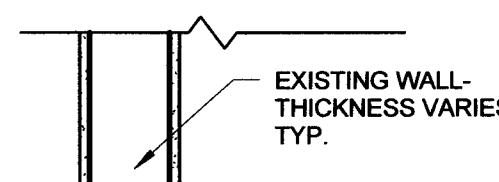
1 TYP. INTERIOR WALL

1A TYP. INTERIOR WALL
UL U305- 1 HOUR

2 TYP. INTERIOR WALL

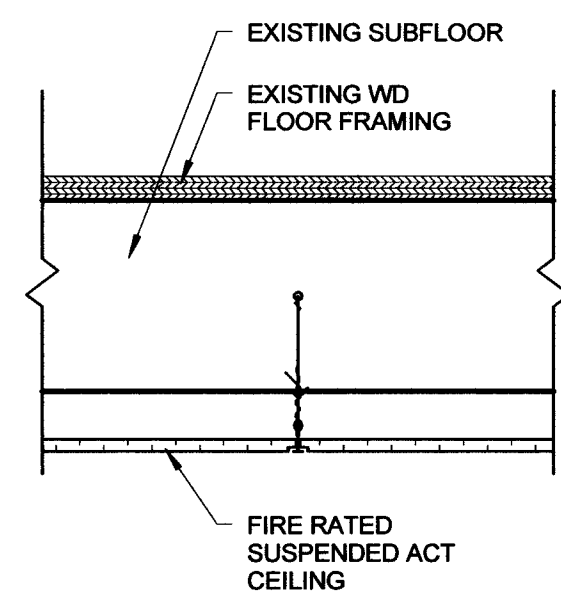
2A TYP. INTERIOR WALL
UL U305- 1 HOUR

3 TYP. INTERIOR WALL



4 TYP. INTERIOR WALL

FLOOR / CEILING ASSEMBLIES

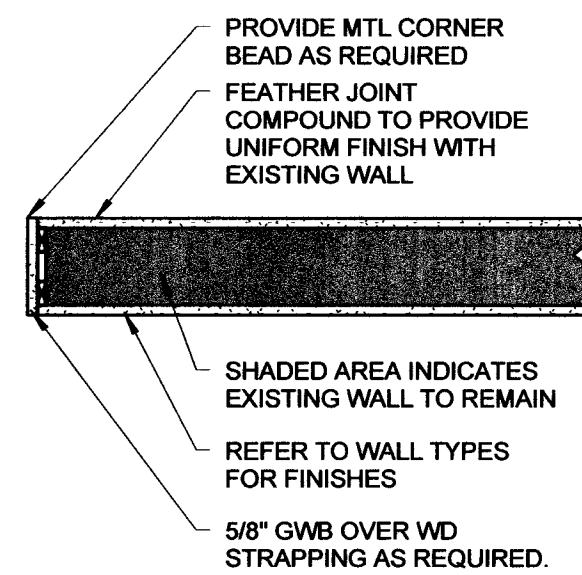
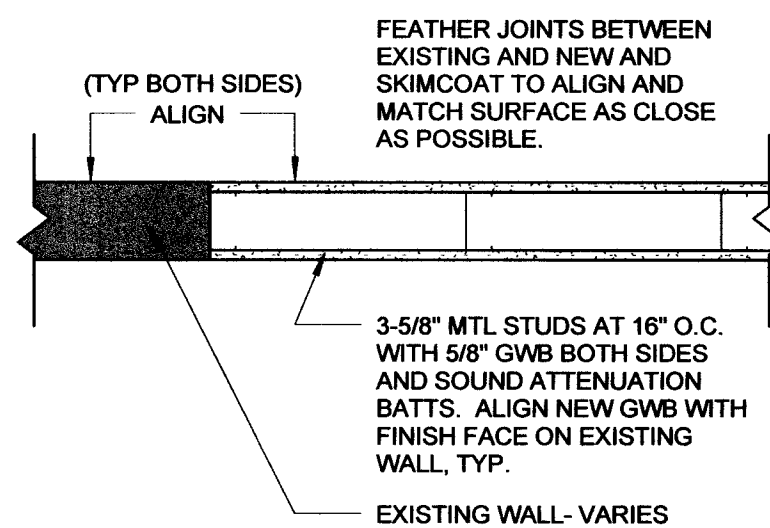
1 TYP. FLOOR/CLG
UL L202- 1 HR RATED

WALL AND FLOOR TYPE NOTES

- ALL TRIM/SIDING SHOWN FOR GRAPHIC REPRESENTATION ONLY. REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATIONS AND ACTUAL MATERIALS.
- ALL NEW WALLS TO EXTEND TO THE UNDERSIDE OF DECK OR FRAMING ABOVE.
- RATED WALL SYSTEMS TO HAVE CONTINUOUS SEALANT AT BASE AND TOP OF WALL.
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT RATED WALL PARTITIONS.
- PROVIDE 1/2" CEMENTITIOUS BACKER BOARD AT SHOWERS STALLS.
- PROVIDE 5/8" MOISTURE RESISTANT (MR) GYPSUM BOARD IN TOILET ROOMS.
- PROVIDE FIRESTOPPING AT PENETRATIONS IN FIRE RATED WALLS AND FLOORS. PROVIDE FIRESTOPPING WHERE FIRE RATED ASSEMBLIES ABUT OTHER CONSTRUCTION.
- PENETRATIONS IN FIRE RESISTANCE RATED ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479. THE CITY OF DOVER WILL REQUIRE A SUBMITTAL PACKAGE AND SITE INSPECTIONS OF ALL PENETRATION ASSEMBLIES.
- GC TO ENSURE ALIGNMENT OF ALL NEW AND EXISTING FLOOR ASSEMBLIES.

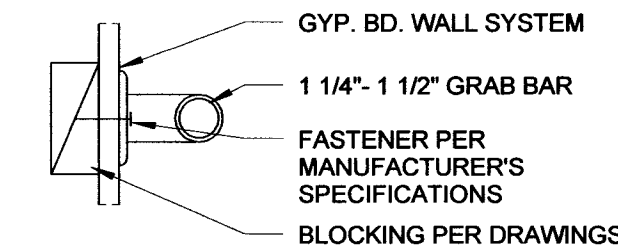
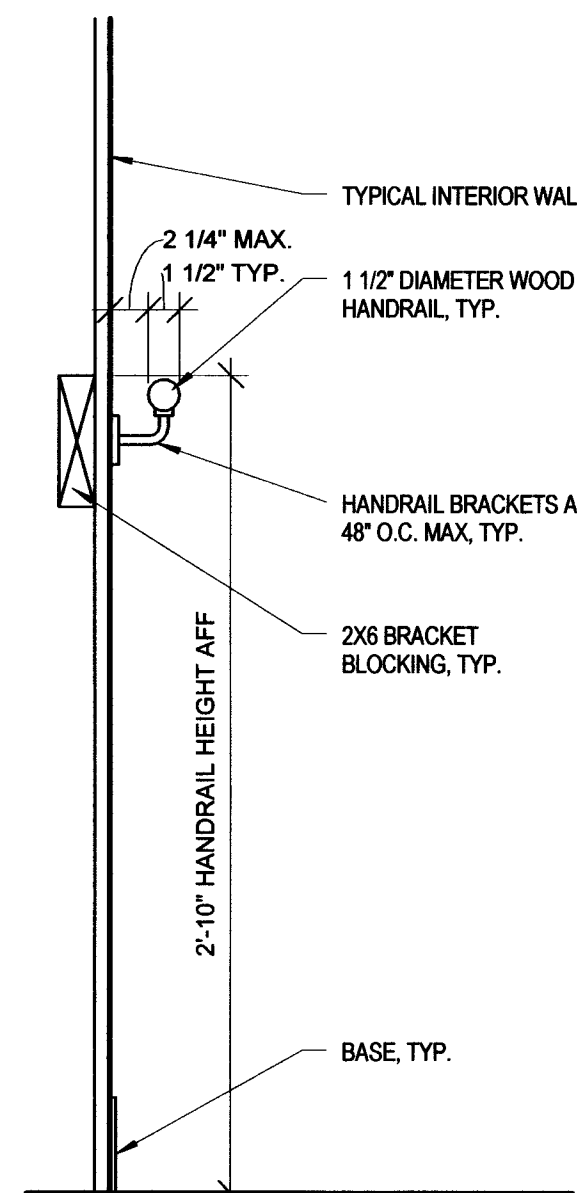
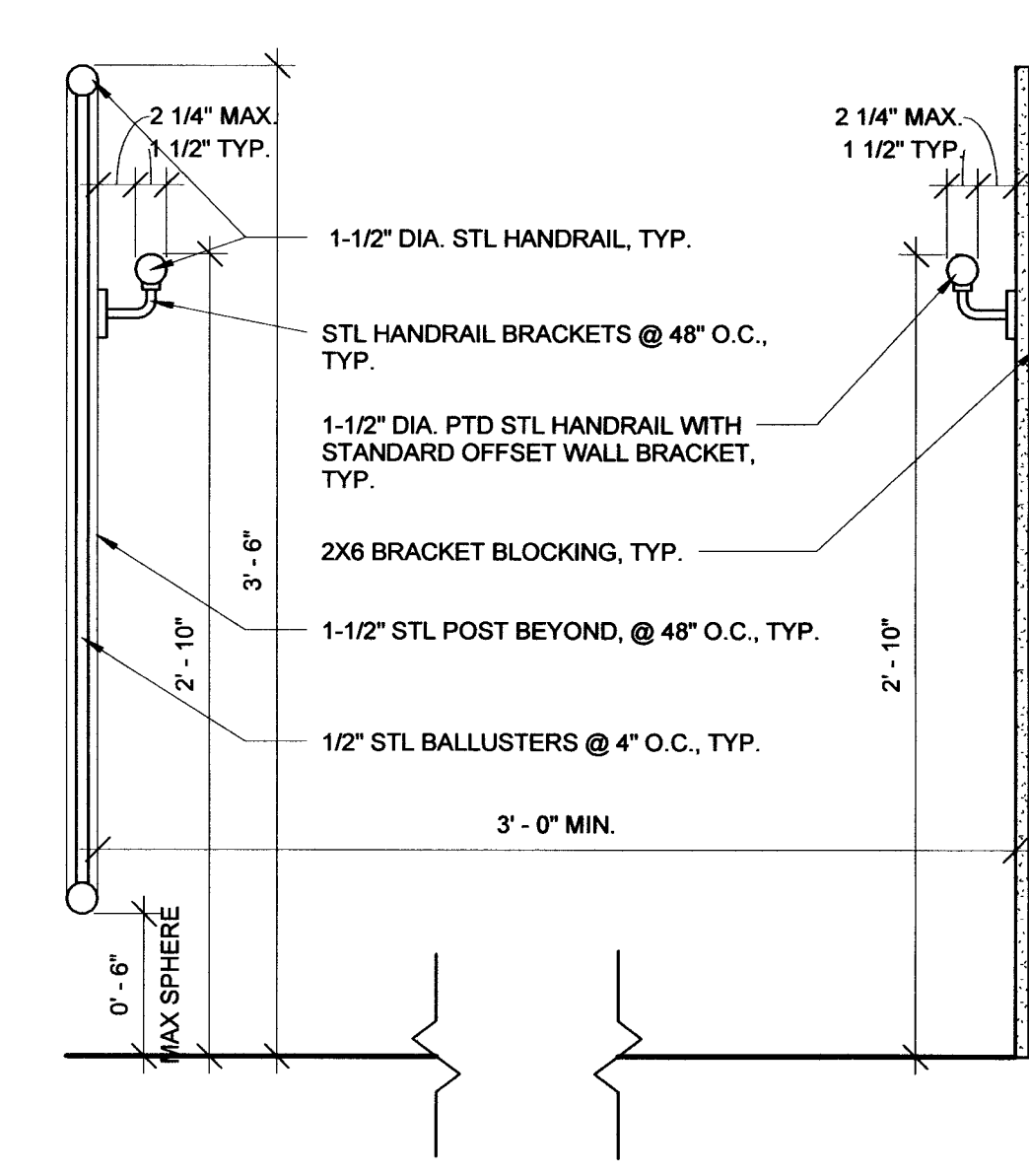
FIRE SEPARATION FOR FLOOR/CEILING ASSEMBLY AT FIRST/SECOND FLOOR

- EXPOSED STEEL BEAMS AND COLUMNS SUPPORTING SECOND FLOOR (DOWN TO THE FOUNDATION). TYPICAL SPRAY APPLIED FIRE RESISTIVE MATERIAL IS REQUIRED. [HTTP://ISOLATEK.COM/MEDIUM-DENSITY/](http://isolatek.com/medium-density/) OR EQUAL.
- FIRE RESISTANT CEILING TILES- ARMSTRONG FIREGUARD CEILING TILE PRODUCT INSTALLED BENEATH THE EXISTING CEILING IN WEEKSIE'S PIZZA- TILES WOULD BE INSTALLED AT OTHER FIRST FLOOR LOCATIONS AS WELL WITH SOME ROOMS HAVING STANDARD FIRE RATED SHEETROCK INSTEAD.

2 PLAN DETAIL- TYPICAL FINISH DETAIL AT NEW WALL OPENING
1" = 1'-0"3 PLAN DETAIL- TYPICAL INTERIOR WALL CONNECTION FROM NEW TO EXISTING
1" = 1'-0"4 DETAIL AT EXISTING WINDOW / RATED WALL INFILL
1/2" = 1'-0"

TYPICAL BLOCKING NOTES

- BLOCKING NOTES (FROM ANSI):
- BENDING STRESS IN A GRAB BAR INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LB-FT SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR.
 - SHEAR STRESS INDUCED IN A GRAB BAR BY THE APPLICATION OF 250 LB-FT SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR. IF THE CONNECTION BETWEEN THE GRAB BAR AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSION SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
 - SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 LB-FT SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
 - TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LB-FT PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 LB-FT SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

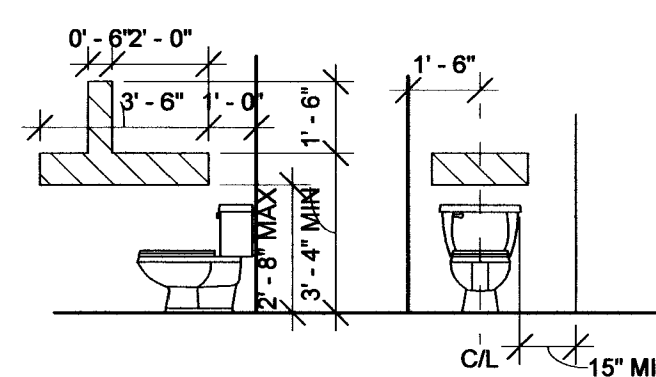
5 TYPICAL GRAB BAR DETAIL
1/4" = 1'-0"6 TYPICAL HANDRAIL DETAIL
1 1/2" = 1'-0"7 TYPICAL STAIR SECTION
1 1/2" = 1'-0"

NOTES:

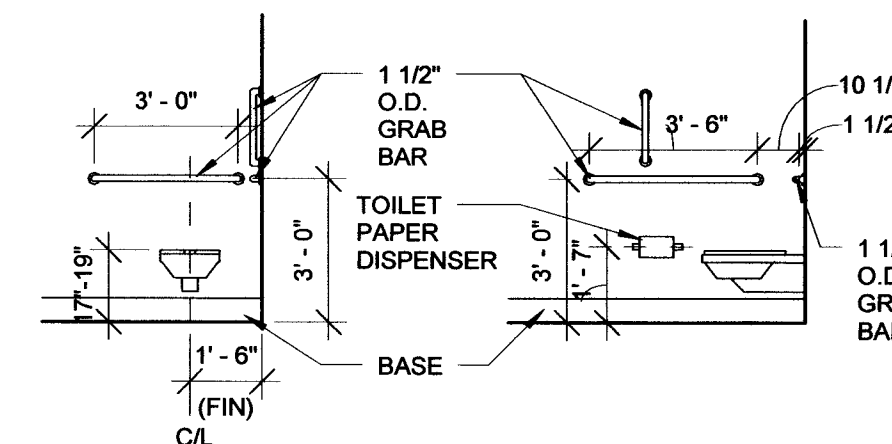
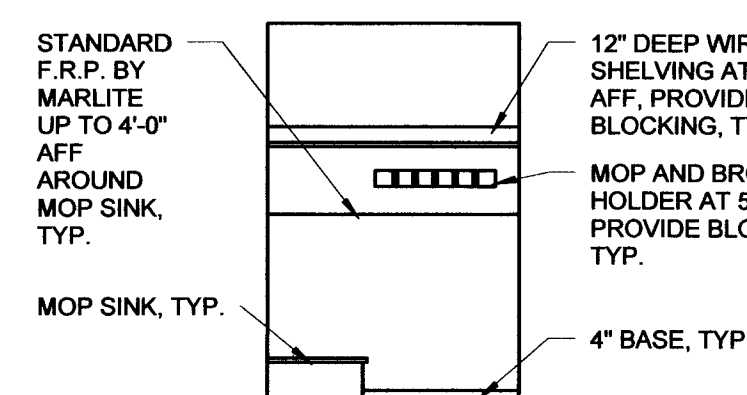
- PLUMBING SUPPLY AND DRAIN MUST NOT ENCR OACH ON HANDICAP CLEARANCES.
- REFER TO SPECIFICATIONS FOR MORE DETAIL ON FIXTURES.
- PLACE LAVATORY BOWL AS FAR FORWARD AS POSSIBLE AND CUT OUT REMOVABLE PLASTIC PIPE PROTECTION AROUND BOWL.
- PROVIDE INSULATION ON PIPES. TYP. BACK OUTLET LAV. DRAIN TO MEET ADA REQUIREMENTS.
- BOTTOM OF PANEL TO BE AS HIGH AS POSSIBLE AND STILL CONCEAL AND PROTECT PIPES.
- HOT AIR HAND DRYER SIDE REACH (OVER VANITY OR SINK): 46" MAX MOUNTING HEIGHT.
- GLASS VANITY SHELF PER BATHROOM; GC SHALL COORDINATE LOCATION W/ OWNER PRIOR INSTALLATION, TYP.

NOTES:

- ALL BATHROOMS TO RECEIVE THE FOLLOWING:
- GRAB BARS
 - ROBE HOOK
 - TOILET PAPER DISPENSER
 - VANITY SHELF
 - SOAP DISPENSER
 - PAPER TOWEL DISPENSER
 - TRASH CAN
 - MIRROR

8 TYPICAL ACCESSIBLE LAVATORY DIMENSIONS
1/4" = 1'-0"

- MOUNTING HEIGHT NOTES:
- THESE ARE TYPICAL DIAGRAMS INTENDED TO SHOW MOUNTING HEIGHTS, DIMENSIONS, SPACIAL REQUIREMENTS, ETC. FOR BOTH HANDICAP AND NON-HANDICAP FIXTURES AND ACCESSORIES.
 - COMPLY WITH DIMENSIONS SHOWN ON THESE DIAGRAMS UNLESS SPECIFICALLY DIMENSIONED ELSEWHERE ON THESE DRAWINGS.

9 TYPICAL REINFORCING LOCATIONS FOR GRAB BARS
1/4" = 1'-0"11 TYPICAL JANITOR'S CLOSET ELEVATION
1/4" = 1'-0"

66 THIRD STREET

DOVER, NH

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ARCHITECTURE4 Market Street
Portsmouth, New Hampshire
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No.	Description	Date

Project Name:
66 THIRD STREETDrawing Name:
WALL TYPES AND STANDARDS

Project number: 18054

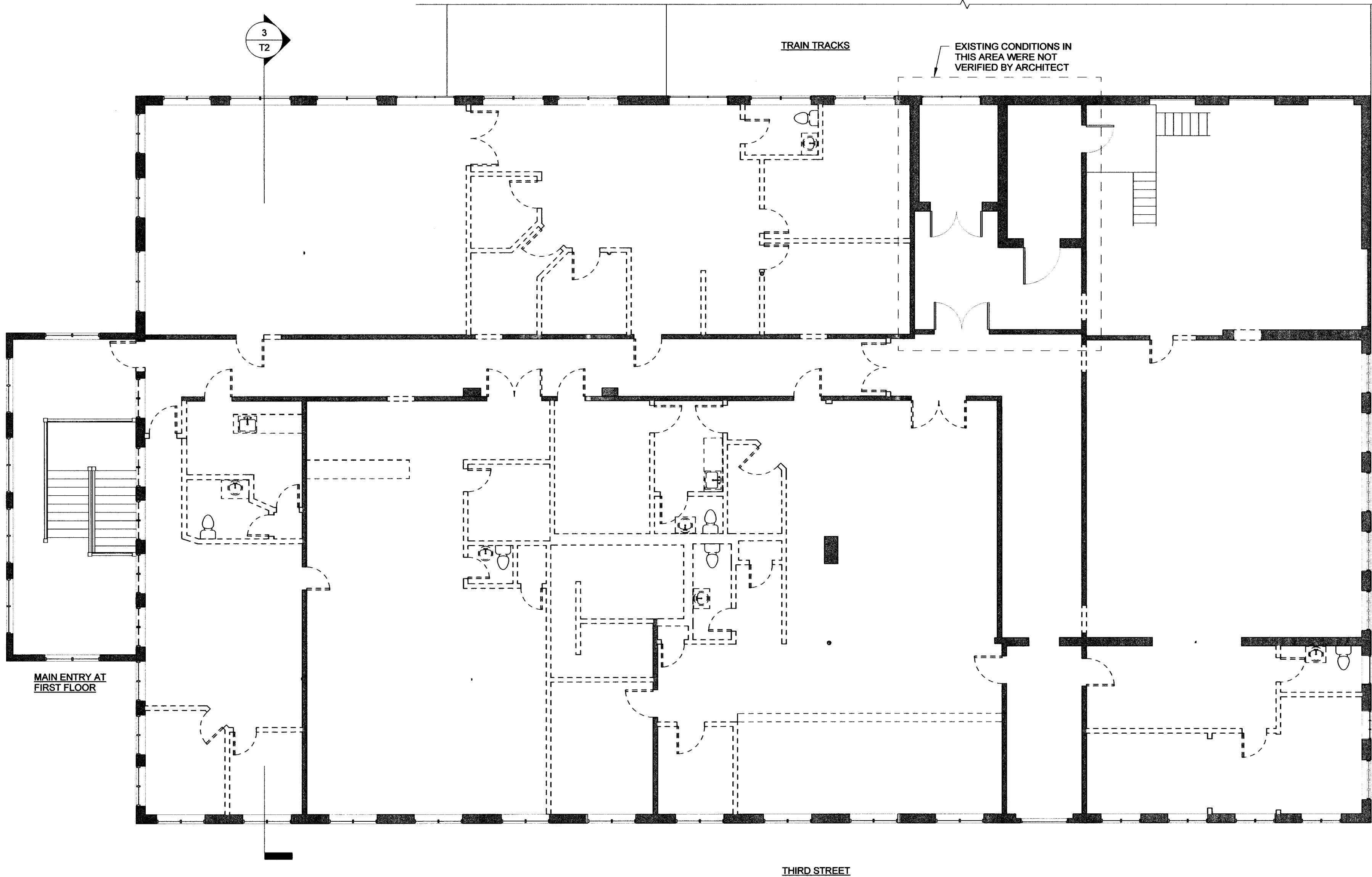
Date: 11/20/2018

Drawn by: MB

Checked by: JU

A100

Scale: As indicated



1 Level 2 REMOVALS PLAN
1/8" = 1'-0"

REMOVALS NOTES

1. THESE REMOVAL PLANS ARE BASED ON EXAMINATION OF THE EXISTING STRUCTURE AND ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY SITUATIONS, DIMENSIONS, OR OTHER CONDITIONS OF THE EXISTING STRUCTURE WHICH MAY ARISE DURING DEMOLITION OR CONSTRUCTION.
2. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE REMOVAL WORK IN ANY AREA. REMOVAL OF DOORS, WINDOWS, CABINETRY, FINISHES, PARTITIONS, OR ANY OTHER NON-STRUCTURAL ITEMS MAY PROCEED AS INDICATED. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT IMMEDIATELY AND SECURE INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK IN THAT AREA.
3. DASHED LINES INDICATE WALLS, DOORS, WINDOWS, CABINETRY AND OTHER ITEMS TO BE REMOVED.
4. CUT WORK BY METHODS LEAST LIKELY TO DAMAGE EXISTING WORK TO REMAIN AND ANY NEW WORK. THE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED TO THE ADJACENT WORK CAUSED BY THE REMOVALS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FORMS OF PROTECTION.
5. THE CONTRACTOR SHALL FOLLOW ALL OSHA REQUIREMENTS.
6. REMOVE EXISTING APPLIANCES AND FIXTURES.
7. TEMPORARY BRACING OR SHORING NEEDED TO HOLD THE STRUCTURE IN A SAFE AND STABLE POSITION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. SALVAGE AND STORE ANY EXISTING TRIM WORK BEING REMOVED FOR REUSE.

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No.	Description	Date

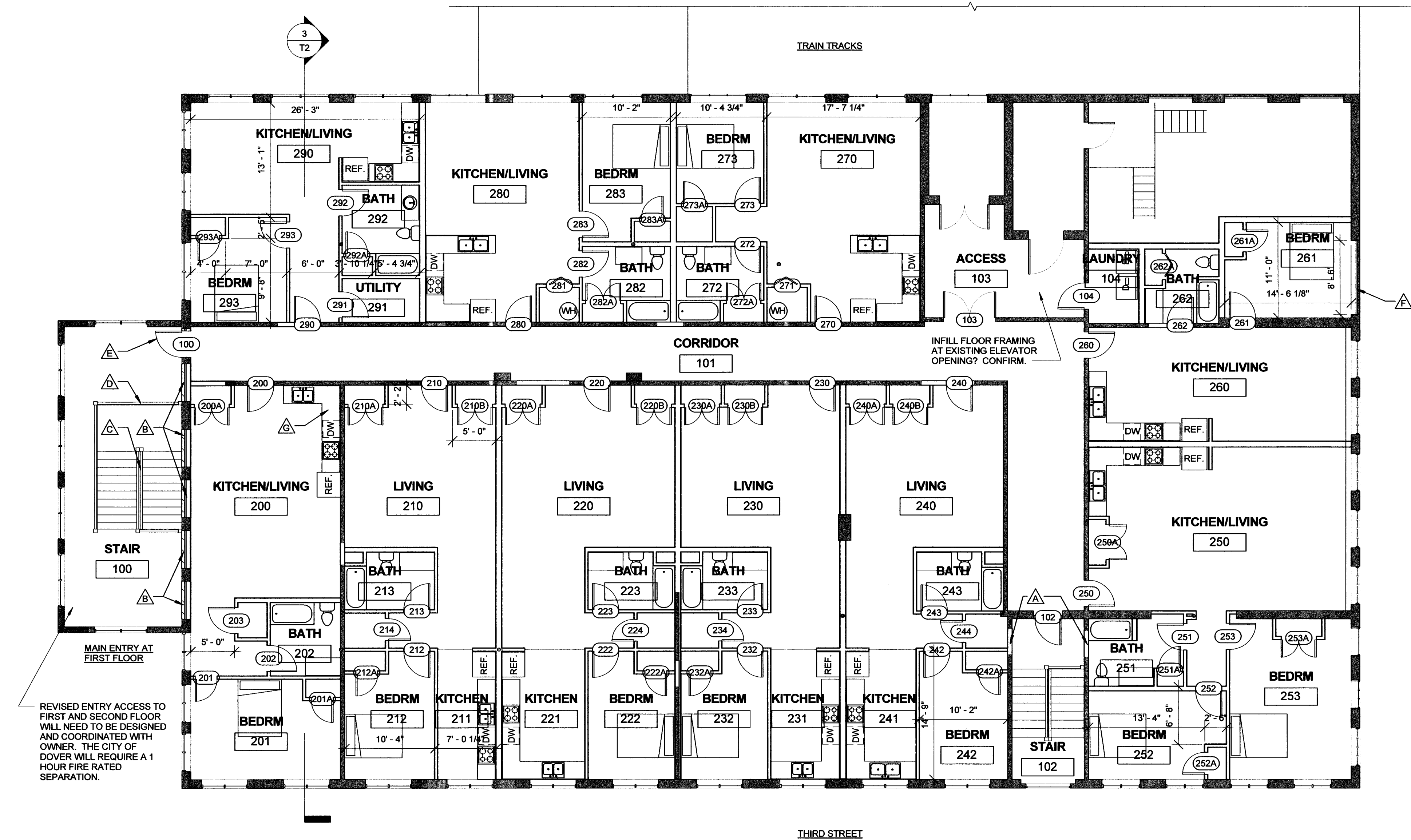
Project Name:
66 THIRD STREET

Drawing Name:
SECOND FLOOR
REMOVALS PLAN

Project number: 18054
Date: 11/20/2018
Drawn by: MB
Checked by: JJ

A101

Scale: As indicated



SECOND FLOOR PLAN KEYNOTES

- A. INFILL EXISTING OPENING WITH RATED WALL CONSTRUCTION.
B. INFILL EXISTING WINDOW OPENING WITH RATED WALL CONSTRUCTION- SEE DETAIL XX.X.
C. INSTALL NEW GUARDRAIL AT 42" A.F.F. AND NEW HANDRAIL AT 34" A.F.F. AT STAIRS.
D. INSTALL NEW GUARDRAIL AT 42" A.F.F. AT STAIR OPENING.
E. REPLACE EXISTING DOOR WITH NEW FIRE RATED DOOR. REFER TO DOOR SCHEDULE.
F. REMOVE EXISTING INFILL AND PROVIDE NEW WINDOW TO MATCH ADJACENT.
G. GC TO COORDINATE FINAL KITCHEN LAYOUTS WITH OWNER AND KITCHEN DESIGNER.

ROOM SF LIST			
Number	Name	Area	Comments
100	STAIR	464 SF	
101	CORRIDOR	879 SF	
102	STAIR	155 SF	
103	ACCESS	201 SF	
104	LAUNDRY	49 SF	
200	KITCHEN/LIVING	466 SF	
201	BEDRM	186 SF	
202	BATH	67 SF	
210	LIVING	397 SF	
211	KITCHEN	98 SF	
212	BEDRM	138 SF	
213	BATH	64 SF	
220	LIVING	478 SF	
221	KITCHEN	141 SF	
222	BEDRM	134 SF	
223	BATH	62 SF	
230	LIVING	428 SF	
231	KITCHEN	117 SF	
232	BEDRM	134 SF	
233	BATH	62 SF	
240	LIVING	421 SF	
241	KITCHEN	119 SF	
242	BEDRM	136 SF	
243	BATH	63 SF	
250	KITCHEN/LIVING	588 SF	
251	BATH	78 SF	
252	BEDRM	150 SF	
253	BEDRM	242 SF	
260	KITCHEN/LIVING	391 SF	
261	BEDRM	153 SF	
262	BATH	60 SF	
270	KITCHEN/LIVING	443 SF	
272	BATH	74 SF	
273	BEDRM	115 SF	
280	KITCHEN/LIVING	421 SF	
282	BATH	75 SF	
283	BEDRM	148 SF	
290	KITCHEN/LIVING	368 SF	
291	UTILITY	44 SF	
292	BATH	82 SF	
293	BEDRM	121 SF	

66 THIRD STREET

DOVER, NH

McHENRY
ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire
603.430.0274

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No.	Description	Date

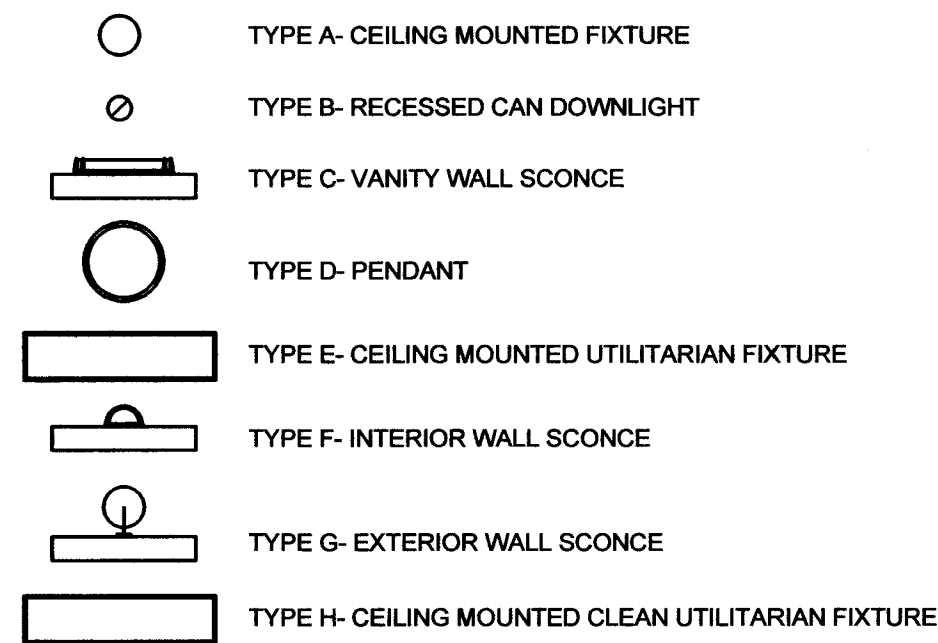
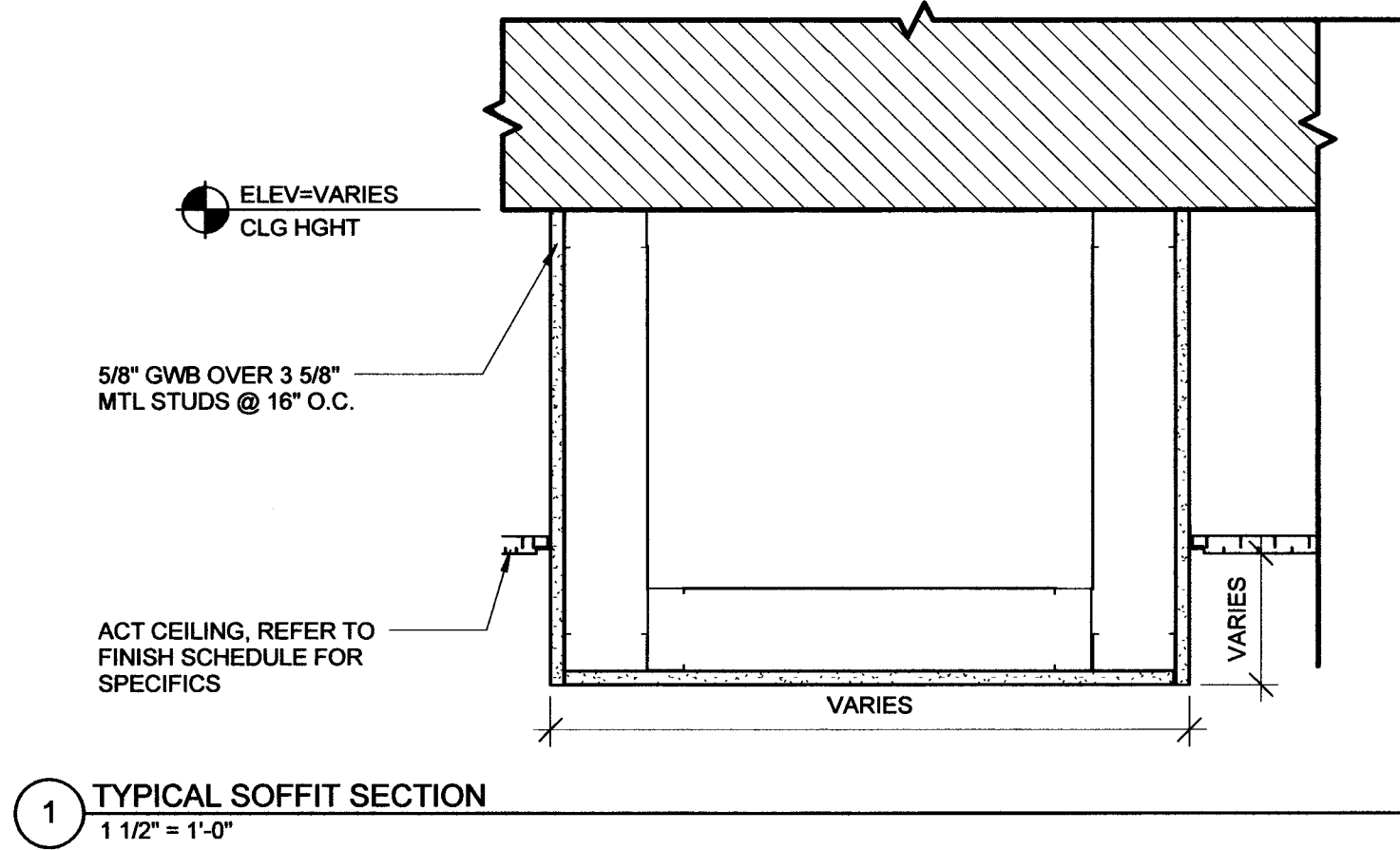
Project Name:
66 THIRD STREET

Drawing Name:
SECOND FLOOR PLAN

Project number: 18054
Date: 11/20/2018
Drawn by: MB
Checked by: JJ

A102

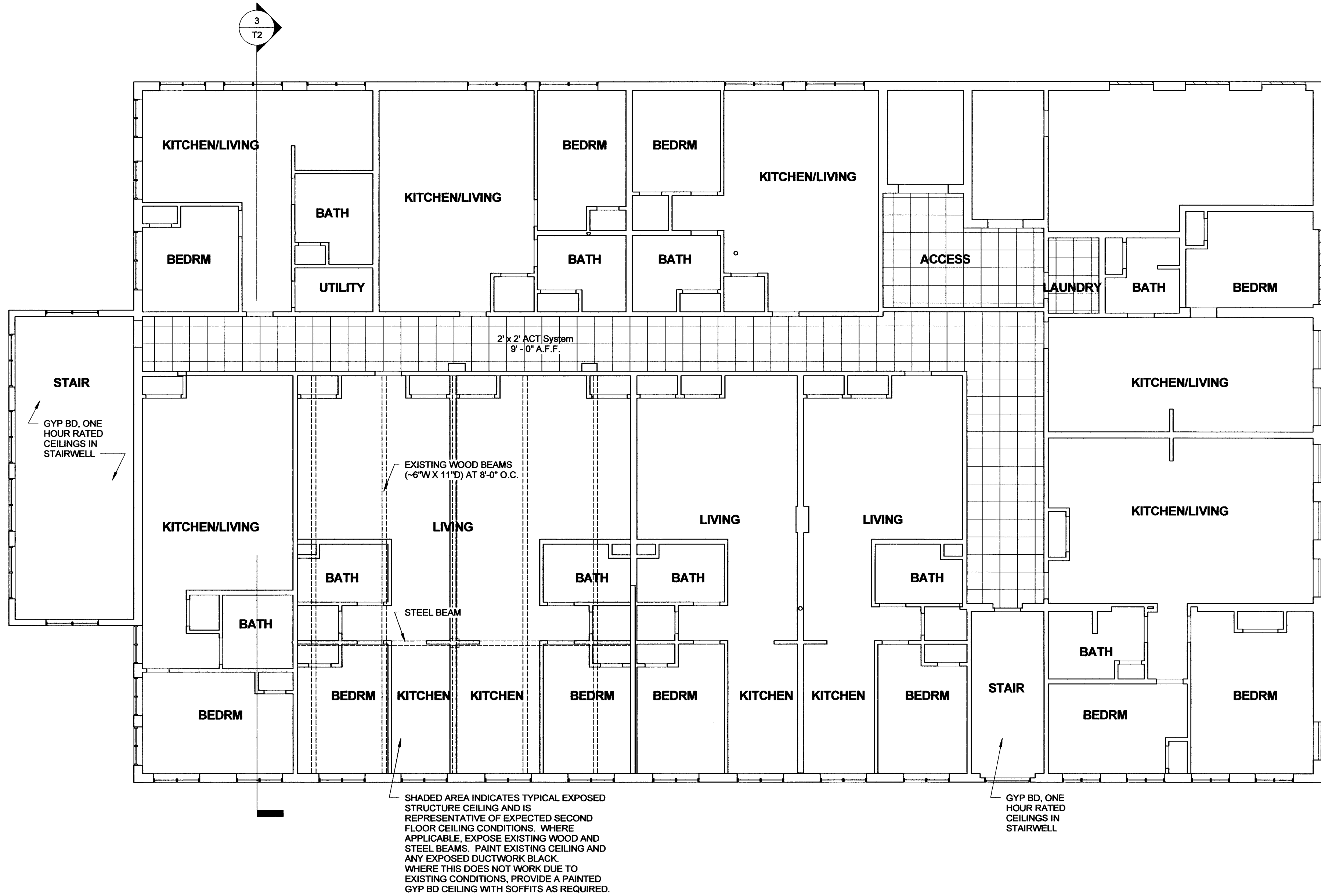
Scale: As indicated



LIGHT FIXTURE LEGEND

1. LIGHTING LAYOUT TO BE USED AS BASIS OF DESIGN. COORDINATE ALL LOCATIONS AND FIXTURE TYPES WITH OWNER.
2. ALL LIGHTS NOT DIMENSIONED TO BE CENTERED IN SPACE. COORDINATE EXACT LOCATION OF ALL CEILING ITEMS NOT DIMENSIONED ON THIS OR OTHER DRAWINGS IN THE FIELD WITH ARCHITECT.
3. PROVIDE UNDERCABINET LIGHTS AT ALL KITCHEN CABINETRY- MIN. 2 FIXTURES PER UNIT.
4. PROVIDE ALL EMERGENCY LIGHTING AS REQUIRED PER CODE.
5. PROVIDE SECURITY AND NIGHT LIGHTING AS REQUIRED.
6. GC TO PROVIDE CUT SHEETS OF ALL PROPOSED FIXTURES TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
7. ALL INTERIOR FIXTURES TO HAVE US260 FINISH. ALL EXTERIOR FIXTURES TO HAVE BRONZE FINISH.
8. FIELD VERIFY ALL SOFFIT SIZES THAT ARE REQUIRED IN ORDER TO CONCEAL MECHANICAL DUCTWORK.
9. CEILINGS TO BE 5/8" TYPE 'X' GWB ATTACHED TO UNDERSIDE OF STRUCTURE, TYP. U.N.O.
10. GC TO COORDINATE SPRINKLER HEAD LOCATIONS WITH LIGHTS AND DIFFUSERS.

LIGHT FIXTURE NOTES



66 THIRD STREET

DOVER, NH

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Portsmouth, New Hampshire
603.430.0274

NOT FOR CONSTRUCTION
PRICING SET ONLY

No.	Description	Date

Project Name:
66 THIRD STREET

Drawing Name:
REFLECTED CEILING
PLANS

Project number: 18054
Date: 11/20/2018
Drawn by: MB
Checked by: JJ

A201

Scale: As indicated

Door Schedule								
Mark	Type Mark	Fire Rating	Height	Width	Frame Type	Frame Material	Function	Comments
108	26	1 HR	7' - 0"	3' - 0"			Interior	
100	C	1 HR	6' - 8"	3' - 0"			Interior	
102	C	1 HR	6' - 8"	3' - 0"			Interior	
104	A		6' - 8"	3' - 0"			Interior	
200	B	20 MIN	6' - 8"	3' - 0"			Interior	
200A	D		6' - 8"	4' - 0"			Interior	
201	A		6' - 8"	2' - 6"			Interior	
201A	A		6' - 8"	2' - 6"			Interior	
202	A		6' - 8"	3' - 0"			Interior	
203	A		6' - 8"	3' - 0"			Interior	
210	B	20 MIN	6' - 8"	3' - 0"			Interior	
210A	D		6' - 8"	4' - 0"			Interior	
210B	D		6' - 8"	4' - 0"			Interior	
212	A		6' - 8"	3' - 0"			Interior	
212A	A		6' - 8"	2' - 6"			Interior	
213	A		6' - 8"	3' - 0"			Interior	
214	A		6' - 8"	2' - 6"			Interior	
220	B	20 MIN	6' - 8"	3' - 0"			Interior	
220A	D		6' - 8"	4' - 0"			Interior	
220B	D		6' - 8"	4' - 0"			Interior	
222	A		6' - 8"	3' - 0"			Interior	
222A	A		6' - 8"	2' - 6"			Interior	
223	A		6' - 8"	3' - 0"			Interior	
224	A		6' - 8"	2' - 6"			Interior	
230	B	20 MIN	6' - 8"	3' - 0"			Interior	
230A	D		6' - 8"	4' - 0"			Interior	
230B	D		6' - 8"	4' - 0"			Interior	
232	A		6' - 8"	3' - 0"			Interior	
232A	A		6' - 8"	2' - 6"			Interior	
233	A		6' - 8"	3' - 0"			Interior	
234	A		6' - 8"	2' - 6"			Interior	
240	B	20 MIN	6' - 8"	3' - 0"			Interior	
240A	D		6' - 8"	4' - 0"			Interior	
240B	D		6' - 8"	4' - 0"			Interior	
242	A		6' - 8"	3' - 0"			Interior	
242A	A		6' - 8"	2' - 6"			Interior	
243	A		6' - 8"	3' - 0"			Interior	
244	A		6' - 8"	2' - 6"			Interior	
250	B	20 MIN	6' - 8"	3' - 0"			Interior	
250A	D		6' - 8"	4' - 0"			Interior	
251	A		6' - 8"	3' - 0"			Interior	
251A	A		6' - 8"	2' - 6"			Interior	
252	A		6' - 8"	3' - 0"			Interior	
252A	A		6' - 8"	2' - 6"			Interior	
253	A		6' - 8"	3' - 0"			Interior	
253A	D		6' - 8"	4' - 0"			Interior	
260	B	20 MIN	6' - 8"	3' - 0"			Interior	
261	A		6' - 8"	3' - 0"			Interior	
261A	A		6' - 8"	2' - 6"			Interior	
262	A		6' - 8"	3' - 0"			Interior	
262A	E		6' - 8"	3' - 0"			Interior	
270	B	20 MIN	6' - 8"	3' - 0"			Interior	
271	E		6' - 8"	3' - 0"			Interior	
272	A		6' - 8"	3' - 0"			Interior	
272A	D		6' - 8"	4' - 0"			Interior	
273	A		6' - 8"	3' - 0"			Interior	
273A	A		6' - 8"	2' - 6"			Interior	
280	B	20 MIN	6' - 8"	3' - 0"			Interior	
281	E		6' - 8"	3' - 0"			Interior	
282	A		6' - 8"	3' - 0"			Interior	
282A	D		6' - 8"	4' - 0"			Interior	
283	A		6' - 8"	3' - 0"			Interior	
283A	A		6' - 8"	2' - 6"			Interior	
290	B	20 MIN	6' - 8"	3' - 0"			Interior	
291	A		6' - 8"	3' - 0"			Interior	
292	A		6' - 8"	3' - 0"			Interior	
292A	A		6' - 8"	2' - 6"			Interior	
293	A		6' - 8"	3' - 0"			Interior	
293A	A		6' - 8"	2' - 6"			Interior	

GC TO COORDINATE ALL DOOR HARDWARE SETS.

HARDWARE SET 1: (BEDROOMS)
EACH TO HAVE: HINGES, PRIVACY FUNCTION LOCKSET, DOOR STOP, SILENCERS

HARDWARE SET 2: (BATHROOMS)
EACH TO HAVE: HINGES, PRIVACY FUNCTION LOCKSET, DOOR STOP, SILENCERS

HARDWARE SET 3: (CLOSETS- HINGED)
EACH TO HAVE: HINGES, PASSAGE SET, DOOR STOP, SILENCERS

HARDWARE SET 4: (CLOSETS- SLIDING)
EACH TO HAVE: OVERHEAD TRACK, PULLS, DOOR STOP, SILENCERS

HARDWARE SET 5: (EXTERIOR ENTRY/EGRESS)
EACH TO HAVE: HINGES, DOOR STOP, SILENCERS, WEATHERSTRIPPING

HARDWARE SET 6: (BI-FOLD DOOR CLOSETS)
EACH TO HAVE: HINGES, DOOR STOP, SILENCERS

HARDWARE SET 7: (BATHROOMS)
EACH TO HAVE: HINGES, PASSAGE SET

HARDWARE SET 8: (UTILITIES)
EACH TO HAVE: HINGES, STOREROOM FUNCTION LOCKSET, DOOR STOP, SILENCERS

DOOR HARDWARE

1 BORROWED LITE DETAILS
1 1/2" = 1'-0"

Window Schedule			
Type Mark	Width	Height	Comments
12	4' - 4"	6' - 0"	
13	5' - 3"	6' - 0"	
14	5' - 3"	6' - 0"	
15	6' - 8"	6' - 0"	
16	6' - 0"	6' - 0"	
21	6' - 7"	3' - 0"	
23	4' - 4"	6' - 0"	
24	3' - 4"	3' - 0"	
25	3' - 4"	2' - 0"	

1. WINDOW MANUFACTURER TO VERIFY ALL WINDOW SIZES IN FIELD.
2. PROVIDE PAINTED WOOD SILL, APRON, AND TRIM AT ALL WINDOWS, TYP. TRIM TO MATCH EXISTING PROFILES, TYP.
3. ALL WINDOWS TO BE LOW-E ARGON FILLED.
4. ALL WINDOW HARDWARE TO BE PROVIDED.
5. PROVIDE INSECT SCREENS AT ALL WINDOWS.
6. BEDROOM EGRESS SIZE WINDOWS TO MEET MINIMUM 5.7 SF CLEARANCE.
7. ALL WINDOWS WITHIN 18" OF THE FINISHED FLOOR TO BE TEMPERED, TYP.
8. FOR INTERIOR GLAZING, REFER TO INTERIOR WINDOW DETAILS.
9. PROVIDE ALL NEW WINDOWS AND GLASS TYPES AS INDICATED ON THE DRAWINGS. COMPLETE WITH ALL STANDARD HARDWARE AND NOTED OPTIONS. CONFIRM TEMPERED GLASS LOCATIONS BEFORE ORDERING.
10. INSTALL ALL DOORS AND WINDOWS IN ACCORDANCE WITH NWWDA GUIDELINES, MANUFACTURER'S RECOMMENDATIONS, AND AS DETAILED. PROVIDE METAL DRIP CAPS AT HEADS AND FABRIC FLASHING AT JAMBS AND SILLS OF ALL EXTERIOR DOOR AND WINDOW FRAMES.

WINDOW NOTES

TYPE A
PAIR OF DOUBLE HUNG

TYPE B
PAIR OF CASEMENT

TYPE C
PAIR OF CASEMENT

TYPE D
FIXED

TYPE E (SAME AS B)
PAIR CASEMENT

TYPE F
AWNING

TYPE G
FIXED

TYPE H
FIXED

TYPE J
TRIPLE- 2 CASEMENT AND 1 FIXED

TYPE K (SAME AS C)
PAIR OF CASEMENT

TYPE L (SAME AS B)
PAIR CASEMENT

TYPE M
PAIR CASEMENT WITH FIXED LIGHT

TYPE N (SAME AS A)
PAIR OF DOUBLE HUNG

TYPE P
FIXED WITH DIVIDED LITES

TYPE A
FLUSH SOLID WOOD STAIN GRADE

TYPE B
FLUSH SOLID WOOD STAIN GRADE- RATED

TYPE C
FLUSH SOLID WOOD STAIN GRADE WITH VISION PANEL- RATED

TYPE D
PAIR OF FLUSH SOLID WOOD STAIN GRADE

TYPE E
BI-FOLD SOLID WOOD STAIN GRADE

NOTE: GC TO REPLACE ALL EXISTING WINDOWS.

WINDOW TYPES

DOOR TYPES

1 2X4 WD STUD CASSED OPENING JAMB (HEAD SIM.)

2 2X6 WD STUD CASSED OPENING JAMB (HEAD SIM.)

3 2X6 WD STUD JAMB (HEAD SIM.)

4 2X6 WD STUD JAMB WITH TRIM (HEAD SIM.)

5 2X6 WD STUD JAMB (HEAD SIM.)

6 2X4 WD STUD JAMB WITH TRIM (HEAD SIM.)

5/8" GWB EACH SIDE WD STUDS (REFER TO WALL TYPES)

2X4 BLOCKING AT HEAD AND JAMBS, TYP.

ANCHORS- 3 PER JAMB

WD TRIM, SEE FINISH SCHEDULE, TYP.

0' - 3 1/2"

0' - 4 3/4"

(THROAT VARIES)

WELDED H.M. DOOR FRAME, PAINTED, SEE DOOR SCHEDULE FOR RATING

0' - 2"

0' - 5 1/2"

0' - 6 3/4"

(THROAT VARIES)

5/8" GWB EACH SIDE WD STUDS (REFER TO WALL TYPES)

WD TRIM, RABBIT AS REQUIRED, TYP.

2X6 BLOCKING AT HEAD AND JAMBS, TYP.

ANCHORS- 3 PER JAMB

0' - 3 1/2"

0' - 4 3/4"

(THROAT VARIES)

WELDED H.M. DOOR FRAME, PAINTED, SEE DOOR SCHEDULE FOR RATING

0' - 2"

0' - 5 1/2"

0' - 6 3/4"

(THROAT VARIES)

5/8" GWB EACH SIDE WD STUDS (REFER TO WALL TYPES)

WD TRIM, RABBIT AS REQUIRED, TYP.

2X6 BLOCKING AT HEAD AND JAMBS, TYP.

ANCHORS- 3 PER JAMB

0' - 3 1/2"

0' - 4 3/4"

(THROAT VARIES)

WELDED H.M. DOOR FRAME, PAINTED, SEE DOOR SCHEDULE FOR RATING

0' - 2"

0' - 5 1/2"

0' - 6 3/4"

(THROAT VARIES)

1. REFER TO SCHEDULE, TYP.
2. PROVIDE HM FRAMES, TYP.
3. WOOD DOOR SLABS TO BE STAIN GRADE MAPLE.
4. ALL DOOR HARDWARE TO BE US-26D.
5. PROVIDE MIN. 3 HINGES PER DOOR.
6. PROVIDE PRIVACY LOCKS ON ALL BATHROOM DOORS. PROVIDE DUMMY SETS ON ALL CLOSET DOORS.
7. INSTALL ALL DOORS PER DOOR MANUFACTURER'S SPECIFICATIONS. DOORS TO BE INSTALLED 4" (MIN) TO 6" (TYP) FROM ADJACENT FINISH FACE OR CENTERED IN OPENING, U.N.O., TYP.
8. PROVIDE ALL NEW DOORS AND RELATED HARDWARE OF TYPES AND SIZES AS INDICATED ON THE DRAWINGS. APPLY SEALER TO ALL SURFACES, EDGES, MORTISES, ETC. OF ALL WOOD DOORS.
9. HARDWARE DESIGN SHALL BE AS APPROVED BY THE OWNER AND THE ARCHITECT. PROVIDE ALL HARDWARE NECESSARY FOR THE PROPER OPERATION OF ALL WORK ON THIS PROJECT. REFER TO THE DRAWINGS FOR HARDWARE FUNCTIONS. CONFIRM DOOR KEYING AND SECURITY WITH THE OWNER.
10. PROVIDE COMPLETE WEATHERSTRIPPING FOR ALL NEW EXTERIOR DOORS OF NEOPRENE BULB/ ALUMINUM STRIP AT HEAD AND JAMBS AND VINYL SWEEP/ ALUMINUM STRIP AT BOTTOM.
11. PROVIDE ALL NEW WINDOWS AND GLASS TYPES AS INDICATED ON THE DRAWINGS. COMPLETE WITH ALL STANDARD HARDWARE AND NOTED OPTIONS. CONFIRM TEMPERED GLASS LOCATIONS BEFORE ORDERING.
12. INSTALL ALL DOORS AND WINDOWS IN ACCORDANCE WITH NWWDA GUIDELINES, MANUFACTURER'S RECOMMENDATIONS, AND AS DETAILED. PROVIDE METAL DRIP CAPS AT HEADS AND FABRIC FLASHING AT JAMBS AND SILLS OF ALL EXTERIOR DOOR AND WINDOW FRAMES.
13. REFER TO SCHEDULE FOR FIRE RATINGS, TYP.
14. PROVIDE DOOR STOPS, KICK PLATES, CLOSERS, PANIC DEVICES, SEALS, PEEP HOLES, ELECTROMAGNETIC HOLDS, DOOR SWEEPS, SPRING HINGES, AND VISION PANELS AS REQUIRED ON PUBLIC DOORS.
15. PROVIDE PRIVACY LOCKS ON ALL BATHROOM DOORS. PROVIDE DUMMY SETS ON ALL CLOSET DOORS. PROVIDE KEYED LEVERS AT ALL OFFICE DOORS WITH MASTER KEY FOR ADMINISTRATOR.
16. INSTALL ALL DOORS PER DOOR MANUFACTURER'S SPECIFICATIONS. DOORS TO BE INSTALLED 4" MIN. TO 6" TYP. FROM ADJACENT FINISH FACE OR CENTERED IN OPENING, U.N.O., TYP.
17. SELECTED DOOR SUBCONTRACTOR SHALL MEET WITH GC AND ARCHITECT TO VERIFY ALL DOORS AND HARDWARE SETS PRIOR TO PURCHASE AND INSTALLATION. LEGAL EXITS SHALL NOT BE BLOCKED AT ANY TIME. ALL DOOR HARDWARE MUST COMPLY WITH SECTION 30.2.2.2 OF THE 2009 EDITION OF THE NFPA 101 LIFE SAFETY CODE.
18. LATCHING AND LOCKING DOORS THAT ARE HAND ACTUATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH/PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITH REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOOR SHALL OPERATE AS ABOVE IN THE EGRESS DIRECTION.
20. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING:
INTERIOR DOORS: 5 POUNDS.
EXTERIOR DOORS: 8.5 POUNDS.
FIRE DOORS: 15 POUNDS.

DOOR NOTES

66 THIRD STREET

DOVER, NH

McHENRY
ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire
603.430.0274

NOT FOR CONSTRUCTION
PRICING SET ONLY

No.	Description	Date

Project Name:	66 THIRD STREET
Drawing Name:	SCHEDULES
Project number:	18054
Date:	11/20/2018
Drawn by:	MB
Checked by:	JJ
Scale:	As indicated

A601