



CITY OF DOVER

DOVER PLANNING BOARD – AGENDA

Meeting Type: Executive Session
Meeting Location: Council Conference Room, City Hall
Meeting Date: **Tuesday, September 22, 2020**
Meeting Time: **6:00 pm**

The Planning Board will meet in Executive Session to consult with its legal counsel.

NOTE: This meeting is not open to the public per RSA 91-A:2(I)(b), Consultation with legal counsel.



CITY OF DOVER

DOVER PLANNING BOARD – AGENDA

Meeting Type: Regular Meeting
Meeting Location: Council Chambers, City Hall, 288 Central Ave, Dover NH 03820
Meeting Date: **Tuesday, September 22, 2020**
Meeting Time: **7:00 pm**

1. CITIZENS' FORUM

2. APPROVAL OF THE PRIOR MINUTES

- September 8, 2020 Regular Meeting Minutes

3. OLD BUSINESS

4. NEW BUSINESS

- A. Consideration and acceptance of a Condition Use Permit for Kelliher Maureen Revocable Trust, Assessor's Map L, Lot 58-Y, zoned R-20, located at 27 Cote Drive. (Proposal is to expand a single family house with a garage addition of 355 s.f. and 179 s.f. of additional driveway, in the Conservation District adjacent to the tidal Piscataqua River, with 764 s.f. of tidal buffer zone impact.) *(P20-49)
- B. Consideration and acceptance of a Major Subdivision for the City of Dover, Assessor's Map 22, Lot 1, zoned CWD, located at 31 River Street. (5 new lots) *(P20-14)

5. STAFF COMMENT

6. MEMBER COMMENTS

7. ADJOURNMENT

*Indicates that if the application is accepted for discussion, the public hearing will be held the same evening. Note that some hearings will be continued from one meeting to another and some may be postponed. Since this is only a partial description of the proposal and may change, persons with questions or wishing to see the plans are invited to visit the Planning Office, Monday through Thursday from 8:30 am to 5:30 pm and Friday 8:30 am to 4:00 pm or email Dover-Planning@dover.nh.gov. You may also view materials at www.dover.nh.gov.



DOVER PLANNING BOARD – MINUTES

Meeting Type: Regular Meeting, continued
Meeting Location: City Council Chamber's 288 Central Avenue
Meeting Date: **Tuesday, September 8, 2020**
Meeting Time: **7:00 pm**

Members Present: Gina Cruikshank (Chair), Dennis Ciotti (Councilor), Dave White, Jackson Kaspari, Ellen Ianello (Alternate), Frank Torr, Tom Clark, Hayley Harmon (Vice Chair), Erin Allgood (Alternate), Dave Landry

Members Not Present (excused): Lisa McGunnigle (Alternate), Matt Sullivan

Members Not Present (un-excused): None

Staff Present: Christopher Parker, Assistant City Manager

Chair G. Cruikshank called the meeting to order at 7:00 p.m. and noted Erin Allgood will be sitting in for Matt Sullivan.

1. CITIZENS' FORUM

Citizens Forum Open. No one spoke. *Citizens Forum Closed.*

2. APPROVAL OF THE PRIOR MINUTES

- August 25, 2020 Regular Meeting Minutes

Motion: F. Torr moved to approve the minutes as presented. Seconded by D. Ciotti. Vote: U/A

3. OLD BUSINESS

None

4. NEW BUSINESS

- A. Consideration and acceptance of a waiver request for Jesse Anderson, Assessor's Map F, Lot 12-D-16, zoned R-40, located at 3 Dean Drive. (Proposal is to allow an accessory building lot with a side setback of 13 feet where 20 feet is required in an Open Space Subdivision).*(P87-11A)

C. Parker explained the Dean Drive Subdivision was approved by the Planning Board in 1987. The project was approved as an Alternative Design Subdivision, since renamed Open Space Subdivision.

Typically, setbacks are governed by the zoning code, and relief would be granted by the Zoning Board. However, it was determined that as the zoning code points to the subdivision regulations, in this case the waiver process is the means for relief.

The side setbacks in the R-40, for an Open Space Subdivision, is 20 feet. If the applicant could build a detached garage, they would need a 10-foot side setback. In this case, due to the width of the lots, and the requirement that there be a distance between the principal and accessory structure equal to the height of the rear wall of the accessory structure, a detached garage is not feasible.

The original developer is no longer present in the subdivision, and all ownership rights have been transferred to the Homeowner's Association which has provided support for the request.

Jesse Anderson, 3 Dean Drive, represented the application and discussed the plat. He has approached the neighbors and received their approval. There will be a tree line between the home and the abutter.

Motion: F. Torr moved to accept the application. Seconded by T. Clark. Vote: U/A



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Public hearing opened. No one spoke. No emails or calls were received to the office for this item.

Public Hearing closed.

C. Parker noted the plan is consistent with Chapter 157-51 states a waiver may be granted if the Board finds that

“(1) Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or

(2) Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.”

Staff believes that the criteria 1 has been met, as the setback relief would be consistent with a detached garage, and the request is similar to other setbacks in the neighborhood.

Staff recommends approval of the waiver request.

D. Ciotti would like the HOA letter rewritten to state that they approve of the waiver, not just that they acknowledge the waiver request.

Motion: D. Ciotti made a motion that the Board approve the waiver application with the condition that the HOA acknowledge they do not oppose the waiver. Seconded by T. Clark. Vote: U/A

- B. Consideration and acceptance of a waiver request for Seth and Kerry Mattson, Assessor's Map F, Lot 12-D-1A, zoned R-40, located at 4 Dean Drive. (Proposal is to allow an accessory building lot with a side setback of 13 feet where 20 feet is required in an Open Space Subdivision).*(P87-11B)

C. Parker explained the Dean Drive Subdivision was approved by the Planning Board in 1987. The project was approved as an Alternative Design Subdivision, since renamed Open Space Subdivision.

Typically, setbacks are governed by the zoning code, and relief would be granted by the Zoning Board. However, it was determined that as the zoning code points to the subdivision regulations, in this case the waiver process is the means for relief.

The side setbacks in the R-40, for an Open Space Subdivision, is 20 feet. If the applicant could build a detached garage, they would need a 10-foot side setback. In this case, due to the width of the lots, and the requirement that there be a distance between the principal and accessory structure equal to the height of the rear wall of the accessory structure, a detached garage is not feasible.

The original developer is no longer present in the subdivision, and all ownership rights have been transferred to the Homeowner's Association which has provided support for the request.

Kerry Mattson, 4 Dean Drive, represented the application and discussed the plat. The width is to accommodate two 9' garage doors, an entrance door and internal stairs to enter the house. Currently they have to climb nine stairs that are exposed to the weather to enter the home. Attaching the house to the garage gives the family safe access to the home. There are other properties in the neighborhood that have made this same change and the immediate abutting neighbors are supportive of the plan.

Motion: F. Torr moved to accept the application. Seconded by T. Clark. Vote: U/A



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Public hearing opened. No one spoke. An email from Michaela Nitschke in support of the application was provided to the Board. No calls were received to the office for this item.

Public Hearing closed.

C. Parker noted the plan is consistent with Chapter 157-51 states a waiver may be granted if the Board finds that

“(1) Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or

(2) Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.”

Staff believes that the criteria 1 has been met, as the setback relief would be consistent with a detached garage, and the request is similar to other setbacks in the neighborhood.

Staff recommends approval of the waiver request with the condition that the HOA confirm they are not opposed to the request.

Motion: F. Torr made a motion that the Board approve the waiver application. Seconded by T. Clark. Vote: U/A

- C. Consideration and acceptance of a Minor Subdivision for Bruce Caswell, Assessor's Map G, Lot 31, zoned CM, located at 66 Littleworth Road. (1 new lots) *(P20-50)

C. Parker explained the applicant received approval for this lot to have a ground mounted solar panels within the wetlands in August 28, 2014. The proposal is to place the solar panels on a separate lot from the Single-Family Home. The site is proposed to be serviced by municipal water and septic sewer. One lot will be 3.65 acres or 159,035 s.f. The second lot will be 5.53 acres or 241,045 s.f.

As a Minor Subdivision, this application did not appear before the TRC.

Kevin McEneaney, McEneaney Survey Associates, represented the application and discussed the plat. It is the desire of the landowner and the owner of the solar array to have those on separate lots. It will require state subdivision approval.

F. Torr inquired about driveway access. They are applying for a driveway.

Motion: F. Torr moved to accept the application. Seconded by T. Clark. Vote: U/A

Public hearing opened. No one spoke. No emails or calls were received to the office for this item.

Public Hearing closed.

C. Parker noted the plan is consistent with Chapter 157-15 of the City's Land Subdivision Regulations, which provides for subdivision of existing lots. Staff recommends the Planning Board approve the application with the following conditions:



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Conditions to Be Met Prior to Signing of Plans:

1. The applicant shall provide the Planning Department with a digital version of the final plat.
2. Provide a CAD file to the satisfaction of the Asset Management Administrator's satisfaction.
3. The applicant shall revise the plat to:
 - a. Add signature and stamp of LLS
 - b. Add owners' signatures for recording at Strafford County Registry of Deeds.
 - c. Update the Zoning to CM
 - d. Update front setback to 35' from 50'
 - e. Add the setbacks to the newly created lot, and revise front setback on house lot.
 - f. Remove note 13.
 - g. Add Planning File # P20-50
 - h. Add common subdivision notes 27 and 28
 - i. Add a note about state subdivision approval
 - j. Provide a note regarding existing access easement

Motion: F. Torr made a motion that the Board approve the Subdivision application with staff recommended conditions. Seconded by E. Allgood. Vote: U/A

- D. Consideration and acceptance of a driveway waiver request for Karl Leinsing, Assessor's Map L, Lot 15D, zoned R-20, located on 77 Spur Road. *(P20-55)

C. Parker explained that that applicant is requesting to widen his driveway to 35 feet. He submitted a driveway permit to the City Engineer, which showed two options. The City Engineer approved the option which did not widen the driveway at the interconnection with Spur Road.

Chapter 157 section 50 states that "No construction permit shall allow a residential driveway entrance, exit or approach to be constructed more than 22 feet in width." This is in place to reduce conflicts with oncoming vehicles, allow for minimum impervious surface and an orderly and clean connection between the private driveways and public roadway.

The City is in the process of reconstructing Spur Road and has worked with property owners along the road to create consistent connections between the right of way and driveways.

As per the Subdivision Regulations the applicant then appealed the request to the City's Community Service's Director, who denied the appeal. The Planning Board has the ability to override the Community Service's Director.

The Community Services Director supported the City Engineer, stating in part: "The intent of regulating and permitting driveway access onto public roads is to ensure there are consistent safety guidelines to accommodate private access. Additionally, it appears ample parking currently exists, and an overall strategic objective of the City is to limit expansion of impervious surfaces, especially when located in proximity to an environmentally fragile resource such as Great Bay."

D. White recused himself from the case and E. Ianello sat in for him.

Karl Leinsing, 77 Spur Road, represented the application and discussed the waiver. He showed two options on the screen. There is currently rough pavement to the 22' regulation and there is dirt and limestone out to the larger width option due to the drainage digging that was done.



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One reason he is seeking the wider driveway is because his driveway is narrow and when turning with a trailer it is not possible to stay on the paved driveway. His neighbor's driveway is 40' wide and he is asking for only 35'. Other neighbors also have very large paved entrances, and some have two driveway entrances.

Because of the new swales, there is no parking available along the side of the road. UPS, contractors and guests all have to park in the driveway rather than the edge of the road.

If permeable pavement is available, he will use that. He has been active with the neighborhood paving and drainage plans and knows this added 13' of pavement should not have a negative impact. The wider driveway is in character with the neighborhood and is a safety improvement.

D. Landry wondered if there was ever a time when the applicant could pull into the driveway with trailers without issue. No, he's been using his neighbor's driveway for the large trailer.

D. Ciotti wondered why the applicant needs three trailers on the property. One is a boat trailer since they live on the water. One trailer is for winter sports equipment and the one that comes to transport is for his job- he is a race car driver.

F. Torr wondered why this driveway had to come before the board when the abutting driveways did not. All driveways were put back the way they were before construction. The applicant is asking for an increase of driveway width.

E. Ianello wondered if there is a driveway regulation regarding two driveway entrances. C. Parker noted these are grandfathered in- new construction does not allow for two driveway entrances for residential property.

D. Landry is conservation minded but thinks this is a minor issue since the added pavement is out by the road.

Motion: F. Torr moved to accept the application. Seconded by T. Clark. Vote: U/A

Public hearing opened.

No one spoke. C. Parker noted no emails or phone calls were received for this item.

Public Hearing closed.

Chapter 157-58 states "Any person aggrieved by a decision of the Community Services Director regarding driveways may request a hearing before the Planning Board on the merits of his or her case.... the Planning Board shall hear the facts in the case and vote to confirm, reject or modify the decision of the Community Services Director. The decision of the Planning Board shall be final."

Staff supports the Community Services Director and believes that the applicant has not demonstrated a hardship.

Chair Cruikshank was hesitant to override the experts.

T. Clark agreed.



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F. Torr thinks the circumstance warrants overriding. He is in support of the request and it is an injustice not to grant it after seeing the neighboring sites which also exceed the 22' regulation.

D. Ciotti noted the City went through and repaved the ends of each of these driveways that are over the regulation and did not do anything about it, so he agrees with F. Torr.

Motion: T. Clark made a motion that the Board to confirm the decision of the Community Services Director. Seconded by D. Ciotti. Vote: 6-3 with E. Ianello, F. Torr and D. Landry opposed.

The Vice Chair noted that items E and F will be heard together, and that item F will be voted on first.

- E. Concept review of a Site Plan for Quantum Real Estate Group, Assessor's Map H, Lot 29-A-3, zoned CM, located on Littleworth Road. (Proposal is to create 30,000 square feet of self-storage in 3 buildings) *(P20-44)
- F. Consideration and acceptance of a Conditional Use Permit for Quantum Real Estate Group, Assessor's Map H, Lot 29-A-3, zoned CM, located on Littleworth Road. (Proposal is to impact 1,100 square feet of conservation district and 1,550 square feet of wetlands buffer) *(P20-45)

C. Parker explained the applicant is requesting site plan approval to construct 30,000 square feet of self-storage units on Littleworth Road in a recently rezoned area.

The site constraints require that there be 1,100 sf impact to the conservation district and 1,550 sf to wetlands buffers, for the driveway and storm water management.

The site is proposed to be serviced by municipal water and sewer.

This project received a variance for the use in 2019. While that became moot with the rezoning of the property in 2020, the conditions from the variance have been noted and maintained as part of the proposed plan.

This application was reviewed by the Technical Review Committee on August 6, 2020. The Conservation Commission reviewed and endorsed the CUP application at its August 10th meeting.

FX Bruton, Bruton & Berube and Robert Stowell, Trittech Engineering, represented the application and discussed the plat.

Bruton: The reason for conditional use permit is for two minimal impacts to wetlands buffer. They've structured the layout in a favorable way. The plan went to the Conservation Commission and received unanimous support.

Originally this zone was R20 and mostly residential, but now it is zoned CM and the application has received full support and zoning approval.

The project is a low-impact commercial level of activity- a storage facility. The zoning board asked them to line the units in the back of the property and where they are not as visible and the applicant has done that.



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Stowell: There is a small wetland out by the road which was created by some pooling due to some drainage that's not flush with the road. There is a 50' buffer associated with that which is slightly impacted by the placement of the driveway.

The areas of impact in the back are due to storm water management from culvert outfalls.

Some abutter concerns are about traffic and the applicant has provided required traffic documentation in their packet. This use is a very low traffic generator. Saturday is the busiest with 9 peak hour trips. Besides houses, this is about the least traffic-generating use.

Motion: D. White moved to accept both the applications. Seconded by E. Allgood. Vote: U/A

Public hearing opened.

Vern Stillwagon, 20 Old Littleworth Rd lives across the street and is opposed to the project. He does not want storage facilities at that location. He was ok with the houses that were going to be put in before.

An email from Diane Stowell, 5 Old Littleworth Road was submitted.

A phone call from Deb Sousane at 26 Littleworth Road, was received.

Both are against the Site Plan and Conditional Use Permit.

Public Hearing closed.

C. Parker noted that the Wetlands Protection District ordinance provides for Conditional Use Permits to allow impacts to wetlands and wetland buffers if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards.

C. Parker also noted Chapter 153-4 of the Site Review Regulations of the City Code provides for site review by the Planning Board of new construction of various types. This plan is consistent with those regulations.

The Planning Department recommends the Planning Board approve the Conditional Use Permit with the following condition:

Condition to Be Met Prior to the Issuance of the Conditional Use Permit:

1. The Board approves P20-44

Motion: D. Ciotti made a motion that the Board approve issuance of the Conditional Use Permit with staff recommended condition. Seconded by F. Torr. Vote: 8-1 with D. Landry opposed.

The Planning Department recommends the Planning Board approve the Site Plan with the following condition:

Conditions to Be Met Prior to the Signing of Plans:

1. The conditional use permit (P20-45) shall be approved.
2. The applicant shall provide:
 - a. A digital version of plan set
3. The applicant must revise final plan set to:
 - a. Add the owner's signatures to the final plan submitted for signature to be recorded at the



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Stafford County Registry of Deeds

- b. Add LLS, PE, Landscape Architect, and Architect signatures and stamps to final plan
- c. Update the State and Federal Permit information

Conditions to Be Met Prior to any Construction Activity:

- 4. A site construction sign with the contact information for the general contractor must be located and approved by the City Engineer or Assistant City Manager.

Conditions to Be Met Prior to Issuance of a Building Permit:

- 5. The wetlands buffer placards shall be installed.

Conditions to Be Met Prior to Occupancy:

- 6. Issuance of a certificate of occupancy.
- 7. Impact fees shall be paid per the invoice included with the Notice of Decision.
- 8. The applicant shall provide a letter of credit or other form of security acceptable to the City for any unfinished work.

Motion: D. White made a motion that the Board approve the Site Plan with staff recommended conditions. Seconded by D. Ciotti. Vote: U/A

The Vice Chair noted that items G, H and I will be heard together.

- G. Consideration and acceptance of a Minor Subdivision for Wolcott Holdings LLC, Assessor's Map 39, Lot 63, zoned Gateway, located on 33 New Rochester Road. (Proposal is to create 2 new lots) *(P20-47)
- H. Consideration and acceptance of a Conditional Use Permit for Wolcott Holdings LLC, Assessor's Map 39, Lots 63, 63-1 and 63-2, zoned Gateway, located on 33 New Rochester Road. (Proposal is to alter side setback associated with newly created lot lines) *(P20-53)
- I. Consideration and acceptance of a Conditional Use Permit for Wolcott Holdings LLC, Assessor's Map 39, Lot 63-1, zoned Gateway, located on 33 New Rochester Road. (Proposal is to allow construction of duplex with area of 4278sf, where 8,000 sf is required) *(P20-54)

C. Parker explained the applicant is seeking to subdivide the parcel, which has an existing home on New Rochester Road. The square footage of Map 39 lot 63 is 18,600 sf. This would allow 4 units under the zoning. The applicant wishes to be sensitive to the existing single-family homes on Gage Street, and create a two unit, between a two single family homes.

To best lay this out, with buffers to existing homes, the middle lot would have reduced setbacks of 5' where 10 are required. The newly created lots will be located on Gage Street and would require Conditional Use Permits for the side setbacks and to allow a two family on a lot with 4,278 sf where 8,000 sf is required.

The Gateway requires no minimum lot size (density governs the sf needed), and no minimum frontage. The subdivision does not require the Conditional Use Permits to be approved. The CUPs are required for the use of the properties. If denied, the applicant could resize the proposed buildings and have a single family on all three.

The density of the lot with the two family should be 8,000 sf. It is possible to create a lot meeting this minimum lot size, however, the lot would be oddly shaped and require either removing the garage or



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having it on the duplex lot with an easement for the 33 New Rochester lot. That would reduce the buffering and the goal of trying to look like the buildings fit within the existing streetscape.

The applicant has agreed to install a fence along the boundary with 3 Gage Street, and to place the building along that sideline, meeting the setbacks. This will provide a barrier between the driveway and yards created. Finally, it should be noted that the conceptual driveway shown on the plan, for the duplex would need a waiver to build, as any portion of the driveway within the ROW must be 22' wide. No waiver has been requested, so it will need to comply with the driveway regs for the proposal.

As a Minor Subdivision, this application did not appear before the TRC. The site is proposed to be serviced by municipal water and sewer.

Christopher Mulligan, Bosen and Associates and Robert Stowell, Tritech Engineering, represented the application and discussed the plat. The current lot is 18,000 sq. ft. and would support four units with accessory dwelling options. That would be a lot of density to put in there. Instead, they are proposing this plan with two single family lots with a duplex between. The setback relief requested is only for the internal property lines they are creating.

The duplex lot has been designed to mirror the lot across the street in frontage and size.

E. Ianello wondered how many cars the duplex driveway can accommodate and how many bedrooms are in the units. Four cars and two 2-bedroom units will be in the duplex.

Motion: J. Kaspari moved to accept all three applications. Seconded by E. Ianello.

Discussion ensued about the side setback to the existing detached garage which should be 10' but will only be 5'. The meeting agenda was posted correctly. The applicant needs the CUP for all three properties.

Vote: U/A

It was decided the items will be voted on in the following order:

- (H) CUP for side setbacks
- (G) Subdivision
- (I) CUP for duplex

Public hearing opened.

Martha Wilson, 8 Auburn St has lived there for 37 years. It's a neighborhood with very little traffic. This proposal is greedy – to put that much density on the same size lot where she has a small cape and detached garage. She is not in favor of this density.

Joe Perrelli, 35 New Rochester Rd is across the street from the proposed project. He has concerns about the designs and requests that are being made tonight. He was here in June to oppose the gateway zoning change for this neighborhood due to height, setbacks and density. He walked away from that meeting feeling better about the Gateway zone, but approving exceptions such as this project sets a bad precedence. He would like the board to deny these applications. It is not in keeping with the neighborhood and will set precedence. The setback reductions are not needed. There is no hardship- it is being designed that way. The property



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across the street with 6' setback on one side is due to an existing utility pole that Eversource did not want to move. Otherwise, the house would have been centered on the lot. There is 18' on the other side.

The proposed parking is not sufficient for four cars and with the tapered driveway it will be very difficult for the residents of the duplex.

Kimberly Whitesell, 3 Lakeview Dr is concerned about the removal of the wooded areas and wildlife. She gave specific examples.

Dianne McMillen, 3 Gage St is the abutter and is concerned about parking and traffic issues. It's already difficult to get out to the road, and there aren't even 12 cars on Gage St. now. This will add 12 more cars to the street.

Darlene Perrelli, 6 Gage St lives across the street from the proposal. She is opposed to the project due to the 8-10 additional vehicles on the road. Gage St is only 18' wide and even less in the winter with snow. The proposed driveway is insufficient and can lead to visitors parking on the road which is dangerous. Already cars have to pull over to let each other pass. The road is used by neighborhood pedestrians. Development should not create unsafe conditions. This project would set precedence for size and setbacks. The proposed duplex is a wider structure on a smaller lot with smaller side setbacks than her single-family home which it was compared to in the application. She requests the subdivision is denied and that the board approves a single-family home that meets requirements.

Terrence Dunn, 15 Lakeview Dr understands an investors position however, it's not fair to jeopardize the way of life a neighborhood has enjoyed over time. He understands the board's position as well. He is concerned about the traffic congestion and the safety issues that will bring.

Kim Faustino, 7 Lakeview Dr was concerned about the transition to the Gateway zone but was assured by this board that protections such as setbacks would be in place. Gage Rd is narrower than the driveway of the applicant from before who was looking to widen his driveway. She is concerned about adding all of those driveways and added traffic to such a narrow road.

C. Parker noted emails from Aimee Dion, Marybeth Perrelli and Martha Wilson were received. Furthermore, a phone call and email was had with Joe Perrelli. All of the communication was opposed to the applications.

Mr. Mulligan addressed some of the public comment. The proposal complies with all of the necessary off-street parking requirements. They are not asking for any additional density than what is allowed based on the lot area. In the Gateway zone, more than one building is allowed on a lot. If the applicant is unable to subdivide the lots, they could propose a similar development with condominium ownership. This proposal is a better option than that.

Public Hearing closed.

C. Parker again noted he suggests the board take the matters in the following order:

- (H) CUP for side setbacks
- (G) Subdivision
- (I) CUP for duplex



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T. Clark asked about the restoration of the lots. C. Parker explained how the process came to be at this point.

T. Clark understands seeking the subdivision but cannot justify granting waivers for the CUP for self-imposed restrictions. The applicant could take down the garage and expand the lots and side setbacks which would be a more acceptable plan. He would also not support the CUP for the duplex.

D. White, D. Landry and J. Kaspari agreed with Mr. Clark. J. Kaspari also pointed out that though the applicant claims sufficient parking, there is no finalized driveway plan for the board to review.

Motion: T. Clark made a motion that the Board deny the setback CUP as the request is asking relief from a self-imposed restriction. Seconded by D. White. Vote: U/A

C. Parker suggested the applicant be allowed to withdraw or table the other applications or the board vote to approve the subdivision with the condition that the garage is removed or moved by 5' to meet setbacks.

A 5 min recess was taken for the applicant to decide if the other applications should be heard by the board. Mr. Mulligan confirmed for the board that the applicant is withdrawing the two applications for subdivision and Density CUP.

The Chair announced to the public that if the applicant comes back with a revised plan, the abutters will be noticed again.

5. STAFF COMMENTS

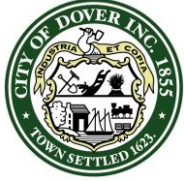
- Appeal was filed on Preble Street
- TRC for 35 Chestnut, 71 Glenwood, Leather's Lane
- Donna Benton has returned to work
- 144 Mast Rd has chosen to reduce their extra TDR request from 2 (approved last month) to 1
- Today work started on the community trail phase 3- Fisher St and south.

6. MEMBER COMMENTS

- T. Clark wondered if the City can notify Burger King that they have an obsolete sign. There hasn't been a restaurant in there for over 6 months.
C. Parker noted there is an active permit for them to rehab the building, so it's not considered outdated yet.
- Chair Cruikshank noted F. Torr was selected as the Citizen Planner of the Year for Northern New England- congratulations!
- F. Torr noted the positive impact and additional jobs created the Broad View Animal Hospital is great.

7. ADJOURNMENT

Motion: D. White made a motion to adjourn at 9:30 p.m. Seconded by H. Harmon. Vote: U/A



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P20-49

Application Type: Conditional Use
Applicant(s): Kelliher Maureen Revocable Trust
Owner(s): Kelliher Maureen Revocable Trust
Location: Cote Drive (Tax Map L, Lot 58-Y)
Meeting Date: September 22, 2020

INTENT: To expand a single family house with a garage addition of 355 s.f. and 179 s.f. of additional driveway, in the Conservation District adjacent to the tidal Piscataqua River, with 764 s.f. of tidal buffer zone impact

LOTS/UNITS PROPOSED: N/A

AGENDA ITEM #: 4-A

ACREAGE: .28 acres

ZONING DISTRICT: R-20

EXISTING LAND USE: Residential

PROPOSED LAND USE:
Residential

SURROUNDING LAND USE:
Residential

ZBA ACTION: None

ATTACHMENTS: Application materials, Conservation Commission Minutes, and Plan

APPLICATION IS COMPLETE:
Yes

NOTICES SENT: Abutter notices were sent by certified mail to all abutters for this meeting

PERMITS REQUIRED:
Conditional Use Permit

WAIVERS REQUESTED: None

Summary of Request and Background

The applicant is requesting a Conditional Use Permit to add a 355 s.f. addition to the existing garage and additional pavement, resulting in 764 s.f. of impact to the City of Dover's Conservation District. A stone drip edge will be used for stormwater mitigation.

The Conservation Commission reviewed and endorsed the CUP application at its September 14th meeting. During that meeting, the Commission discussed the need to add additional native plantings within the shoreland area, understanding that adding trees should not impact the water views from the property.

Consistency with Land Use Regulations

The Conservation District ordinance provides for Conditional Use Permits to allow impacts to wetlands and wetland buffers if standards related to demonstration of need, avoidance, minimization, and mitigation are met. This proposal is consistent with those standards.

STAFF RECOMMENDATION:

The Planning Department recommends the Planning Board accept the application, open the public hearing, and vote to approve the Conditional Use Permit with the following condition:

Condition to Be Met Prior to the Issuance of the Conditional Use Permit:

1. Update the plan to indicate native plantings be installed in the 50 foot waterfront buffer, taking care to not impede the water views

P20-49 CUP 27 Cote Drive

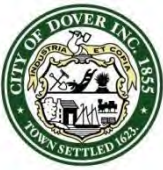
**Property Information**

Property ID L0058-Y00000
Location 27 COTE DR
Owner KELLIHER MAUREEN TRUSTEE
Land Use 101

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Dover, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 5/20/2020
Data updated Daily



City of Dover, New Hampshire

CONDITIONAL USE PERMIT APPLICATION

[Revision Date: May 18, 2017]

Office Use Only	Project #: _____	Date Received: _____
	Amount Paid: _____	Time Received: _____

APPLICANT AND OWNER INFORMATION

Name of Applicant: Kelliher Maureen Revocable Trust Telephone # (603) 312-6926

Address of Applicant: 27 Cote Drive, Dover, NH 03820

E-Mail Address: danfkelli@gmail.com

Name of Property Owner (if different from applicant): _____ Telephone # _____

Address of Property Owner: 27 Cote Drive, Dover, NH 03820

PROPERTY INFORMATION

Assessor's Map # L Lot(s) # 58-Y

Address of Property: 27 Cote Drive

Zoning District(s) R-20 Overlay District(s) Conservation District

Existing Use of Property: Residential

CONDITIONAL USE PERMIT INFORMATION

Type of Conditional Use Permit (Check All That Apply):

- | | | |
|---|---|--|
| ☒ Conservation District | ☐ RCM Use Overlay District | ☐ I-1 District Uses |
| ☐ Groundwater Protection | ☐ Off-Street Parking and Loading | ☐ Alternative Treatment Center |
| ☐ Wetland Protection District | ☐ Central Business District | ☐ Heritage Residential District |

Describe Proposed Use or Activity That Requires Conditional Use Permit and Describe Any Impacts:

The applicant is proposing to construct a 355 s.f. garage addition,
and additional pavement. A stone drip edge will be used for stormwater
mitigation.

List Any Associated State or Federal Permits That Have Been or Will Be Applied For and Indicate Their Status: A Shoreland and Wetlands permit has been submitted.

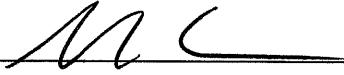
Name of Professional That Prepared Plans: Stephen J. Haight

Address 181 Watson Road Telephone #: (603) 749-0443

Professional License #: _____ E-mail address: shaight@civilworksne.com

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner:  Date: 8/13/2020

MAUREEN KELLIHER, CFA

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner:  Date: 8/13/2020

MAUREEN KELLIHER, CFA

CITY OF DOVER CONDITIONAL USE LIST OF ABUTTERS

Pursuant to RSA 676:4, the State Law of New Hampshire, the City of Dover is required to notify the applicant, abutters (including holders of conservation easements), and any professional whose seal is on the plan, of the public hearing by certified mail, return receipt requested. Staff will provide the abutter information, while the applicant must provide accurate contact information for the owner, applicant and professional agents representing the project.

Owner:

TAX MAP	LOT #	PROPERTY OWNER	MAILING ADDRESS
L	58-Y	Kelliher Maureen Revocable Trust	27 Cote Drive, Dover, NH 03820

Applicant (if different from owner):

APPLICANT NAME	APPLICANT COMPANY	MAILING ADDRESS

Surveyor and/or Engineer/Professional Agent:

NAME	COMPANY	MAILING ADDRESS
Stephen J. Haight	Civilworks New England	P.O Box 1166, Dover, NH 03821-1166

Conservation Easement Holder:

TAX MAP	LOT #	NAME OF EASEMENT HOLDER	MAILING ADDRESS

PLANNING BOARD FEE SCHEDULE

(Revised July 1, 2020)

Below are the fees associated with plan review and are subject to a nonrefundable application fee to cover administrative expenses. Please complete the information below and provide payment with your application submittal. **Plan review fees shall be paid prior to technical review committee (TRC) being scheduled.** For plans not requiring TRC review, **fees are due 21 days prior** to the Planning Board meeting. Staff will coordinate abutter/notice fees, which will be invoiced and must be paid 28 hours before the Planning Board meeting for an application to be heard. Fees shall be paid by cash or check made payable to "City of Dover."

A. Plan Review Fees

1. Application fee for the following (**SELECT ALL THAT APPLY**):

- ☐ SUBDIVISION Application fee \$200.00 + \$150.00 x # _____ new lots created = \$ _____
 - ☐ LOT LINE ADJUSTMENT Application fee \$200.00 + \$100.00 X # _____ of lots involved = \$ _____
 - ☐ TRANSFER OF DEVELOPMENT RIGHTS Application fee \$200.00 = \$ _____
 - ☐ SITE REVIEW – RESIDENTIAL Application fee \$200.00+ \$100.00 x # _____ per dwelling unit = \$ _____
 - ☐ SITE REVIEW – NON-RESIDENTIAL Application fee \$200.00 + (not to exceed \$10,000)
 - ☐ New construction \$.15 sq. ft. x # _____ sq. ft. = \$ _____
 - ☐ Additions (new floor space) \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
 - ☐ MOTEL/HOTEL \$35.00 x # _____ per lodging unit = \$ _____
 - ☐ CHANGE OF USE Application fee \$200.00 + (not to exceed \$5,000)
 - ☐ Existing floor spaces \$.10 per sq. ft. x # _____ sq. ft. = \$ _____
 - ☒ CONDITIONAL USE PERMIT Application fee \$200.00 x # 1 per Application = \$ 200.00
 - ☐ GRAVEL PIT/ EXCAVATIONS
 - ☐ Application fee \$50.00 = \$ _____
 - ☐ Permit fee \$75.00 = \$ _____
 - ☐ EXTENSIONS/AMENDMENTS/WAIVERS FOR AN APPROVED PLAN Application fee \$200.00 = \$ _____
 - ☐ REQUEST FOR REZONING Application fee \$200.00 = \$ _____
 - ☐ DRIVEWAY WAIVER Application fee \$200.00 = \$ _____
- SUB TOTAL =** \$ 200.00

AND

2. IMPERVIOUS PAVED AREA (for new development or additions to existing parking lots (not to exceed \$10,000) Application fee \$200.00 + \$.07 sq. ft. x # _____ = \$ _____
- TOTAL PLAN REVIEW FEE =** \$ 200.00

B. Abutter Notification/Mailing Labels - this office will create and print the abutter list and provide labels in triplicate for each abutter. The applicant/owner will need to review the list and provide to this office the engineer, architect, licensed land surveyor (LLS), licensed landscape architect (LLA) and/or soil scientist whose professional seal appears on the plan with names and addresses for notices.

- ☐ Applicant & Owner, engineer, architect, LLS, LLA and/or soil scientist
 - ☐ Certified letters fee # _____ of x \$8.00 = \$ _____
 - ☐ Certified letters fee: # of abutters _____ X \$8.00 = \$ _____
 - ☐ First Class Mail fee (for individual owner of units within a condominium or other collective form of ownership): # of abutters _____ X \$1.00 = \$ _____
 - ☐ Creating/Printing Abutter Labels in triplicate per sheet _____ x \$10.00 = \$ _____
- SUB TOTAL =** \$ _____

- C. Foster's newspaper public notice fee \$100.00 x # _____ applications =** \$ _____
- TOTAL NOTICE FEE =** \$ _____

The above amount must be paid 28 hours prior to the Planning Board meeting, to be heard.





CIVILWORKS NEW ENGLAND

181 WATSON ROAD
P.O. BOX 1166
DOVER, NH 03821-1166
PHONE: 603.749.0443 FAX: 603.749.7348

August 14, 2020

City of Dover Planning Board
288 Central Avenue
Dover, NH 03820

Subject: Conditional Use Permit
27 Cote Drive
Dover, NH 03820
Our Reference No. 20028

Dear City of Dover Planning Board:

On Behalf of Kelliher Maureen Revocable Trust, we are pleased to submit a conditional use permit for the Planning Board's consideration. The applicant is proposing a 355 s.f. garage addition and additional pavement, resulting in 764 s.f. of impact to the City of Dover's Conservation District. A stone drip edge will be used for stormwater mitigation.

If you have any questions, please do not hesitate to contact our office.

Sincerely,

CIVILWORKS NEW ENGLAND



Stephen J Haight, PE

P20-49

27 Cote Drive

Property ID	Location	Owner 1	Owner 2	Owner Address 1	City	State	Zip
L0055-C00000	33 COTE DR	RIST HELEN M &	RIST DONAL M	33 COTE DRIVE	DOVER	NH	03820
L0055-E00000	24 COTE DR	KIPP BARBARA A &	STEVENS THOMAS E	24 COTE DRIVE	DOVER	NH	03820
L0057-D00000	16 COTE DR	CURTH JOHN B		16 COTE DRIVE	DOVER	NH	03820
L0057-E00000	20 COTE DR	PECK ROBERT G		20 COTE DR	DOVER	NH	03820
L0057-F00000	18 COTE DR	SCHULTEN STEPHEN & C REV TRUSTS	SCHULTEN STEPHEN B AND CAROLYN H TRUSTI	18 COTE DRIVE	DOVER	NH	03820
L0058-D00000	DOVER POINT RD	CITY OF DOVER	IND HEAD MILL	CENTRAL AVENUE	DOVER	NH	03820
L0058-L00000	21 COTE DR	LANCASTER DAVID G & MARY E REVOCABLE TRU	LANCASTER DAVID G AND MARY E TRUSTEES	21 COTE DR	DOVER	NH	03820
L0058-P00000	23 COTE DR	NOSSIFF STEPHANIE P		23 COTE DR	DOVER	NH	03820
L0058-Q00000	25 COTE DR	GREGERSON ANN M TRUSTEE	GREGERSON ANN M REVOCABLE TRUST	25 COTE DR	DOVER	NH	03820
L0058-V00000	29 COTE DR	CLEOPATRA NOMINEE TRUST	SMITH IAN D TRUSTEE	29 COTE DR	DOVER	NH	03820
L0119-000000	326 DOVER POINT RD	KOZLER JANE R REVOCABLE LIVING TRUST	KOZLER JANE R TRUSTEE	326 DOVER POINT ROAD	DOVER	NH	03820
		CIVILWORKS NEW ENGLAND	STEPHEN J HAIGHT	P.O. BOX 1166	DOVER	NH	03821-1166



CITY OF DOVER

DOVER CONSERVATION COMMISSION – MINUTES

Meeting Type: Regular Meeting
Meeting Location: **Second Floor Conference Room** - 288 Central Ave., Dover, NH
Meeting Date: Monday, September 15, 2020
Meeting Time: 5:30 pm

- B. City of Dover Conditional Use Permit and NHDES Expedited Minimum Impact Wetlands Permit for the Kelliher Maureen Revocable Trust, (Agent: Steve Haight, Civilworks NE), Assessor's Map L, Lot 58-Y, zoned R-20, located at 27 Cote Drive.

Jase Gregoire was present to explain the proposal to expand a single family house with a garage addition of 355 sq. ft. and 179 sq. ft. of additional driveway, in the Conservation District adjacent to the tidal Piscataqua River, with 764 sq. ft. of tidal buffer zone impact. We have submitted the Shoreland Permit application and are waiting for comments.

Lyon: Almost the entire project is in the Conservation District.

Aube: It looks like most of the area is already disturbed. What are your storm water management plans for the site?

Gregoire: We have stone drip edge along the driveway. We did a drainage analysis.

Aube: You may want to add some native plantings in the lawn area 50 feet from the water.

Lyon: Look at the possibility of living shoreline designs for the site.

Aube: I would suggest we require native plantings in the lawn area.

Larosa: If the site is previously developed the planting requirement doesn't apply.

Aube moved to endorse the Dover CUP and the NHDES Expedited Minimum Impact Wetlands Permit, with the recommendation that where possible, native plantings be installed in the 50 foot waterfront buffer, as long as it doesn't impede the view of the water, Kramer-Perry seconded. Vote 5-0 Motion passes

The Chair signed 5 copies of the application and returned them to applicant.

- C. City of Dover Conditional Use Permit for DBS Holdings, LLC (Agent: Steve Haight, Civilworks NE), Assessor's Map G, Lot 1-M, zoned I-2, located on Crosby Road.

Doug Larosa was present to explain the proposal to construct two industrial buildings and associated driveway, pavement and drainage, with a wetland buffer impact of 16,438 sq. ft. and a temporary wetlands buffer impact of 13,697 sq. ft. The project has been to 2 TRC meetings and we have met with Planning staff. We have moved the building towards the road to reduce the buffer impacts. There are no wetland impacts. We did a drainage analysis and used low impact techniques for the drainage, using grass lined swales and level spreader. The parking spaces are in the front of the building but the location is limited by a sewer easement and the roadside swale. There is a bid need for these smaller contractor spaces. This will turn the lot into a reasonable taxable property.

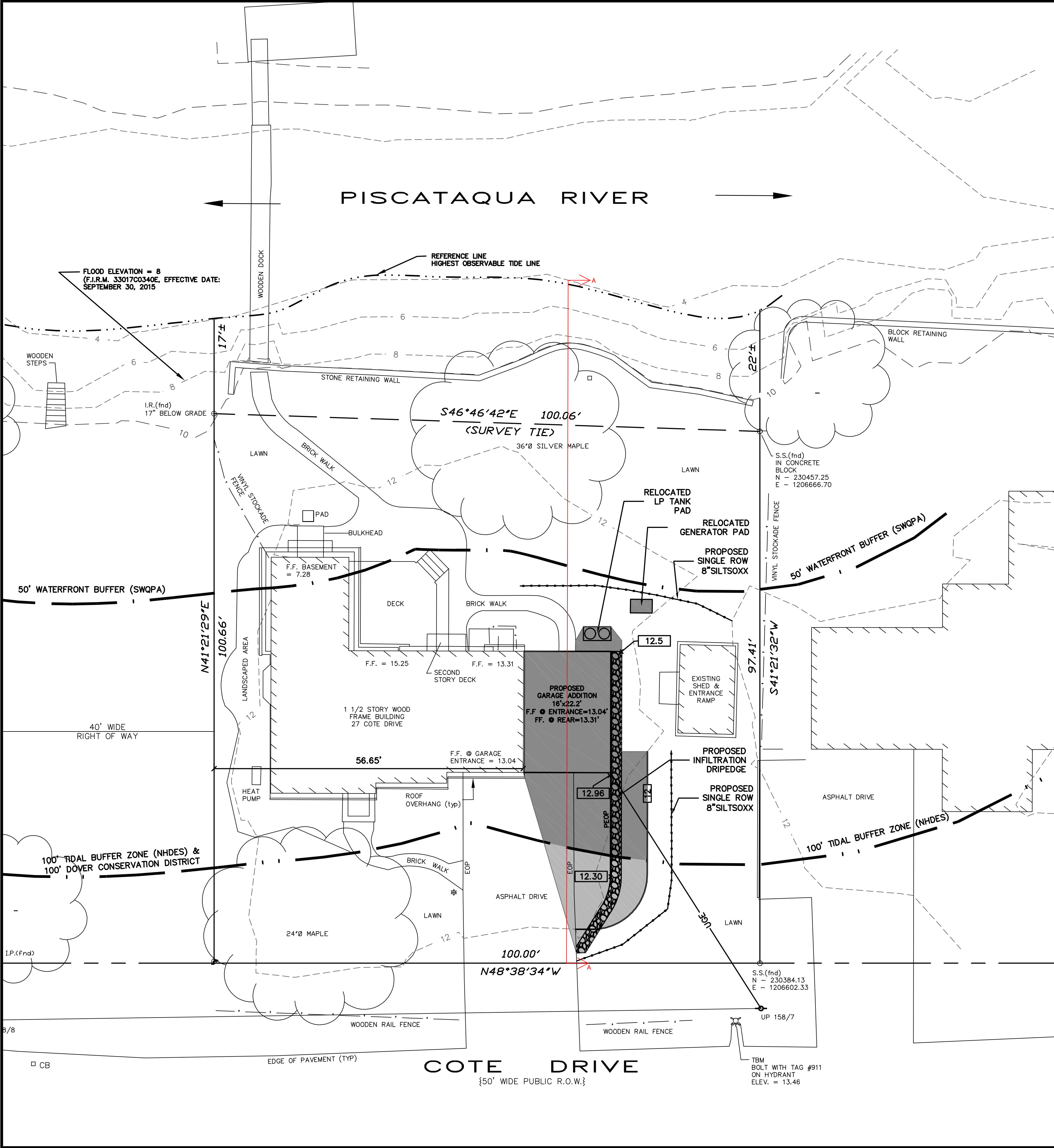
Lyon: What percent of the lot is being developed?

Larosa: The parking is about 9,000 square feet and the building is about 7,000 square feet. About 10 percent of lot due to the amount of wetlands.

Hunt: The stand alone building and parking cause a lot of the buffer impact.

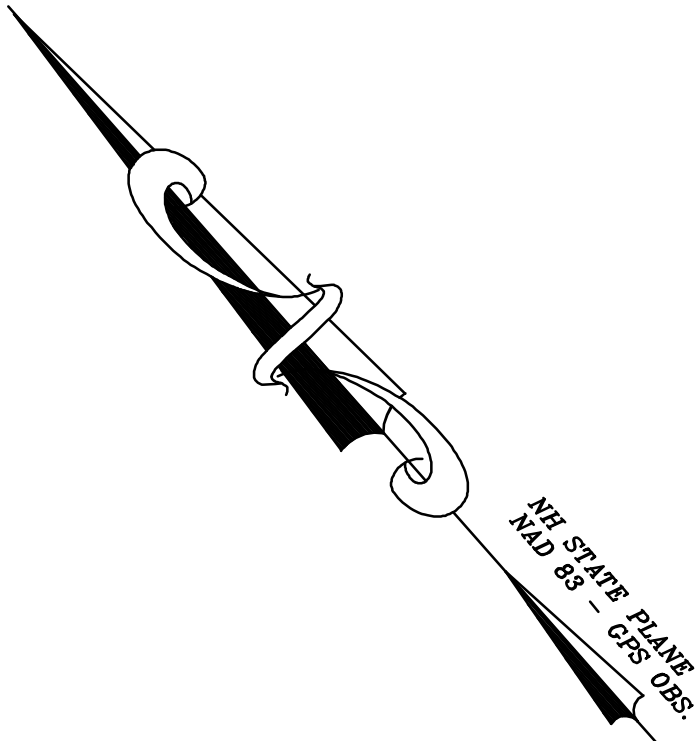
Larosa: That wetland is a low function and low value wetland with mixed soils and likely manmade.

Aube moved to endorse the Dover CUP, Lyon seconded. Vote 5-0 Motion passes



PLAN INTENT:
THE INTENT OF THIS PLAN IS TO SHOW THE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A GARAGE ADDITION AND DRIVEWAY.

REFERENCE PLAN:
1. EXISTING CONDITIONS PLAN PREPARED FOR MAUREEN KELLIHER; MAP L, LOT NO. 58-Y, 27 COTE DRIVE, DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE; DATED: JUNE 13, 2020; PREPARED BY: MCENEANEY SURVEY ASSOCIATES OF NEW ENGLAND. (IN THIS PLAN SET)



SHORELAND CALCULATIONS

	PRE	POST
PRIMARY STRUCTURES	1,884 S.F.	2,239 S.F.
ACCESSORY STRUCTURE		
SHED	210 S.F.	210 S.F.
ASPHALT DRIVE	896 S.F.	1,075 S.F.
BRICK WALK	508 S.F.	508 S.F.
CONCRETE PADS	28 S.F.	28 S.F.
STONE RETAINING WALL	104 S.F.	104 S.F.
DOCK	30 S.F.	30 S.F.
TOTAL	3,660 S.F.	4,194 S.F.

TOTAL SHORELAND AREA 250' = 12,240 S.F.
% PRE-CONSTRUCTION IMPERVIOUS 250' = 30%
% POST-CONSTRUCTION IMPERVIOUS 250' = 34.2%

TOTAL AREA 50' TO 150' = 7,141 S.F.
AREA BETWEEN 50' TO 150' PRE & POST-UNALTERED = 0 S.F.
AREA BETWEEN 50' TO 150' PRE & POST-DISTURBED = 7,141 S.F.

TOTAL AREA 0' TO 50' = 5,115 S.F.
AREA BETWEEN 0' TO 50' PRE & POST-UNALTERED = 1,398 S.F.
AREA BETWEEN 0' TO 50' PRE & POST-DISTURBED = 3,717 S.F.

TOTAL AREA 50' TO 100' = 5,093 S.F.
AREA BETWEEN 50' TO 100' PRE & POST-UNALTERED = 0 S.F.
AREA BETWEEN 50' TO 100' PRE & POST-DISTURBED = 5,093 S.F.

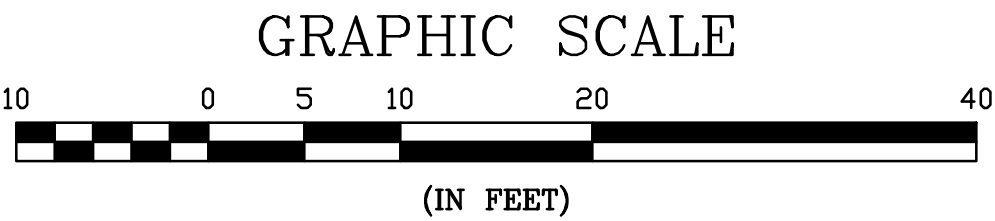
TOTAL AREA 0 TO 100 = 10,208 S.F.
AREA BETWEEN 0' TO 100' PRE-IMPERVIOUS = 3,131 S.F. (30.7%)
AREA BETWEEN 0' TO 100' POST-IMPERVIOUS = 3,233 S.F. (31.7%)

TOTAL IMPACT AREA = 987 S.F.
TOTAL IMPACT AREA - WETLANDS JURISDICTION = 764 S.F.
TOTAL IMPACT AREA - SHORELAND JURISDICTION = 223 S.F.

TOTAL IMPACT IN THE DOVER CONSERVATION DISTRICT = 764 S.F.

LEGEND

S.F.	SQUARE FEET
Ac.	ACRE
±	MORE OR LESS
HOTL	HIGHEST OBSERVABLE TIDE LINE
EOW	EDGE OF WET
x 74.00	EXISTING SPOT GRADE
-94	EXISTING GRADE
-----	PROPOSED EDGE OF PAVEMENT
-----	PROPOSED SILTSOXX
12.32	PROPOSED SPOT GRADE
-----	PROPOSED DRIP EDGE
-----	PROPOSED IMPACT AREA IN WETLANDS JURISDICTION
-----	PROPOSED IMPACT AREA IN SHORELAND JURISDICTION



NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

DATE: 8-7-20
SCALE: 1" = 10'
DRAWN BY: JRG
DESIGN BY: JRG
APPROVED BY: SH
PROJECT NO: 20028
FILE: WS

STATE OF NEW HAMPSHIRE
STEPHEN J. HAIGHT
No. 7878
LICENSED PROFESSIONAL SURVEYOR

SHORELAND AND WETLANDS PROTECTION PERMIT PLAN

POST-CONSTRUCTION CONDITIONS PLAN

KELLIHER MAUREEN
REVOCABLE TRUST
27 COTE DRIVE
DOVER, NH 03820

KELLIHER GARAGE ADDITION
27 COTE DRIVE
DOVER, NH 03820

WS-2

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.745.0443

REVISION
DATE
APP'D

DESCRIPTION
THE INTENT OF THIS PLAN IS TO SHOW THE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A GARAGE ADDITION AND DRIVEWAY.

PROJECT NAME AND LOCATION

KELLIHER GARAGE ADDITION
27 COTE DRIVE
DOVER, NH 03820

LATITUDE N43°07'45"
LONGITUDE W70°50'02"

IMPACT AREA

±987 square feet

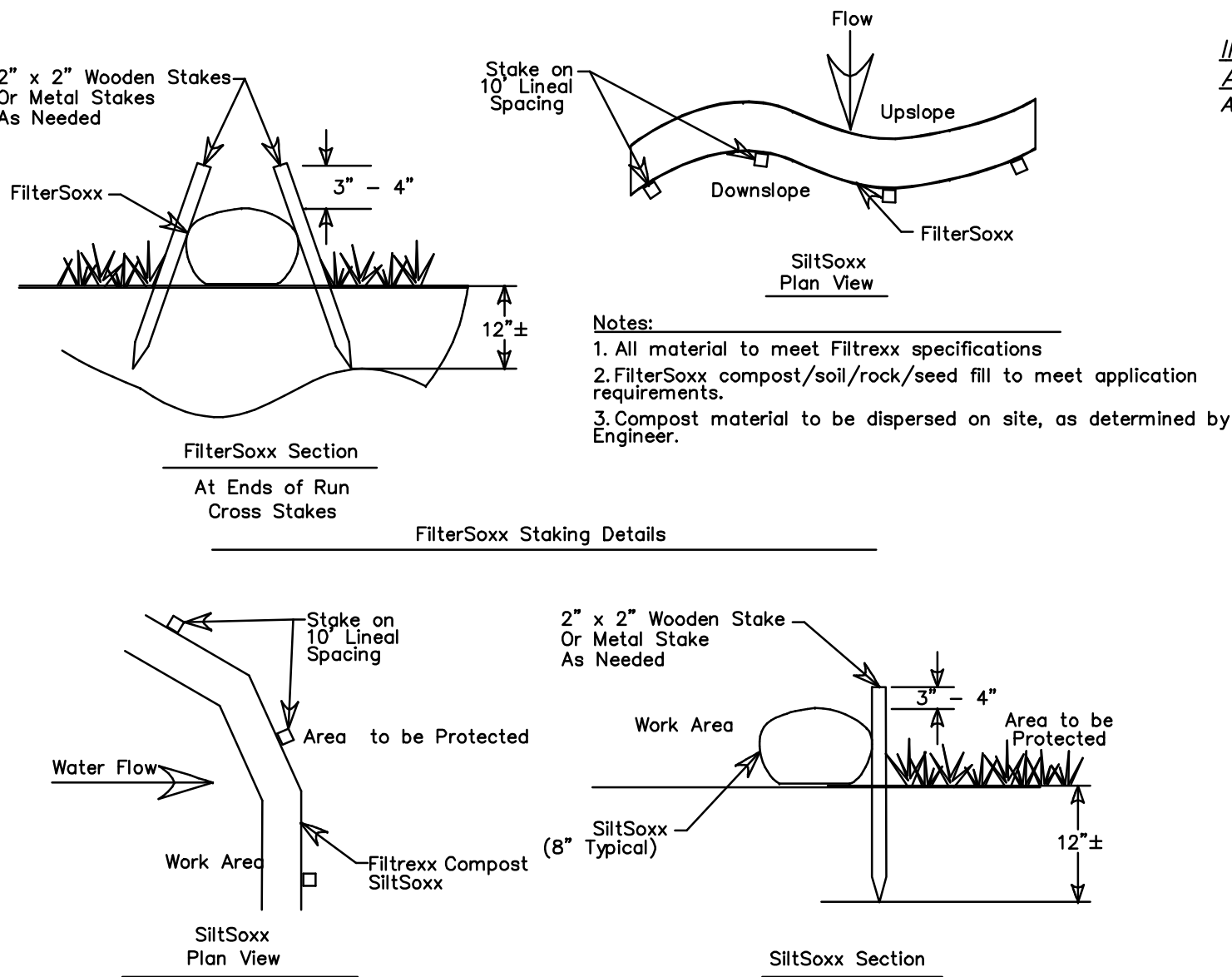
SEQUENCE OF MAJOR ACTIVITIES

1. PLACE TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S PRIOR TO EARTH MOVING ACTIVITIES.
2. ALL EROSION CONTROL AND PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCING EARTH MOVING OPERATIONS.
3. SELECTIVE DEMOLITION
4. REGRADE SITE TO SUBGRADE.
5. INSTALL FOUNDATIONS FOR STRUCTURES.
6. CONSTRUCT AND INSTALL GARAGE, NEW PAVEMENT, AND STONE DRIP EDGE.
7. BACKFILL, PLACE GRAVELS AND FINE GRADE.
8. SEED AND PLANT LANDSCAPE AREA AS SPECIFIED.
9. WHEN ALL SITE WORK IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

DEFINITIONS

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED.

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED



SiltSoxx Details

NOT TO SCALE

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

1. Silt Fence

- a. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester or ethylene yarn and shall be certified by the manufacturer or supplier as conforming to the following requirements:

Physical Property	Test	Requirements
Filtering Efficiency	VTM-51	75% minimum
Tensile Strength at 20% Maximum Elongation*	VTM-52	Extra Strength 50 lb/in in (min)
Standard Strength		30 lb/in in (min)
Flow Rate	VTM-51	0.3 gal/sf/min (min)
- * Requirements reduced by 50 percent after six (6) months of installation.

Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120 Degrees F.

- b. The height of a silt fence shall not exceed thirty-six (36) inches.
 - c. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced together only at support post, with a minimum six (6) inch overlap, and securely sealed.
 - d. Posts shall be spaced a maximum of ten (10) feet apart at the barrier location and driven securely into the ground (minimum of 12 inches). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 8 feet.
 - e. Posts for silt fences shall be 2-inch diameter wood with a minimum length of 5 feet.
 - f. Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches.
 - g. A trench shall be excavated approximately four (4) inches wide and four (4) inches deep along the line of posts and upslope from the barrier.
 - h. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least one (1) inch long, tie wires or hog rings. The wire shall extend no more than 36 inches above the original ground surfaces.
 - i. The "standard strength" filter fabric shall be stapled or wired to the fence, and eight (8) inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
 - j. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item (i) applying.
 - k. The trench shall be backfilled and the soil compacted over the filter fabric.
 - l. Silt fences shall be removed when they have served their useful purpose, but not before the upslope areas has been permanently stabilized.
2. Sequence of Installation
Sediment barriers shall be installed prior to any soil disturbance of the contributing drainage area above them.
 3. Maintenance

- a. Check dams and silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there are any signs of erosion or sedimentation below them. Any required repairs shall be made immediately. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind them, sediment barriers shall be replaced with a temporary check dam.
- b. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
- c. Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one third (1/3) the height of the barrier.
- d. Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

B. TEMPORARY GRASS COVER

1. Seedbed Preparation
Apply fertilizer at the rate of 600 pounds per acre of 10-10-10. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of three (3) tons per acre.
2. Seeding
 - a. Utilize annual rye grass at a rate of 40 lbs/acre.
 - b. Where the soil has been compacted by construction operations, loosen soil to a depth of two (2) inches before applying fertilizer, lime and seed.
 - c. Apply seed uniformly by hand, cyclone seeder, or hydroseeder (slurry including seed and fertilizer). Hydroseedings, which include mulch, may be left on soil surface. Seeding rates must be increased 10% when hydroseeding.
3. Maintenance
Temporary seedings shall be periodically inspected. At a minimum, 95% of the soil surface should be covered by vegetation. If any evidence of erosion or sedimentation is apparent, repairs shall be made and other temporary measures used in the interim (mulch, filter barriers, check dams, etc.).

E. PERMANENT SEEDING

1. Bedding - stones larger than 1 1/4", trash, roots, and other debris interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 4" to prepare a seedbed and mix fertilizer into the soil.
2. Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
Agricultural Limestone @ 100 lbs. per 1,000 s.f.
10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.
3. Seed Mixture (recommended)

Rate:	LBS. per Acre	LBS. per 1,000 s.f.
Tall Fescue	20	0.45
Creeping Red Fescue	20	0.45
Birdfoot Trefoil	8	0.20
Total	48	1.10
4. Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook.

Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt) etc.
5. Provide a minimum of 4 inches (5 inches loose) of topsoil to all areas to be seeded.

WASTE DISPOSAL

A. WASTE MATERIALS

All waste materials will be collected and stored in securely lidded receptacles. All trash and construction debris from the site will be deposited in a dumpster. No construction waste materials will be buried on site. All personnel will be instructed regarding the correct procedure for waste disposal by the superintendent.

B. HAZARDOUS WASTE

All hazardous waste materials will be disposed of in the manner specified by local or state regulation or by the manufacturer. Site personnel will be instructed in these practices by the superintendent.

C. SANITARY WASTE

All sanitary waste will be collected from the portable units a minimum of once per week by a licensed sanitary waste management contractor.

SPILL PREVENTION

A. MATERIAL MANAGEMENT PRACTICES

The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances during construction to stormwater runoff:

Good Housekeeping:

The following good housekeeping practices will be followed on site during the construction project:

- o An effort will be made to store only sufficient amounts of products to do the job.
- o All materials stored on site will be stored in a neat, orderly manner in their proper (original if possible) containers and, if possible, under a roof or other enclosure.
- o Manufacturer's recommendations for proper use and disposal will be followed.
- o The site superintendent will inspect daily to ensure proper use and disposal of materials.
- o Substances will not be mixed with one another unless recommended by the manufacturer.
- o Whenever possible all of a product will be used up before disposing of the container.

Hazardous Products:

The following practices will be used to reduce the risks associated with hazardous materials:

- o Products will be kept in their original containers unless they are not resealable.
- o Original labels and material safety data will be retained for important product information.
- o Surplus product that must be disposed of will be discarded according to the manufacturer's recommended methods of disposal.

B. PRODUCT SPECIFICATION PRACTICES

The following product specific practices will be followed on site:

Petroleum Products:

All on site vehicles will be monitored for leaks and receive regular preventive maintenance to reduce leakage. Petroleum products will be stored in tightly sealed containers which are clearly labeled. Any asphalt based substances used on site will be applied according to the manufacturer's recommendations.

Fertilizers:

Fertilizers used will be applied only in the minimum amounts directed by the specifications. Once applied fertilizer will be worked into the soil to limit exposure to stormwater. Stormwater will be in a covered shed or enclosed trailers. The contents of any partially used bags of fertilizer will be transferred to a sealable plastic bin to avoid spills.

Paints:

All containers will be tightly sealed and stored when not required for use. Excess paint will not be discharged to the storm sewer system but will be disposed of properly according to manufacturer's instructions or state and local regulations.

Concrete Trucks:

Concrete trucks will discharge and wash out surplus concrete or drum wash water in a contained area on site.

C. SPILL CONTROL PRACTICES

In addition to good housekeeping and material management practices discussed in the previous section the following practices will be followed for spill prevention and cleanup:

- o Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.
- o Materials and equipment necessary for spill cleanup will be kept in the material storage area on site. Equipment and materials will include but not be limited to brooms, dustpans, mops, rags, gloves, goggles, kitty litter, sand, sawdust and plastic or metal trash containers specifically for this purpose.
- o All spills will be cleaned up immediately after discovery.
- o The spill area will be kept well ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
- o Spills of toxic or hazardous material will be reported to the appropriate state or local government agency, regardless of the size.
- o The spill prevention plan will be adjusted to include measures to prevent this type of spill from recurring and how to cleanup the spill if it recurs. A description of the spill, its cause, and the cleanup measures will be included.
- o The site superintendent responsible for day-to-day site operations will be the spill prevention and cleanup coordinator.

The project proponent is required to manage construction to meet the requirements and intent of RSA 430:53 and AGR 3800 relative to controlling invasive species and controlling fugitive dust in accordance with ENV-A 1002. New Hampshire prohibited invasive species list. A complete copy of the rules can be accessed on the internet at http://agriculture.nh.gov/topics/plants_insects.htm.

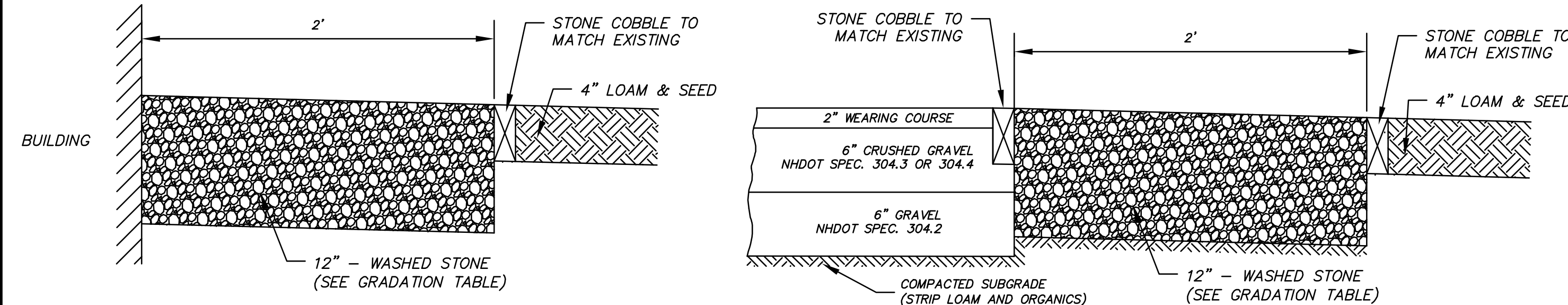
The rule, Agr 3800, states : "No person shall collect, transport, import, export, move, buy, sell, distribute, propagate or transplant any living and viable portion of any plant species, which includes all of their cultivars and varieties, listed in Table 3800.1, New Hampshire prohibited invasive species list".

Env-A 1002 FUGITIVE DUST: Precautions to Prevent, Abate, and Control Fugitive Dust.

(a) Any person engaged in any activity within the state that emits fugitive dust, other than those listed in Env-A 1002.02(c), shall take precautions throughout the duration of the activity in order to prevent, abate, and control the emission of fugitive dust.

(b) Precautions required by (a), above, shall include but not be limited to the following:

- (1) The use of water or hydrophilic material on operations or surfaces, or both;
- (2) The application of asphalt, water or hydrophilic material, or tarps or other such covers to material stockpiles;
- (3) The use of hoods, fans, fabric filters, or other devices to enclose and vent areas where materials prone to producing fugitive dust are handled;
- (4) The use of containment methods for sandblasting or similar operations; and
- (5) The use of vacuums or other suction devices to collect airborne particulate matter.



- NOTES:
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.

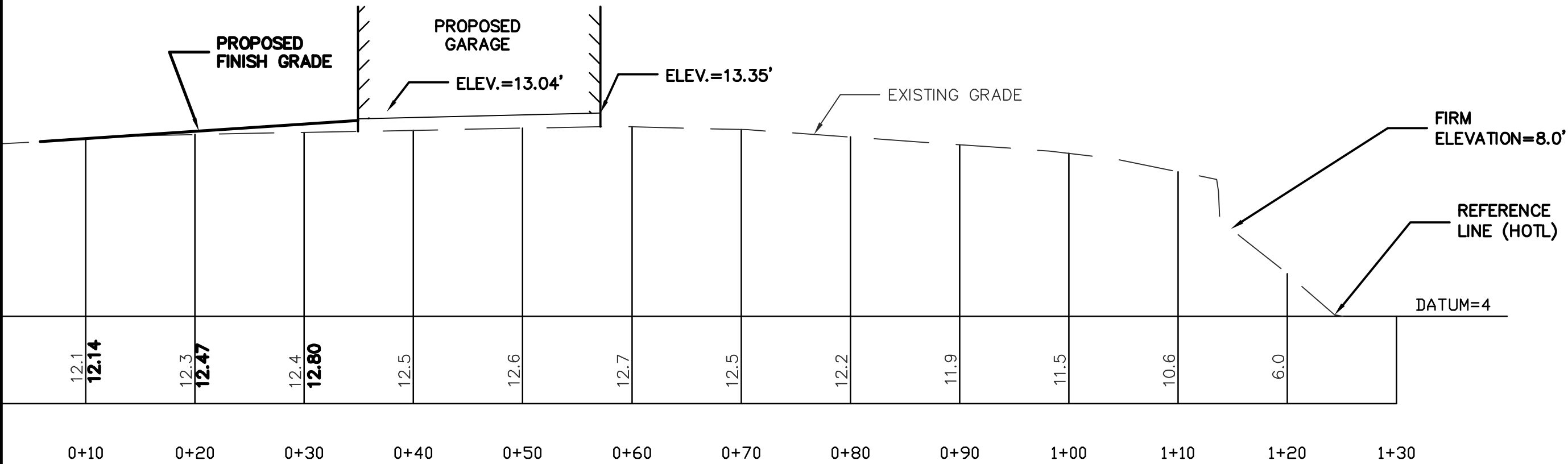
TYPICAL PAVEMENT SECTION

NOT TO SCALE

NOTES:

SEE SITE PLAN FOR LIMITS OF DRIP STRIP.

WASHED STONE	
SIEVE SIZE	% FINER BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0

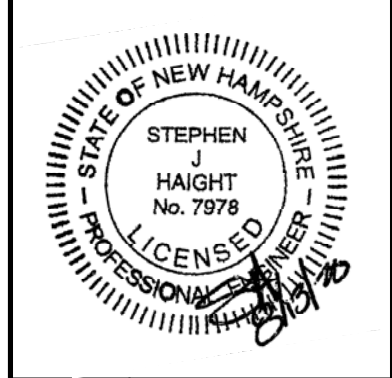


HORIZONTAL SCALE 1"=10
VERTICAL SCALE 1"=5

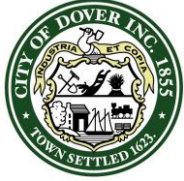
SECTION A-A

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	FILE	NO.
8-7-20	N/A	JRG	JRG	BYSJH	NC-2028	WS	



SHORELAND AND WETLANDS PROTECTION PERMIT PLAN	DETAILS & NOTES SHEET	KELLIHER MAUREEN REVOCABLE TRUST 27 COTE DRIVE DOVER, NH 03820
		WS-3



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P20-14

Application Type: Major Subdivision
Applicant(s): City of Dover
Owner(s): City of Dover
Location: 31 River Street (Tax Map 22, Lot 1)
Meeting Date: September 22, 2020

INTENT: To subdivide one lot into five plus a Right of Way. The new lot areas would be:

1: 0.37 acres or 16,260 s.f.,
2: 4.07 acres or 177,105 s.f.
3: 5.32 acres or 231,541 s.f.
4: 8.16 acres or 355,658 s.f.
5: 4.30 acres or 189,130
ROW: 1.7 acres or 74,100 s.f.

LOTS/UNITS PROPOSED: 5 lots

AGENDA ITEM #: 4-B

ACREAGE: 23.39 acres

ZONING DISTRICT: CWD

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Mixed Use

SURROUNDING LAND USE:
Mixed Use

ZBA ACTION: None

ATTACHMENTS: Application materials, Subdivision Plan

APPLICATION IS COMPLETE:
Yes

NOTICES SENT: Abutter notices were sent by certified mail to all abutters for this meeting

PERMITS REQUIRED:
None

WAIVERS REQUESTED: Not show soils on the plan, as required in 157-27G

Summary of Request and Background

This subdivision is part of a larger development project to create a mixed use community on the Cochecho River. The applicant seeks to subdivide the parcel into 4 development lots, a waterfront park lot and a right of way.

The park lot, as well as lot 1 with the existing pump station on it will be retained by the applicant, while the remaining lots will be conveyed to the developer per the terms of the approved public private partnership.

At its December 17, 2019 meeting CWDAC reviewed the subdivision of the property as part of its continuing review of the public private partnership.

The site is proposed to be serviced by municipal water and sewer and although it is a major subdivision, the plan did not appear before the TRC as all subsequent site plans will.

Consistency with Land Use Regulations

Chapter 157-51 states a waiver may be granted if the Board finds that

“(1) Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or

(2) Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.”

Staff believes that the criteria 1 has been met, as the soils will be documented as part of a subsequent site plan for the various lots. Furthermore, the plan is consistent with Chapter 157-15 of the City's Land Subdivision Regulations, which provides for subdivision of existing lots.

STAFF RECOMMENDATION – Waiver:

The Planning Department recommends that the Planning Board accept the application, open the public hearing, close the public hearing, and vote to approve the waiver with the following condition:

Condition to Be Met Prior to the Signing of the Plan:

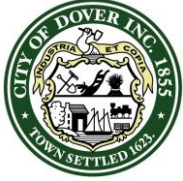
1. A note shall be added to the subdivision plan that the waiver were granted for the reasons stated by the applicant and that the Board found the criteria of 157-51 have been met.

STAFF RECOMMENDATION – Subdivision:

The Planning Department recommends that the Planning Board approve the application with the following conditions:

Conditions to Be Met Prior to Signing of Plans:

1. The applicant shall provide the Planning Department with a digital version of the final plat.
2. Provide a CAD file to the satisfaction of the Asset Management Administrator's satisfaction.



CITY OF DOVER

PLANNING BOARD - STAFF MEMO FILE #P20-14

Application Type: Major Subdivision
Applicant(s): City of Dover
Owner(s): City of Dover
Location: 31 River Street (Tax Map 22, Lot 1)
Meeting Date: September 22, 2020

3. The applicant shall revise the plat to:
 - a. Add signature and stamp of LLS
 - b. Add owners' signatures for recording at Strafford County Registry of Deeds.
 - c. Ensure all uses of the word Cochecho use 2 "h" spelling
 - d. Update reference to Zoning ordinance to 2019 version
 - e. Update Note 9 to include all the info required of common subdivision note 10
 - f. Add common subdivision notes 23



City of Dover, New Hampshire SUBDIVISION APPLICATION

[Revision Date: June 4, 2019]

RECEIVED
Planning Office

Office Use Only

Project #:

P20-14

Date Received:

FEB 05 2020

Amount Paid:

Time Received:

Dover, New Hampshire

APPLICANT AND OWNER INFORMATION

Name of Applicant: J. Michael Joyal, Jr. Telephone # (603) 516-6023

Address of Applicant: 288 Central Ave. Dover, NH 03820

Name of Property Owner (if different from applicant): City of Dover Telephone # (603) 516-6023

Address of Property Owner: 288 Central Ave. Dover, NH 03820

E-Mail Address: m.joyal@doover.nh.gov

PROPERTY INFORMATION

Address of Property: 31 River Street

Assessor's Map # 22 Lot(s) # 1

Zoning District(s) CWD Overlay District(s) Wetland Protection District

Size of Parcel: 23.39 acres Property Deed: Book 225 Page: 493

Existing Use of Property: Municipal Uses

SUBDIVISION INFORMATION

Subdivision Type: Major (4 + net new lots): X Open Space: TDR:

Existing Number of Lots: 1 Proposed Number of Lots: 5

City Water? X Yes No How far is city water from the property? On property

City Sewer? X Yes No How far is city sewer from the property? On property

Highway Access (check where applicable): X City Street State Highway

Estimated Length of Proposed Roads: None at this time feet Public or Private Road? Public

Estimated value of construction: None at this time Refuse removal: Public/Private (circle one)

WAIVER REQUESTS

Subdivision Regulations section(s) to be waived: Chapter 155-28-G – Soils information

Justification for waiver request(s) (*attach additional sheets as needed*):

Providing soil information on the site is not necessary due to the history of municipal uses on the parcel and the significant amount of soil disturbance that has occurred on the parcel over the years.

SURVEYOR INFORMATION

Name of Surveyor and Company (Licensed in N.H.) John Kaiser – Doucet Survey, LLC

Address 102 Kent Place, Newmarket, NH 03857 Telephone #: 603-659-6560

Professional License #: #937 E-mail address: Jack@doucetsurvey.com

ENGINEER INFORMATION

Name of Engineer and Company (Licensed in N.H.) Not applicable

Address _____ Telephone #: _____

Professional License #: _____ E-mail address: _____

LANDSCAPE ARCHITECT INFORMATION

Name of Landscape Architect and Company (Licensed in N.H.) Not applicable

Address _____ Telephone #: _____

Professional License #: _____ E-mail address: _____

SOIL SCIENTIST INFORMATION

Name of Soil Scientist and Company (Licensed in N.H.) Not applicable

Address _____ Telephone #: _____

Professional License #: _____ E-mail address: _____

CONSERVATION EASEMENT HOLDER

Name of Easement Holder: Not applicable Telephone # _____

Address Easement Holder: _____

SIGNATURES

I/We hereby submit this application to the City of Dover Planning Board and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. Furthermore, I/We submit that the existing conditions sheet of the plan represents the lot in question, and that no alteration of the site shall take place during Planning Board review up to and including the pre-construction meeting. As applicant or as agent, I attest that I am duly authorized to act in this capacity.

Signature of Property Owner: _____ Date: 1/30/20

Signature of Applicant (if different from owner): _____ Date: _____

Signature of Agent: _____ Date: _____

AUTHORIZATION TO ENTER SUBJECT PROPERTY

I, and my successors, hereby authorize members of the Dover Planning Board, Planning Department and other pertinent City Departments and boards to enter my property for the purpose of evaluating this application, including performing inspections during the application phase, post-approval phase, construction phase and occupancy phase. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: 1/30/20

AUTHORIZATION TO COMPLETE THE PROJECT ON SUBJECT PROPERTY

I, and my successors, hereby authorize the City of Dover and its assigns to enter my property for the purpose of completing the site work as required by the approved plan should the letter or credit or other surety be called. It is understood that these individuals must use all reasonable care, courtesy, and diligence when on the property.

Signature of Property Owner: _____ Date: 1/30/20

Signature of Applicant (if different from owner): _____ Date: _____

CERTIFICATION OF FEES

I, and my successors, hereby certify that I understand that the City of Dover collects impact fees, utility investment fees and inspection fees for projects developed in Dover. Said fees must be paid before a Certificate of Occupancy can be obtained for a structure, unless a different payment schedule is agreed to by the applicant and the City prior to approvals being issued by the Dover Planning Board. Additionally, should the property be in "Current Use" it will be subject to the Land Use Change Tax.

Signature of Property Owner: _____ Date: 1/30/20

Signature of Applicant (if different from owner): _____ Date: _____

CERTIFICATION OF PUBLIC ROADWAY ACCEPTANCE

I, and my successors, hereby certify that I understand that the acceptance of a roadway as a public road is an action of the City Council in its sole and complete discretion. In order for the City Council to consider accepting a road as public, it must be free of encumbrances. No roadway with private utility easements shall be accepted as a public road by the City unless the easements are expunged prior to the transfer of land to the City. License agreements for any and all private utilities within the right of way may be granted by the City upon acceptance of the unencumbered roadway consistent with applicable state law.

Signature of Property Owner: _____ Date: 1/30/20

Signature of Applicant (if different from owner): _____ Date: _____

P20-14 & P20-01

31 River Street

Property ID	Location	Owner 1	Owner 2	Owner Address 1	City	State	Zip
22002-000000	1 RIVER ST	DENNIS ELEANOR MARY		32 GEORGE STREET	DOVER	NH	03820
22003-000000	80 HENRY LAW AV	DUBOIS FAMILY 2003 REV TRUST		396 BEECH RD	ELIOT	ME	03903-2076
22006-000000	89 91 HENRY LAW AV	PETERSON CATHERINE A		156 DEER RIDGE DR	PONTE VEDRA	FL	32081-0831
22007-000000	90 92 HENRY LAW AV	DOW GREGORY J &	DOW CHERYL A	275 PROSPECT HILL RD	LEBANON	ME	04027
22008-000000	94 96 HENRY LAW AV	FRITZ MICHAEL P		94 96 HENRY LAW AVENUE	DOVER	NH	03820
22009-000000	98 HENRY LAW AV	DOVER BLUFF CONDOMINIUM ASSOCIATION		98 HENRY LAW AVE	DOVER	NH	03820
22009-A00001	98 HENRY LAW AV	HUSSEY JENNIFER M		98 HENRY LAW AVE UNIT 1	DOVER	NH	03820
22009-A00002	98 HENRY LAW AV	D ORSAY DONALD WILLIAM JR &	D ORSAY NICHOLE S	98 HENRY LAW AVE UNIT A-2	DOVER	NH	03820
22009-A00003	98 HENRY LAW AV	DAILEY BRIAN PHILIP		98 HENRY LAW AV	DOVER	NH	03820
22009-A00004	98 HENRY LAW AV	LAWRENCE JAMES P		98 HENRY LAW AVE #4	DOVER	NH	03820
22009-B00005	98 HENRY LAW AV	DEMERS MARTHA E		98 HENRY LAW AV #5	DOVER	NH	03820
22009-B00006	98 HENRY LAW AV	WHITE MATTHEW FREDERICK &	WHITE ELAINE	98 HENRY LAW AVE UNIT 6	DOVER	NH	03820
22009-B00007	98 HENRY LAW AV	RANDALL JEFFREY C &	RANDALL CHRISTINE M	98 HENRY LAW AV UNIT 7	DOVER	NH	03820
22009-B00008	98 HENRY LAW AV	RYAN JOHN F	RYAN MICHELE LYNNE ROUCOULET	122 FOURTH ST	DOVER	NH	03820
22009-B00009	98 HENRY LAW AV	SPENCER DONNA M		98 HENRY LAW AV UNIT 9	DOVER	NH	03820
22009-C00024	98 HENRY LAW AV	VALENTINE RICHARD &	VALENTINE GUDRUN S	183 LOCUST ST	DOVER	NH	03820
22009-C00025	98 HENRY LAW AV	DORR JOHN VN III	DORR JANIS B	98 HENRY LAW AVE UNIT 25	DOVER	NH	03820
22009-C00026	98 HENRY LAW AV	SIRVIRIS SUSAN L		98 HENRY LAW AVE UNIT 26	DOVER	NH	03820
22009-C00027	98 HENRY LAW AV	NICKERSON LYNNE M		98 HENRY LAW AV APT 27	DOVER	NH	03820-3881
22009-C00028	98 HENRY LAW AV	NYE SHANE M		98 HENRY LAW AV UNIT 28C	DOVER	NH	03820
22009-D00029	98 HENRY LAW AV	PALLADINO JEROME J TRUSTEE	KMP REALTY TRUST	66 WILD PASTURE RD	KENSINGTON	NH	03827
22009-D00030	98 HENRY LAW AV	DONAHUE RYAN W		98 HENRY LAW AVE UNIT 30	DOVER	NH	03820
22009-D00031	98 HENRY LAW AV	POLCARI AMY E		98 HENRY LAW AVE UNIT 31	DOVER	NH	03820
22009-D00032	98 HENRY LAW AV	BRISSETTE JAMISON C		98 HENRY LAW AVE APT 21	DOVER	NH	03820-3881
22009-E00021	98 HENRY LAW AV	BRISSETTE JAMISON C		72 7TH STREET	STOUGHTON	MA	02072-3535
22009-E00022	98 HENRY LAW AV	SMITH SCOTT T		98 HENRY LAW AVE #22	DOVER	NH	03820
22009-E00023	98 HENRY LAW AV	BLAISDELL JULI ANN		618 MARTHAS WAY	DOVER	NH	03820
22009-F00017	98 HENRY LAW AV	MURRAY KEVIN M		98 HENRY LAW AVE #17	DOVER	NH	03820
22009-F00018	98 HENRY LAW AV	BISHOP BRADFORD &	BISHOP ALLAN	98 HENRY LAW AV UNIT 18	DOVER	NH	03820
22009-F00019	98 HENRY LAW AV	IUDICE JOHN		17 WINNICUT RD	STRATHAM	NH	03885
22009-F00020	98 HENRY LAW AV	FISKE PETER		124 HEARTHSIDE DR	BARRINGTON	NH	03825-3416
22009-G00013	98 HENRY LAW AV	WATTS RYAN E		98 HENRY LAW AVE APT 13	DOVER	NH	03820-3880
22009-G00014	98 HENRY LAW AV	DIESEL W BRENT &	DIESEL SANDRA E	98 HENRY LAW AVE UNIT 14	DOVER	NH	03820
22009-G00015	98 HENRY LAW AV	DARROW BRIAN J &	DARROW MELISSA	26 STOCKLAN CIRCLE	DOVER	NH	03820
22009-G00016	98 HENRY LAW AV	VOSS DAVID BRIAN TRUSTEE	VOSS DAVID BRIAN LIVING TRUST	945 COASTVIEW DR	LAGUNA BEACH	CA	92651
22009-H00010	98 HENRY LAW AV	VERHOFSTAD JOOST &	VERHOFSTAD JASMIJN	1 WOOD RD	PELHAM	NH	03076
22009-H00011	98 HENRY LAW AV	TOLWOOD REALTY GROUP LLC		242 CENTRAL AVE	DOVER	NH	03820
22009-H00012	98 HENRY LAW AV	VERHOFSTAD JOOST S		96 WEBSTER AVE	PELHAM	NH	03076
22011-000000	4 PAUL ST	SIMES JOSEPH A		4 PAUL ST	DOVER	NH	03820
22012-000000	6 PAUL ST	FREW PATRICIA A		6 PAUL ST	DOVER	NH	03820
22014-000000	2 WALLINGFORD ST	DUFFY DIANE M &	SWEETSER ERIK J	2 WALLINGFORD ST	DOVER	NH	03820
22015-000000	4 WALLINGFORD ST	MIRABAL ADEMI &	MIRABAL KATLYNNE	4 WALLINGFORD ST	DOVER	NH	03820
22016-000000	6 WALLINGFORD ST	HOWARD PATRICK L &	HOWARD DEBRA A	6 WALLINGFORD STREET	DOVER	NH	03820
22017-000000	8 WALLINGFORD ST	FREDETTE DEAN TRUSTEE	FREDETTE FAMILY IRREVOCABLE TRUST	109 BACK RD	DOVER	NH	03820
22018-000000	10 WALLINGFORD ST	TAYLOR WAYNE & PATRICIA TRUSTEES	TAYLOR FAMILY REVOCABLE TRUST	10 WALLINGFORD ST	DOVER	NH	03820
22033-000000	12 PAUL ST	MCENEANEY CATHERINE	MCENEANEY KEVIN	8 GOLD POST ROAD	DOVER	NH	03820
22034-000000	WALLINGFORD ST	MCENEANEY KEVIN		8 GOLD POST RD	DOVER	NH	03820
22035-000000	WALLINGFORD ST	DUFFY DIANE M &	SWEETSER ERIK J	2 WALLINGFORD ST	DOVER	NH	03820
22036-000000	WALLINGFORD ST	TAYLOR WAYNE R & PATRICIA TRUSTEES	TAYLOR FAMILY REVOCABLE TRUST	10 WALLINGFORD ST	DOVER	NH	03820
22037-000000	WALLINGFORD ST	TAYLOR WAYNE R & PATRICIA P TRUSTEES	TAYLOR FAMILY REVOCABLE TRUST	10 WALLINGFORD ST	DOVER	NH	03820
22038-000000	WALLINGFORD ST	TAYLOR WAYNE & PATRICIA TRUSTEE	TAYLOR FAMILY REVOCABLE TRUST	10 WALLINGFORD ST	DOVER	NH	03820
22039-000000	WALLINGFORD ST	MCENEANEY CATHERINE	MCENEANEY KEVIN	8 GOLD POST ROAD	DOVER	NH	03820
22042-000000	TOWNE DR	CITY OF DOVER		288 CENTRAL AVE	DOVER	NH	03820
23003-001000	25 A PORTLAND AV	BNFARMDOVER LLC		175 BRIDGE RD UNIT 2	SALISBURY	MA	01952-2420
23010-000000	17 YOUNG ST	COCHECO MILLS HOLDINGS LLC		3 PENSTOCK WAY	NEWMARKET	NH	03857
23013-000000	WATER ST	COCHECO MILLS HOLDINGS LLC		3 PENSTOCK WAY	NEWMARKET	NH	03857
23014-000000	1 WASHINGTON ST	WASHINGTON STREET MILL LLC		3 PENSTOCK WAY	NEWMARKET	NH	03857
23015-000000	6 WASHINGTON ST	CITY OF DOVER	C/O C/S RECREATION/GYM AND POOL	61 LOCUST ST #124	DOVER	NH	03820-3753
24138-000000	33 COCHECO ST	MAGLARAS GEORGE		33 COCHECO STREET	DOVER	NH	03820
24139-000000	31 COCHECO ST	MAGLARAS GEORGE		33 COCHECO STREET	DOVER	NH	03820
24140-000000	11 COCHECO ST	MAGLARAS GEORGE &	MAIRS ROBERT S	33 COCHECO ST	DOVER	NH	03820
24142-000000	COCHECO ST	MAIRS ROBERT S		PO BOX 28	DOVER	NH	03821-0028
22001-000000	31 RIVER ST	CITY OF DOVER		288 CENTRAL AVE	DOVER	NH	03820
		J. MICHAEL JOYAL, JR.		288 CENTRAL AVE	DOVER	NH	03820
		HORSLEY WITTEN GROUP INC	RICHARD CLAYTOR, JR.	90 ROUTE 6A	SANDWICH	MA	02563

NOTES:

REFERENCE: TAX MAP 22, LOT 1

1. TOTAL PARCEL AREA:

EXISTING LOT 1:	1,018,700± SQ. FT. OR 23.39 AC.
PROPOSED LOT 1:	16,260 SQ. FT. OR 0.37 AC.
PROPOSED LOT 1-1:	189,130± SQ. FT. OR 4.35 AC.
PROPOSED LOT 1-2:	177,105 SQ. FT. OR 4.07 AC.
PROPOSED LOT 1-3:	231,541 SQ. FT. OR 5.32 AC.
PROPOSED LOT 1-4:	355,658 SQ. FT. OR 8.16 AC.
PROPOSED REVISED R.O.W.	74,100± SQ. FT. OR 1.7± AC.

2. OWNER OF RECORD:

CITY OF DOVER
288 CENTRAL AVE.
DOVER, NH 03820
S.C.R.D. BOOK 225, PAGE 493 (LOT 1)

3. ZONE: COCHECHO WATERFRONT DISTRICT (CWD)
DIMENSIONAL REQUIREMENTS:

MIN. LOT AREA	N/A
MAX. BUILDING COVERAGE[2]	75%
MIN. FRONTAGE	N/A
MIN. FRONT SETBACK	0 ft.
MIN. SIDE SETBACK	0 ft.
MIN. REAR SETBACK	0 ft.
ABUT A STREET SETBACK	0 ft.
MAX. BUILDING HEIGHT:	55 ft.
PRINCIPAL BUILDING	55 ft.
OUTBUILDING	55 ft.

[2] LOTS LOCATED IN THE COCHECHO WATERFRONT DISTRICT (CWD) AND LOCATED SOUTH OF THE COCHECHO RIVER MAY HAVE A MAXIMUM LOT COVERAGE OF 100% (ADDED 1-22-2003 BY ORD. NO. 35).

ZONING INFORMATION LISTED HEREON IS BASED ON THE CITY OF DOVER ZONING ORDINANCE DATED DECEMBER 2009, CWD AMENDED 9/11/2019 AS AVAILABLE ON THE CITY WEBSITE. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.

THIS PARCEL IS EXEMPT FROM THE STATE OF NH SHORELAND PROTECTION DISTRICT PER RSA 483-B:12, MARCH 4, 2009.

4. THE INTENT OF THIS PLAN IS TO SUBDIVIDE THE EXISTING TAX MAP 22 LOT 1 INTO FIVE SEPARATE PARCELS AND DEFINE A CITY RIGHT OF WAY ADJACENT TO THE PARCELS.

5. THE SUBJECT PARCELS ARE SERVED BY MUNICIPAL WATER AND SEWER.

6. THE PROPOSED USE FOR THE SITE IS MIXED-USE DEVELOPMENT.

7. A CONDITIONAL USE PERMIT (P17-43) WAS APPROVED BY THE PLANNING BOARD ON 6/12/17. A CONDITIONAL USE PERMIT (P20-01) FOR THIS PARCEL IS PENDING APPROVAL.

8. THE FOLLOWING STATE AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:

NHDES WETLANDS PERMIT 2019-03464 (PENDING APPROVAL)
NHDES WETLANDS PERMIT 2016-03464 - APPROVED 6/9/17
NHDES WETLANDS PERMIT 2016-03428 - APPROVED 6/14/18
NHDES ALTERATION OF TERRAIN PERMIT AOT-1284 - APPROVED 9/1/17
NHDES ALTERATION OF TERRAIN PERMIT AOT-190301-033 (PENDING APPROVAL)
US ARMY CORPS OF ENGINEERS PERMIT NAE-2017-01586 - APPROVED 8/18/17
US ARMY CORPS OF ENGINEERS PERMIT NAE-2017-00131 - APPROVED 11/6/17
US ARMY CORPS OF ENGINEERS PERMIT NAE-2018-01586 - APPROVED 9/11/18

9. FIELD SURVEY PERFORMED BY DOUCET SURVEY, INC. DURING SEPTEMBER 2016, SPRING OF 2017 AND ADDITIONALLY DURING JANUARY OF 2019. EQUIPMENT USED INCLUDES A TRIMBLE S6 TOTAL STATION, TRIMBLE R8 SURVEY GRADE GPS AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.

10. FLOOD HAZARD ZONE: "X", "AE", 0.2% ANNUAL CHANCE FLOOD HAZARD & REGULATORY FLOODWAY", PER FIRM MAP 33017C0330E, DATED 9/30/15.

11. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.

12. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.

13. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENTS OF THE ROADS AS DEPICTED HEREON ARE BASED ON RESEARCH CONDUCTED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AND DOVER CITY CLERK'S OFFICE.

NO INFORMATION WAS FOUND RELATIVE TO THE CREATION OR WIDTH OF RIVER STREET OR WASHINGTON STREET IN THE VICINITY OF THE SUBJECT PARCEL. THE EXISTING LOT LINE AS SHOWN HEREON IN THE VICINITY OF RIVER STREET IS PER REFERENCE PLAN 4. MONUMENTS SHOWN ON SAID PLAN ALONG RIVER STREET WERE NOT FOUND AND PRESUMABLY DESTROYED DURING ROAD CONSTRUCTION.

14. JURISDICTIONAL WETLANDS, ORDINARY HIGH WATER AND HIGHEST OBSERVABLE TIDE LINE DELINEATED BY GZA GEONVIRONMENTAL, INC. DURING AUGUST 2016 IN ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS. SAID FEATURES ARE SHOWN ON REFERENCE PLAN 6.

15. WATER BOUNDARIES ARE DYNAMIC IN NATURE AND ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION. PARCEL BOUNDARY ALONG THE EDGE OF RIVER EXTENDS TO THE MEAN HIGH TIDE LINE.

16. NO ACCESS EASEMENT WAS FOUND BENEFITING MAP 22, LOT 2.

17. THE INSTALLATION OF ELECTRIC POWER, CABLE TELEVISION AND TELEPHONE LINES SHALL BE UNDERGROUND THROUGHOUT THE SITE FOR WHICH DEVELOPMENT IS PROPOSED. SUBDIVISION PLANS SHALL SHOW ANY EASEMENTS FOR THESE SERVICES.

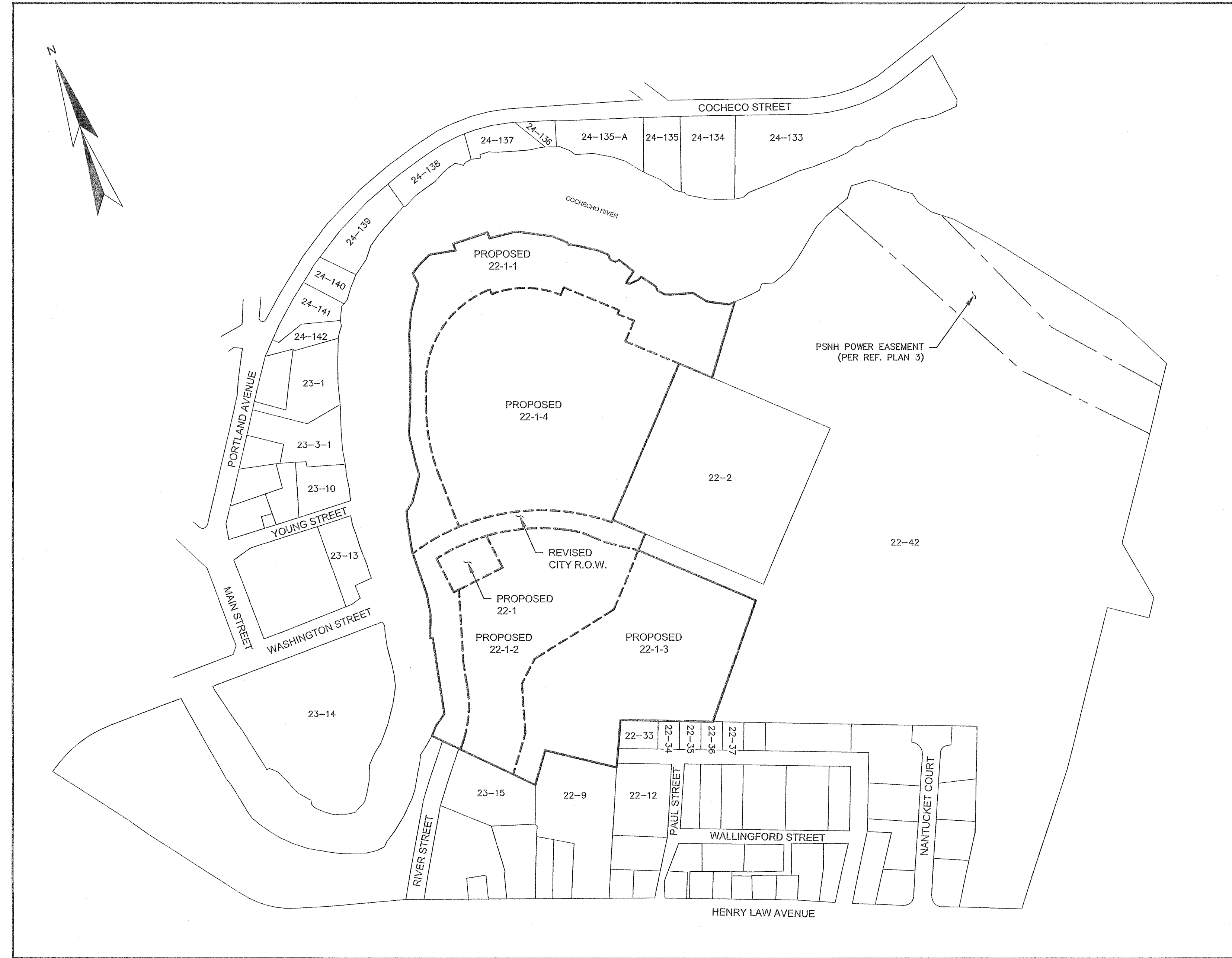
18. BUILDING ADDRESSES (INCLUDING APT./UNIT NUMBERS, IF APPLICABLE) SHALL BE ASSIGNED BY THE BUILDING OFFICIAL AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.

19. ANY RETAINING WALL TALLER THAN FOUR FEET (4') REQUIRES THE ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.

20. ANY FENCE TALLER THAN SEVEN FEET (7') REQUIRES THE ISSUANCE OF A BUILDING PERMIT FROM INSPECTION SERVICES.

REFERENCE PLANS:

- "SITE PLAN, DOVER BLUFF CONDOMINIUMS, HENRY LAW AVENUE, DOVER, NH, HAMPTON MANAGEMENT CORP." DATED MAY 20, 1995 BY NOLDESIGN, INC. S.C.R.D. PLAN 27-47.
- "PLAN OF LAND FOR ELEANOR M. McCOOLE NEAR RIVER STREET, DOVER, NEW HAMPSHIRE" DATED MAY 1991 BY K.E. MOORE, LAND SURVEYOR S.C.R.D. PLAN 32A-49.
- PLAN OF LAND, LOT 22-1 & 22-42, HENRY LAW AVENUE, DOVER, NH PREPARED FOR CITY OF DOVER, COMMUNITY DEVELOPMENT - 288 CENTRAL AVE. - DOVER, NH" DATED MAY 15, 1991 BY CUOCO & CORMIER, INC. S.C.R.D. PLAN 40-53.
- "PLAN OF GROUNDWATER MANAGEMENT ZONE, PREPARED FOR CITY OF DOVER, TAX MAP 22 LOT NO. 1, RIVER STREET, CITY OF DOVER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE" DATED DECEMBER 2001 BY MCENEANEY SURVEY ASSOCIATES, INC. S.C.R.D. PLAN 65-16.
- "WALLINGFORD HEIGHTS SURVEYED FOR ARTHUR J. GRIMES" DATED MARCH 1929 BY W.S. WHEELER, C.E. DOVER, N.H. S.C.R.D. PK. 7 F. 4 PL. 16.
- "FINAL SUBDIVISION PLAN MAP 22/LOT 41, LAND IN DOVER, NEW HAMPSHIRE, NANTUCKET COURT SUBDIV. 138 HENRY LAW AVENUE" DATED JANUARY 19, 2004 WITH A FINAL REVISION DATE OF 6/11/04 BY CUOCO & CORMIER. S.C.R.D. PLAN 76-41.
- "LOT LINE REVISION PLAN FOR THE CITY OF DOVER OF TAX MAP 22, LOTS 1 & 42, RIVER STREET & WASHINGTON STREET, DOVER, NEW HAMPSHIRE" DATED FEBRUARY 15, 2019 WITH A REVISION DATE OF 3/18/19 BY DOUCET SURVEY, LLC. S.C.R.D. PLAN 118-49 THROUGH 118-51.
- "EXISTING CONDITIONS PLAN FOR HORSLEY WRITTEN GROUP OF TAX MAP 22, LOT 1, 31 RIVER STREET, DOVER, NEW HAMPSHIRE" DATED AUGUST 2017 WITH A REVISION DATE OF 12/14/17, BY DOUCET SURVEY, INC. PLAN IS NOT RECORDED AT THE S.C.R.D.



KEY MAP

ABUTTERS LIST:

22-02
ERIK SWEETSER & DIANE DUFFY
32 GEORGE ST
DOVER, NH 03820
S.C.R.D. BOOK 1758 PAGE 223

22-09
DOVER BLUFF CONDOMINIUM ASSOC.
98 HENRY LAW AVE
DOVER, NH 03820

22-12
PATRICIA FREW
6 PAUL ST
DOVER, NH 03820
S.C.R.D. BOOK 4494 PAGE 002

22-33
KEVIN & CATHERINE MCENEANEY
8 GOLD POST ROAD
DOVER, NH 03820
S.C.R.D. BOOK 663 PAGE 300

22-34
KEVIN MCENEANEY
8 GOLD POST ROAD
DOVER, NH 03820
S.C.R.D. BOOK 2194 PAGE 633

22-35
TAYLOR FAMILY REVOCABLE TRUST
10 WALLINGFORD ST
DOVER, NH 03820
S.C.R.D. BOOK 4217 PAGE 777

23-1
ROBERT MAIRS
14 ROBERTS ROAD
DOVER, NH 03820
S.C.R.D. BOOK 4486 PAGE 649

23-3-1
BN FARM DOVER LLC
175 BRIDGE ST
SALISBURY, MA 01952
S.C.R.D. BOOK 4305 PAGE 816

23-10
COCHECHO MILLS HOLDINGS, LLC
3 PENSTOCK WAY
NEWMARKET, NH 03857
S.C.R.D. BOOK 4699 PAGE 744

23-13
COCHECHO MILLS HOLDINGS, LLC
3 PENSTOCK WAY
NEWMARKET, NH 03857
S.C.R.D. BOOK 4699 PAGE 744

23-14
WASHINGTON STREET MILL LLC
90 FLOWER DRIVE
NEWMARKET, NH 03857
S.C.R.D. BOOK 2349 PAGE 238

23-15
CITY OF DOVER
C/O C/S RECREATION/GYM AND POOL
61 LOCUST ST #124
DOVER, NH 03820-3753

24-12
ROBERT MAIRS
PO BOX 28
DOVER, NH 03821-0028
S.C.R.D. BOOK 1861 PAGE 500

24-141
ROBERT MAIRS
PO BOX 28
DOVER, NH 03821-0028
S.C.R.D. BOOK 1861 PAGE 500

24-133
PUBLIC SERVICE CO OF NH
PO BOX 330
MANCHESTER, NH 03105-0330

24-134
TURGEON FAMILY LIMITED PARTNERS
90 FLOWER DRIVE
BARRINGTON, NH 03825-4327
S.C.R.D. BOOK 1997 PAGE 54

24-135
WAKABAYASHI FAMILY TRUST
38 SIXTH ST
DOVER, NH 03820
S.C.R.D. BOOK 1102 PAGE 80

24-137
GEORGE MAGLARAS
33 COCHECO ST
DOVER, NH 03820
S.C.R.D. BOOK 1207 PAGE 803

24-138
GEORGE MAGLARAS
33 COCHECO ST
DOVER, NH 03820
S.C.R.D. BOOK 1208 PAGE 46

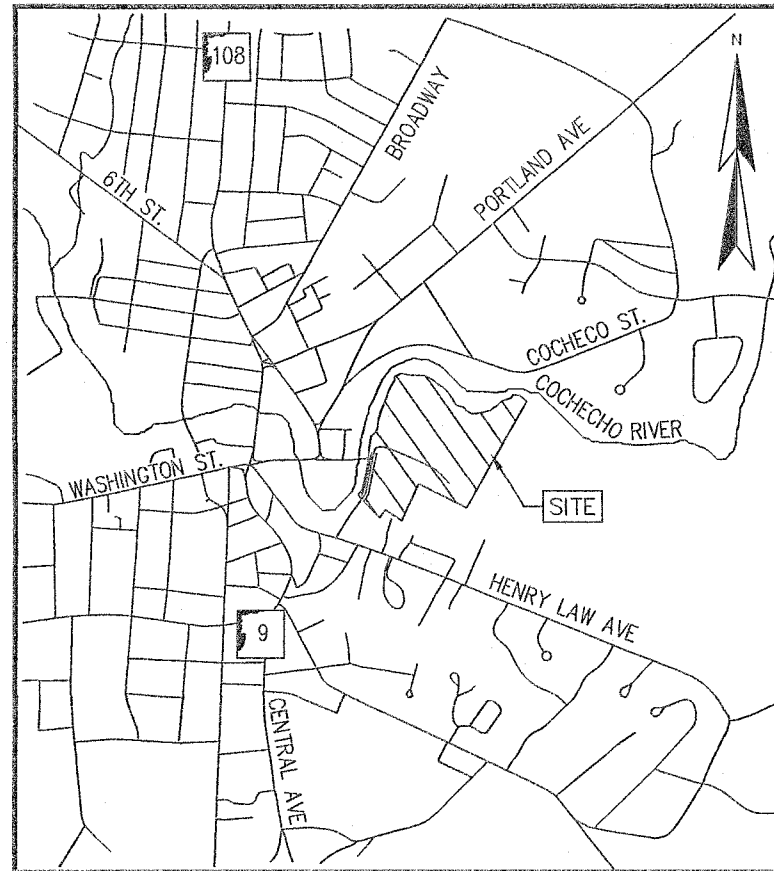
24-139
GEORGE MAGLARAS
33 COCHECO ST
DOVER, NH 03820
S.C.R.D. BOOK 1049 PAGE 122

24-140
GEORGE MAGLARAS & ROBERT MAIRS
33 COCHECO ST
DOVER, NH 03820
S.C.R.D. BOOK 4472 PAGE 383

N0023
PUBLIC SERVICE CO OF NH
PO BOX 330
MANCHESTER, NH 03105-0330

24-146
PUBLIC SERVICE CO OF NH
PO BOX 330
MANCHESTER, NH 03105-0330

24-147
PUBLIC SERVICE CO OF NH
PO BOX 330
MANCHESTER, NH 03105-0330



LOCATION MAP (n.t.s.)

LEGEND

— EXISTING LOT LINE
--- PROPOSED LOT LINE
--- APPROXIMATE ABUTTERS LOT LINE
--- EXISTING EASEMENT LINE

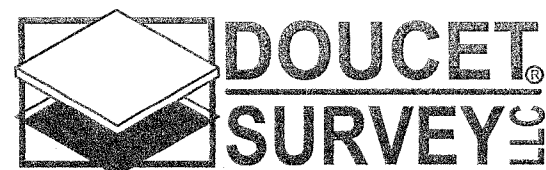
200 0 200 400
SCALE: 1 INCH = 200 FT.

COCHECHO DEVELOPMENT
SUBDIVISION PLAN
FOR
THE CITY OF DOVER
OF
TAX MAP 22 LOT 1
RIVER STREET & WASHINGTON STREET
DOVER, NEW HAMPSHIRE

DOVER CITY PLANNING FILE NUMBER P20-14

1	09/09/20	REVISED LOTS	WDC
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	M.T.L.	DATE:	JANUARY 28, 2020
CHECKED BY:	J.F.K.	DRAWING NO.	4966D
JOB NO.	4966	SHEET	1 OF 2



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<http://www.doucetsurvey.com>

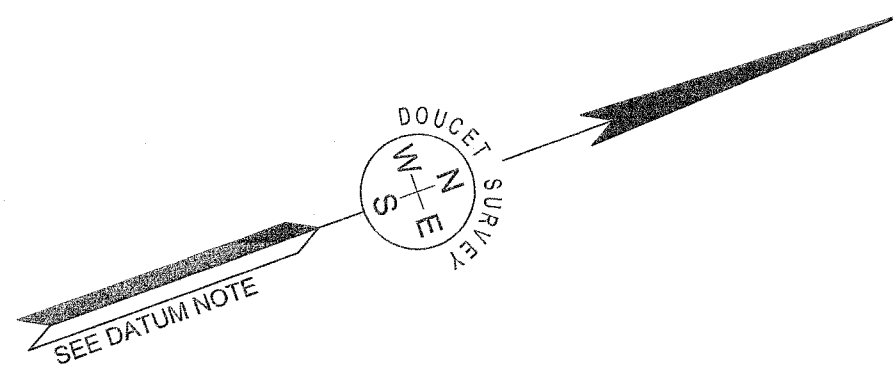
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

John F. Kaiser
9/14/20 L.L.S. #937
DATE

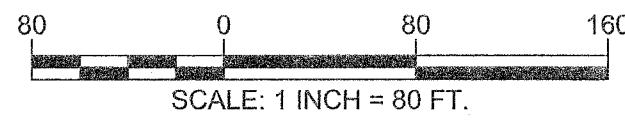
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

LINE	BEARING	DISTANCE
L1	S43°08'38"W	7.17'
L2	N38°20'56"E	28.54'
L3	N10°30'42"E	16.90'
L4	N10°30'42"E	56.71'
L5	S83°16'48"W	15.90'
L6	S83°08'47"E	10.33'
L7	S44°18'59"E	3.61'
L8	S01°05'34"E	14.11'
L9	N42°22'59"E	22.98'
L10	S43°31'47"W	11.47'
L11	S48°01'37"E	49.34'
L12	N44°40'22"W	50.37'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	145.75'	300.00'	27°50'13"	N24°25'49"E	144.33'
C2	153.99'	545.00'	16°11'19"	S85°34'28"W	153.47'
C3	73.94'	225.00'	18°49'48"	N53°43'53"W	73.61'
C4	47.42'	225.00'	12°04'35"	S50°21'16"E	47.34'



LEGEND	
—	EXISTING LOT LINE
- - -	PROPOSED LOT LINE
- · - · -	APPROXIMATE LOT LINE (SEE NOTE 10)
- - -	RIGHT OF WAY LINE TO BE ABANDONED
- · - · -	APPROXIMATE ABUTTERS LOT LINE
- - -	TIE LINE
□	BOUND FOUND
○	IRON PIPE/ROD FOUND
●	SUITABLE MONUMENT TO BE SET
○	BOUND FOUND
●	IRON PIPE FOUND
GRAN.	GRANITE
22-1	TAX MAP—LOT NUMBER

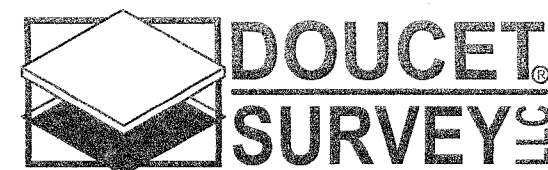


**COACHECHO DEVELOPMENT
SUBDIVISION PLAN**
FOR
THE CITY OF DOVER
OF
TAX MAP 22 LOT 1
RIVER STREET & WASHINGTON STREET
DOVER, NEW HAMPSHIRE

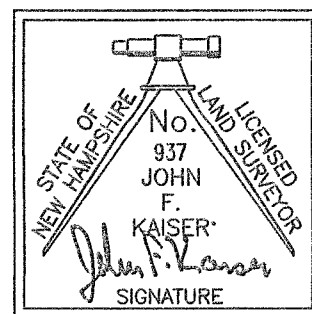
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NO.	DATE	DESCRIPTION	BY
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DRAWN BY:	M.T.L.	DATE:	JANUARY 28, 2020
CHECKED BY:	J.F.K.	DRAWING NO.	4966D
JOB NO.	4966	SHEET	2 OF 2



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